

*Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	4722 Cumberland Ave., Chevy Chase	<b>Meeting Date:</b>	8/14/2024
<b>Resource:</b>	Post-1916 Resource <b>Somerset Historic District</b>	<b>Report Date:</b>	8/7/2024
<b>Applicant:</b>	Agnes Holland & Matthew Grohowski Tahani Share, Architect	<b>Public Notice:</b>	7/31/2024
<b>Review:</b>	Preliminary Consultation	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Building Addition, Porch Construction, and Rear Deck Construction		

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**STAFF RECOMMENDATION**

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Post-1916 Resource to the Somerset Historic District  
**STYLE:** Colonial Revival  
**DATE:** c.1960



*Figure 1: The subject property is shown with a yellow star located near the intersection of Cumberland Ave. and Surrey St.*

**PROPOSAL**

The applicant proposes to construct a front porch, modify an existing addition, construct a rear addition, and build a rear deck.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Somerset Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Somerset Historic District Amendment to the Master Plan for Historic Preservation (*Designation*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. Additionally, as a deck is proposed as part of this work, the proposed deck should adhere to *Policy No. 24-01 - ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING*.

- A Map of the boundaries of the Somerset Historic District is included at the end of this amendment. Important contributing resources built before 1915 are noted on this map. The later structures in the district are mainly mid-20<sup>th</sup> Century architectural styles – many are Colonial Revival – although some very recent house[s] have replicated the Victorian styles of the original buildings. As specified in the Historic Preservation Ordinance, applications for new construction in the district for work on structures in the district which are of little historical or design significance shall be judged leniently, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the district.

**Montgomery County Code; Chapter 24A-8**

(b)

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Secretary of the Interior’s Standards for Rehabilitation**

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable Standards are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Policy No. 24-01 - ADOPTED POLICY FOR THE APPROPRIATENESS OF SUBSTITUTE MATERIALS FOR PORCH AND DECK FLOORING**

5. Non-Contributing Resources/Secondary/Spatial – These were constructed after the district’s period of significance or have been so heavily modified that they no longer contribute to the historic district’s character. These resources do not need to use traditional materials. New porch flooring/decking materials for these resources need to satisfy the criteria for compatible substitute material.
6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
  - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
  - It must be millable;
  - It can be painted without voiding the product warranty; or,
    - Has a uniform appearance consistent with painted wood;
  - It has a minimal (or no) stamped or embossed texture on the surface; and,
  - It has a finished edge that appears as a cut solid board.

**STAFF DISCUSSION**

The subject property is a two-story side gable brick Colonial Revival house with a one-bay attached garage. Above the garage is a gambrel roof addition. A review of Staff’s files identified no previous HAWPs at the subject property.

The applicant proposes work in several areas:

- Constructing a porch at the front entrance;
- Modifying the 2<sup>nd</sup>-story addition above the garage;
- Constructing an addition at the rear; and
- Constructing a new rear deck.

Staff requests feedback from the HPC regarding the proposed work before the applicant returns for a HAWP.





*Figure 2: Google StreetView image of the subject property.*

### **Front Porch**

Above the front door, there is an applied decorative broken pediment. The applicant proposes to remove the pediment and construct a front-gable porch with an architectural shingle roof, supported by columns (see *Figure 3*, below). Drawings of the proposed columns and railings are not detailed enough to provide much additional information, however, the columns appear to be square and the notes on the drawings indicate the proposed railings will be constructed out of Trex.

Staff finds the proposed porch is appropriately scaled for the house and finds it will not disrupt any of the existing window openings. Staff additionally finds that either round or square columns would be compatible with the design of the house and recommends the columns be constructed out of wood. Staff recommends a simply detailed railing for the front porch and finds a wood railing would be more appropriate than the proposed Trex.

Staff requests feedback from the HPC on the appropriateness of the proposed porch and its materials.





Figure 3: Proposed changes visible from the front including the front porch (circled in yellow) and the 2nd-story garage modification (circled in green).

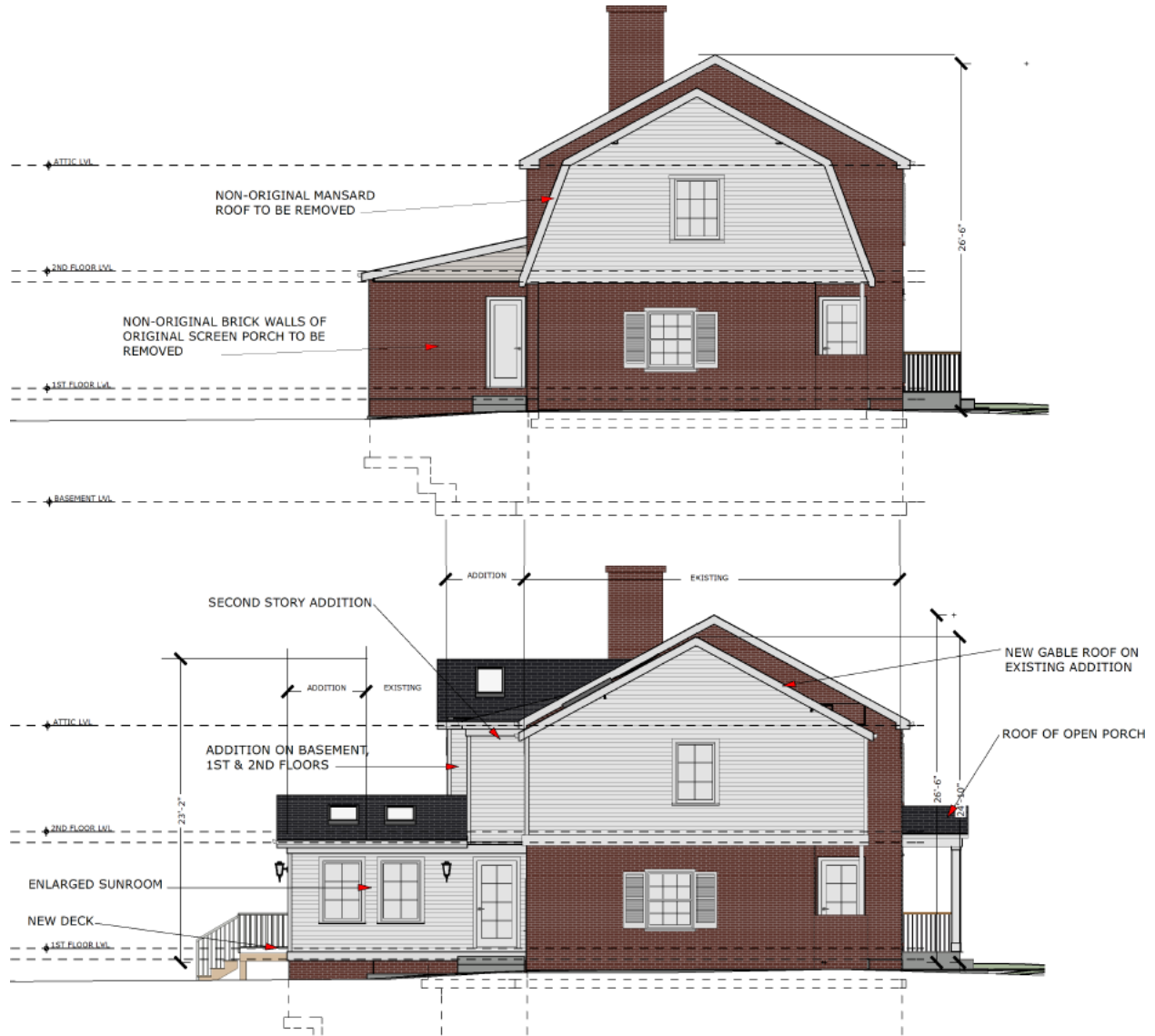
**Modifying the 2<sup>nd</sup>-story Addition Over the Garage**

Originally, the roof over the garage was a low-sloped side gable. Sometime later, the current gambrel-roofed addition was added. The applicant proposes to remove the existing roof and construct a side gable addition (see Figure 3, above). The 2<sup>nd</sup> floor will be sided in fiber cement clapboards and will have a multi-light aluminum-clad wood window with shutters. The left (east) elevation will have a single six-light casement window. On the rear elevation, the addition will have a single six-light casement window and the applicant proposes to install two skylights.

Because detailed specifications for the windows were not included in the application materials, Staff recommends the windows have permanently affixed interior and exterior grilles with a spacer bar between the glass. Additionally, no information about the proposed shutters was included in the application materials. Staff recommends the shutters installed in the 2<sup>nd</sup>-story addition match the existing front

elevation shutters in size, materials, and installation. Specifications of the existing shutters need to be submitted with the HAWP application to ensure the new shutters match.

Staff requests feedback from the HPC on the appropriateness of the proposed 2<sup>nd</sup>-story addition modification and the materials proposed.



*Figure 4: Existing (top) and proposed (below) east elevations.*

### **Rear Addition**

At the rear, the original screened in-porch was enclosed in brick to create what is now identified as the ‘sunroom.’ Behind the sunroom, there is a large stone patio approximately 30’ × 30’ (thirty feet by thirty feet). The applicant proposes to enlarge the sunroom by 6’ (six feet) towards the rear on the first floor. Above the sunroom, the applicant proposes to construct an addition to the full width of the sunroom that projects 4’ 6” (four feet, six inches) from the existing rear wall plane. To the west of the existing sunroom, the applicant proposes to construct a two-story, plus basement, addition measuring 16’ 7” × 6’ (sixteen feet, seven inches wide by six feet deep). The rear additions will be sided in fiber cement siding, with asphalt shingle roofing. The windows will be multi-light aluminum-clad wood, and appear to be casements, however, the drawings do not detail their operation. The rear door from the sunroom will be

an aluminum-clad set of French Doors with sidelights. Several skylights are proposed including four proposed over the enlarged sunroom and one proposed for the two-story addition.



*Figure 5: Existing rear elevation (top) and proposed (below).*

As with the 2<sup>nd</sup>-story modification, discussed above, Staff finds the proposed materials are all appropriate for building additions and new construction to buildings in the Somerset Historic District. Staff finds the size of the proposed additions is modest and will not overwhelm the existing house or the surrounding district. Staff finds the proposed addition will be minimally visible from the right (west) when viewed in the absence of vegetation. Most of the rear construction will be obscured by the side-projecting garage and only a small portion; and will likely not be at all visible from the left (east). Staff finds the proposed rear additions are appropriately scaled to the house and requests feedback from the HPC on the appropriateness of the addition’s design, materials, and placement.

Staff additionally recommends the HPC request an arborist report to ensure no trees will be damaged or removed by the proposed construction. Staff notes, there is a 32” (thirty-two inch) d.b.h. Oak tree approximately 12 feet from the proposed rear addition.

**Rear Deck**

To the rear of the enlarged sunroom, the applicant proposes to construct a deck. The deck will be 4’ (four



feet) deep and will run the full width of the sunroom. It will have a Trex railing and a centrally located staircase.

Staff finds the size and placement of the deck are appropriate and will not detract from the character of the site or surrounding district. However, Staff does not find that the proposed Trex is a compatible material as defined in the HPC's adopted policy on the appropriateness of substitute for porch and deck flooring. Trex is not paintable without voiding the warranty and typically has a mottled color that does not adequately replicate the appearance of wood. Staff recommends the applicant use wood for the deck construction or the applicant consult with Staff to find a material that satisfies the requirements of the HPC's policy.

Staff requests feedback from the HPC on the appropriateness of the proposed deck and Staff's recommendation for an appropriate material.

Staff requests feedback from the HPC regarding:

- The appropriateness of the front porch construction;
- The appropriateness of the design and materials of the proposed 2<sup>nd</sup>-story modification;
- The compatibility of the proposed rear additions;
- The need for a tree survey to provide additional information regarding trees on site; and
- The appropriateness of the proposed deck

**STAFF RECOMMENDATION**

Staff recommends the applicant make any recommended revisions and return for a HAWP.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

PRELIMINARY CONSULTATION

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

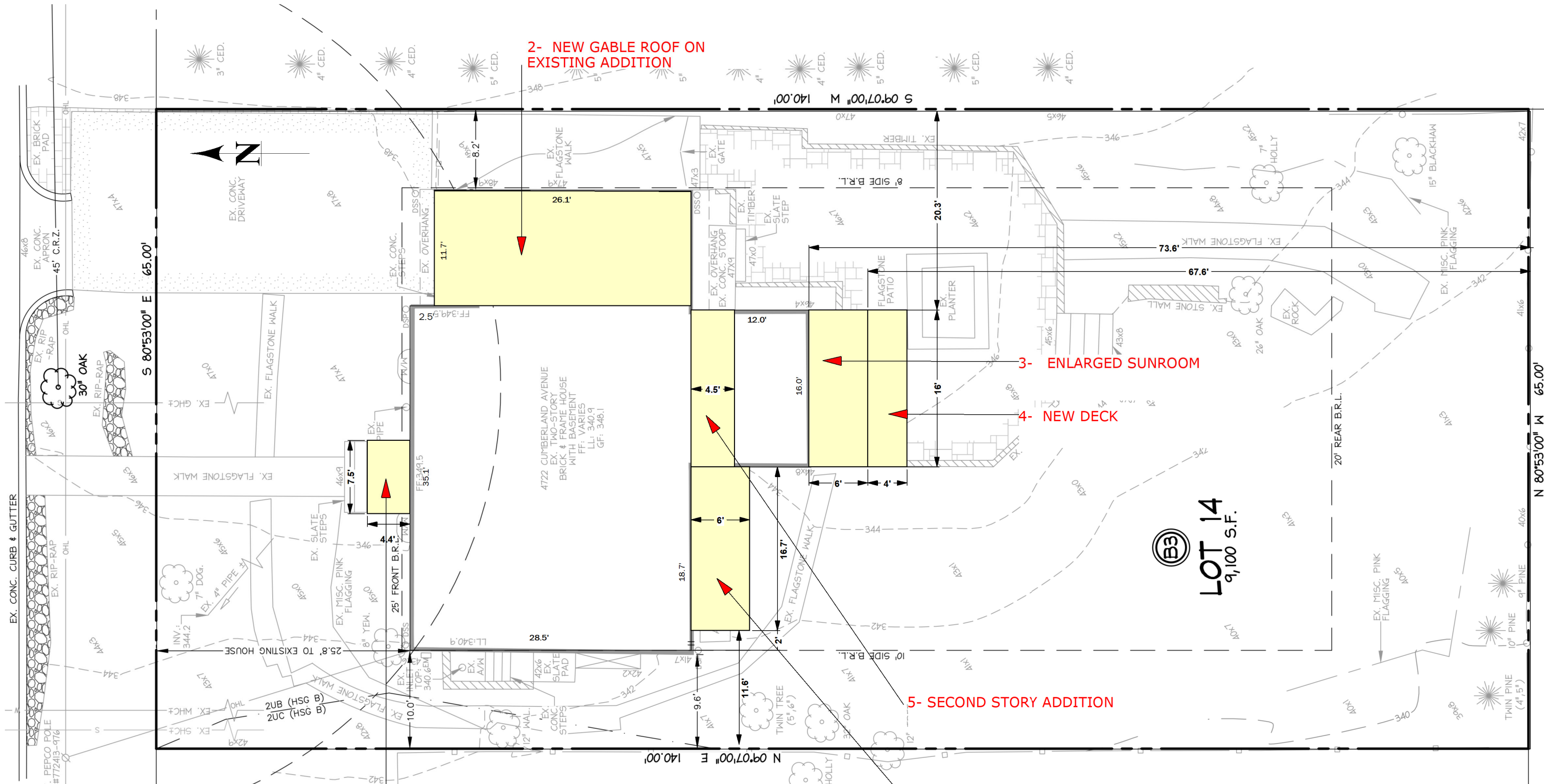
	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*





4722 CUMBERLAND AVE  
CHEVY CHASE, MD

INDEX OF DRAWINGS	SCOPE OF WORK	BUILDING DATA SUMMARY
<ul style="list-style-type: none"> <li>1 COVE SHEET</li> <li>2 SITE PLAN</li> <li>3 PHOTOS OF EXISTING HOUSE</li> <li>4 ORIGINAL 1960 ARCHITECTURAL PLANS</li> <li>5 BASEMENT PLAN</li> <li>6 1ST FLOOR PLAN</li> <li>7 2ND FLOOR PLAN</li> <li>8 ROOF PLAN</li> <li>9 FRONT ELEVATION</li> <li>10 WEST SIDE ELEVATION</li> <li>11 REAR ELEVATION</li> <li>12 EAST SIDE ELEVATION</li> <li>13 3D VIEWS</li> <li>14 3D VIEWS</li> </ul>	<ul style="list-style-type: none"> <li>1- ADD FRONT OPEN PORCH ON EXISTING LANDING.</li> <li>2- REPLACE ROOF OF EXISTING ADDITION AT THE EAST SIDE W/ A GABLE ROOF.</li> <li>3- ENLARGE SUNROOM AT THE REAR.</li> <li>4- ADD NEW DECK AT THE REAR.</li> <li>5- ADD A SECOND STORY AT THE REAR</li> <li>6- ADD A TWO STORY ADDITION W/ BASEMENT AT THE REAR</li> <li>7- REPAIR EXISTING WINDOWS</li> <li>8- REPLACE EXISTING BROKEN SMALL WINDOW AT THE FRONT.</li> <li>9- VARIOUS INTERIOR RENOVATIONS</li> </ul>	<ul style="list-style-type: none"> <li>PHYSICAL ADDRESS : 4722 CUMBERLAND AVE. CHEVY CHASE, MD BLOCK 3, LOT 14</li> <li>OWNERS : AGNES HOLLAND &amp; MATTHEW GROHOWSKI</li> <li>BUILDING TYPE : RESIDENTIAL</li> <li>PROPOSED USE : NO CHANGE</li> <li>CONTACT INFO : TAHANI SHARE TSHARE@YAHOO.COM 202-779-7739</li> </ul>



ZONING SUMMARY			
LOT AREA	DEVELOPMENT STANDARDS	EXISTING	PROPOSED
LOT AREA	6,000 SF MIN	9,100 SF	
LOT COVERAGE	(9,100-6,000)*.001=3.1		
FRONT SETBACK	30-3.1=26.9% MAX	1,504.4 SF = 16.5%	1,700 SF = 18.7%
SIDE SETBACKS	25 FT MIN	25.8 FT	21.4 FT
REAR SETBACK	8 MIN, TOTAL OF 18 FT	10.0 FT, 9.6 FT	11.6 FT, 20.3 FT
	20 FT MIN	73.6 FT	67.6 FT

**1** SITE PLAN  
SCALE: 1"=10'

**CAS ENGINEERING**

CAS ENGINEERING-MID  
10 South Beritz Street  
Frederick, Maryland 21701  
301-607-8531 Phone  
info@casengr.com  
www.casengr.com

CAS ENGINEERING-DC, LLC  
4530 MacArthur Boulevard, NW, 3rd Floor  
Washington, DC 20007  
202-393-7200 Phone  
info@cas-dc.com  
www.cas-dc.com

SCALE: 1"=10 FEET

SHEET TITLE:  
Building Permit Site Plan,  
SWM Plan, and  
Sediment Control Plan

1 OF 1





**LANDIS**

ARCHITECTS | BUILDERS

7059 Blair Rd. NW S. 300

Washington, DC 20012

Phone: 202-726-3777

Fax: 202-882-9703

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VIEWS OF THE HOUSE AS SEEN FROM CUMBERLAND AVE



VIEWS OF THE HOUSE AS SEEN FROM THE BACKYARD

HOMEOWNERS  
AGNES HOLLAND &  
MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
4722 CUMBERLAND AVE,  
CHEVY CHASE, MD

SHEET TITLE  
PHOTOS OF  
EXISTING HOUSE

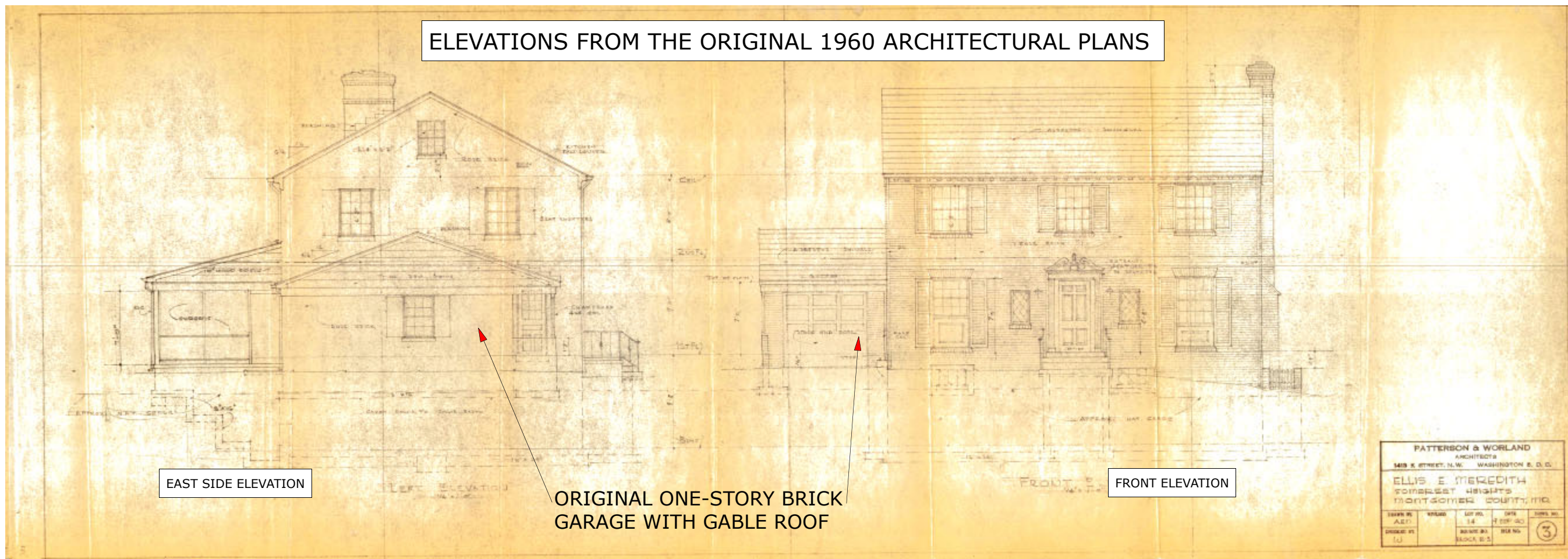
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DATE  
7/14/2024

**A-3**



ELEVATIONS FROM THE ORIGINAL 1960 ARCHITECTURAL PLANS

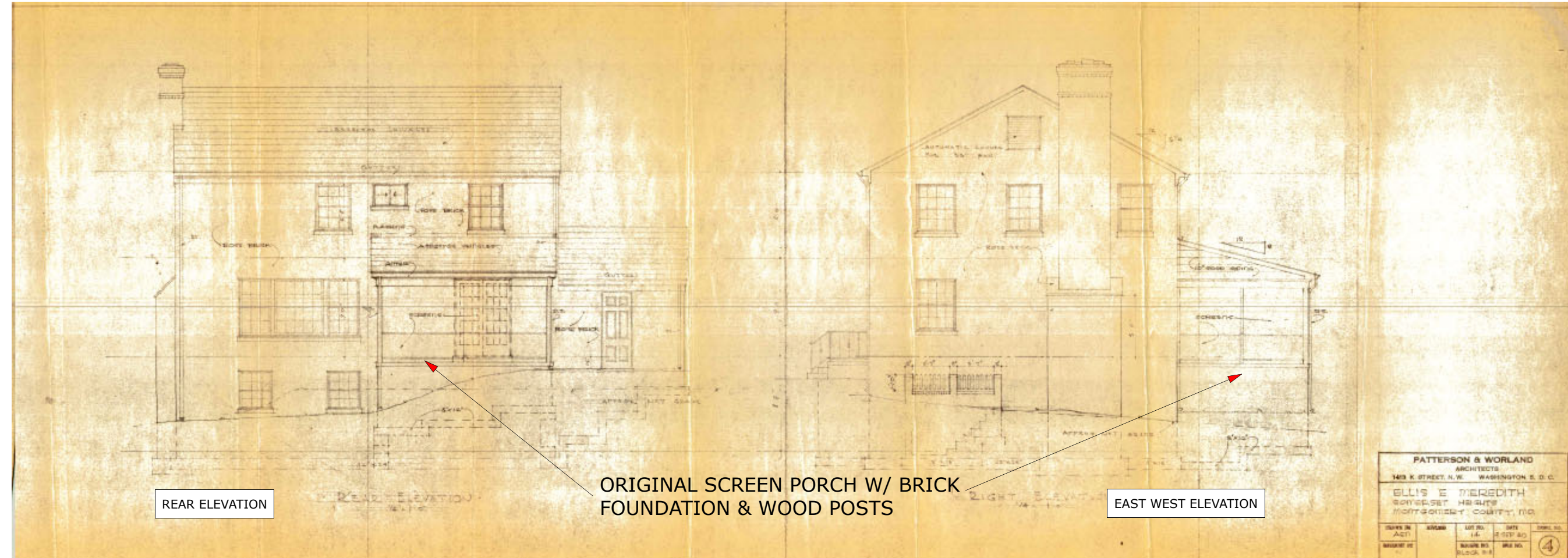


EAST SIDE ELEVATION

ORIGINAL ONE-STORY BRICK GARAGE WITH GABLE ROOF

FRONT ELEVATION

PATTERSON & WORLAND ARCHITECTS			
1415 K STREET, N.W. WASHINGTON, D. C.			
ELLIS E MEREDITH MONTGOMERY HEIGHTS MONTGOMERY COUNTY, MD.			
DATE IN ACT	SCALE	DATE REVISED	SHEET NO.
1/1	1/4" = 1'-0"	7/14/2024	3



REAR ELEVATION

ORIGINAL SCREEN PORCH W/ BRICK FOUNDATION & WOOD POSTS

EAST WEST ELEVATION

PATTERSON & WORLAND ARCHITECTS			
1415 K STREET, N.W. WASHINGTON, D. C.			
ELLIS E MEREDITH MONTGOMERY HEIGHTS MONTGOMERY COUNTY, MD.			
DATE IN ACT	SCALE	DATE REVISED	SHEET NO.
1/1	1/4" = 1'-0"	7/14/2024	4



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www.landisconstruction.com

HOMEOWNERS  
**AGNES HOLLAND &  
MATTHEW GROHOWSKI**

PROJECT DESCRIPTION  
**4722 CUMBERLAND AVE,  
CHEVY CHASE, MD**

SHEET TITLE  
**ORIGINAL 1960  
ARCHITECTURAL  
PLANS**

SCALE  
**= 1'-0"**

DATE  
**7/14/2024**

**A-4**





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HOMEOWNERS  
**AGNES HOLLAND &  
 MATTHEW GROHOWSKI**

PROJECT DESCRIPTION  
**4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD**

SHEET TITLE  
**BASEMENT PLAN**

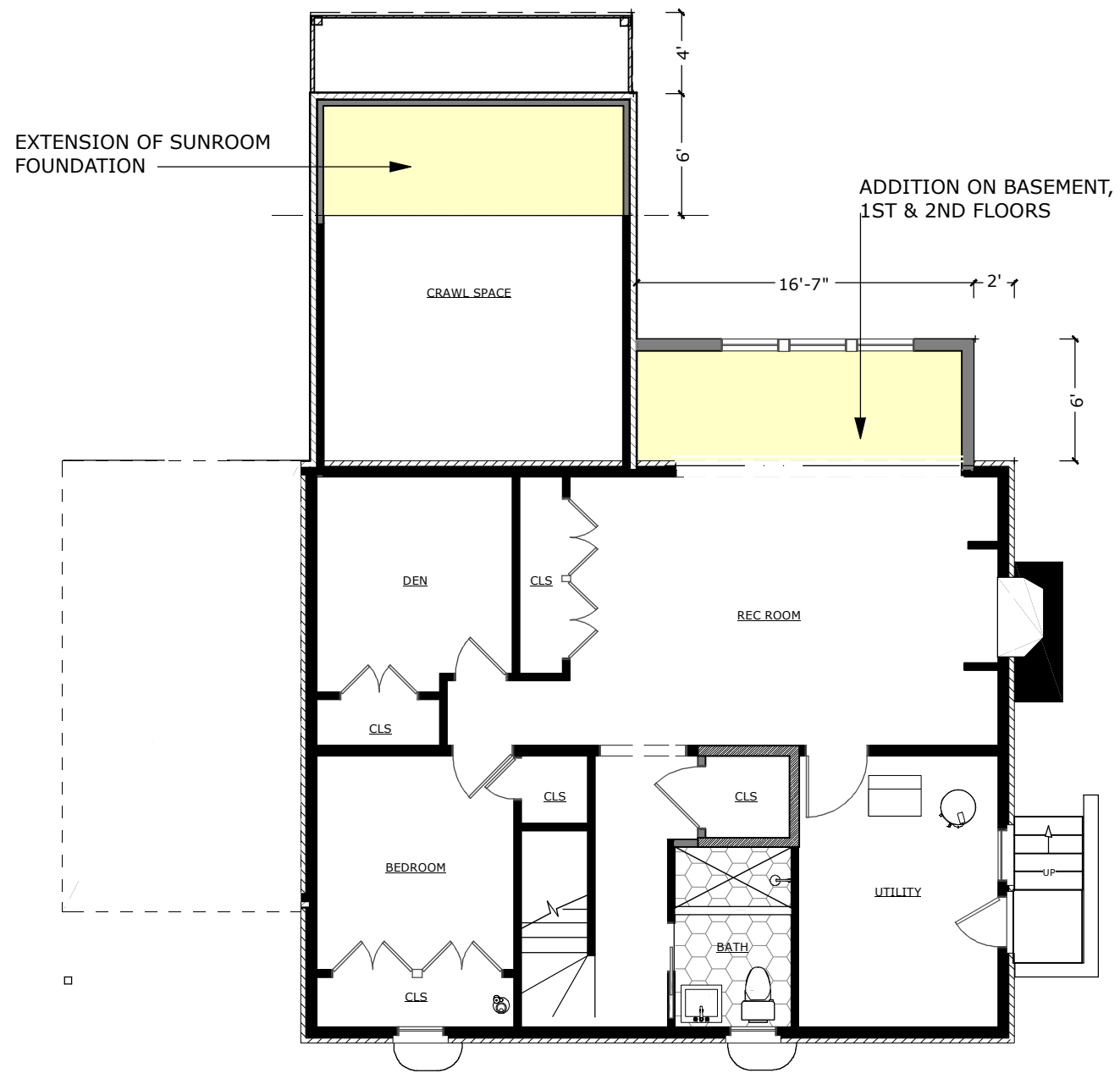
SCALE  
 1/8" = 1'-0"

DATE  
 7/14/2024

**A-5**  
 18



**1** EXISTING BASEMENT PLAN  
 SCALE: 1/8" = 1'-0"



**2** PROPOSED BASEMENT PLAN  
 SCALE: 1/8" = 1'-0"

WALL LEGEND	
EXISTING WALLS	
NEW WALLS	



HOMEOWNERS  
 AGNES HOLLAND &  
 MATTHEW GROHOWSKI

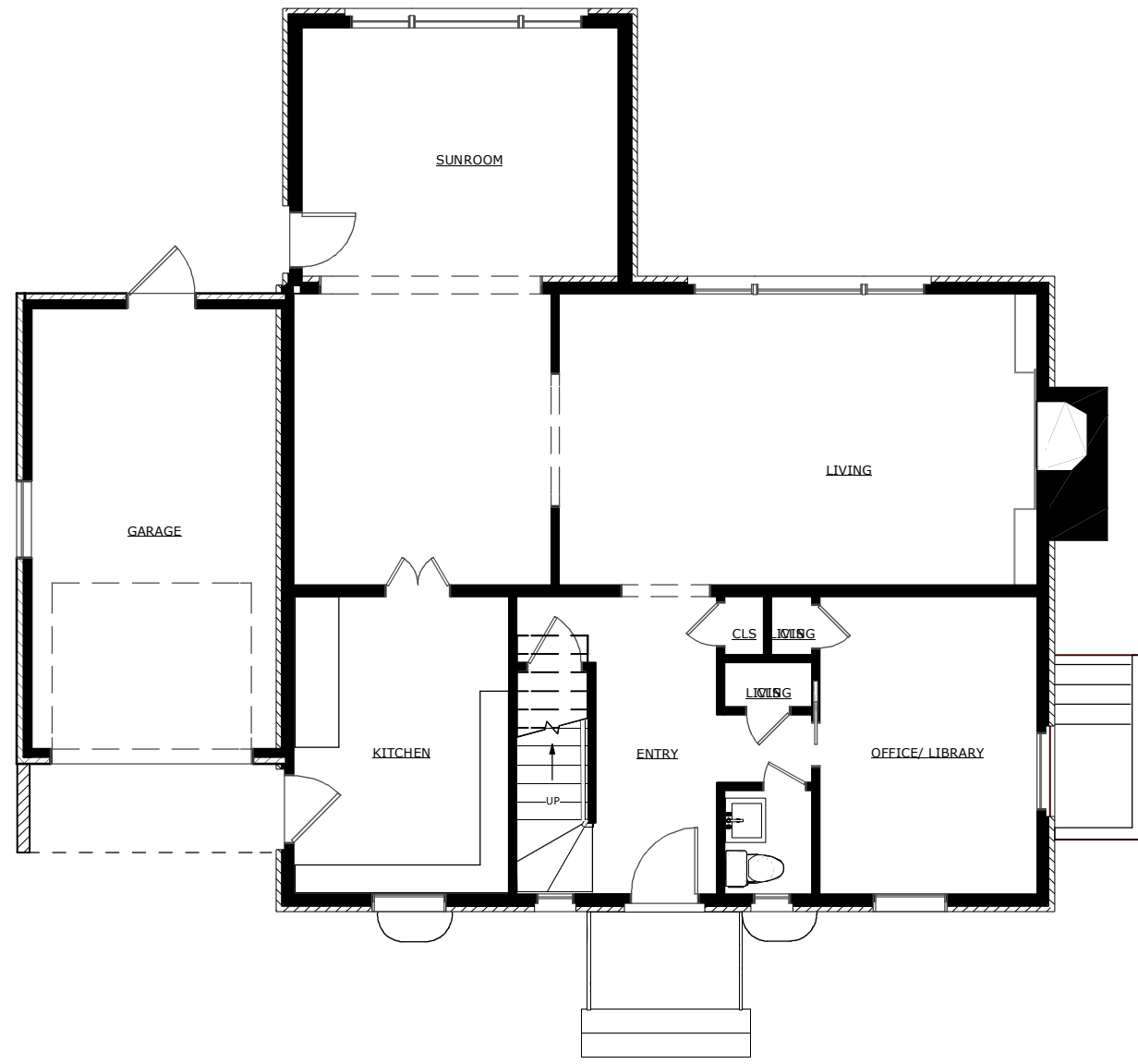
PROJECT DESCRIPTION  
 4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD

SHEET TITLE  
 1ST FLOOR PLAN

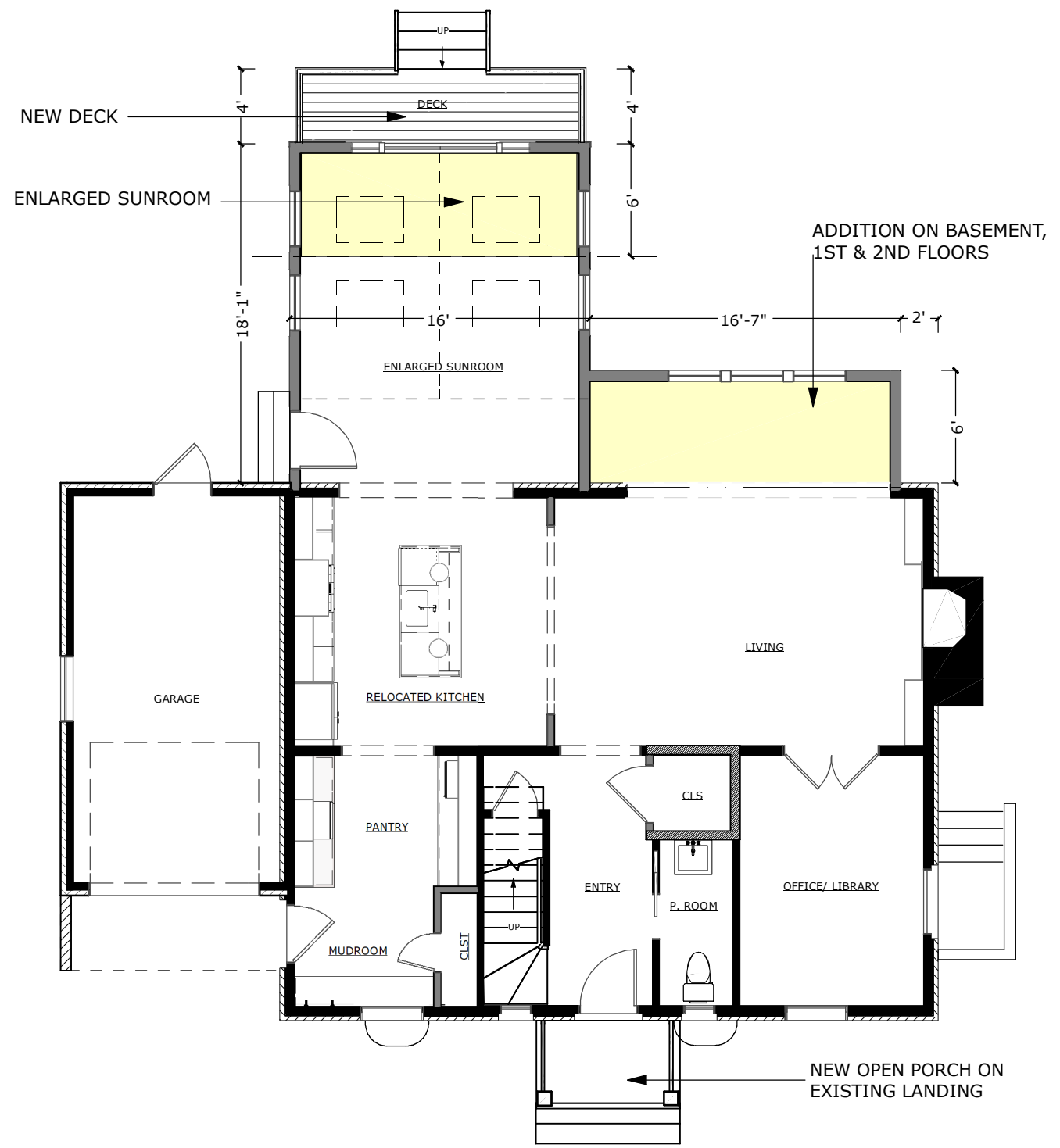
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DATE  
 7/14/2024

**A-6**



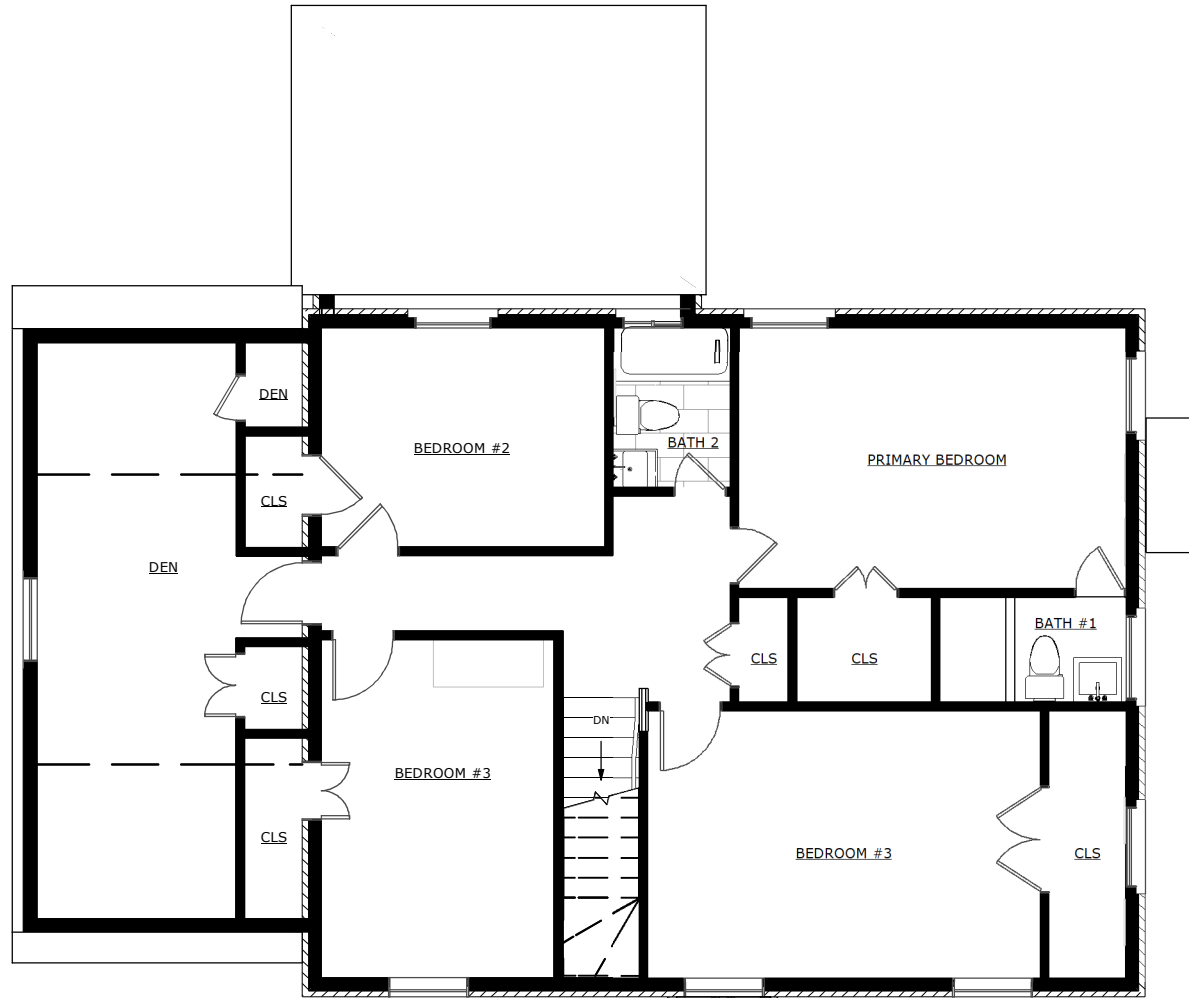
**1** EXISTING 1ST FLOOR PLAN  
 SCALE: 1/8"=1'-0"



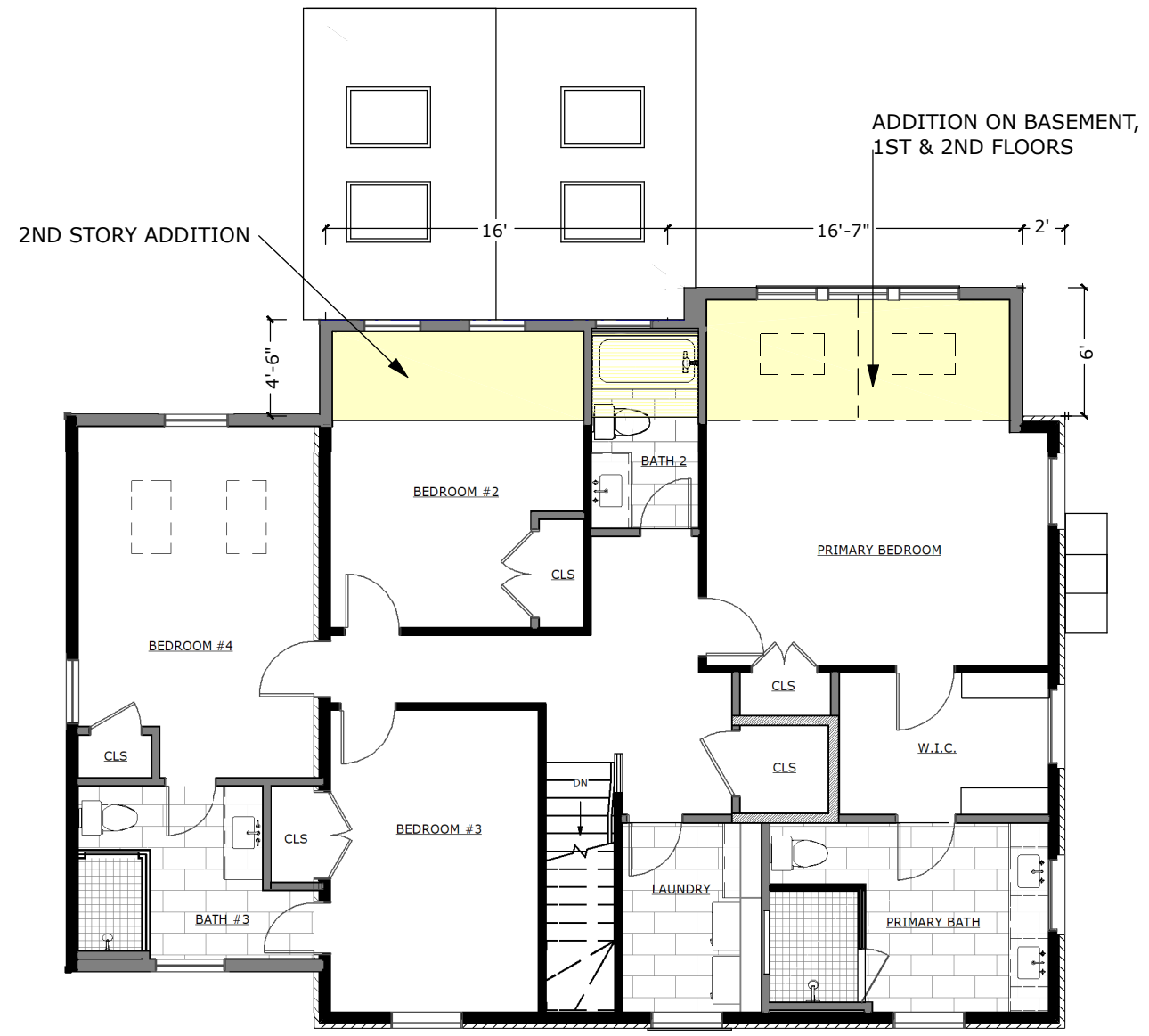
**2** PROPOSED 1ST FLOOR PLAN  
 SCALE: 1/8"=1'-0"

WALL LEGEND	
EXISTING WALLS	
NEW WALLS	





**1** EXISTING 2ND FLOOR PLAN  
 SCALE: 1/8"=1'-0"



**2** PROPOSED 2ND FLOOR PLAN  
 SCALE: 1/8"=1'-0"

WALL LEGEND	
EXISTING WALLS	
NEW WALLS	

HOMEOWNERS  
 AGNES HOLLAND &  
 MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
 4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD

SHEET TITLE  
 2ND FLOOR PLAN

SCALE  
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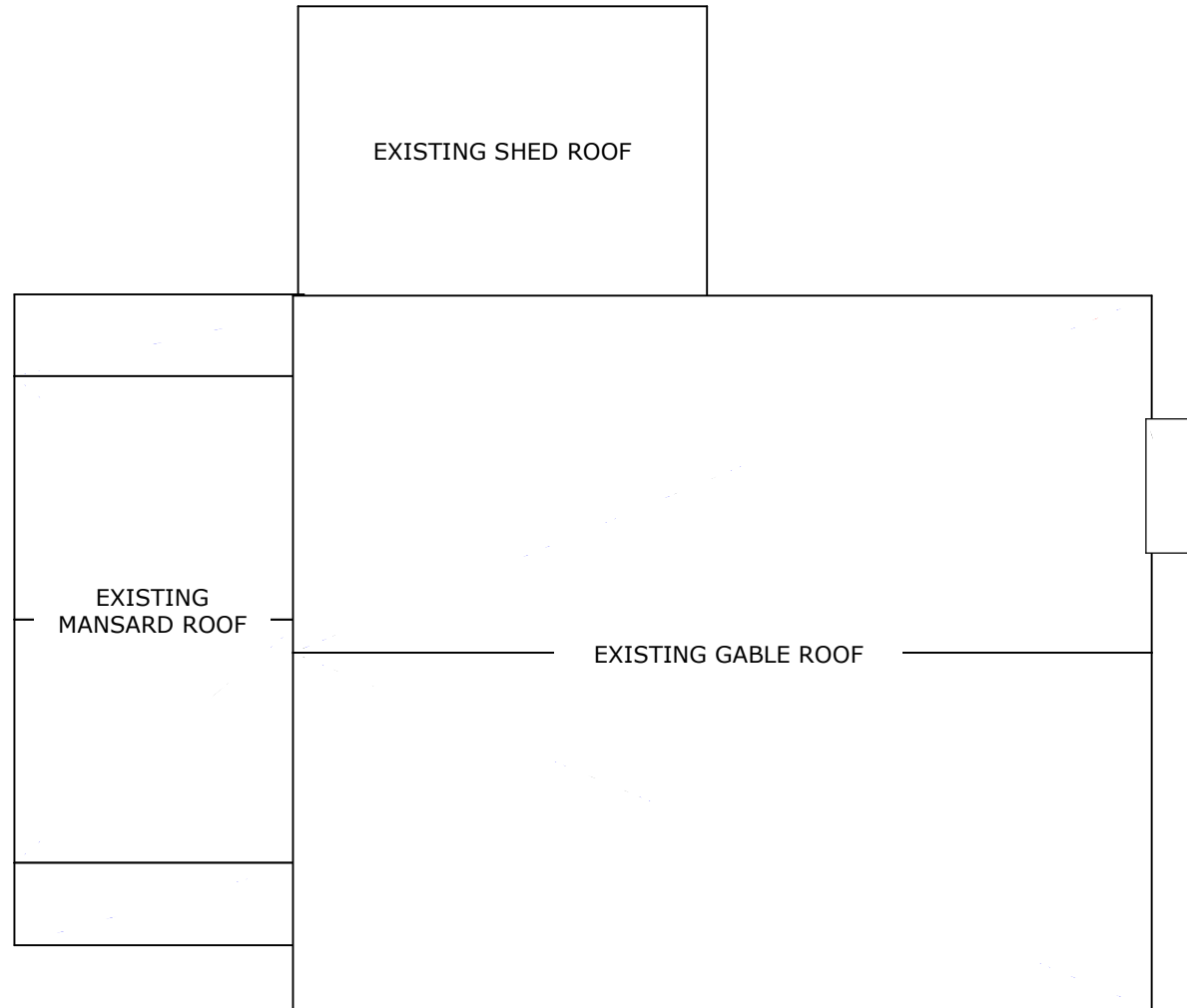
DATE  
 7/14/2024

**A-7**  
**20**

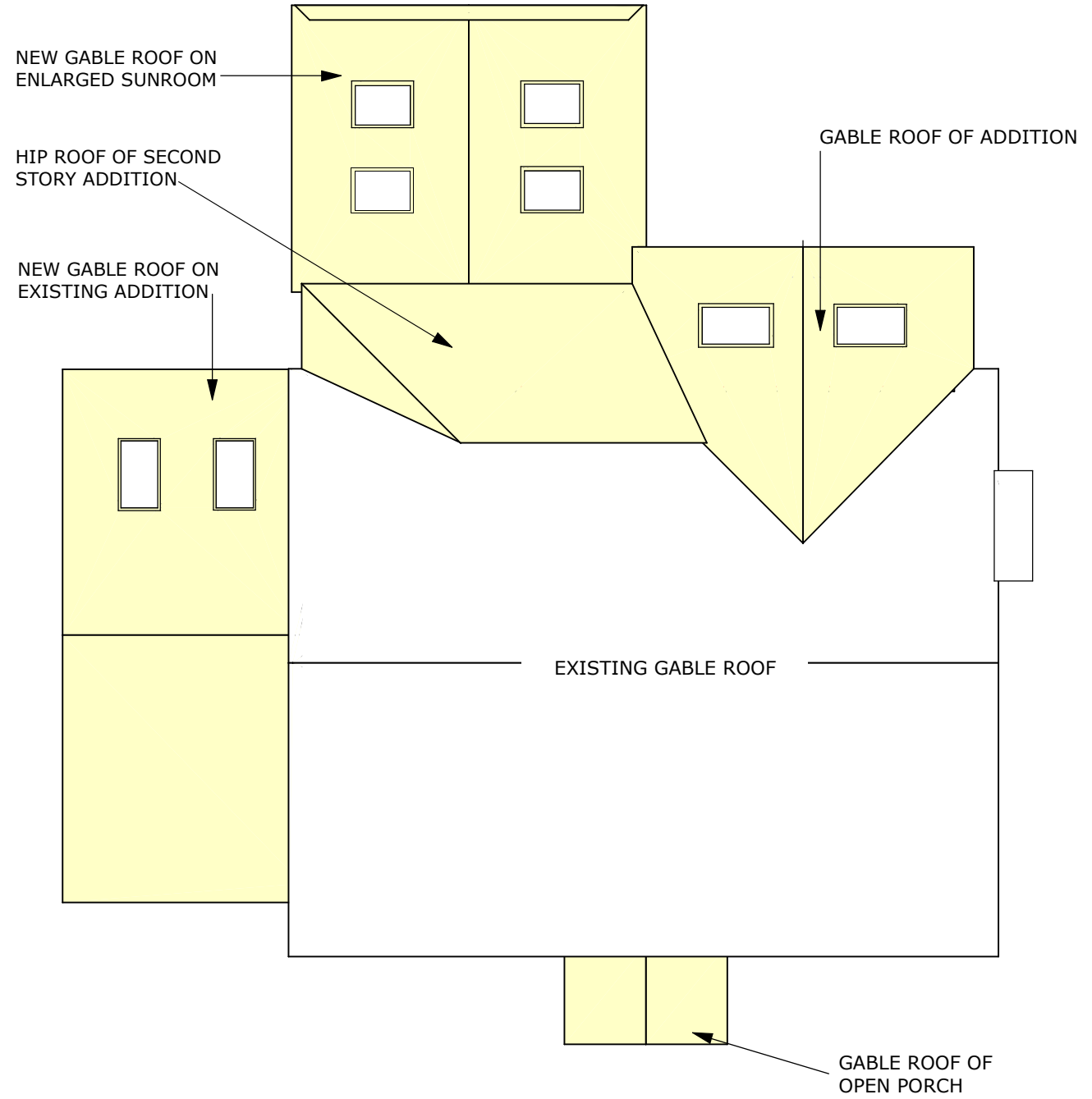


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Washington, DC 20012  
Phone: 202-726-3777  
Fax: 202-882-9703  
www.landisconstruction.com



**1** EXISTING ROOF PLAN  
SCALE: 1/8"=1'-0"



**2** PROPOSED ROOF PLAN  
SCALE: 1/8"=1'-0"

HOMEOWNERS  
AGNES HOLLAND &  
MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
4722 CUMBERLAND AVE,  
CHEVY CHASE, MD

SHEET TITLE  
ROOF PLAN

SCALE  
1/8"=1'-0"

DATE  
7/14/2024

**A-8**



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 Washington, DC 20012  
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 Fax: 202-882-9703  
 WWW.landisconstruction.com

**1** EXISTING FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



**PROPOSED MATERIALS**

**ROOF**  
 ASPHALT SHINGLES TO MATCH EXIST ROOF

**EXTERIOR WALLS**  
 HARDIE SIDING  
 HARIDE CORNER & BAND BOARDS

**EXISTING WINDOWS**  
 REPAIR EXISTING WINDOWS  
 REPLACE SMALL FRONT DAMAGED WINDOW TO MATCH EXIST

**NEW WINDOWS**  
 ALUMINUM CLAD WOOD WINDOWS

**DECK**  
 TREX DECKING & HANDRAILS

**2** PROPOSED FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



HOMEOWNERS  
 AGNES HOLLAND &  
 MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
 4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD

SHEET TITLE  
 FRONT ELEVATION

SCALE  
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DATE  
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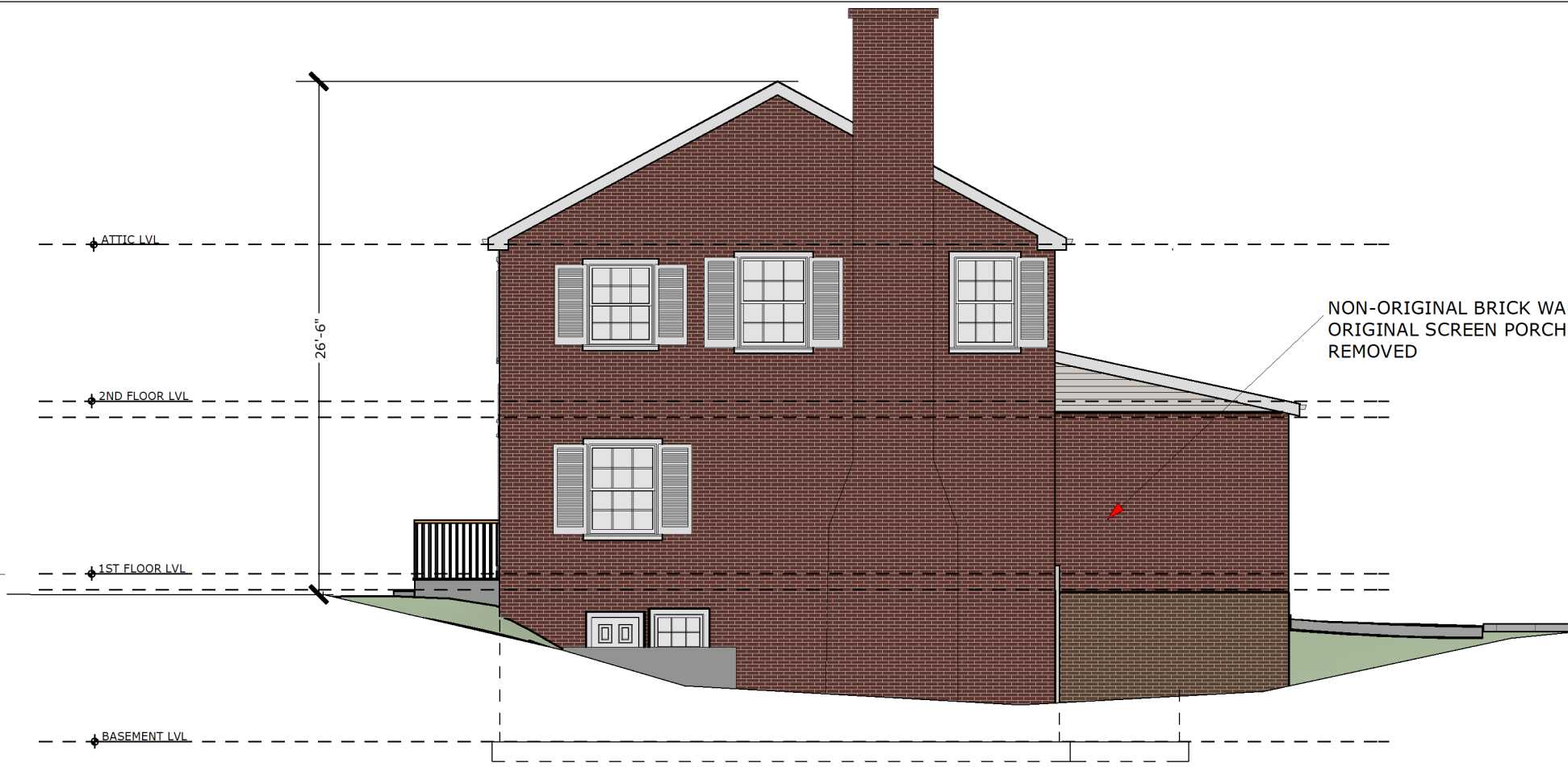
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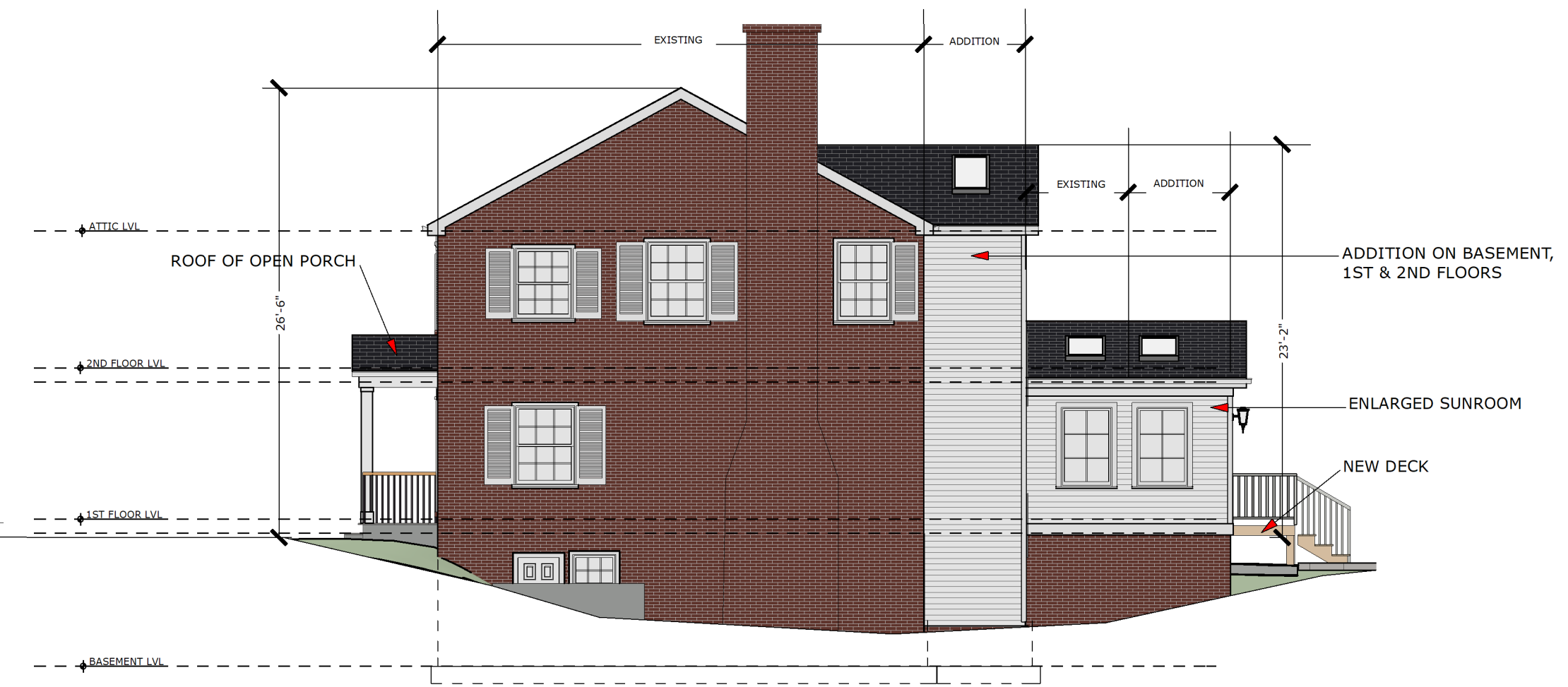
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Washington, DC 20012  
Phone: 202-726-3777  
Fax: 202-882-9703  
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**1** EXISTING WEST ELEVATION  
SCALE: 1/8"=1'-0"



**2** PROPOSED WEST ELEVATION  
SCALE: 1/8"=1'-0"



HOMEOWNERS  
AGNES HOLLAND &  
MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
4722 CUMBERLAND AVE,  
CHEVY CHASE, MD

SHEET TITLE  
WEST SIDE  
ELEVATION

SCALE  
1/8"=1'-0"

DATE  
7/14/2024

**A-10**

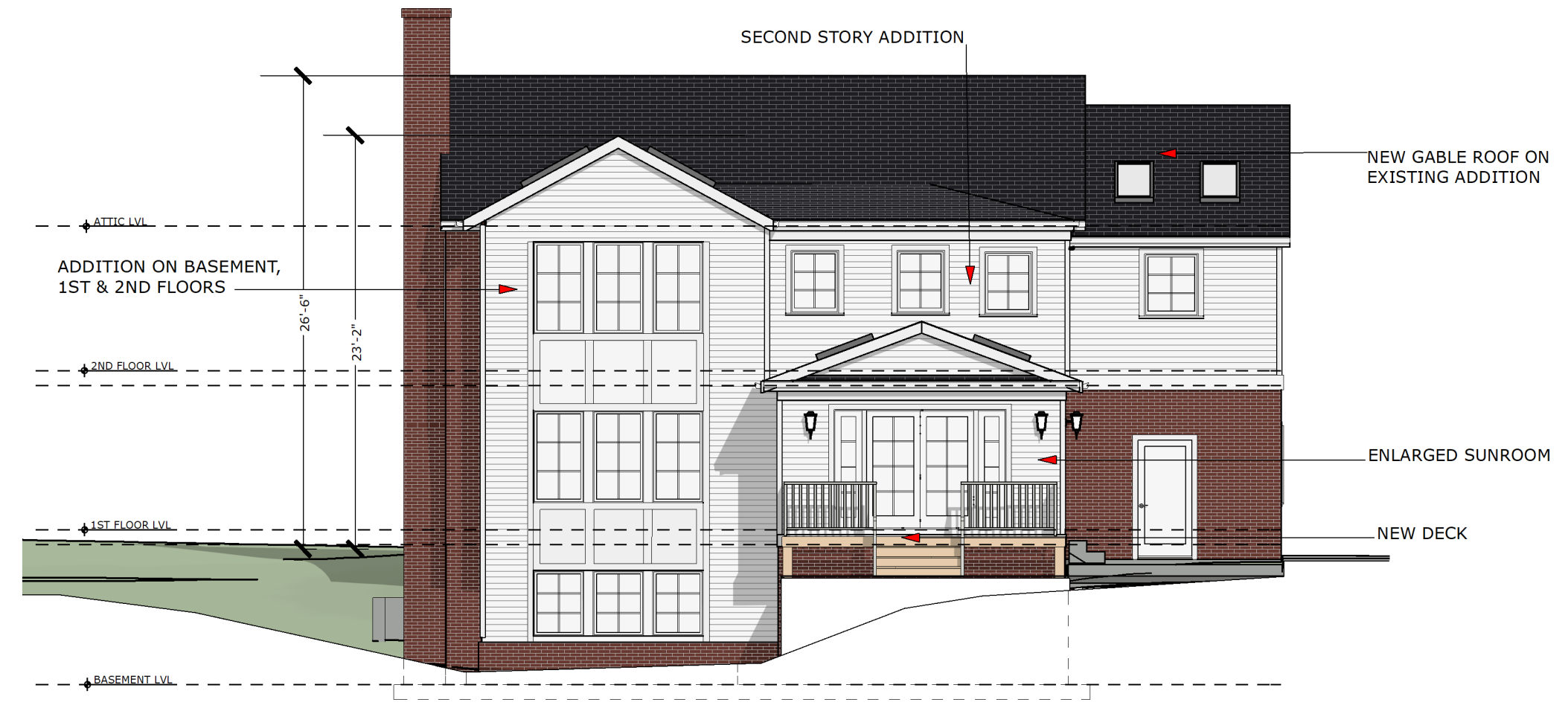


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**1** EXISTING REAR ELEVATION  
 SCALE: 1/8"=1'-0"



**2** PROPOSED REAR ELEVATION  
 SCALE: 1/8"=1'-0"



HOMEOWNERS  
 AGNES HOLLAND &  
 MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
 4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD

SHEET TITLE  
 REAR ELEVATION

SCALE  
 1/8"=1'-0"

DATE  
 7/14/2024

**A-11**  
 24





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HOMEOWNERS  
 AGNES HOLLAND &  
 MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
 4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD

SHEET TITLE  
 EAST SIDE  
 ELEVATION

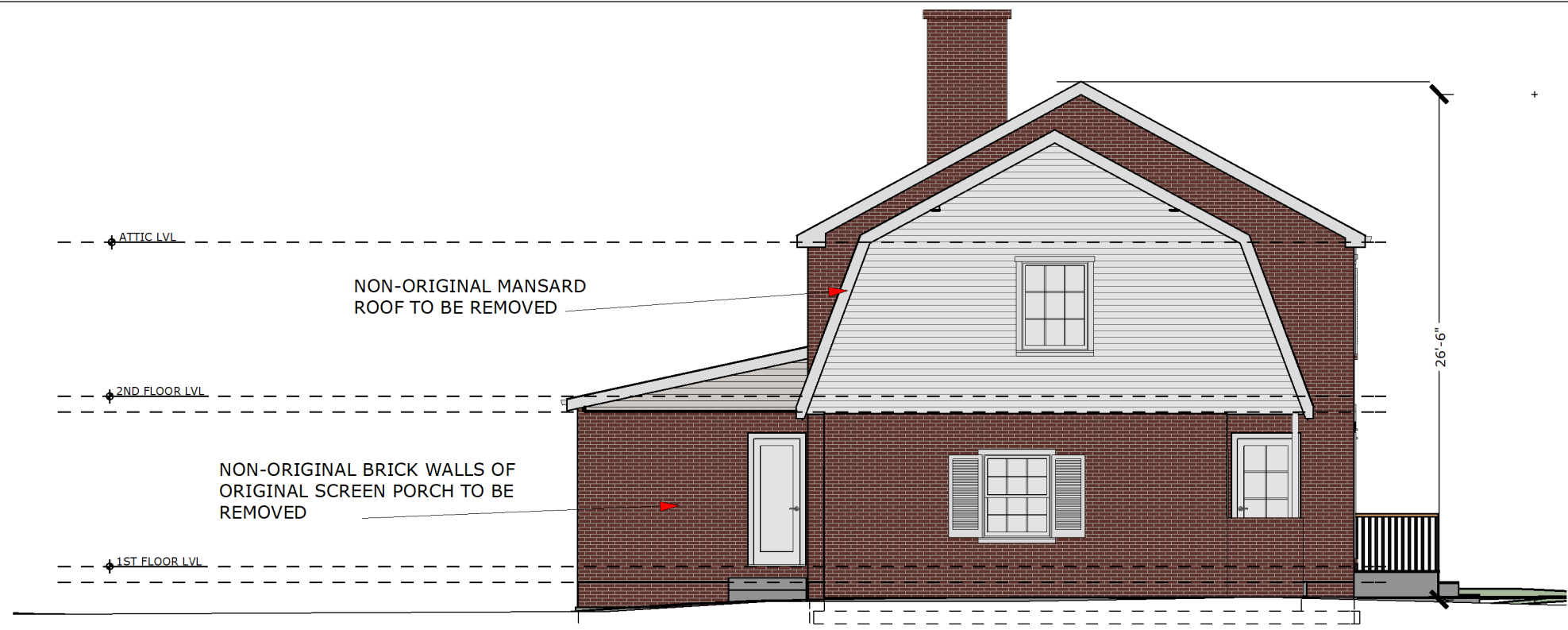
SCALE  
 1/8"=1'-0"

DATE  
 7/14/2024

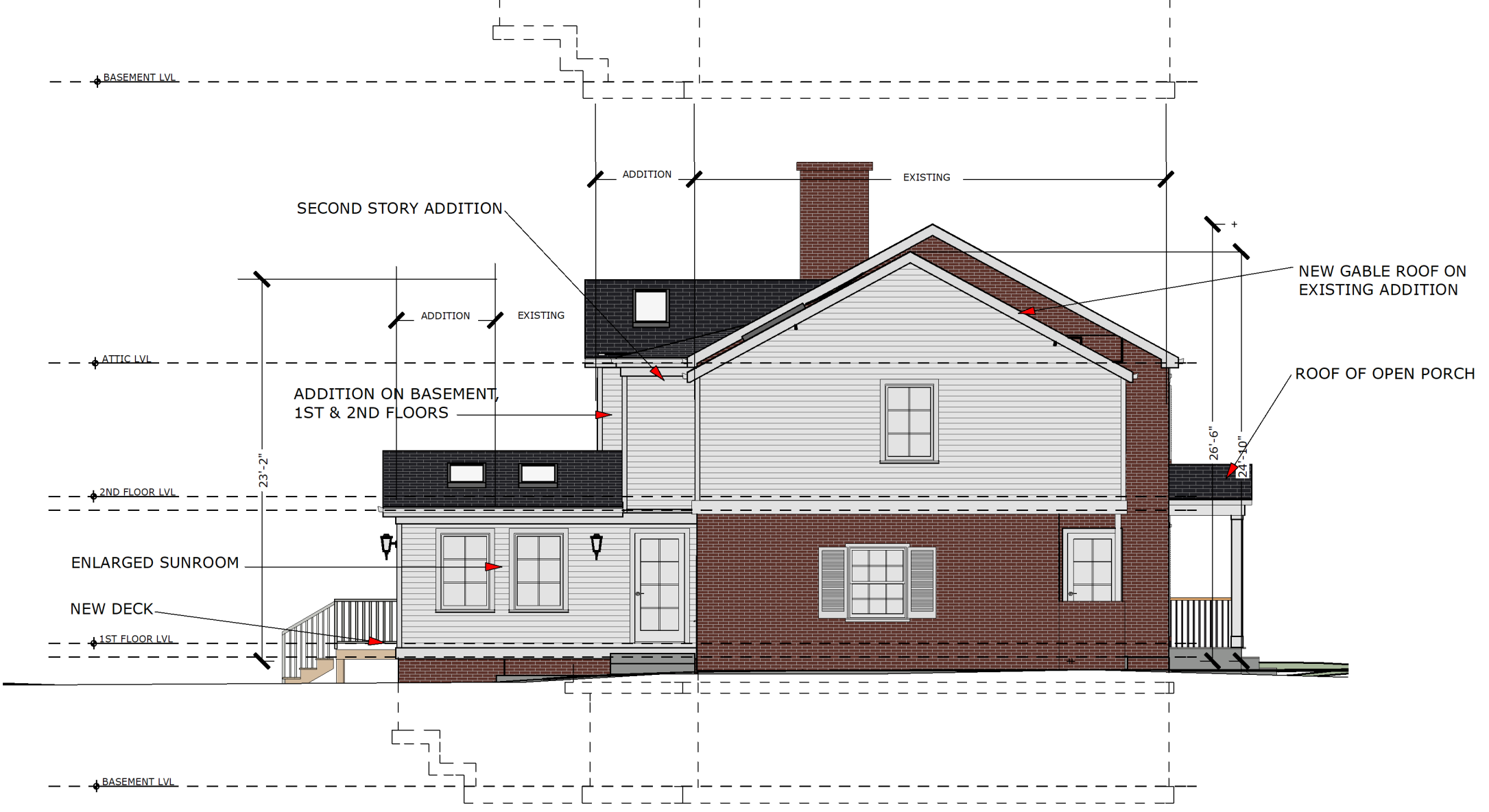
**A-12**

25

**1** EXISTING EAST ELEVATION  
 SCALE: 1/8"=1'-0"



**2** PROPOSED EAST ELEVATION  
 SCALE: 1/8"=1'-0"







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HOMEOWNERS  
 AGNES HOLLAND &  
 MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
 4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD

SHEET TITLE  
 3D VIEWS

SCALE  
 =1'-0"

DATE  
 7/14/2024

**A-13**

26

NEW GABLE ROOF ON  
 EXISTING ADDITION



ROOF OF OPEN PORCH

VIEWS OF THE HOUSE AS SEEN FROM CUMBERLAND AVE



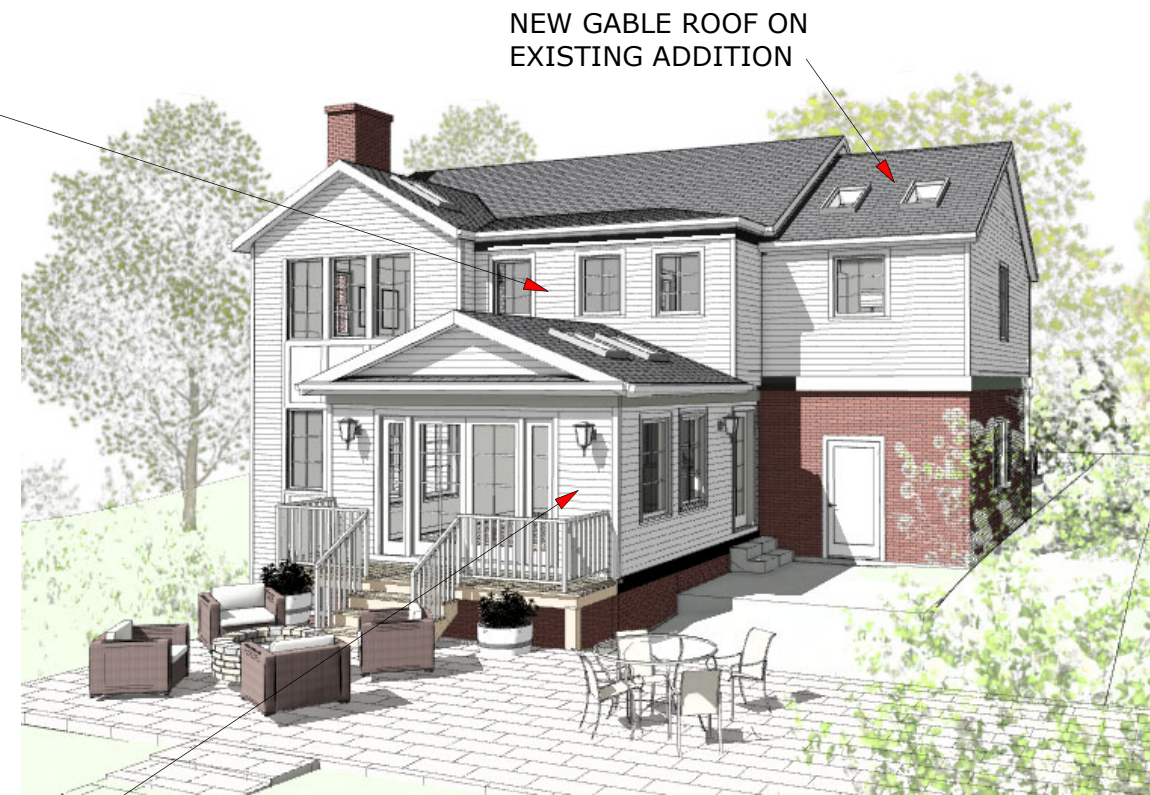


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TWO-STORY ADDITION  
W/ BASEMENT

SECOND-STORY ADDITION



ENLARGED SUNROOM  
W/ NEW DECK

NEW GABLE ROOF ON  
EXISTING ADDITION

VIEWS OF THE HOUSE AS SEEN FROM THE BACKYARD

HOMEOWNERS  
 AGNES HOLLAND &  
 MATTHEW GROHOWSKI

PROJECT DESCRIPTION  
 4722 CUMBERLAND AVE,  
 CHEVY CHASE, MD

SHEET TITLE  
 3D VIEWS

SCALE  
 =1'-0"

DATE  
 7/14/2024

**A-14**