

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	24227 Hawkins Landing Drive, Gaithersburg	Meeting Date:	8/14/2024
Resource:	Master Plan Site #14/14 Bowen-Woodfield Farm	Report Date:	8/7/2024
Applicant:	William Kirwan, Muse Kirwan Architects	Public Notice:	7/31/2024
Review:	Preliminary Consultation	Staff:	Laura DiPasquale
Proposal:	Porch and fenestration alterations, basement alterations		

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Listed Master Plan Site #14/14 *Bowen-Woodfield Farm*
STYLE: Vernacular
DATE: c. 1891

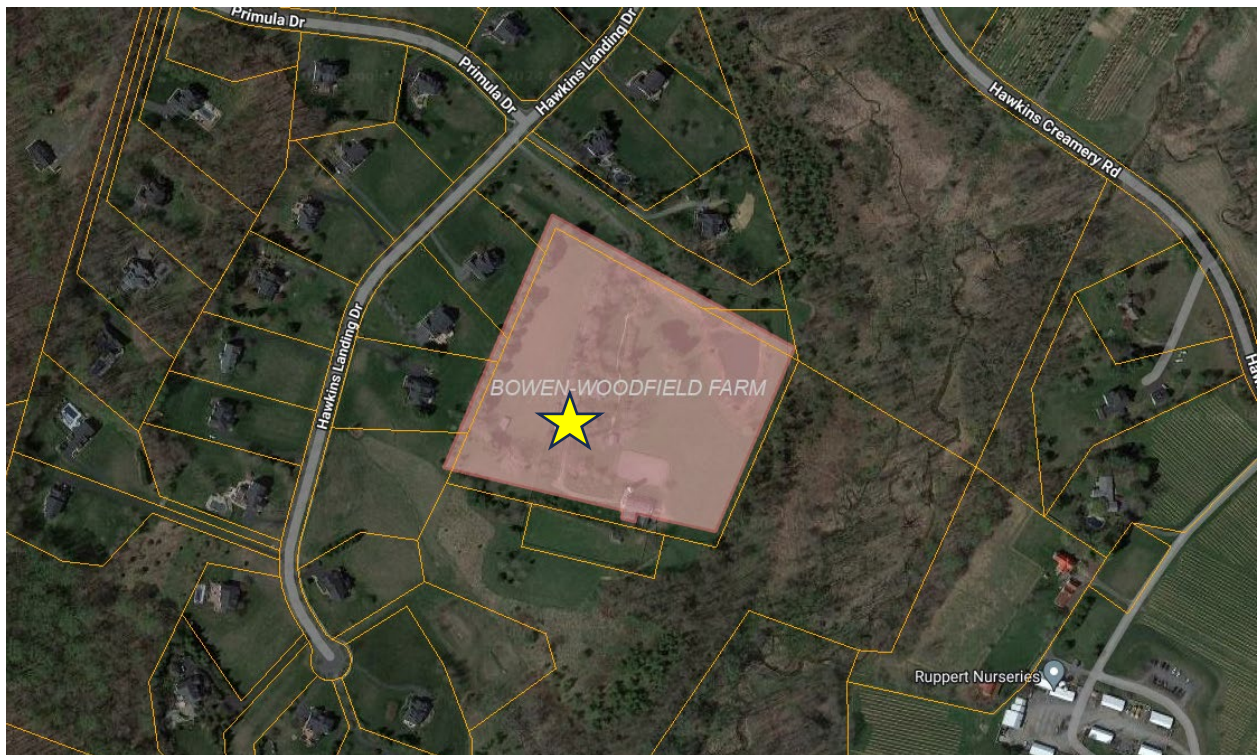


Figure 1: The Bowen-Woodfield Farm at 24227 Hawkins Landing Drive (shown with yellow star).

The historic site designation report in the 2009 *Damascus-Goshen Master Plan Amendment* describes the property as follows:

The Bowen-Woodfield Farm is highly representative of a progressive-era farmstead. The house is noteworthy for conveying an architectural styling popular in the early twentieth century but found in Montgomery County mainly in Chevy Chase and Bethesda. Characteristic of this era is architectural detailing includes bracketed eaves, molded window cornices, and corbelled chimneys. The farmstead was operated by James Bowen, a New York native, and his wife Eliza in the late 1800s and early 20th century. In 1920, the Bowens conveyed the farm to Grant E. Woodfield, who established a 186-acre dairy farm. The dairy barn, three bays by ten bays, has a gambrel roof with metal ventilators. A covered walkway connects the structure with a milkhouse.

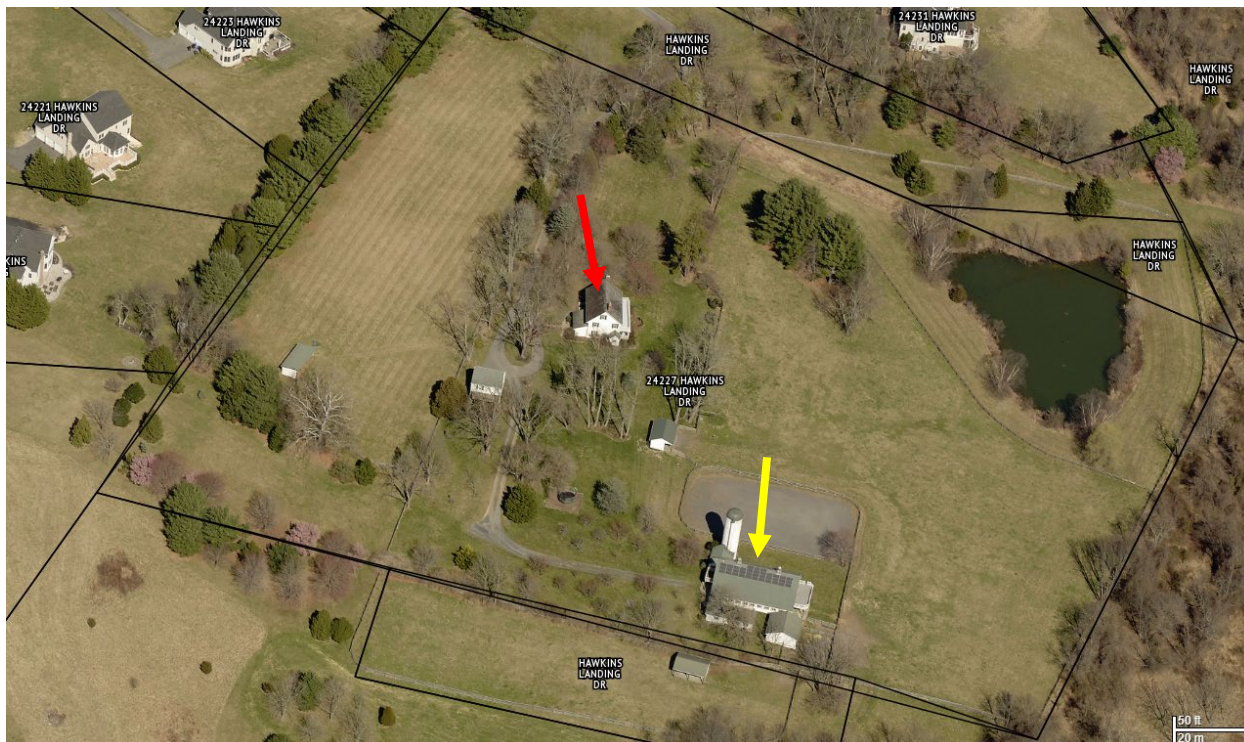


Figure 2: Birdseye view of the property at 24227 Hawkins Landing Drive. The red arrow points to the house and the yellow arrow points to the dairy barn. Source: ConnectExplorer, 2023.

PROPOSAL

This application proposes several exterior alterations to the farmhouse and its landscape, including: 1) adding a small second-floor window on the east elevation (façade); 2) modifying a non-historic shed addition on the west elevation; 3) demolishing a small gable roof vestibule sheltering the cellar entrance on the south elevation and installing a new Bilco (steel) door over the cellar entrance; 4) adding a new window with louvered shutters at the location of the cellar vestibule that matches the existing windows on the south elevation; 4) installing a new wood window with shutters at the attic level on the north elevation; and 5) adding new bluestone-paved walkways and steps along the south and east sides of the house and a larger terrace along the south side of the house.

On the interior, the applicant proposes to make substantial renovations and alterations, including removing the existing masonry fireplace on the south end of the house. New structural supports would be

added in the attic allowing the chimney stack above the roof to remain. Information on the interior work is provided for information only and is not within the purview of the HAWP.

APPLICABLE GUIDELINES

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) (“Regulations”), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code (“Chapter 24A”), the *Secretary of the Interior’s Standards and Guidelines for Rehabilitation* (“Standards”), and pertinent guidance in applicable master plans. [Note: where guidance in an applicable master plan is inconsistent with the Standards, the master plan guidance **shall** take precedence (section 1.5(b) of the Regulations).] The pertinent information in these documents, incorporated in their entirety by reference herein, is outline below.

Montgomery County Code Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with, or detrimental to the preservation, enhancement, or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site,

the Commission's focus in reviewing the proposal should be the *Secretary of the Interior's Standards for Rehabilitation*. The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION

Façade - New Window (East Elevation)

The applicant proposes a minor alteration to the façade of the original house (Figure 3). On the second story, a small, one-over-one, double-hung, wood-sash window would be installed directly above the main entry door. Staff finds that the new fenestration would have minimal impact to the overall design. In addition, the proposed wood-sash window compliments the existing materials, but its smaller dimensions, one-over-one design, and lack of shutters clearly differentiates it from the original windows. Therefore, the proposed alteration satisfies *Standards* #2 and #9.



Figure 3: East elevation of the house. The red arrow points to the location of the proposed window.

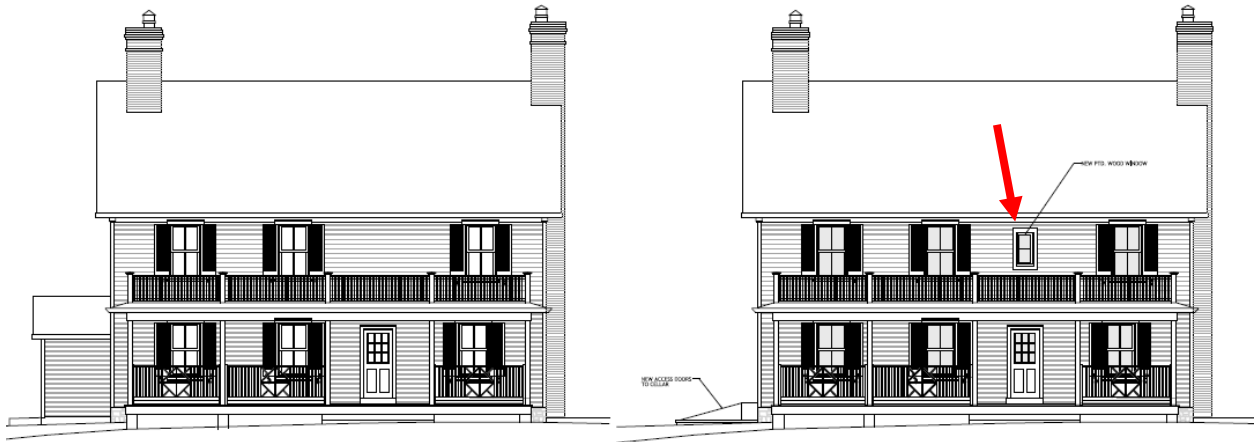


Figure 4: East elevation drawings, existing (left) and proposed (right). The red arrow points to the location of the proposed window.

Alterations to Non-Historic Rear Shed Addition (West Elevation)

The applicant proposes to alter a non-historic, shed-roofed addition on the rear elevation. This includes removal of the existing siding and installation of new siding and fenestration. The overall footprint and scale of the addition would remain intact. The proposed multi-light wood doors and ribbons of two-over-two, wood-sash windows set over wood panels maintains the proportions evident on the original house, and are compatible with but differentiated from the historic fabric. Staff finds that these alterations are compatible with the historic character of the property, in keeping with Chapter 24A-8(b)(2) and *Standard #9*.



Figure 5: West elevation showing the non-historic shed roof addition.



Figure 6: West elevation drawings, existing (left) and proposed (right).

Demolition of the Gable Vestibule and Installation of a New Window (South Elevation)

The applicant proposes to remove the existing gable vestibule covering the cellar entrance and replace it with a Bilco (steel) door. Staff has not determined the precise age of this vestibule but notes that the detailing is similar to that of the main house with matching Dutch lap siding, slate roofing, overhanging eaves, and other details that suggests it was added in the early 20th century but likely not an original feature of the dwelling. Staff finds that the gable addition is not a character defining feature of the historic resource and supports its demolition. The proposal calls for a new two-over-two, double-hung, wood-sash window that matches the design, material, and dimensions of the other windows on this elevation in the location of the demolished vestibule. Staff finds that the alteration would not adversely affect the character defining features of the dwelling and satisfies *Standard #2*.



Figure 7: View of the south elevation with the gable vestibule on the eastern extent, and detail of the vestibule.

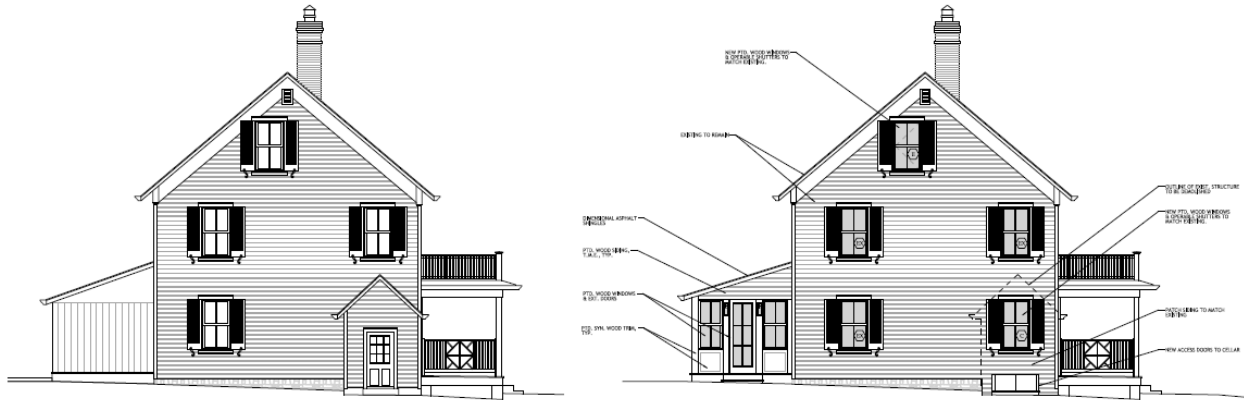


Figure 8: South elevation drawings, existing (left) and proposed (right).

Replacement of the Attic Window (South Elevation)

The applicant proposes to replace an existing double-hung window with a casement window of matching dimensions (Figure 9). For the HAWP, the applicant must submit a narrative that justifies the replacement of this window in lieu of its repair to satisfy *Standard #6*. Materials should include photographic documentation of the deteriorated condition (if relevant). In addition, full specifications that illustrate that the proposed casement window mimics the appearance of the existing double-hung window would be required.

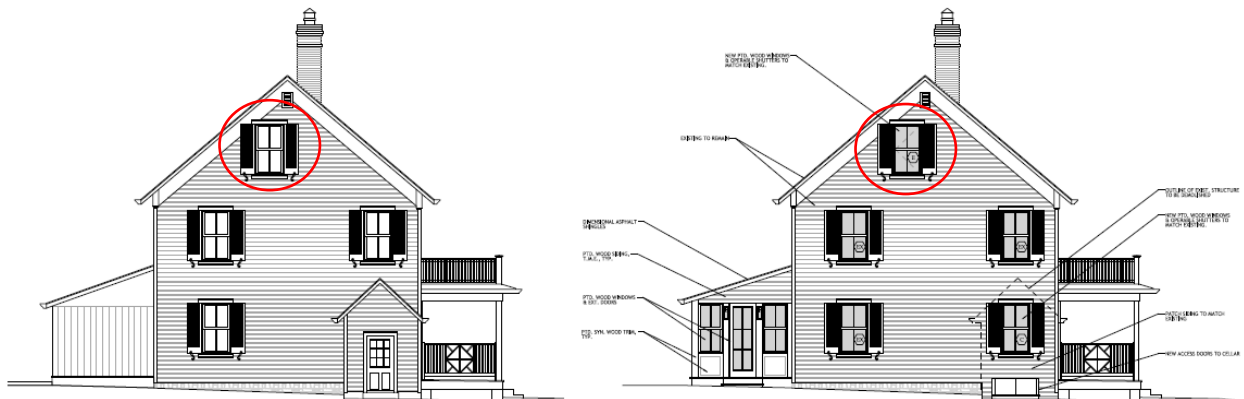


Figure 9: South elevation drawings, existing (left) and proposed (right). The red circle show the location of the window proposed to be replaced.



Figure 10: Detail of existing window on south gable end.

New Attic Window (North Elevation)

The applicant proposes to install an attic-level casement window with shutters abutting the gable end exterior brick chimney. The window would mimic the appearance of the two-over-two, double-hung, wood-sash windows on this elevation. This size and location of the proposed window would directly affect the original bargeboard. Staff finds that the scale of this window is inconsistent with the character of the dwelling. While the north elevation features a similar window in its attic, that elevation lacks an exterior chimney. Most houses of this era with an exterior chimney feature smaller windows in the attic compared to the lower stories. The staff suggests that the HPC discuss an appropriately-sized window that respects the design and material of the house. The Commission should prioritize compatibility over differentiation due to the limited scope of alterations to this elevation. Windows of an inappropriate size would negatively affect the character-defining features of the house.



Figure 11: North elevation. The red arrow points to the location of the proposed casement window.



Figure 12: North elevation drawings, existing (left) and proposed (right). The red arrow points to the proposed casement window.

Landscape - New Bluestone Terrace and Walkways

The applicant proposes to install a new terrace adjacent to the south elevation of the house with walkways accessing the east and west elevations and extending from the addition west to the driveway. A note on the cover sheet indicates that “additional grading will be necessary to accommodate new terraces etc...” Staff notes that the modified grading is not shown in the preliminary submission and that the terrace and some walkways are not shown in elevation or section. Provided the grading and excavation are minimal and a tree survey demonstrates that the proposal will not adversely impact any significant trees, staff finds that a bluestone paving material is compatible with the historic property and that proposed walkways and terrace will not have an adverse effect on the historic property, and will satisfy *Standards #2 and #9*. Staff notes that additional grading information and a tree survey should be submitted as part of the HAWP.

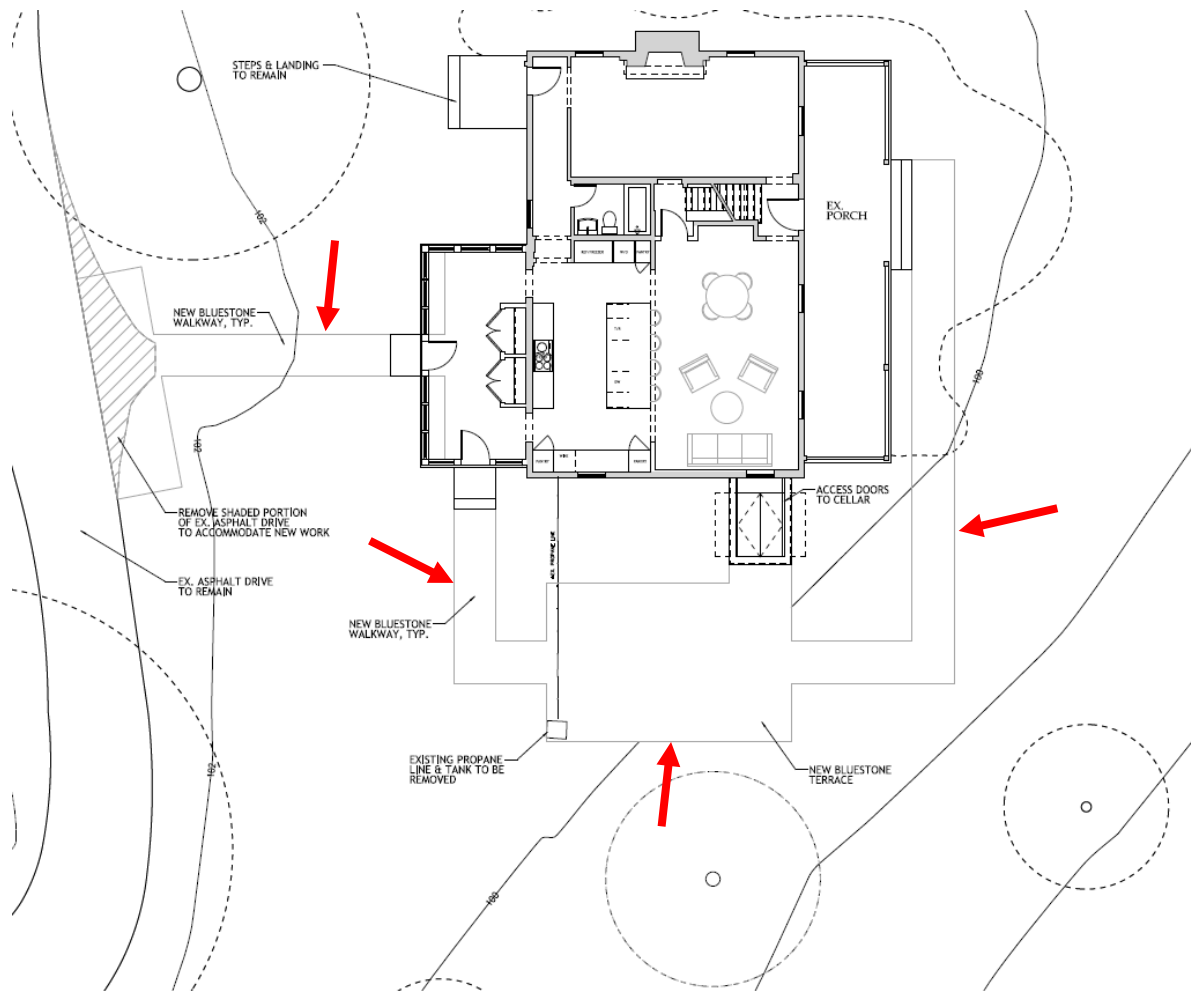


Figure 13: Site plan showing the proposed bluestone walkways and terrace south of the house.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments and return with an Historic Area Work Permit application.

Requested HPC Feedback

- Appropriateness of the alterations to the non-historic shed addition on the west elevation;
- Appropriateness of the removal of the cellar entrance vestibule and installation of a Bilco door and new window on the south elevation;
- Appropriateness of the replacement of a double-hung window at the attic level on the south elevation with a casement window;
- Appropriateness of the addition of a new window and shutter at the attic level on the north elevation;
- Appropriateness of the addition of a small second-floor window on the east elevation; and
- Appropriateness of the addition of new bluestone-paved walkways and steps along the south and east sides of the house, with a larger terrace along the south side of the house.

Materials to be Submitted with the HAWP

- Window specifications for all new and replacement windows;
- Existing conditions photographs of windows proposed for replacement;
- Grading details;
- Bluestone paving material and siding specifications/samples and,
- Tree survey.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

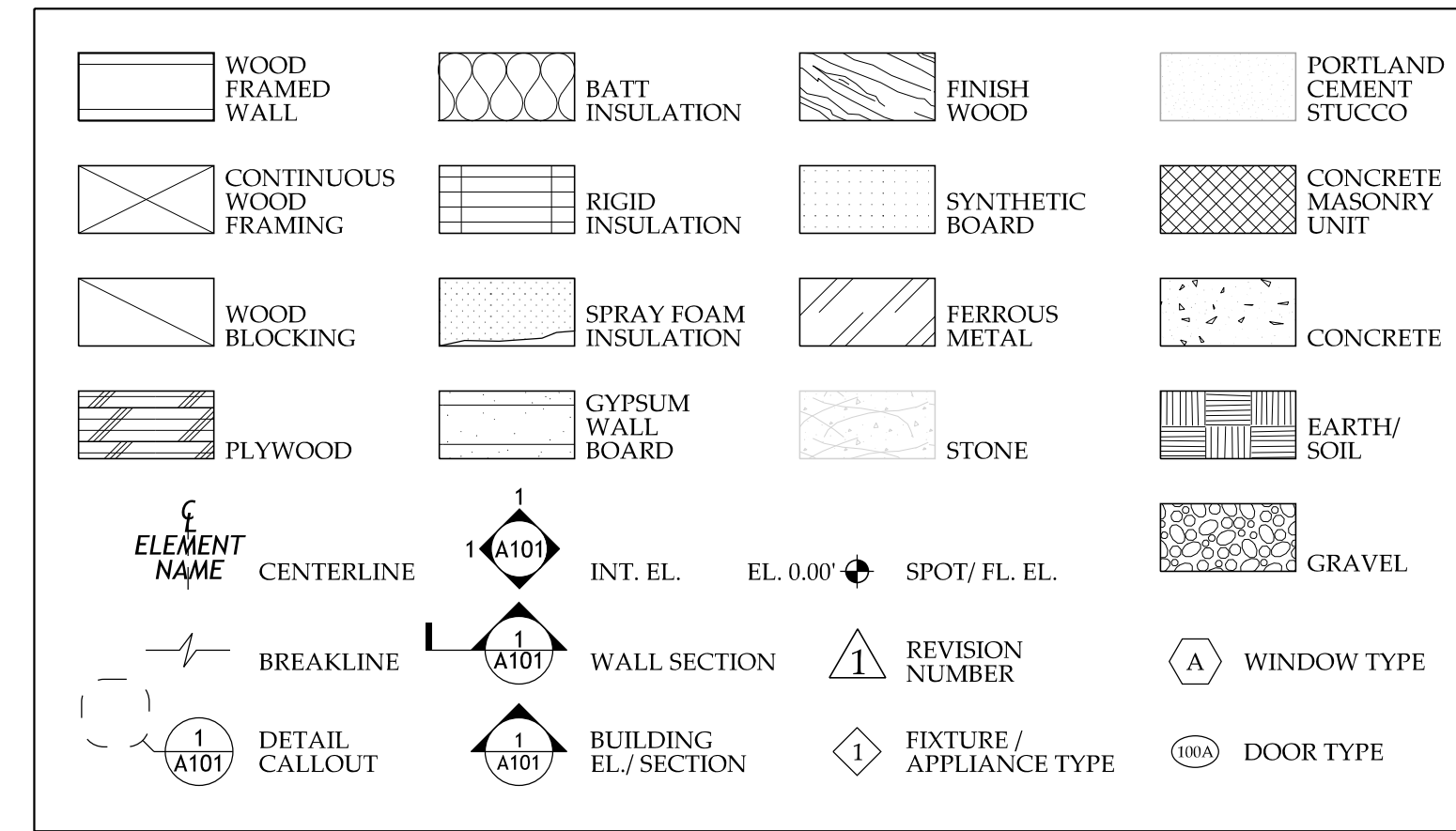
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

PATTERN KEY



ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
1X	One-inch nominal thickness	F.B.O.	Furnished By Owner	PART.	Partition
2X	Two-inch nominal thickness	F.D.	Floor Drain	PLMB.	Plumbing
@	At	F.F.	Finish Floor	PLYWD.	Plywood
A/C	Air Conditioning	FDTN.	Foundation	PMVT.	Pavement
ACC.	Accessory; Accessories	FGLAS.	Fiberglass	PREFAB.	Prefabricated
A.F.F.	Above Finish Floor	FIN.	Finish	PREFIN.	Prefinished
ABV.	Above	FIXT.	Fixture	PSF	Pound Per Square Foot
ADJ.	Adjustable	FLASHG.	Flashing	PSI	Pound Per Square Inch
ALN.	Align; Alignment	FL.	Floor	P.T.	Pressure Treated
ALT.	Alternate	FLRG.	Flooring	PTD.	Painted
ALUM.	Aluminum	FLUOR.	Fluorescent	PVC	Polyvinyl Chloride
ANCH.	Anchor	F.O.	Face of	QTY.	Quantity
APPL.	Appliance	F.O.S.	Face of Structure (or Stud)	R.	Radius
APPROX.	Approximate	F.O.S.	Face of Masonry	RAD.	Radius
ARCH.	Architect (or Architectural)	FRMG.	Framing	RCP	Reflected Ceiling Plan
AVG	Average	F.P.	Fireplace	RECPT.	Receptacle
B.O.F.	Base of Footing	FT.	Feet	REF.	Refrigerator
BD.	Board or Bead	FTG.	Footing	REINF.	Reinforcing
BEDRM.	Bedroom	FURG.	Furring	REPL.	Replace
BETW.	Between	FURN.	Furnace	REQ'D.	Required
BLDG.	Building	GA.	Gauge	REV.	Revision
BLKG.	Blocking	GALV.	Galvanized	RH	Right Hand
BM.	Beam	G.C.	General Contractor	RM.	Room
BLT.	Bolt	GFI	Ground Fault Interrupter	R.O.	Rough Opening
BOT.	Bottom	GL.	Glass	SCHED.	Schedule
BRG.	Bearing	GWB	Gypsum Wall Board	S.CONC.	Sealed Concrete
BRK.	Brick	GYP.	Gypsum	SCR.	Screen
BSMT.	Basement	H.B.	Hose Bibb	SDG.	Siding
BYD.	Beyond	HD.	Head	SDL	Simulated Divided Lite
C.	Course	HDR.	Header	SGL.	Single
CAB.	Cabinet; Cabinetry	HDW.	Hardware	SHT.	Sheet
CCV.	Chevy Chase Village	HDWD.	Hardwood	SETB.	Setback
CEM.	Cement	HORIZ.	Horizontal	SHTG.	Sheathing
CER.	Ceramic	H'RAIL.	Handrail	SHWR.	Shower
CHNG. RM.	Changing Room	HT.	Height	SIM.	Similar
C.J.	Control Joint	HTR.	Heater	SKYLT.	Skylight
C.L.	Centerline	HVAC	Heating/ Ventilation/ Air-Conditioning	SPEC.	Specifications
CLADG	Cladding	H.W.	Hot Water	SQ.	Square
CLG.	Ceiling	I.B.C.	International Building Code	S.S.	Stainless Steel
CLOS.	Closet	I.G.	Insulated Glass	STD.	Standard
CLR.	Clear	IN.	Inch	STL.	Steel
CMU	Concrete Masonry Unit	INCL.	Included(d)	STN.	Stain Stained
C.O.	Cased Opening	INSUL.	Insulation	STOR.	Storage
COL.	Column	INT.	Interior	STRUC.	Structure(al)
COORD.	Coordinate; Coordination	IRC	International Residential Code	SUBFL.	Subfloor
CONC.	Concrete	JST.	Joist	SURF.	Surface
CONST.	Construction	JT.	Joint	SW.	Switch
CONT.	Continuous	K.B.D.	Kitchen & Bath Designer	S.W.M.	Storm Water Management
CPT.	Carpet	KIF	Kitchen	SYM.	Symbol
CPR.	Copper	LAM.	Laminate	SYN.	Synthetic
CRIT.	Critical	LAV.	Lavatory	T	Tread(s)
CRS.	Course	LEV.	Level	T&G	Tongue and Groove
CSK.	Countersink	LAYLT.	Laylight	T.B.S.	To Be Specified
CSMT.	Casement	LH	Left Hand	T.D.L.	True Divided Lite
C.T.	Ceramic Tile	L.T.	Light	TEMP.	Temperature
C.TOP.	Countertop	L.TG.	Lighting	THK.	Thick
CTR.	Center	LVL	Laminated Veneer Lumber	T.J.I.	Truss Joists
CTRD.	Centered	M.	Master	T.M.E.	To Match Existing
C.W.	Cold Water	MAS.	Masonry	T.O.	Top of
D	Dryer	MAT.	Material	T.O.F.	Top of Footing
DBL	Double	MAX.	Maximum	T.O.S.	Top of Slab
DEMO.	Demolish; Demolition	MDO	Medium Density Overlay	T.O.ST.	Top of Structure
DET.; DETL.	Detail	MDF	Medium Density Fiberboard	T.O.W.	Top of Wall
DIA.	Diameter	MECH.	Mechanical	TOIL.	Toilet
DIM.	Dimension	MED. CAB.	Medicine Cabinet	TPO	Thermoplastic Polyolefin
DISP.	Disposal	MEM.	Membrane	TRTD.	Treated
DN.	Down	MFR.	Manufacturer(s)	TYP.	Typical
DR.	Door	M.O.	Masonry Opening	U.C.	Under-counter
DRN.	Drain	MIN.	Minimum	UNFIN.	Unfinished
DWR.	Drawer	MISC.	Miscellaneous	U.N.O.	Unless Noted Otherwise
DS.	Downspout	MLDG.	Molding	UTL.	Utility
D.W.	Dishwasher	MTL.	Metal	VB.	Vapor Barrier
DWG.	Drawing	MTD.	Mount	VENT.	Ventilate(-or)
E.A.	Each	M.W.	Microwave	VEST.	Vestibule
E.L.	Expansion Joint	N.E.C.	National Electric Code	V.I.F.	Verify in Field
EL.	Elevation	N.I.C.	Not In Contract	W.	Washer
ELIC.	Electrical	NO.	Number	W/	With
ELEV.	Elevator	N.T.S.	Not To Scale	W/ O	Without
EPS	Expanded Polystyrene	O.A.	Overall	W.C.	Water Closet
EPXY	Epoxy	O.C.	On Center	WD.	Wood
EQ.	Equal	OFF.	Office	WDW.	Window
EQUIP.	Equipment	O.H.	Overhang	W.H.	Water Heater
EST.	Established	OPNG.	Opening	W.P.	Waterproof
E.T.R.	Existing to Remain	OPP.	Opposite	W.PFG	Waterproofing
EX. EXIST.	Existing			W.S.	Weather Stripping
EXH.	Exhaust			WT.	Weight
EXT.	Exterior			YD.	Yard

DESIGN PARAMETERS

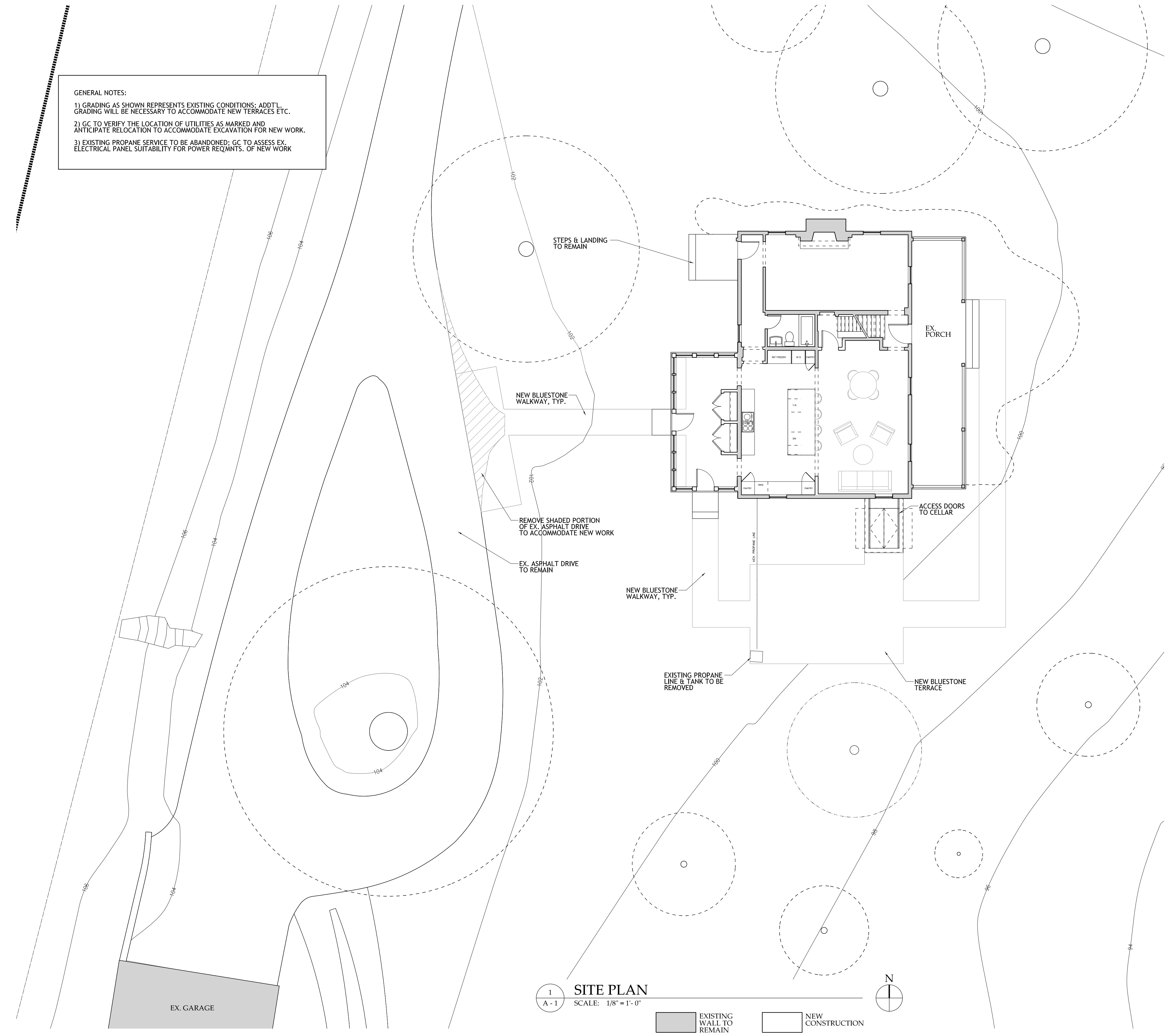
Montgomery County, Maryland			
GROUND SNOW LOAD	30 psf	DECAY	Slight to moderate
WIND SPEED	115 mph	WINTER DESIGN TEMP.	13°F
SEISMIC DESIGN CATEGORY	B	ICE SHIELD UNDERLAYMENT REQ'D.	Yes
WEATHERING	SEVERE	FLOOD HAZARDS	July 2, 1979
FROST LINE DEPTH	30 inches	AIR FREEZING INDEX	300
TERMITE	Moderate to heavy	MEAN ANNUAL TEMP.	55°F

Soil Bearing capacity: 2000 psf or as determined by geotechnical evaluation

GENERAL NOTES:
 1) GRADING AS SHOWN REPRESENTS EXISTING CONDITIONS; ADDTL. GRADING WILL BE NECESSARY TO ACCOMMODATE NEW TERRACES ETC.
 2) GC TO VERIFY THE LOCATION OF UTILITIES AS MARKED AND ANTICIPATE RELOCATION TO ACCOMMODATE EXCAVATION FOR NEW WORK.
 3) EXISTING PROPANE SERVICE TO BE ABANDONED; GC TO ASSESS EX. ELECTRICAL PANEL SUITABILITY FOR POWER REQ'MTS. OF NEW WORK

RENOVATION OF THE CLAYTON / WATKISS RESIDENCE

24227 HAWKINS LANDING DRIVE GAITHERSBURG, MD 20882



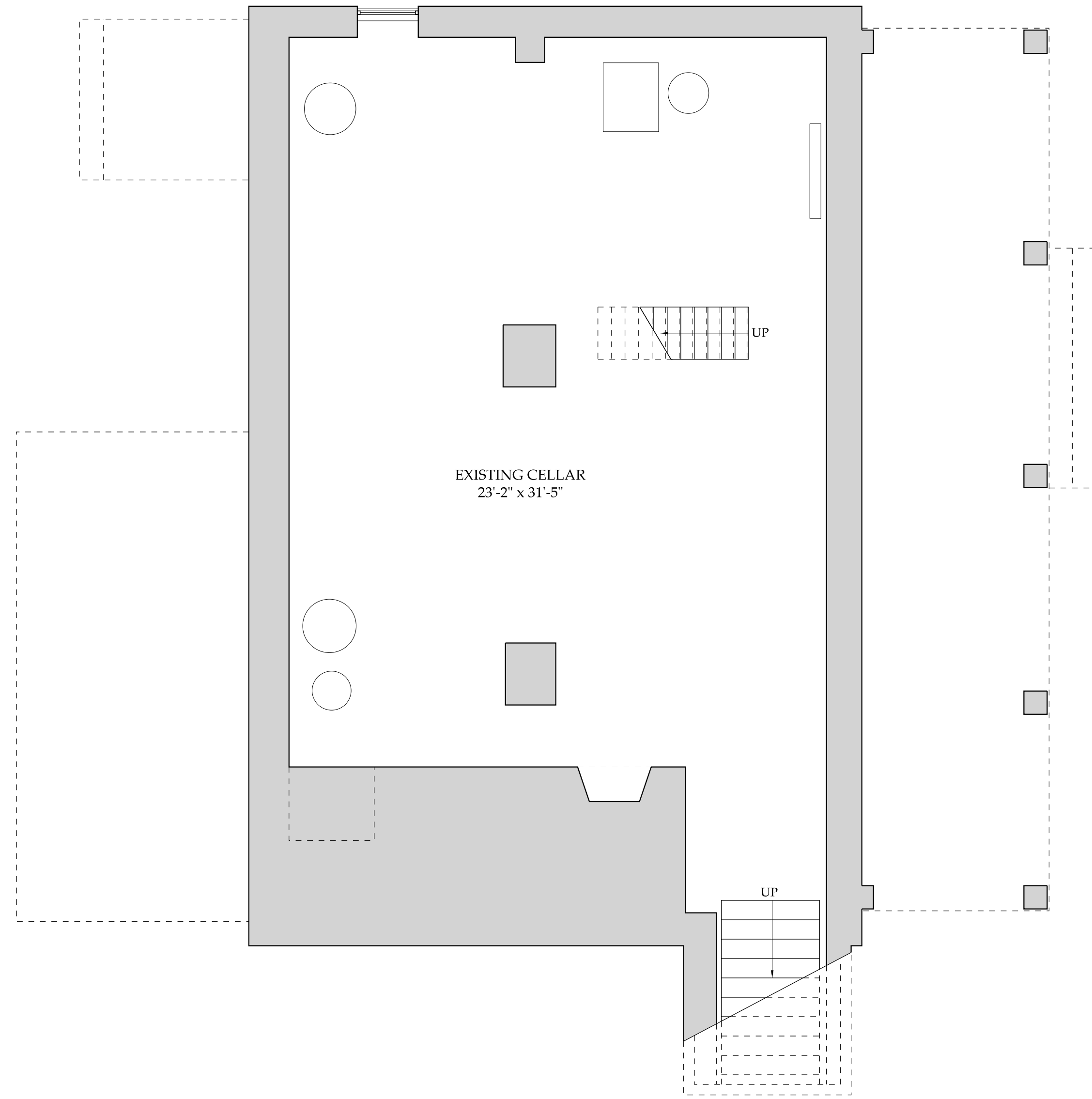
MUSE ARCHITECTS, PC
 Architecture and Interior Design
 7401 Wisconsin Avenue, Suite 500 Bethesda, MD 20814
 Phone 301.718.8118 www.musearchitects.com

RENOVATION OF & ADDITION TO THE
CLAYTON/WATKISS RESIDENCE
 24227 HAWKINS LANDING DRIVE GAITHERSBURG, MD 20882

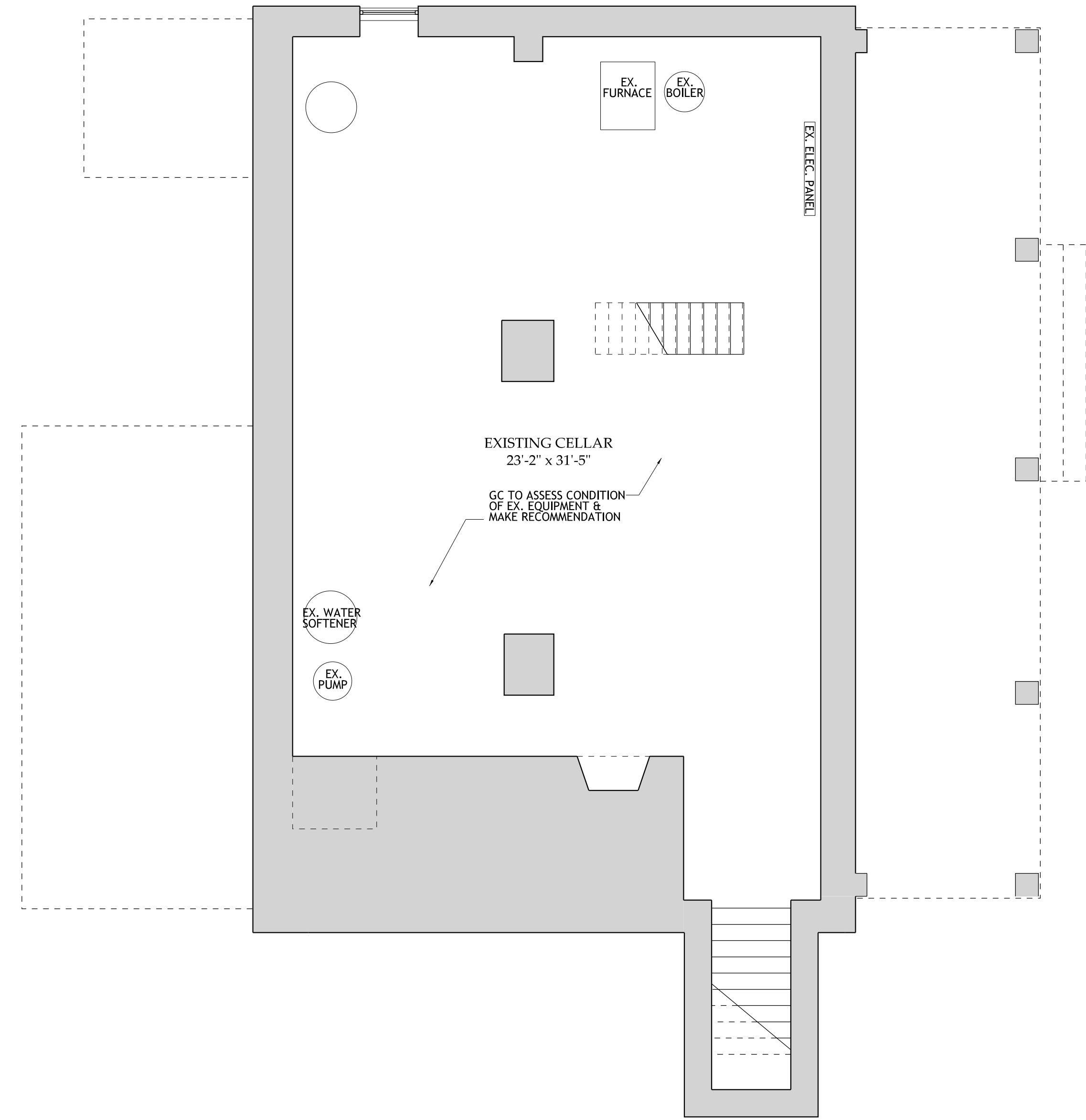
21.18
 HPC PRELIMINARY SUBMISSION
 2024 JULY 24

COVER SHEET
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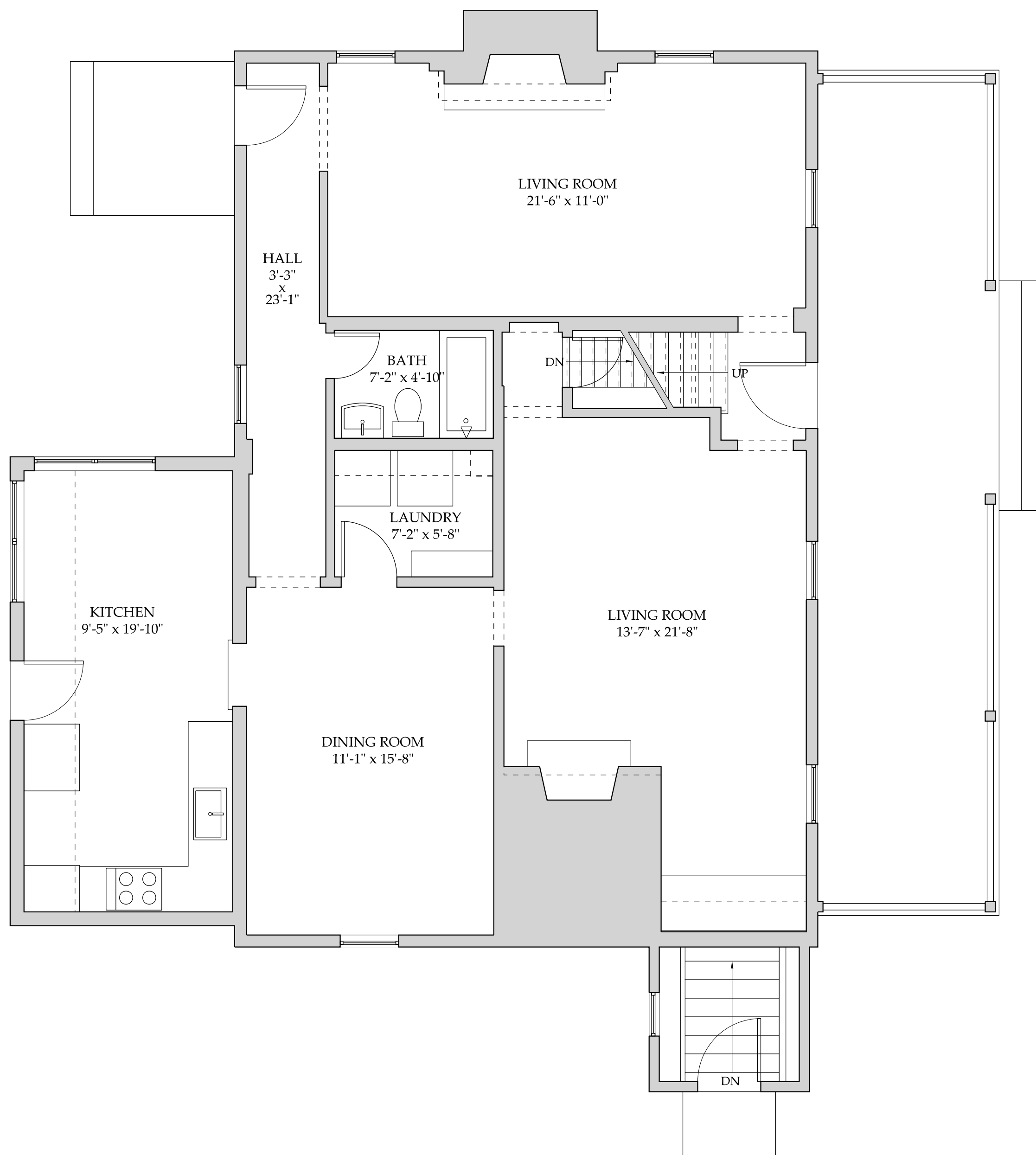
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A - 1



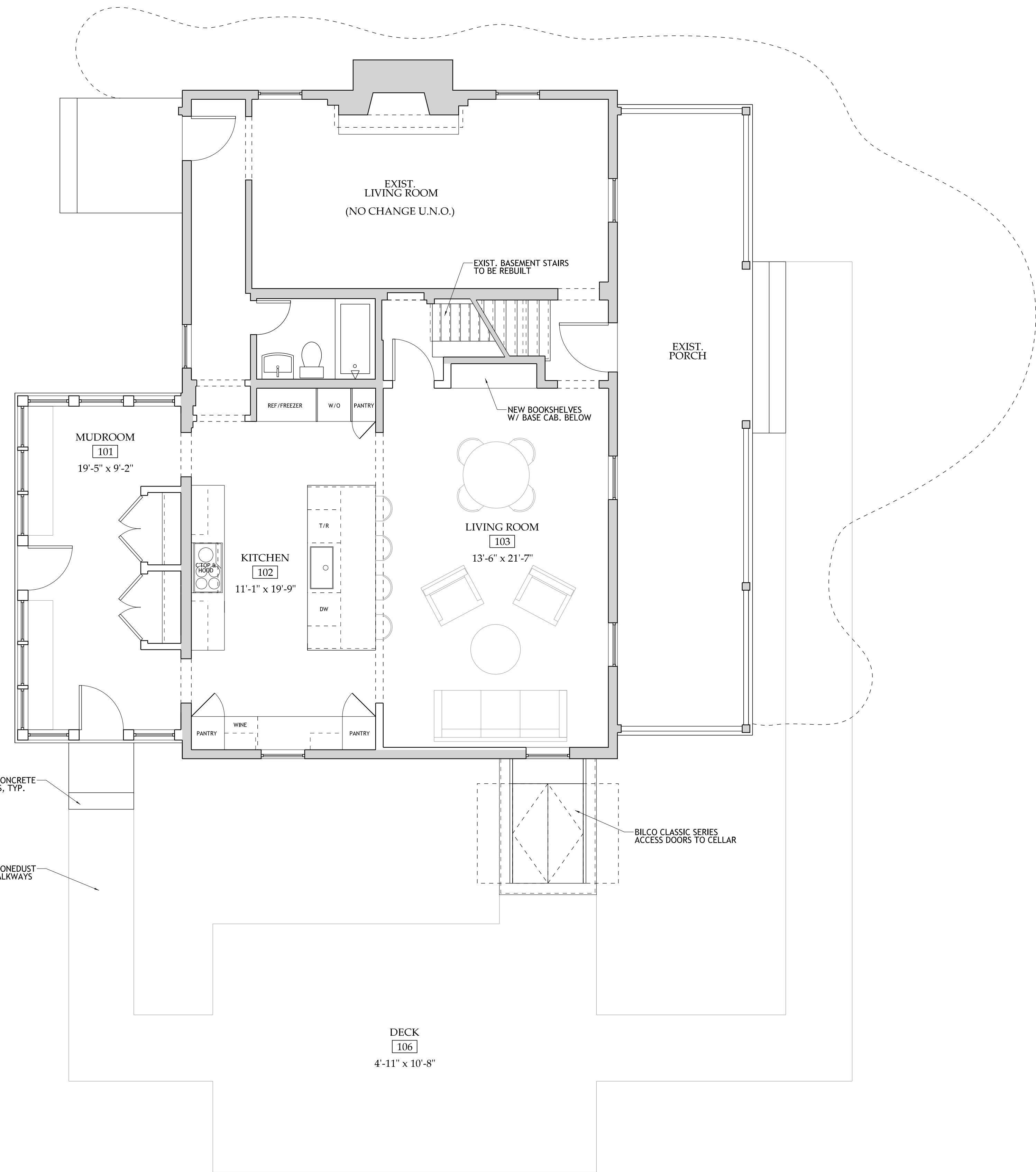
1
A-2
EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0" N



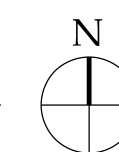
2
A-2
PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0" N



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

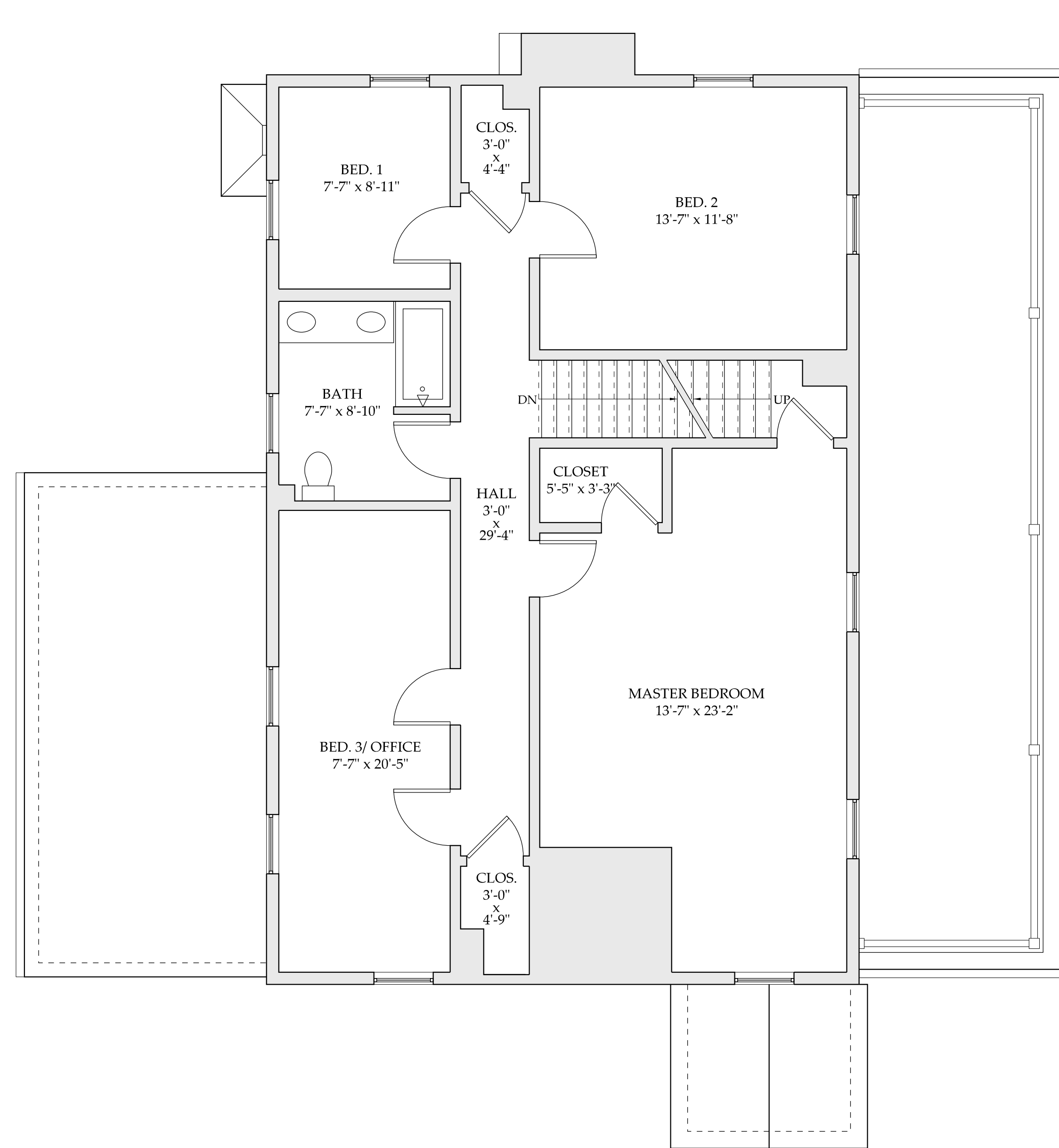


- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION

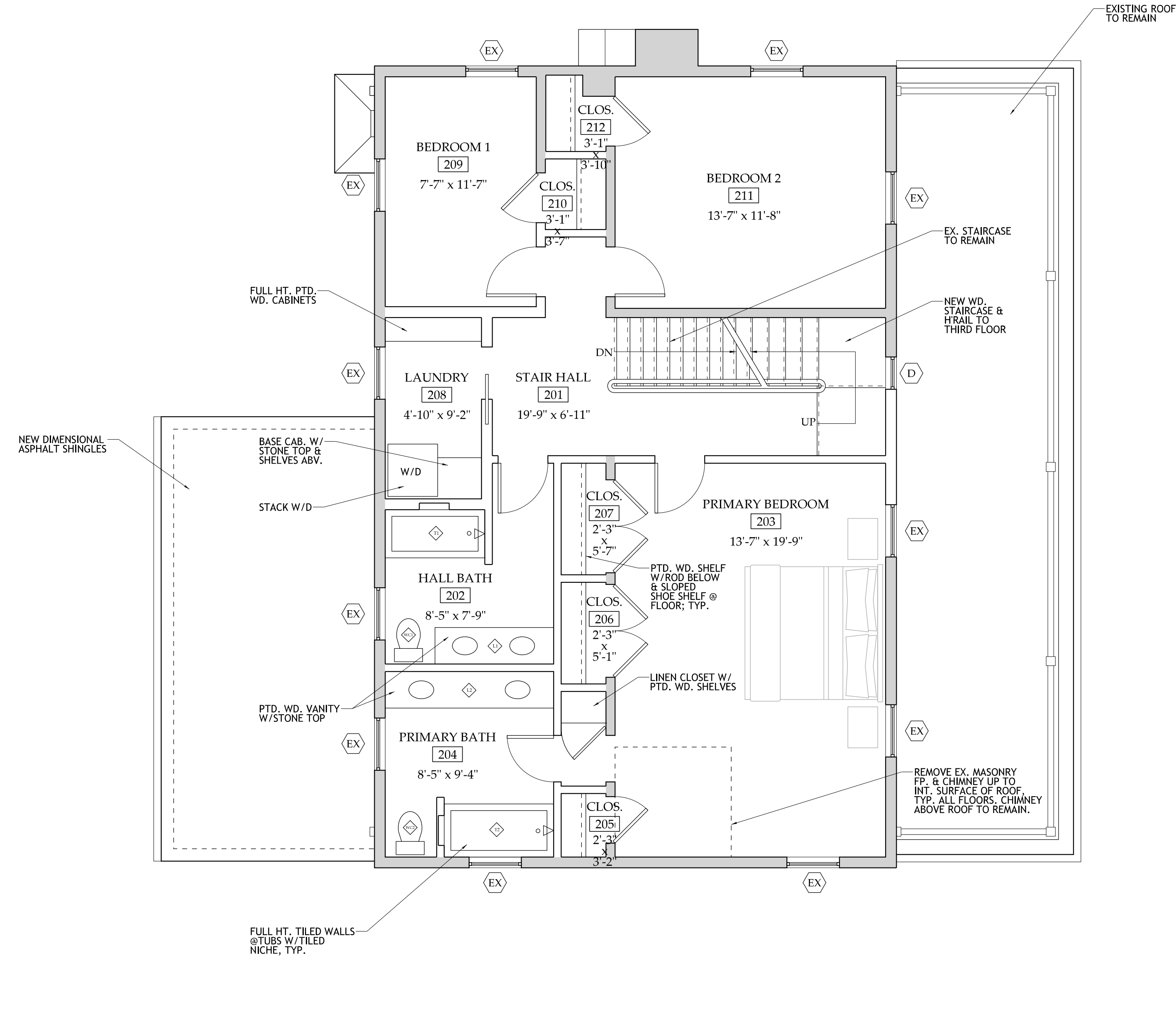
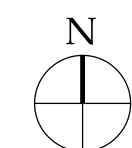
BLUESTONE ON CONCRETE LANDING & STEPS, TYP.

BLUESTONE ON STONEDUST FOR AT GRADE WALKWAYS & TERRACE, TYP.

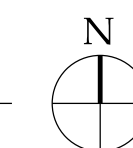
BILCO CLASSIC SERIES ACCESS DOORS TO CELLAR



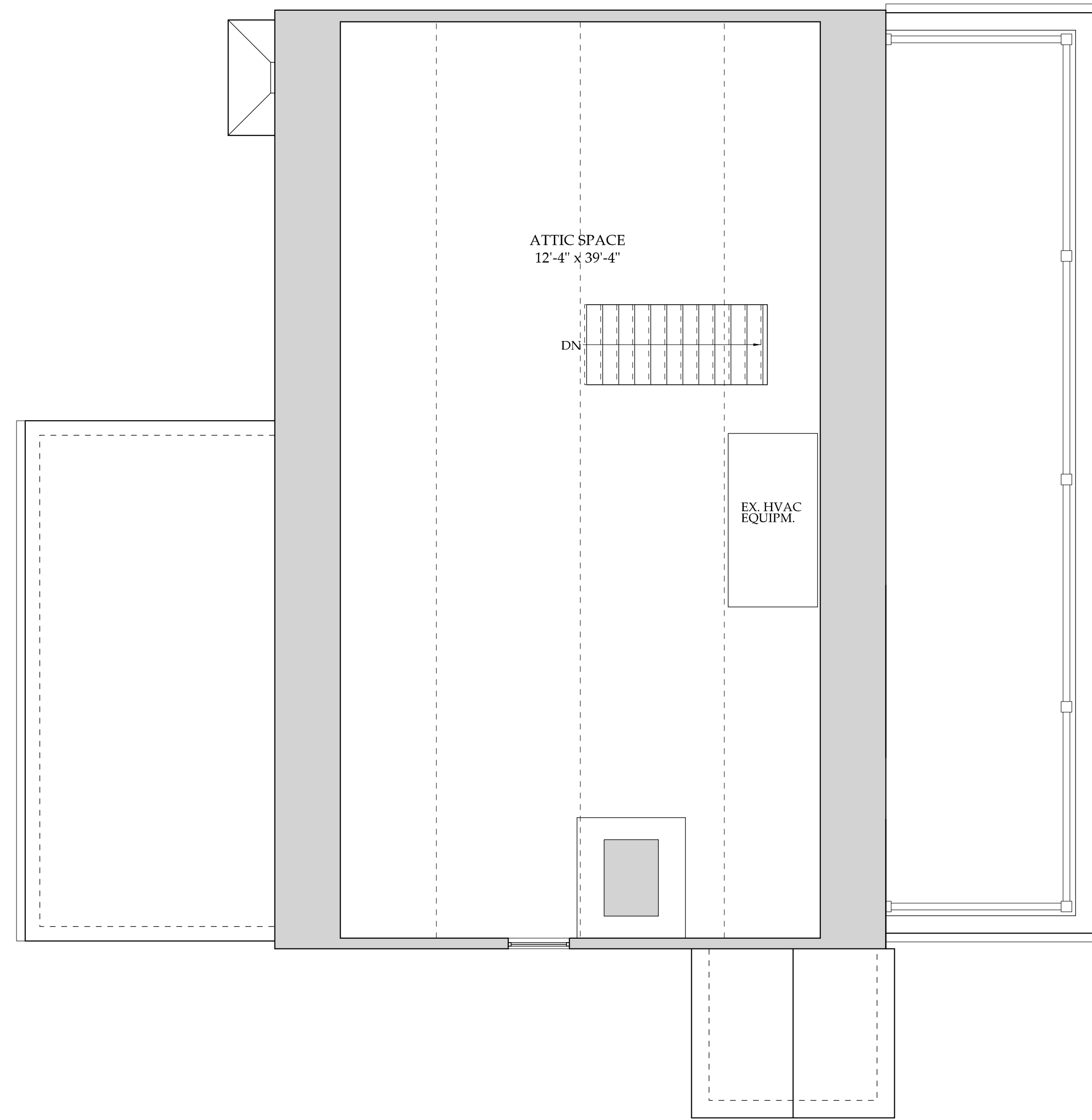
1 EXISTING SECOND FLOOR PLAN
A-4 SCALE: 1/4" = 1'-0"



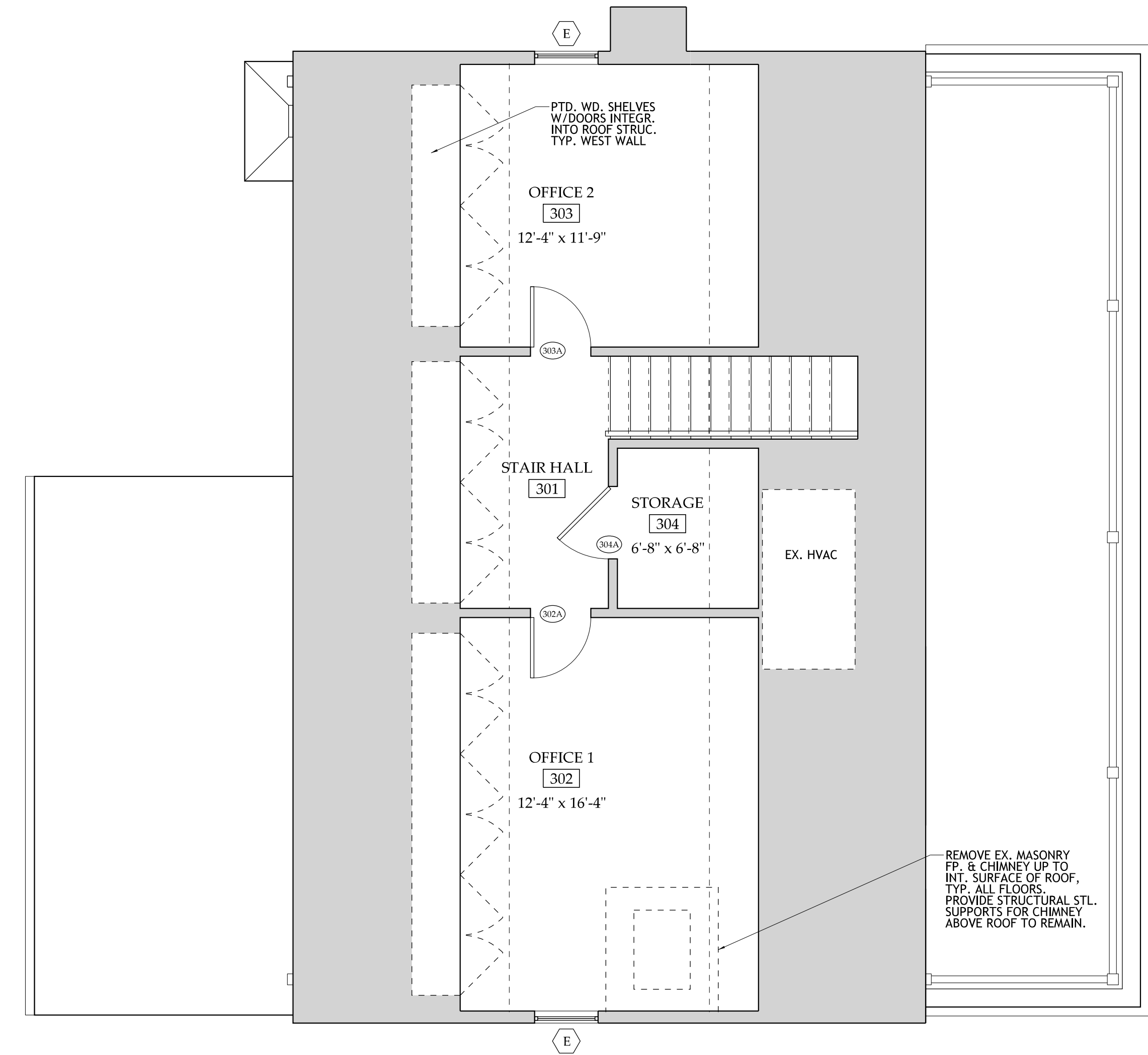
2 PROPOSED SECOND FLOOR PLAN
A-4 SCALE: 1/4" = 1'-0"



EXISTING WALL TO REMAIN
NEW CONSTRUCTION



1
A-5
EXISTING ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"



2
A-5
PROPOSED ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING
WALL TO
REMAIN

NEW
CONSTRUCTION



1
 A-6 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2
 A-6 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



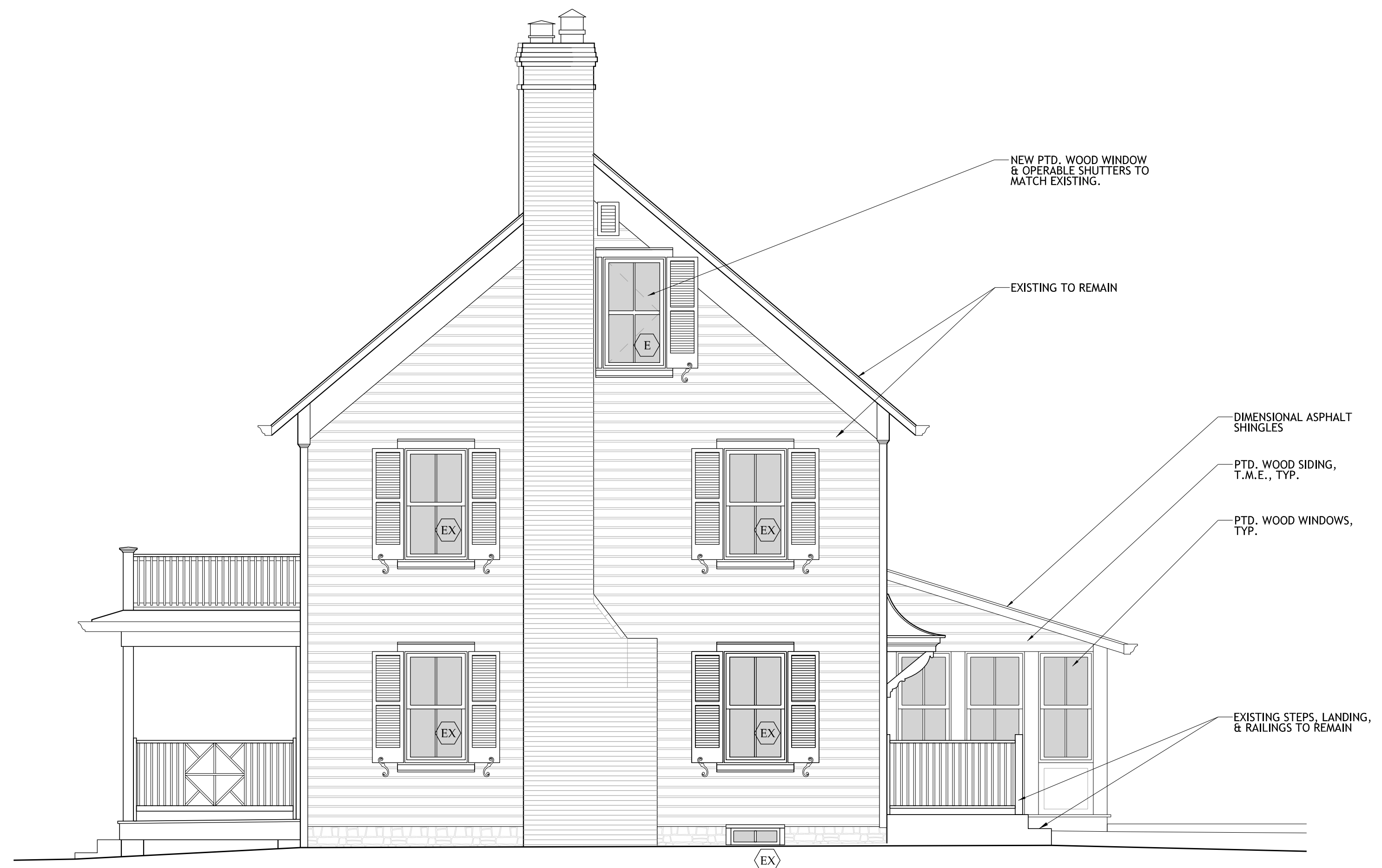
1
A-7 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-7 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A-8 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-8 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A-9 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



2
A-9 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
A - 10 N.T.S.



2 EXISTING SOUTH ELEVATION
A - 10 N.T.S.



3 EXISTING SOUTH EAST ELEVATION
A - 10 N.T.S.



4 EXISTING NORTH WEST ELEVATION
A - 10 N.T.S.



5 EXISTING WEST ELEVATION
A - 10 N.T.S.



6 EXISTING WEST ELEVATION
A - 10 N.T.S.



7 EXISTING SURROUNDING CONTEXT
A - 10 N.T.S.



1
A-11 EXISTING KITCHEN
N.T.S.



2
A-11 EXISTING KITCHEN
N.T.S.



3
A-11 EXISTING KITCHEN
N.T.S.



4
A-11 EXISTING DINING ROOM
N.T.S.



5
A-11 EXISTING LIVING ROOM
N.T.S.



6
A-11 EXISTING PRIMARY BEDROOM
N.T.S.



7
A-11 EXISTING ATTIC
N.T.S.



8
A-11 EXISTING CELLAR
N.T.S.