

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3806 Williams Lane, Chevy Chase	Meeting Date:	8/14/2024
Resource:	Master Plan Site #35/076 Williams-Wirgman House	Report Date:	8/7/2024
Applicant:	Phil Leibovitz (Luke Olson, Architect)	Public Notice:	7/31/2024
Review:	Preliminary Consultation	Staff:	Laura DiPasquale
Proposal:	Partial demolition, construction of new two-story rear addition, new detached accessory structure		

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Listed Master Plan Site #35/76, *Williams-Wirgman House*
STYLE: Vernacular Victorian
DATE: c. 1895

The Williams-Wirgman House, built in 1895, is representative of Vernacular Victorian architecture typical of folk housing of this period, with period details including Queen Anne sash (multi light over one window) and a generous wrap around porch with classical columns. The Williams-Wirgman House is significant for its association with the Williams family who settled in the area before it was transformed by suburban development, as well as for its vernacular Victorian design. The house was built in 1895 on Clayton Williams' 17 acre property. Williams Lane was a private access road running the depth of the property from Brookville Road past Clayton Williams House (#3707) and Barn (now a residence at #3713) and then to the house at #3806. Over the subsequent decades, Williams Lane continued to develop as a kinship community composed of members of the Williams family as well as the Simpson Orem clan.¹

¹ Claire Lise Kelly, *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland, 10th Anniversary Edition*, 2011, p. 262: https://montgomeryplanning.org/wp-content/uploads/2017/12/Places-from-the-Past-web_with_cover.pdf

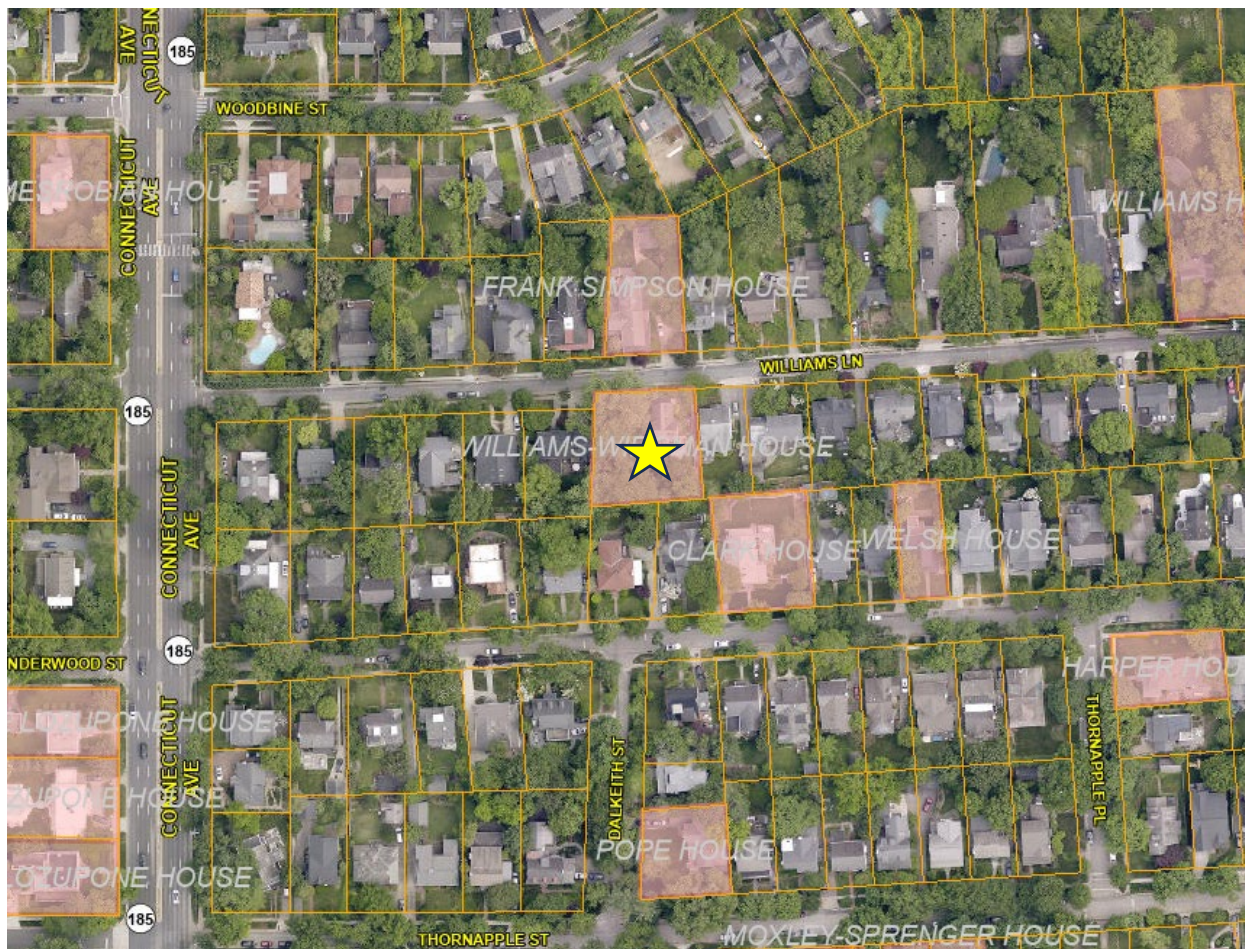


Figure 1: The Williams-Wirgman house at 3806 Williams Lane (shown with yellow star) is located in Chevy Chase Section Five on the south side of Williams Lane.

BACKGROUND

The 1999 *Master Plan Amendment for Chevy Chase Area Individual Sites* identifies the property’s environmental setting as the entire parcel of 11,421 square feet. It notes that, “Along the western boundary of the property are a line of trees, including oak, walnut, and poplar, estimated to be about 100 years old, which should be protected. The line of trees extends across Williams Lane to form the western boundary of 3807 Williams Lane. This property line was the original western limit of the Williams Farm established in 1883.”²

The *Master Plan Amendment* identifies the property as being significant under Criteria: 1A, 1D, 2A:

(1) Historical and cultural significance:

The historic resource:

- a. Has character, interest, or value as part of the development, heritage or cultural characteristics of the County, State, or Nation;
- d. Exemplifies the cultural, economic, social, political or historic heritage of the County and its communities.

² Staff notes that it appears the line of oaks referenced in the *Master Plan Amendment* actually extended onto the property at 3811 Williams Lane, which is not designated, rather than 3807 Williams Lane, which is. Based on Google Streetview, the neighboring oaks were removed between 2009 and 2019.

(2) Architectural and design significance:

The historic resource:

- a. Embodies the distinctive characteristics of a type, period or method of construction”

3806 Williams Lane has a limited permitting history. In 2005, the owners received a HAWP for replacement of the porch steps and railings.³

PROPOSAL

The applicant proposes to construct a two-story cross-gable addition on the rear of the historic house and a freestanding 1.5-story garage in the rear yard of the property accessed by a new gravel or brick double track driveway.

APPLICABLE GUIDELINES

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) (“Regulations”), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code (“Chapter 24A”), the *Secretary of the Interior’s Standards and Guidelines for Rehabilitation* (“Standards”), and pertinent guidance in applicable master plans. [Note: where guidance in an applicable master plan is inconsistent with the Standards, the master plan guidance shall take precedence (section 1.5(b) of the Regulations).] The pertinent information in these documents, incorporated in their entirety by reference herein, is outline below.

Montgomery County Code Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with, or detrimental to the preservation, enhancement, or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

³ 2005 HAWP application #378590:
https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640009/Box077/35-76-05A_Williams%20Wirgman%20Hse_3806%20Williams%20Lane_03-27-2002.pdf

- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site, the Commission’s focus in reviewing the proposal should be the *Secretary of the Interior's Standards for Rehabilitation*. The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a double-width parcel with a two-story, asymmetrical cross-gabled vernacular Victorian house clad in horizontal wood siding with a wrap-around porch occupying the eastern half of the property, and a large side yard with mature trees on the western half of the property. The T-shaped plan front-gable portion of the building, which faces Williams Lane, is approximately 20 feet in width by 18 feet in depth, widening to 28.4 feet by 18.5 feet in the side-gable portion towards the rear. This preliminary consultation application proposes to construct a two-story rear addition with a cross gable roof that appends to the rear elevation and intersects with the rear roof slope, roughly doubling the size of the existing building. The application also proposes to construct a freestanding garage at the rear of the parcel, accessed by a new gravel or brick double track driveway.

Rear Addition

The footprint of the proposed rear addition would be approximately 33 feet in depth by 35 feet in width, and would roughly match the height of the existing building. The plans call for the retention of a two-foot return of the existing rear wall at each corner, with the addition extending in that narrower width for approximately 7.5 feet before widening to 35 feet, aligning with the plane of the existing west elevation and extending approximately 6.5 feet in width beyond the plane of the existing east elevation. The first and second floor levels of the proposed addition would match those of the existing building. An

intersecting gable roof set one foot lower than the ridge line of the existing roof would connect the addition to the existing building. The side gables along the east and west elevation would match the height of the existing roof. The addition would be clad in five-inch reveal painted composite Dutch cove lap siding, to match that of the existing building, with painted composite trim, and clad two-over-two simulated-divided-light windows. The specific type/brands of siding and trim are not specified, nor is the window cladding type or brand of windows.

For the most part, the application proposes to retain the historic character of the property, with removal of historic materials limited to the rear wall and substantial portion of the rear roof slope, satisfying *Standard 2*. Staff notes that the drawings and renderings do not show the historic corbelled chimney on the west elevation, but that this character-defining feature should be retained and preserved as part of any redevelopment of the property, and shown on subsequent elevation drawings.

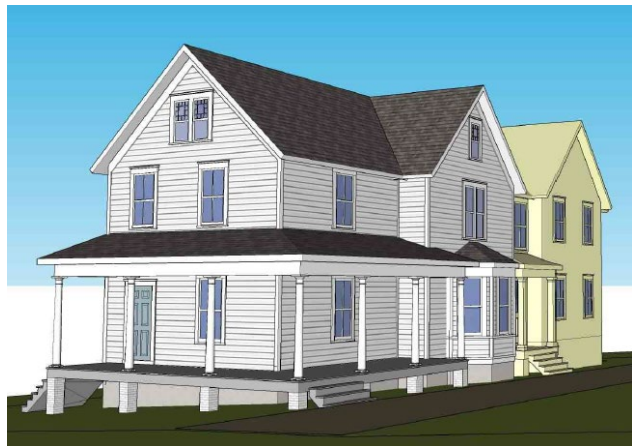


Figure 2: Elevations and renderings (left) from the submission packet are missing the corbelled chimney seen in the photographs (right).



Figure 3: A secondary corbelled chimney is visible on the east elevation of the existing building (right), but not shown on the drawings or renderings in the submission. While this chimney also appears to be original, it is not as character-defining of the property as the larger chimney on the west elevation.

The location of the proposed addition at the rear and the use of an intersecting gable roof that is set approximately one foot lower than the existing roof ridge provides some differentiation between the new and old, identified as key to a successful new addition in *Standard 9*, and generally the fenestration of the proposed addition is compatible with that of the existing house in terms of scale and rhythm; however, the scale, massing, and some features of the proposed addition warrant additional consideration. The side gables on the east and west elevations of the proposed addition rise to the same height and are the same width as those of the historic building. The footprint of the proposed rear addition would be approximately 33 feet in depth by 35 feet in width, aligning with the plane of the existing west elevation, but extending approximately 6.5 feet in width beyond the plane of the existing east elevation at the rear. The east elevation also shows a prominent new chimney, further drawing attention to itself. The Secretary of the Interior’s *Guidelines for Rehabilitating Historic Buildings*, which extrapolates on the more succinct *Standards for Rehabilitation*, provides guidance on new exterior additions and related new construction, explaining that “generally, a new addition should be subordinate to the historic building. A new addition should be compatible, but differentiated enough so that it is not confused as historic or original to the building.”⁴ Given the scale and massing of the addition nearly matching that of the existing house, along with the extension of the addition beyond the plane of the historic building and use of a prominent exterior chimney, the addition does not present as subordinate to the historic building and should be reduced in size and scale. Depending on the cladding material, the addition may also be difficult to differentiate from the historic building. The proximity of the projecting covered stoop and extension of it beyond the existing bay window detracts from the historic features of the existing building, altering spatial relationships that characterize the building. Staff recommends simplifying the proposed side entry and/or shifting it further towards the rear. As presented, the addition fails to comply with *Standard 9* or the *Guideline for New Exterior Additions and Related New Construction*.

⁴ *The Secretary of the Interior’s Standards for the Treatment of Historic Properties, with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*: <https://www.nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf>

The application also notes that the existing windows are in poor condition and proposes to replace them in kind with painted wood true-divided-light double-hung windows. Provided the severity of deterioration is such that the windows cannot be repaired, replacement to match the original appearance would satisfy *Standard 6*. Documentation of the window condition and a full specification packet for replacement of the existing windows as well as those in the new addition should be submitted with the HAWP.

Garage/Accessory Building and Driveway

The proposed garage has a footprint of 20 by 23 feet and features a front gable roof with large, shed dormers on the sides. The garage would be set back over 80 feet from Williams Lane, and accessed by a new curb cut and driveway, which the applicant has identified as gravel or brick double-track leading to a tinted concrete parking pad at the garage. The driveway would be immediately adjacent to the house, leaving a large portion of the yard intact. Fencing is not identified on the application. The site plans show two large existing trees, which the designation of the property in the *Master Plan Amendment* identify as character-defining features of the property. No formal tree survey, protection plan or arborist reports were submitted as part of the preliminary consultation application, but a survey at a minimum and potentially a tree protection plan will be required when submitting for the HAWP.

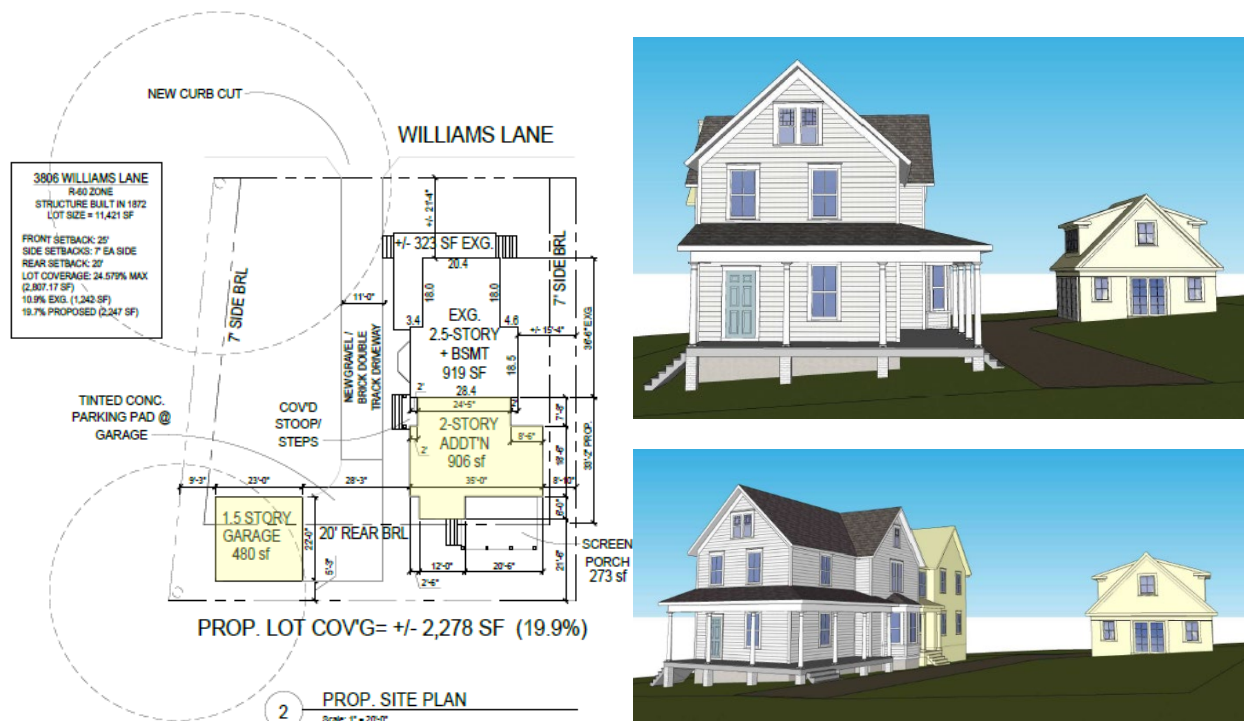


Figure 4: Site plan and renderings showing the proposed rear addition and accessory structure (shaded in light yellow).

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments; receive any necessary approvals from the Town of Chevy Chase; and return with an Historic Area Work Permit application.

Staff Requested HPC Feedback

- Appropriateness of the scale and massing of the rear addition.
- Appropriateness of the construction of an accessory structure, its location, scale, and massing.
- Suggested cladding materials for the addition and accessory structures.
- Appropriateness of the construction of a driveway, and if so, the preferred material.
- Any other comments.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# DATE ASSIGNED

APPLICANT:

Name: Phil Leibovitz (Contract Purchaser) E-mail: leibophil@gmail.com
Address: 4705 West Virginia Ave City: Bethesda Zip: MD
Daytime Phone: 301-913-5995 Tax Account No.:

AGENT/CONTACT (if applicable):

Name: LUKE OLSON E-mail: LOLSON@GTMARCHITECTS.COM
Address: 7735 OLD GEORGETOWN RD STE 700 City: BETHESDA Zip: 20814
Daytime Phone: 240-333-2021 Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name No/Individual Site Name Williams Wirgman House

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 3806 Street: Williams Lane
Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave
Lot: Block: Subdivision: 0014 Parcel: P452

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other: curb cut and driveway

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date 7/24/24

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

LUNDBERG MADELEINE M TRUSTEE
LUNDBERG KRISTOFFER SVEN MATTIAS
TRUSTEE ETAL
3806 Williams Lane
Chevy Chase MD 20815

Owner's Agent's mailing address

Luke Olson
7735 Old Georgetown Rd Ste 700
Bethesda, MD 20814

Adjacent and confronting Property Owners mailing addresses

THOMAS J & CYNTHIA A EASTMENT
3715 Underwood St
Chevy Chase MD 20815

WILLIAM AND RACHEL DELONG
3717 Underwood St
Chevy Chase MD 20815

DENISE PERNICK
3810 WILLIAMS LN
CHEVY CHASE MD 20815-4952

N GARLAND MILLER TRUST
3804 WILLIAMS LN
CHEVY CHASE MD 20815-4952

TERRENCE DAY &
CAROLYN F HAMMONDS
3805 WILLIAMS LN
CHEVY CHASE MD 20815-4953

PETER BASS & CONNOR NUALA
3807 WILLIAMS LN
CHEVY CHASE MD 20815-4953

WILLIAM SINCLAIR
3811 WILLIAMS LN
CHEVY CHASE MD 20815-4953

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

EXISTING 2.5 STORY WOOD-FRAME VERNACULAR FARMHOUSE BUILT IN 1895. GABLE-FRONT T-SHAPED PLAN WITH REAR WITH AND ONE STORY FRONT PORCH WRAPPING AROUND RIGHT SIDE. CLAD IN PTD. WOOD DUTCH COVE LAP SIDING W/ 5" REVEAL, DOUBLE HUNG 2 OVER 2 AND 1 OVER 1 WINDOWS, ASPHALT SHINGLE ROOF, PTD. ALUM K-STYLE GUTTERS AND SQ. DOWNSPOUTS. FROM MHT FORM:

The Williams-Wirgman House, built c1895, is a 2 1/2 story vernacular farm house located on the south side of Williams Lane in today's Village of Chevy Chase, Section 5. The frame gable-front house has a tee shaped plan with rear wing and a one story porch that wraps around the front (north) and side (west) elevations. The structure is clad with an unusual and noteworthy type of wide drop or German siding with triple beading. The cross gable roof is protected by asphalt shingles and features a corbeled brick chimney.

The north elevation facing Williams Lane, consisting of the two-bay gable end of the front block, is the principal facade of the house. This elevation includes a single, side entry door and 2/2 window on the first story, and two 2/2 windows on the second story. A pair of windows (one 1/1 replacement and one original Queen Anne multi-light-over-one sash) is located in the attic level of the gable end. A narrow raking cornice board separates the end wall from the slightly overhanging, boxed raking cornice of the gable roof. The wrap-around porch has a half-hipped roof supported by narrow, wood columns with entasis. A spindle column porch railing spans the columns.

The east gable of the rear wing has Queen Anne multi-light over one sash. Interior details throughout the house are typical of the 1890's era, with beaded moldings, bulls-eye corner blocks, scrolled floor registers and Eastlake style turnkey doorbell.

The rear wing may have been an older hall and parlor structure. A box stair once stood at the northwest corner of the rear wing. This feature was removed after 1968, at the same time that the present cellar stairs were added. The stone foundation of the rear section has a different character from the front cellar which may have had dirt walls later reinforced with stone and more recently with concrete block. If the rear section is older, it does not predate 1883 when Clayton Williams bought the unimproved parcel. Exterior siding, windows and interior trim are today all consistent with front and rear sections. After 1968, a rear pantry and kitchen porch (southeast corner) were replaced with a rear deck, and replacement first story windows were installed on the east side of the rear wing.

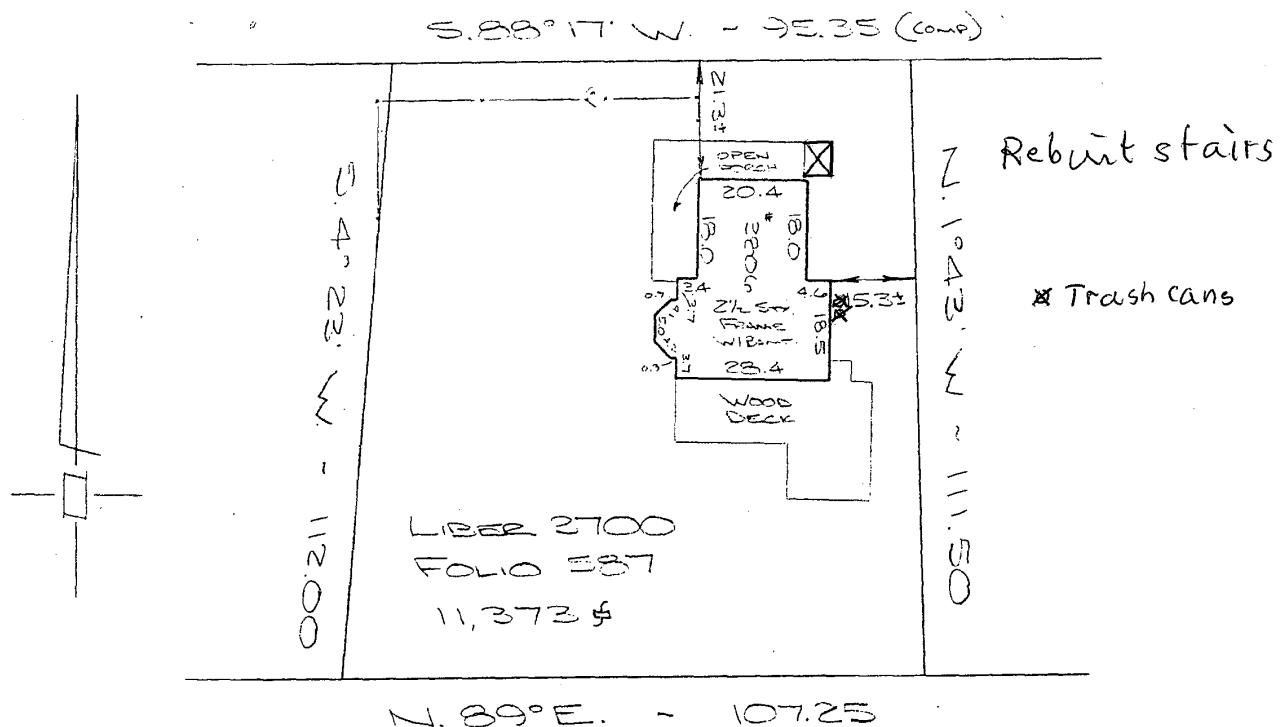
Description of Work Proposed: Please give an overview of the work to be undertaken:

We're proposing a rear 2-story side gable addition to match the depth/height/roof profile of the existing side gable wing of the rear house, and connected to the existing house via a recessed hyphen with a lower roof profile, with a smaller rear gable 2-story wing in the rear. The addition will also have a one-story entry portico on the right side and a one-story screened porch on the rear. The rear side gable addition will project past the current left side wall of the existing house to provide the needed square footage while maintaining the open park-like character of the lot on the right side (this is a concept we previously used for the 3923 Washington Street addition which we have provided as a precedent). We'd welcome HPC feedback on appropriate materials for the addition, but were considering ptd. composite dutch cove lap siding with a 5" reveal to match the existing, ptd. composite trim, clad-wood sdl divided light 2 over 2 windows and doors, and an architectural asphalt shingle roofing.

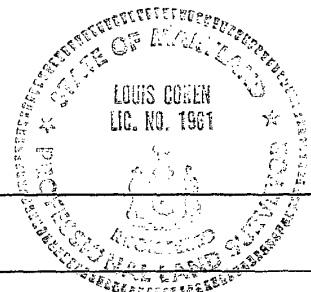
Williams Lane is an extremely narrow street with limited street parking available, and the lot does not currently have any off-street parking, so we're proposing to install a new curb-cut and driveway leading to a new detached 1.5 story 2-car garage and parking pad in the rear. The curbcut will need to be concrete per County standards, but the driveway beyond could be gravel or brick double track extending back to a tinted concrete parking pad at the garage. We're holding the driveway to an 11' width to minimize impact to an existing tree on the front right property corner.

The existing windows are in rough shape and some have been modified as a part of previous repairs, so we're proposing to replace them in-kind with ptd. wood TDL double hung windows. There are some structural issues which we plan to address, and we'd plan to fully-rehab the exterior.

WILLIAMS LANE



Note: This property does not lie within the limits of a flood hazard area as delineated on the maps of the national flood insurance program.



CAPITOL SURVEYS

NOTE: This drawing is not intended to establish property lines or is the existence of corner markers guaranteed. All information shown hereon taken from the and records of the county or city in which the property is located.

HOUSE LOCATION
 LIBER 2700 FOLIO 587
 CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND
 Recorded in Plat Book — Plat — Scale 1" = 30'

I hereby certify that the position of all of the existing improvements on the above described property have been established by a transit tape measurement and that unless otherwise shown there are no visible encroachments.

[Signature]
 LOUIS COHEN
 Registered Land Surveyor
 Maryland No. 1961

DATE: FEB. 18, 1987

CASE: L-1289

FILE: 25964



3806 WILLIAMS LANE

SCOPE OF WORK: 2-STORY REAR ADDITION WITH NEW SIDE PORTICO AND REAR SCREENED PORCH. NEW CURBCUT AND DRIVEWAY LEADING TO 1.5-STORY DETACHED GARAGE. REPLACE EXISTING DETERIORATED/MODIFIED WINDOWS IN-KIND. ENACT STRUCTURAL REPAIRS & REHAB EXG. EXTERIOR SIDING, TRIM, COLUMNS, DECKING, ROOFING, CHIMNEYS, ETC.

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24.0347 3806 WILLIAMS LANE CHEVY CHASE MD 20815

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EXISTING CONDITIONS PHOTOS

GTM ARCHITECTS

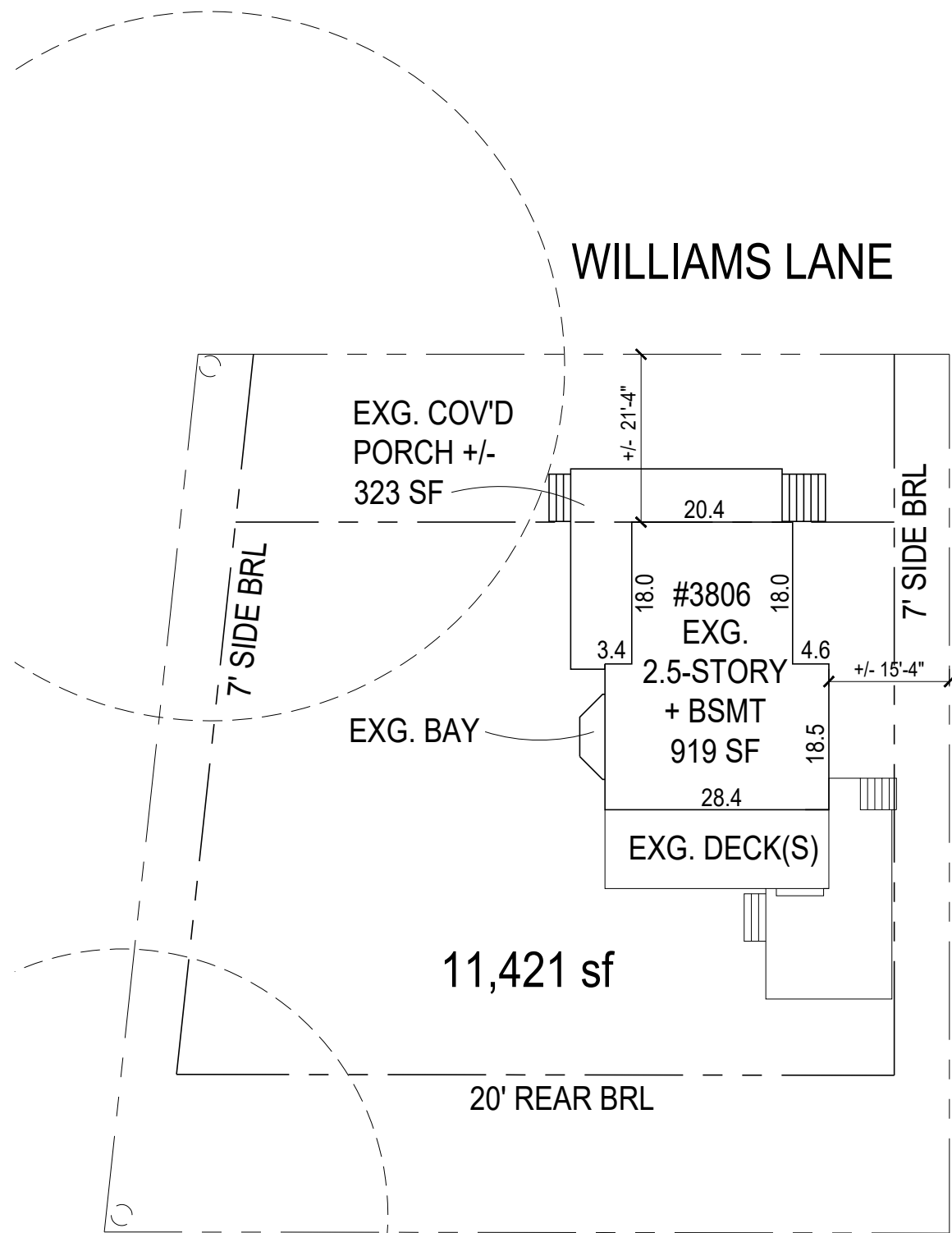




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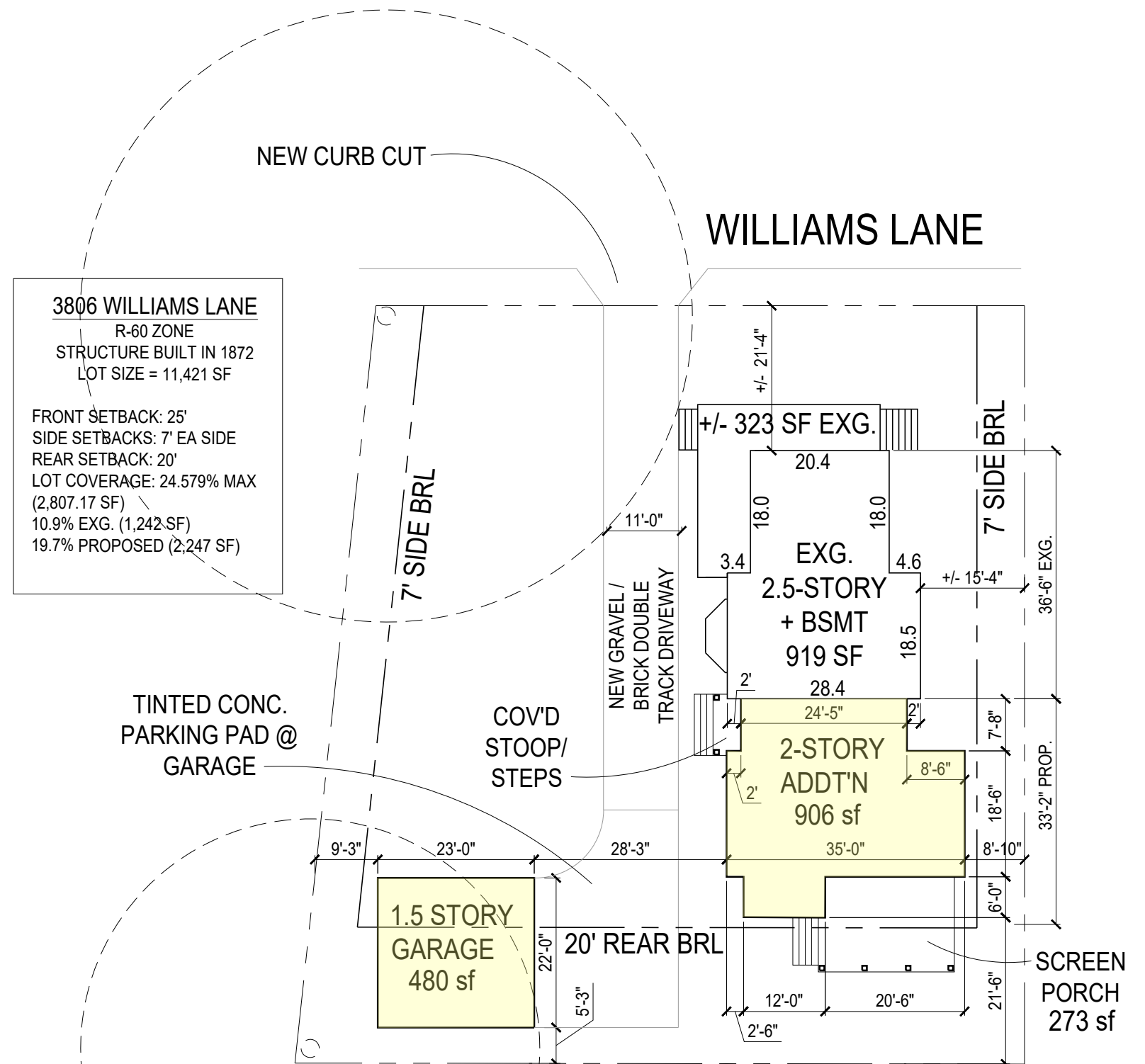
EXISTING CONDITIONS PHOTOS

GTM ARCHITECTS



24.579% MAX LOT COV'G = 2,807.17 SF
 EXG. COV'G = 10.9% +/-

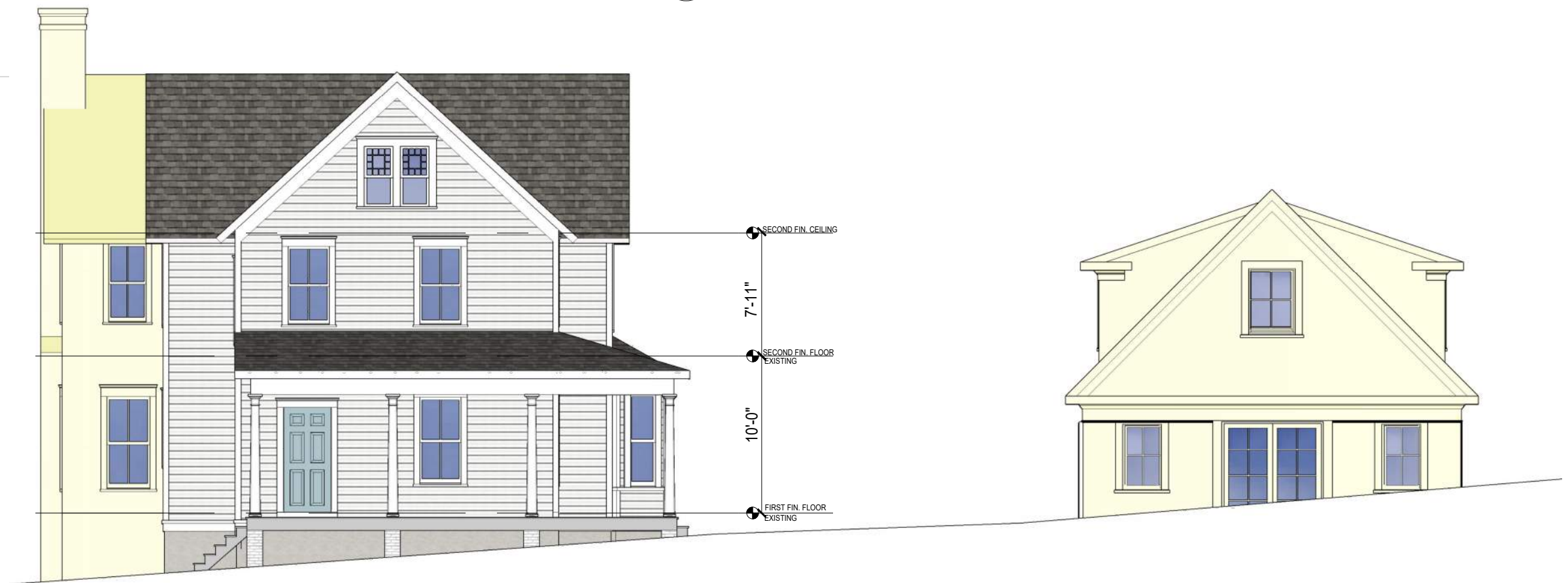
1 EXG. SITE PLAN
 Scale: 1" = 20'-0"



2 PROP. SITE PLAN
 Scale: 1" = 20'-0"



1 EXISTING FRONT ELEVATION
Scale: 1/8"=1'-0"



2 FRONT ELEVATION
Scale: 1/8"=1'-0"



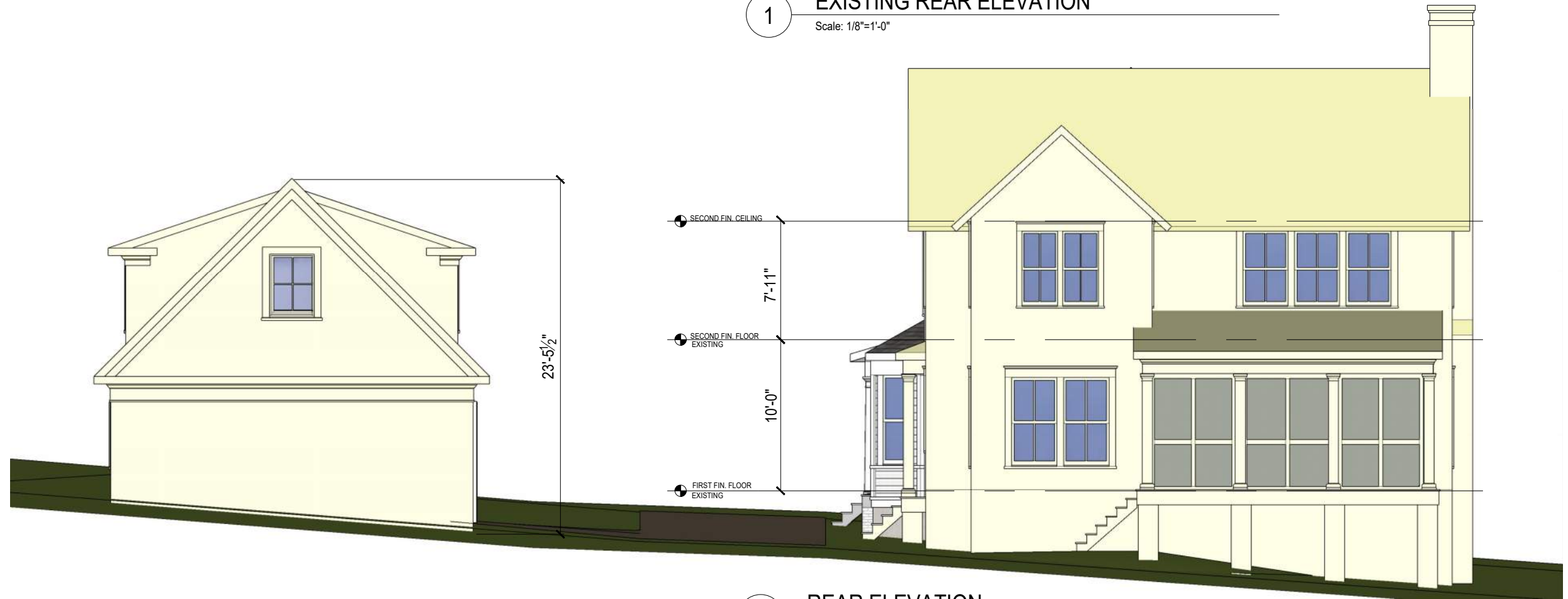
1 EXISTING RIGHT ELEVATION
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2 RIGHT ELEVATION
Scale: 1/8"=1'-0"



1 EXISTING REAR ELEVATION
Scale: 1/8"=1'-0"



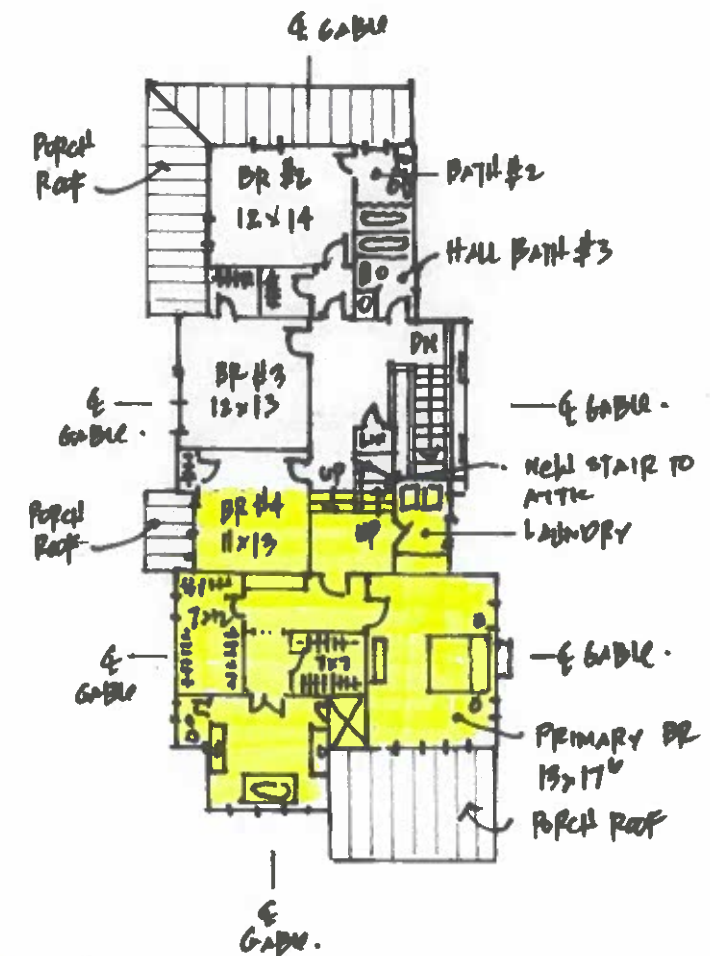
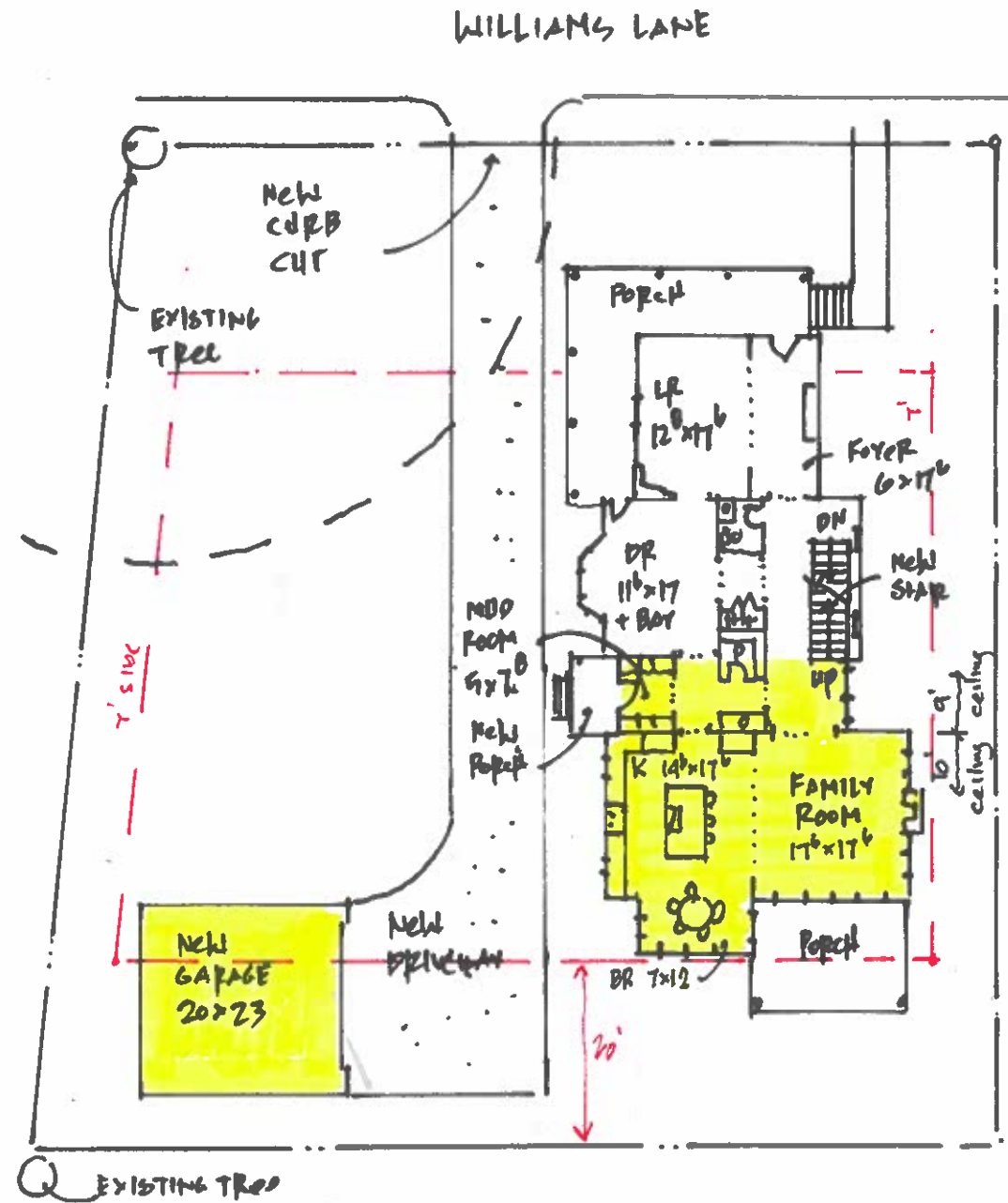
2 REAR ELEVATION
Scale: 1/8"=1'-0"



1 EXISTING LEFT ELEVATION
Scale: 1/8"=1'-0"

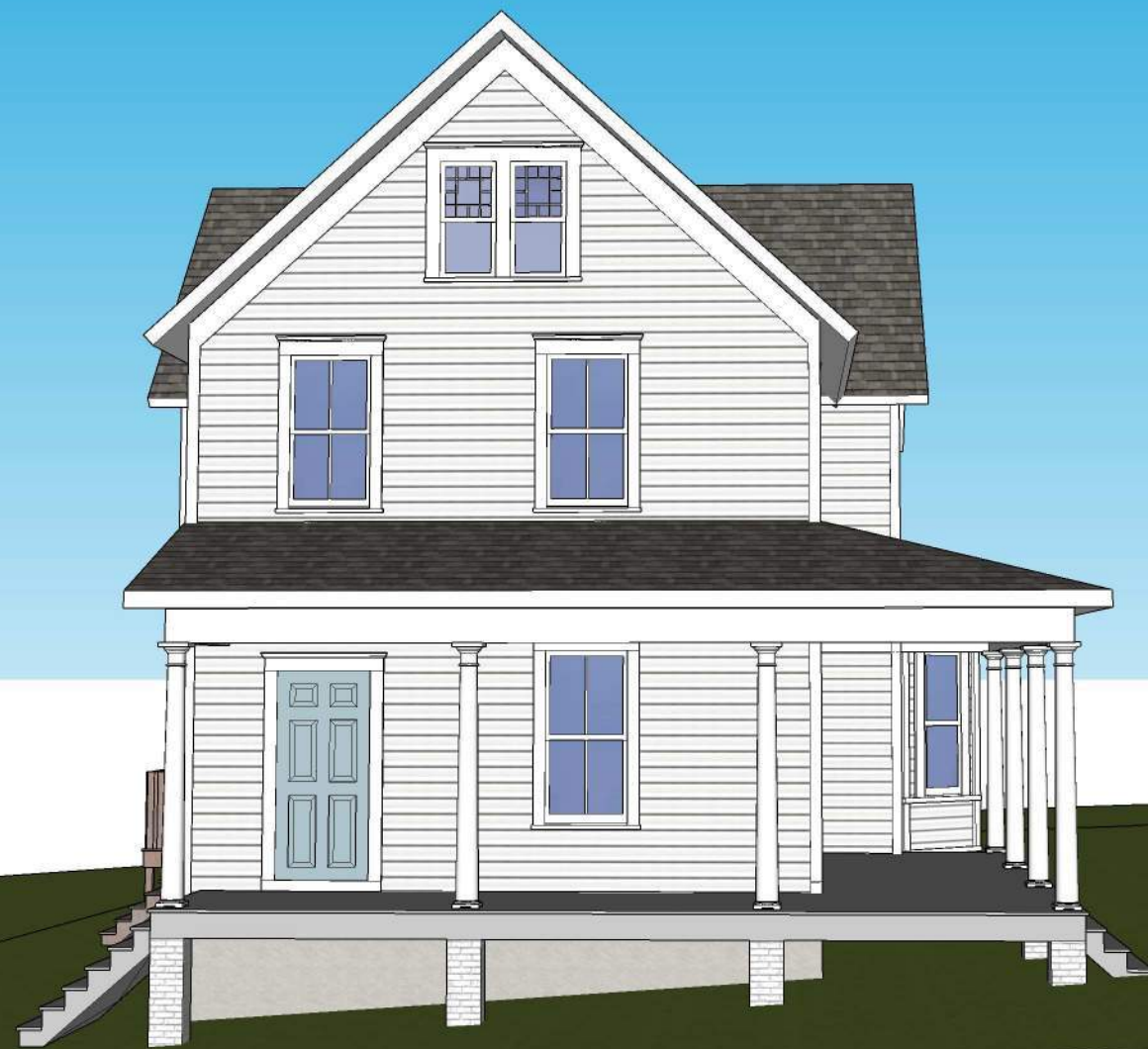


2 LEFT ELEVATION
Scale: 1/8"=1'-0"



SECOND FLOOR PLAN
4 BRS/3 BATHS + LAUNDRY

PRELIM CONCEPT PLANS
SCALE: 1" = 20'



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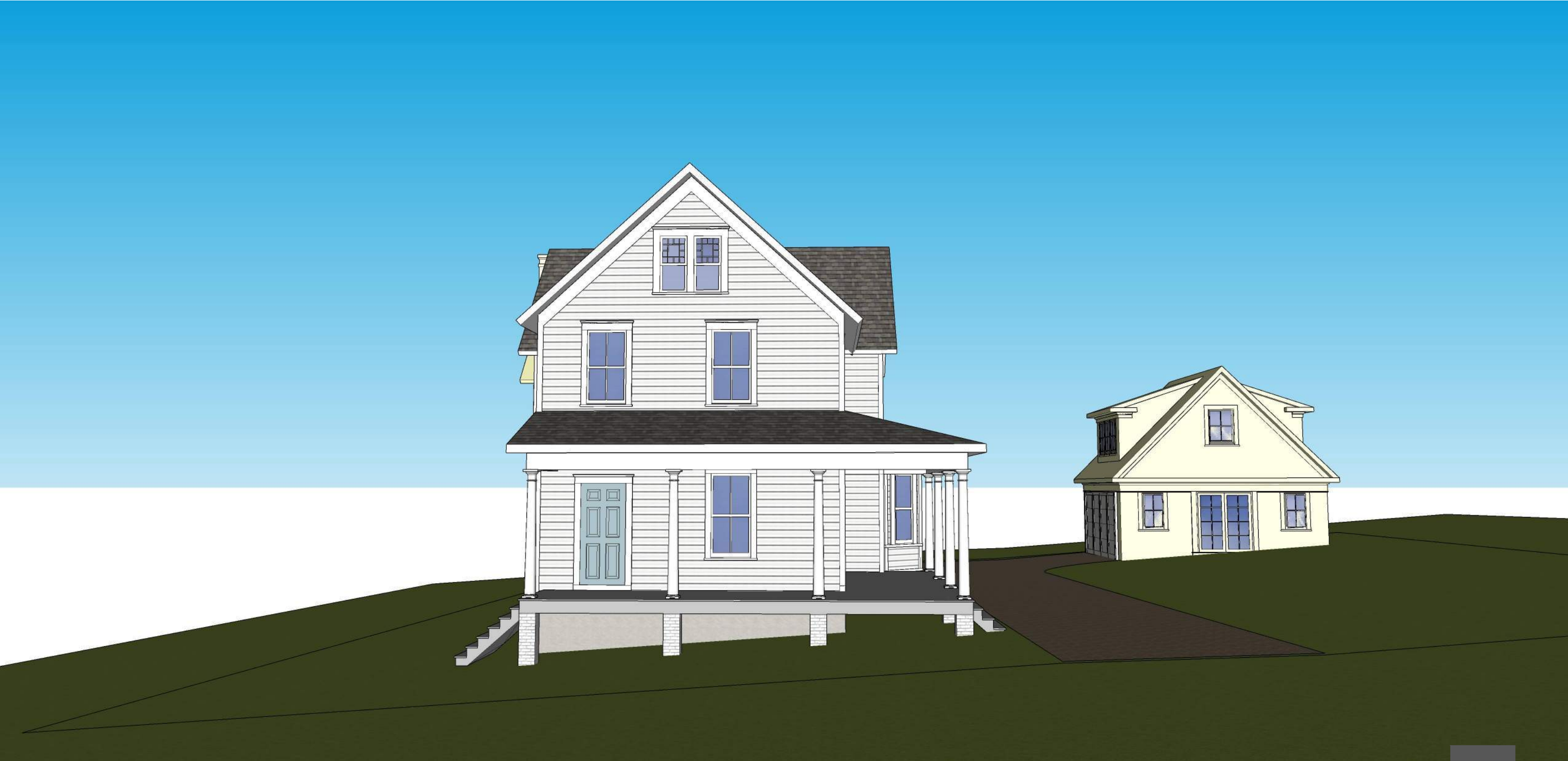
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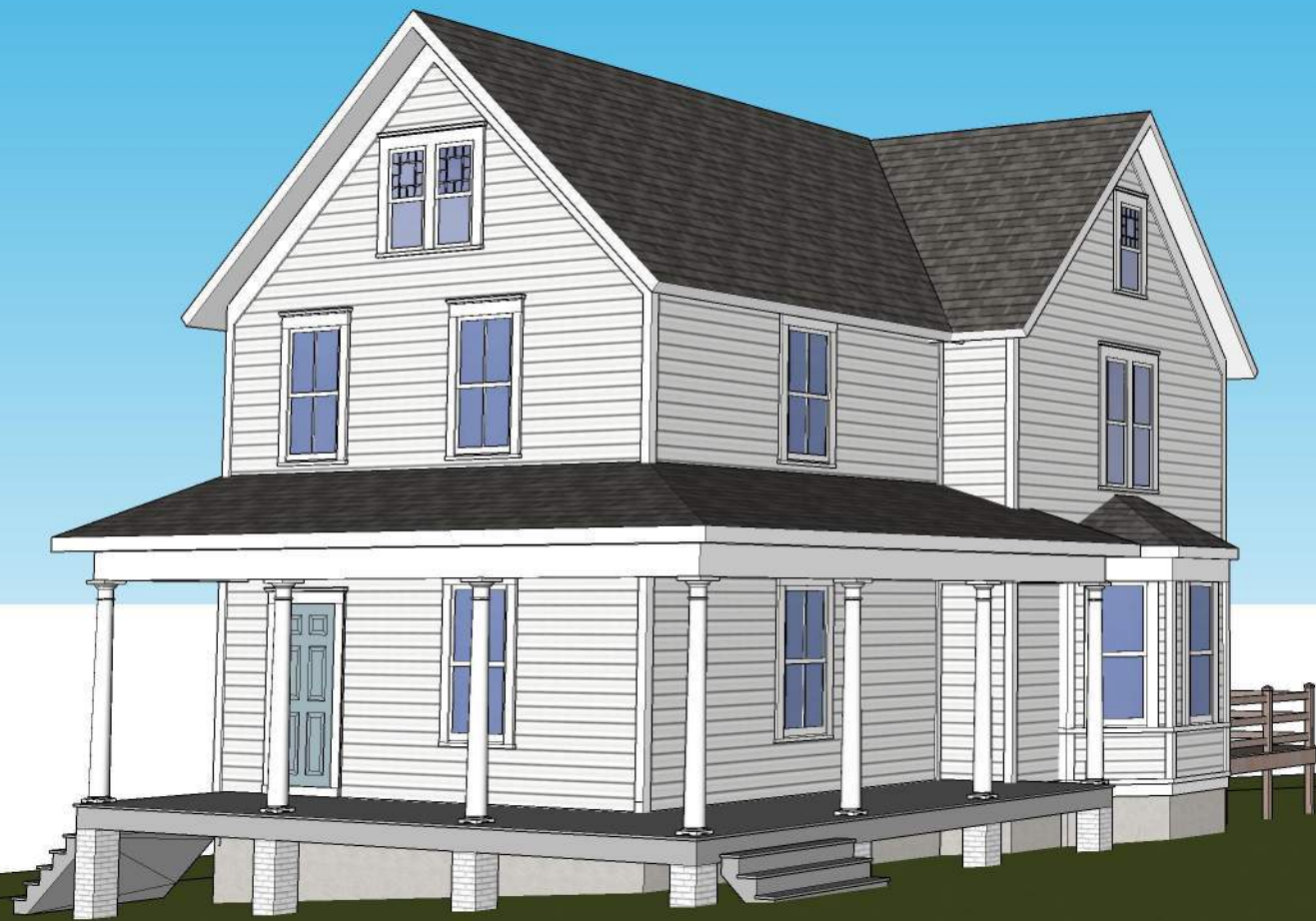
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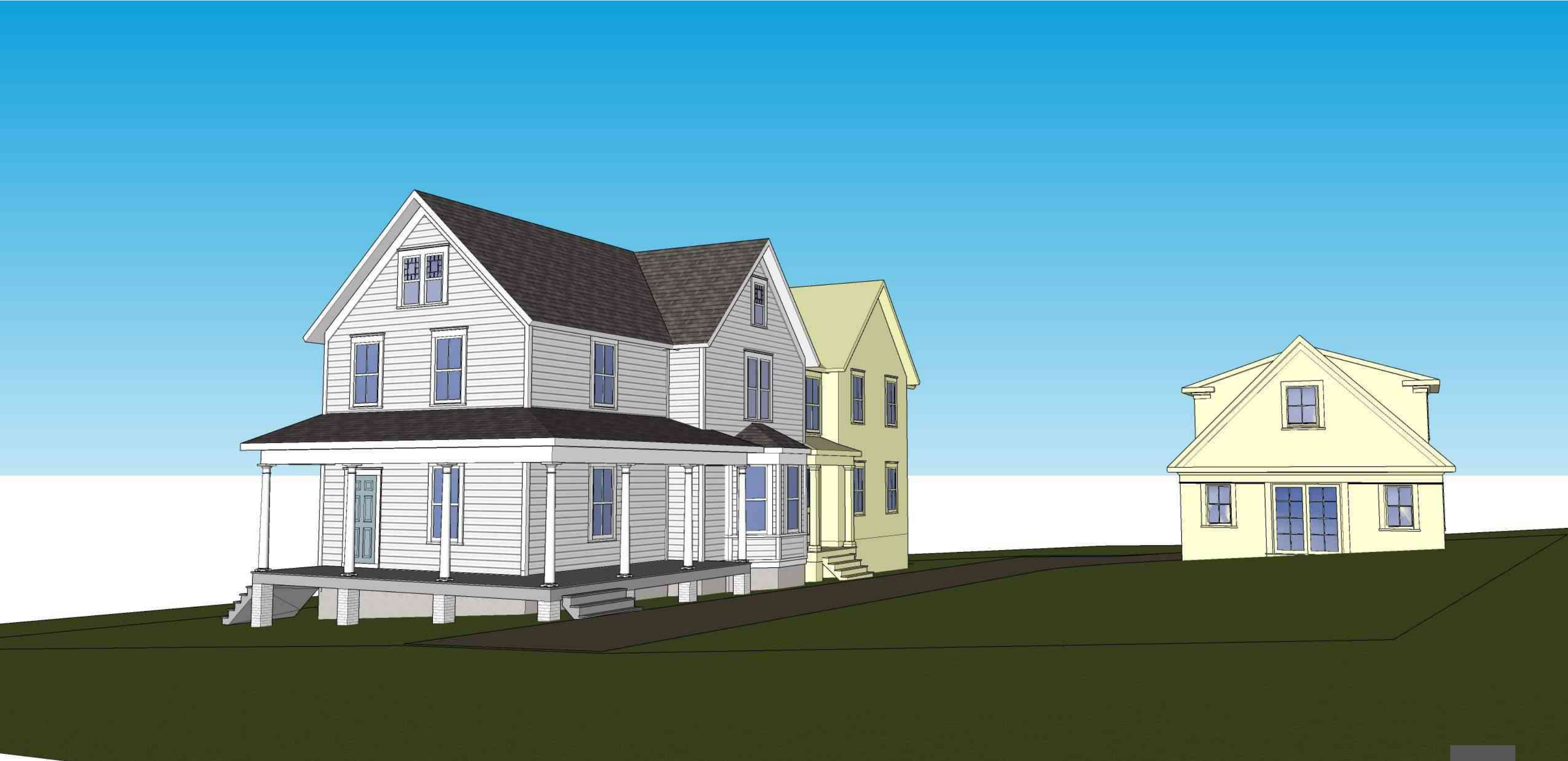
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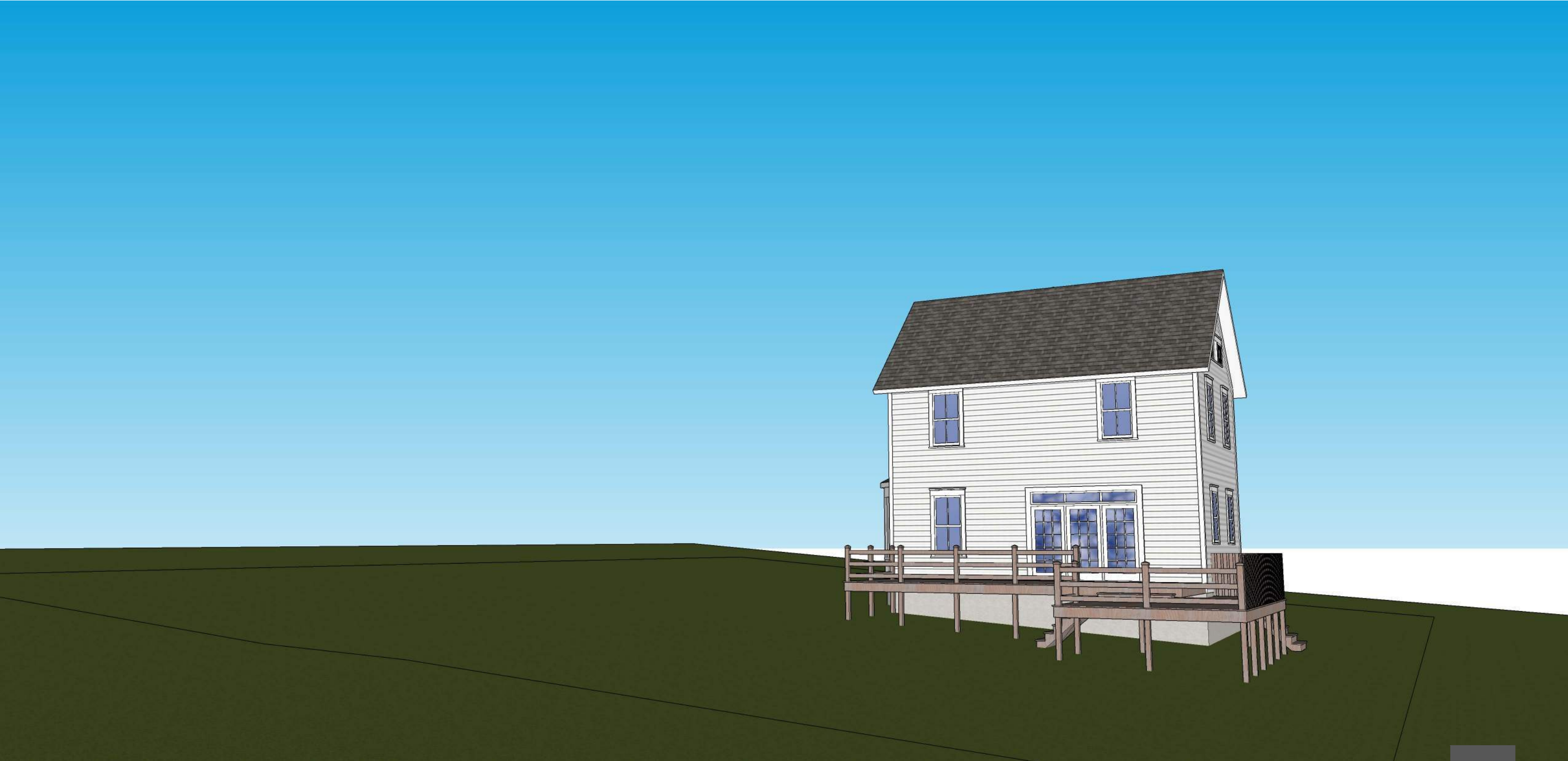
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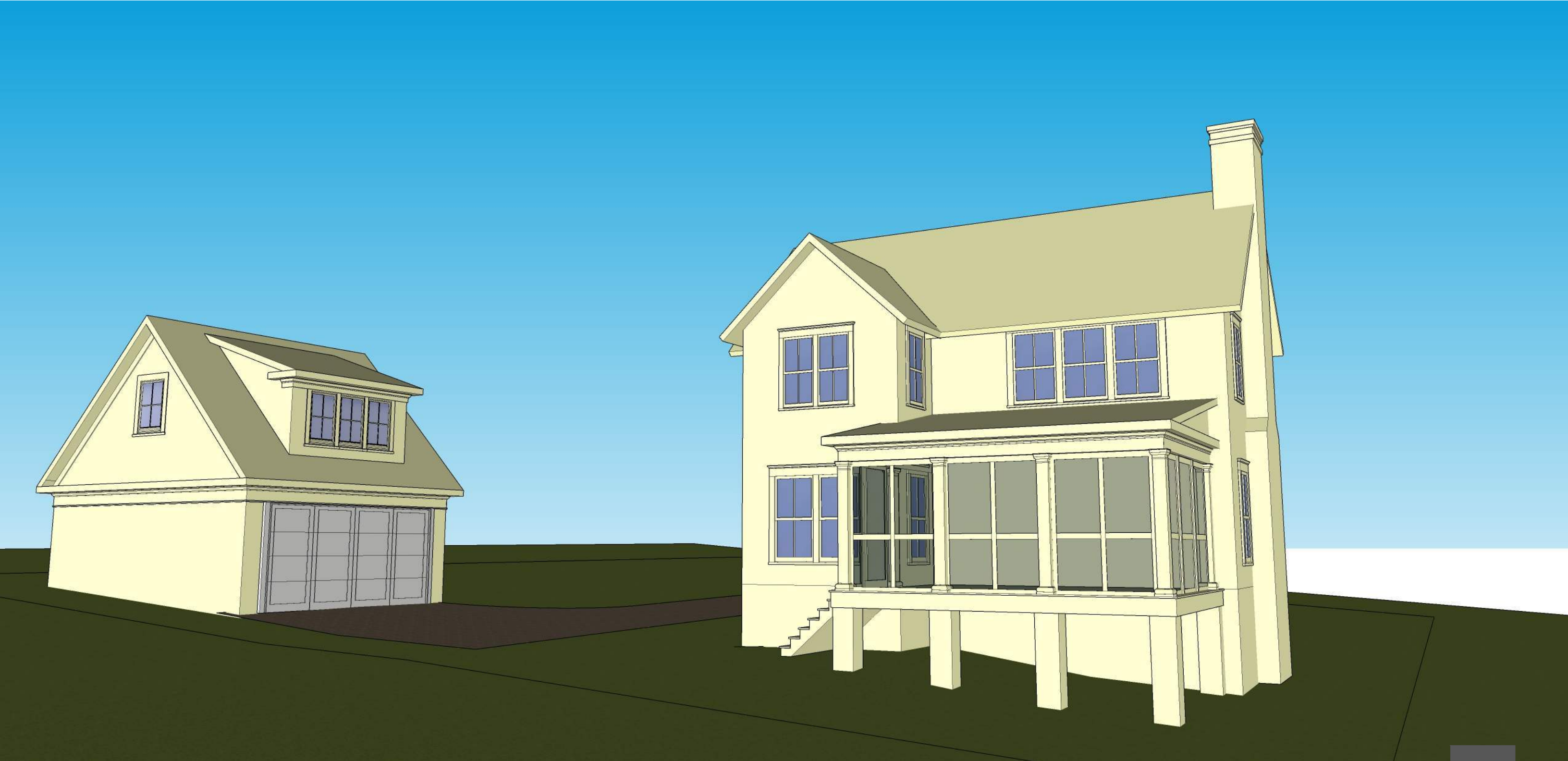
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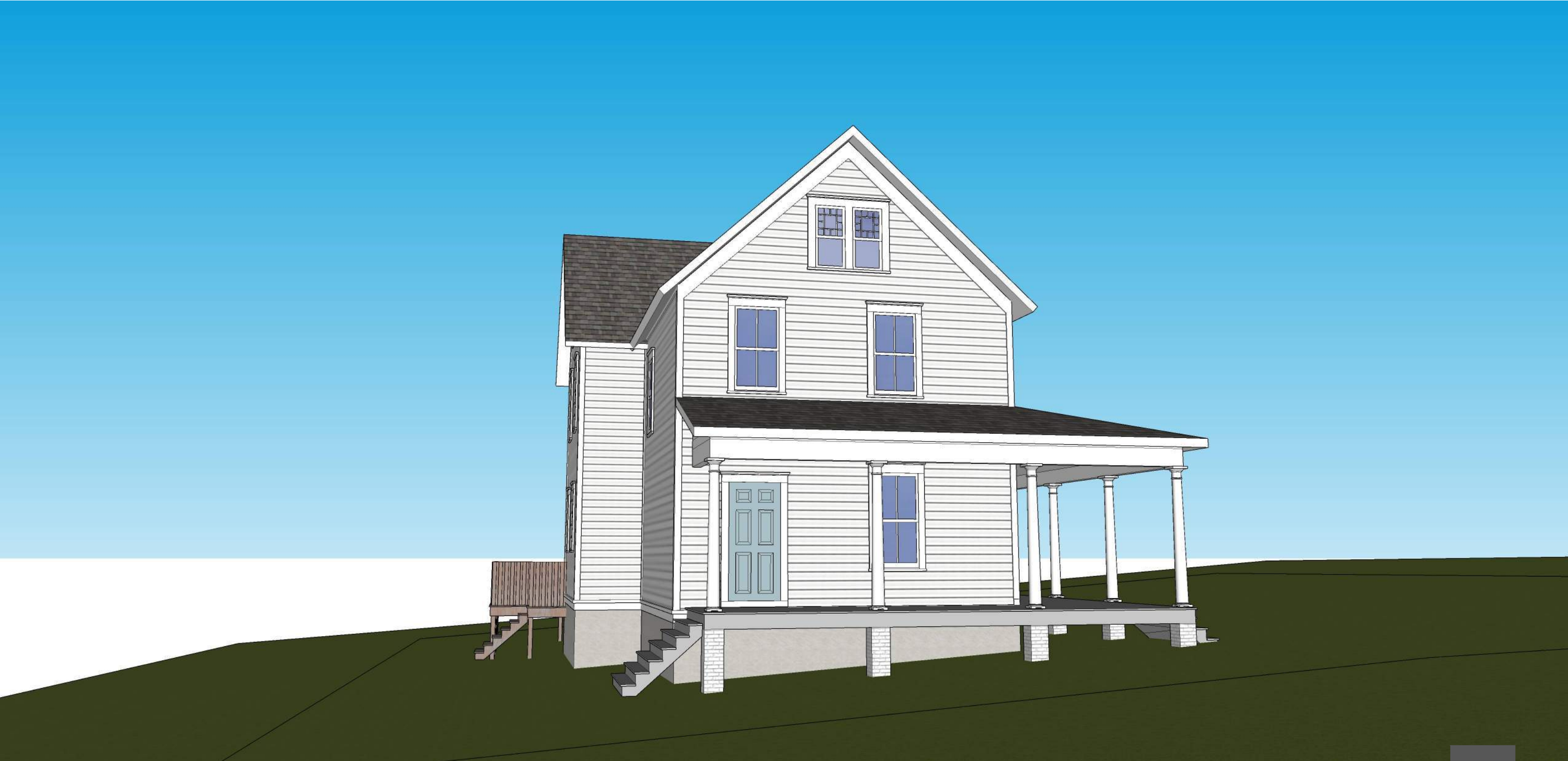
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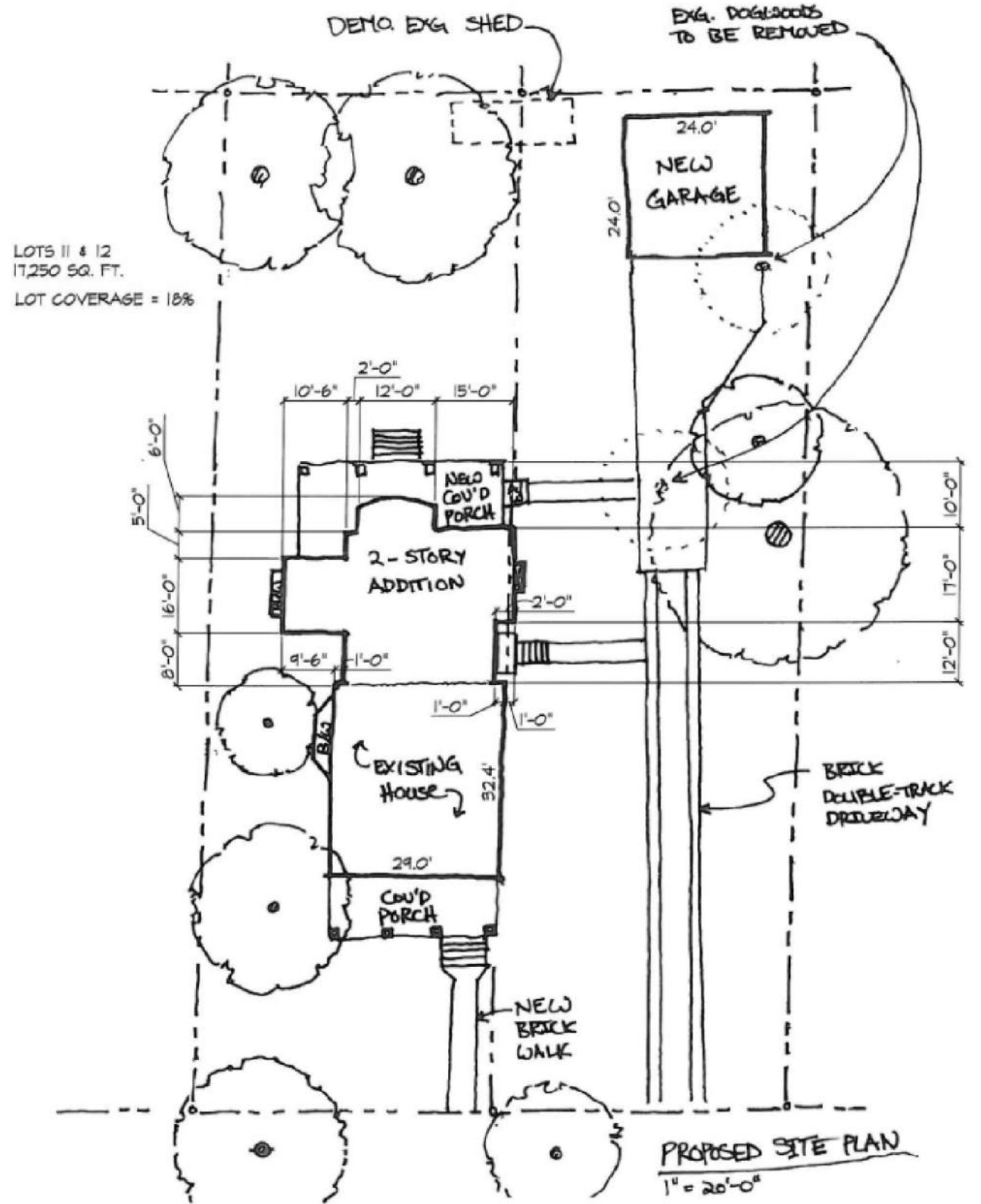
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REAR ADDITION WITH EXTENSION TO LEFT SIDE BEHIND "HYPHEN" CONNECTION TO MAINTAIN THE OPEN CHARACTER OF THE LOT ON RIGHT SIDE, NEW DETACHED GARAGE IN REAR YARD WITH BRICK DOUBLE TRACK DRIVE

PRECEDENT STUDY 3923 WASHINGTON ST

3806 WILLIAMS LANE

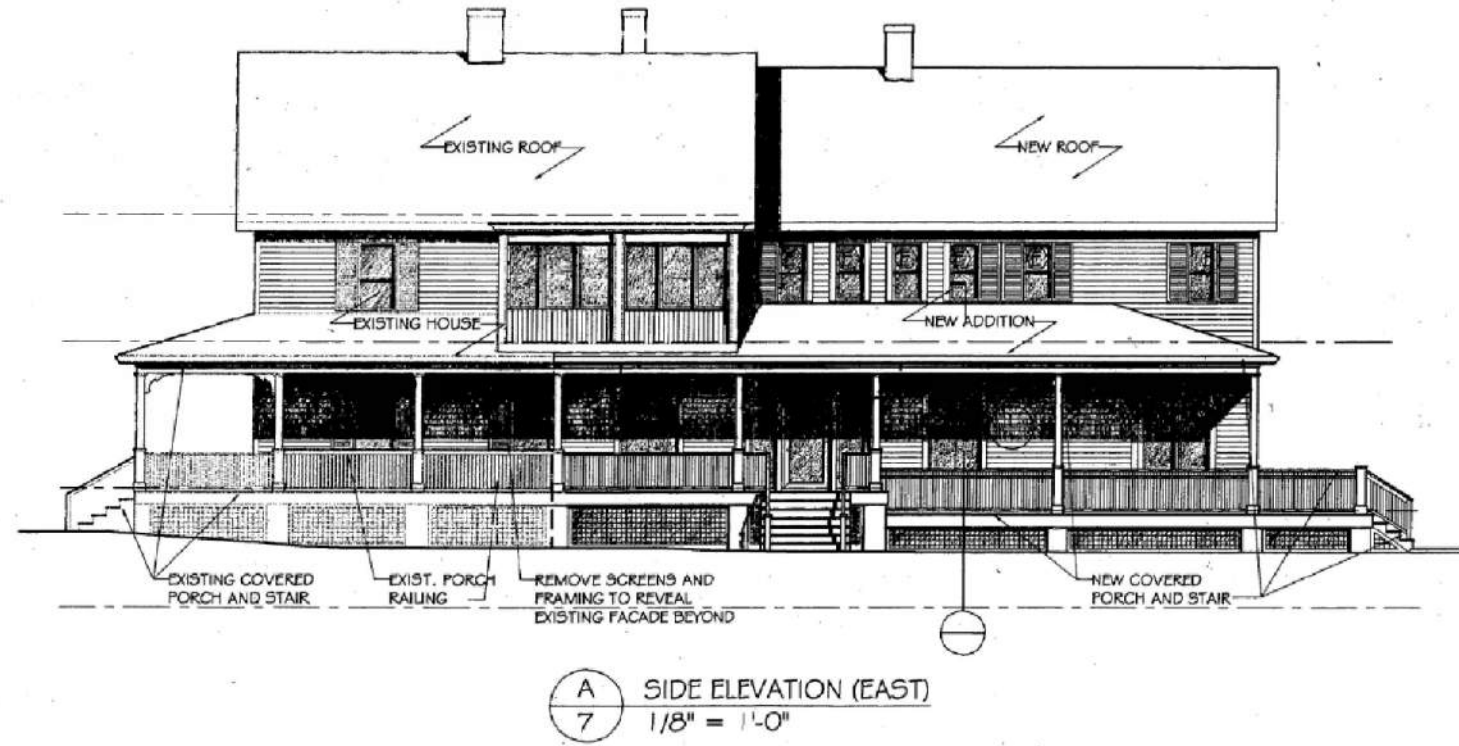
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PRECEDENT STUDY 3807 WILLIAMS LANE ADDITION

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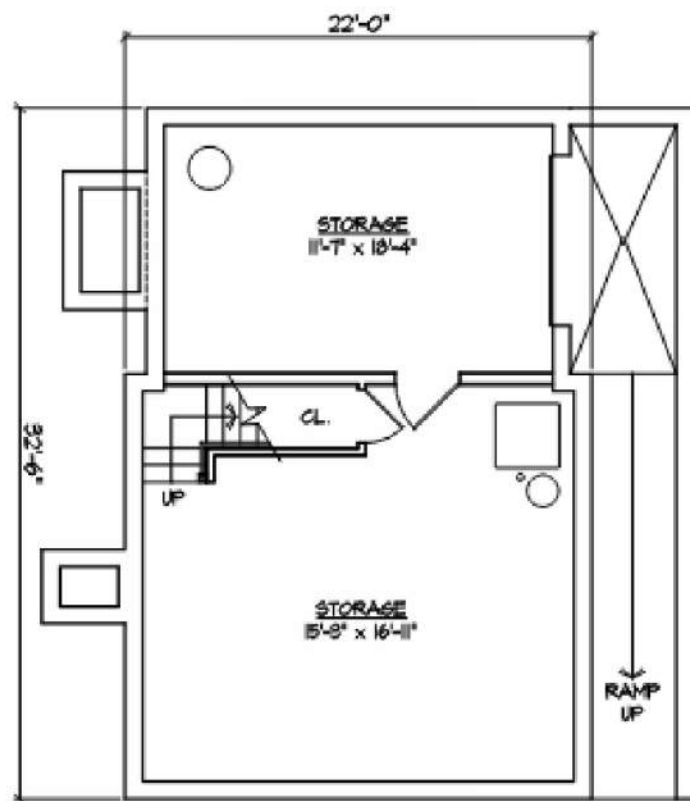
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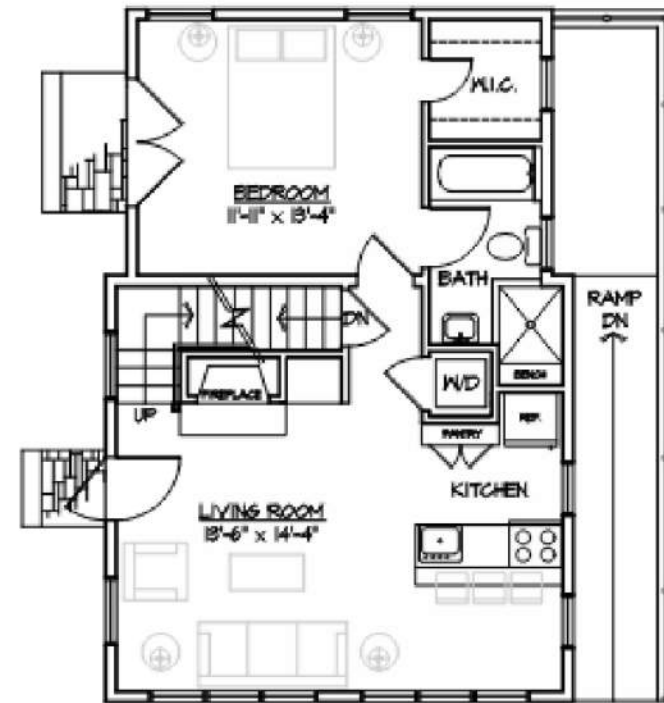
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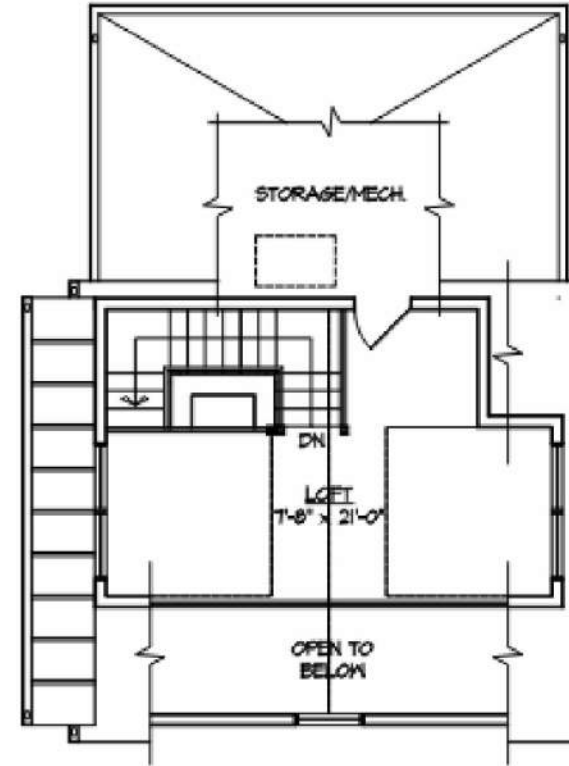
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BASEMENT FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

PROPOSED GARAGE SQUARE FOOTAGE: 440 SQ. FT. FIRST FLOOR
250 SQ. FT. LOFT
886 SQ. FT. TOTAL
80 SQ. FT. PATIO

CURRENT LOT COVERAGE: 27.4%

EXISTING LOT: 12,489 SQ. FT.
EXISTING HOUSE: 1,889 SQ. FT.
EXISTING GARAGE: 370 SQ. FT.
EXISTING PORCHES & STEPS: 1,157 SQ. FT.
TOTAL LOT COVERAGE: 3,416 SQ. FT.

PROPOSED LOT COVERAGE: 30.5%

EXISTING LOT: 12,489 SQ. FT.
EXISTING HOUSE: 1,889 SQ. FT.
PROPOSED GARAGE & PATIO: 770 SQ. FT.
EXISTING PORCHES & STEPS: 1,157 SQ. FT.
TOTAL LOT COVERAGE: 3,816 SQ. FT.

PROPOSED GUEST HOME HEIGHT:

GRADE TO RIDGE: 22'-6"

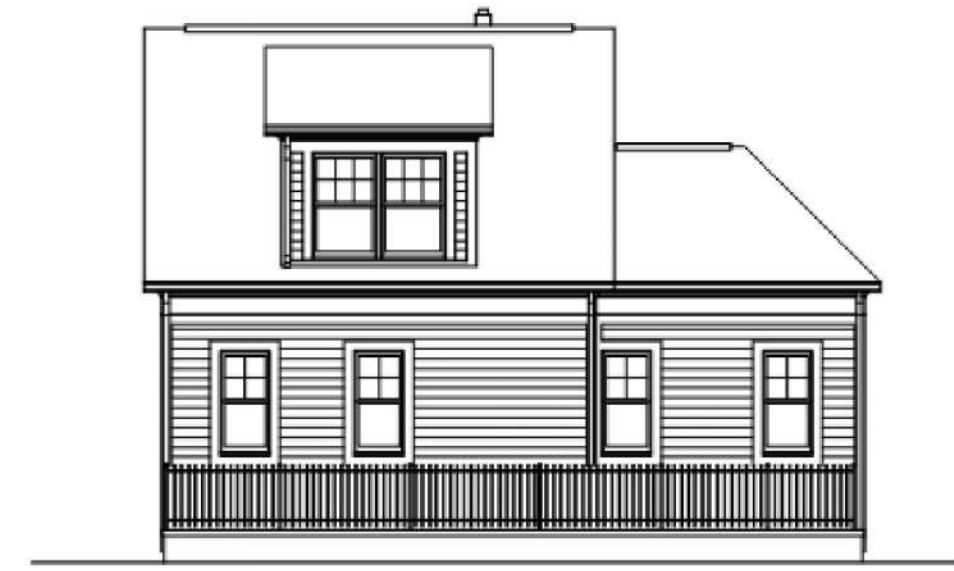
GRADE TO MIDPOINT OF ROOF: 16'-5"
(PER MONT. COUNTY CODE)



LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION