

Second Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10221 Menlo Ave., Silver Spring	Meeting Date:	8/14/2024
Resource:	1870-1916 Capitol View Park Historic District	Report Date:	8/7/2024
Applicant:	Kenneth A. Gear	Public Notice:	7/31/2024
Review:	Preliminary Consultation	Staff:	Dan Bruechert
Proposal:	Construction of New Single-Family House Construction		

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP or an additional preliminary consultation.

PROPERTY DESCRIPTION

SIGNIFICANCE: 1870-1916 construction in the Capitol View Park Historic District
STYLE: Vacant
DATE: n/a



Figure 1: The proposed house is on the northernmost lot on Menlo Avenue in the Capitol View Park Historic District.

BACKGROUND

The HPC approved the demolition of the c.1910 house at 10221 Menlo Ave. at the June 12, 2019 HPC meeting.¹ The house had been vacant for several years before it was struck by a tree and subsequently condemned by the Department of Housing and Community Affairs.

A Preliminary Consultation was heard at the July 12, 2019² HPC meeting to evaluate a new house design for the lot. The applicant never followed up after the hearing and the proposal was abandoned and the former owner sold the property in May, 2023.

The applicant presented a Preliminary Consultation at the January 10, 2024 HPC meeting.³ The HPC was generally supportive of the proposal and recommended revisions to the roof form at the front of the house and encouraged a more cohesive fenestration pattern throughout the house design. The HPC also requested additional information about the total lot coverage, tree removal plans, and detailed material specifications.

The applicant has substantially revised and altered the proposal from January. The changes are enough for staff to request a second Preliminary Consultation.

PROPOSAL

The applicant proposes to construct a new single-family house on the property.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)

1. 1870-1916: Characterized by large lots and variety of setbacks, and architecturally encompassing the “Victorian” residential and revival styles and the early bungalow style popular during this period, these twenty-two houses are of a higher degree of architectural and historical significance than the other structures within the district.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

¹ The Staff Report and application for the 2019 house demolition is available here:

<https://montgomeryplanning.org/wp-content/uploads/2019/06/I.D-10221-Menlo-Avenue-Silver-Spring.pdf>.

² The Staff Report and application for the proposed new construction is available here:

<https://montgomeryplanning.org/wp-content/uploads/2019/06/III.B-10221-Menlo-Avenue-Silver-Spring.pdf>. The hearing for the July 12, 2019 Preliminary Consultation is available here:

https://mncppc.granicus.com/MediaPlayer.php?publish_id=b8e2f280-98de-11e9-b00b-0050569183fa, beginning at 1:37:00.

³ The Staff Report for the January 10, 2024 Preliminary Consultation is available here:

<https://montgomeryplanning.org/wp-content/uploads/2024/01/II.A-10221-Menlo-Avenue-Silver-Spring.pdf>.

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59)

The Secretary of the Interior's Standards for Rehabilitation

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is located at the northern edge of the Capital View Park Historic District on Menlo Ave. The subject lot was platted in 1887. Staff's estimates that a house was constructed on the property around c.1910 with several later additions. The house demolition was approved by the HPC in 2019 and the lot has been vacant ever since. The lot slopes steeply away from grade. The house immediately to the south of the subject property, at 10219 Menlo Ave., is infill construction that was approved by the HPC in 2004.⁴ To the north of the subject lot, is the Capitol View-Homewood Local Park. The applicant proposes to construct a single-family house on the lot.

Most of the design elements for the proposed house have been revised from what the HPC reviewed in the January 2024 Preliminary Consultation. The new design includes a monitor roof composed of two shed roof planes. The rear roof plane projects above the lower front roof plane, creating a monitor or clerestory facing west (the front elevation). The house has a central entrance with a one-bay garage on the right. A window, matching the width of the garage door, is proposed to the left of the front door. Second-floor windows are proposed over the first-floor openings. Over the front door, the applicant proposes to install a 'Kalwall' translucent window panel, that bisects the front roof plane. The house will be covered in fiber cement siding, with selections of PAC-CLAD metal panels. The applicant proposes to install a green roof on both roof planes. The rear elevation of the house is mostly glazed, with a rear deck. Below the deck, there is a walk-out patio. The patio appears to be approximately 35' (thirty-five

⁴ The file for the 2004 HAWP approval at 10219 Menlo Ave., Silver Spring is available here: https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box083/31-07-04H_Capitol%20View%20Historic%20District_10219%20Menlo%20Ave_09-10-2004.pdf.

feet) deep, narrowing to approximately 15' (fifteen feet). No material is identified for the proposed patio.



Figure 2: Revised design showing the front and left-side elevations.

The total lot coverage of the proposed house and patio appears to have been reduced by approximately one-half and no trees will be removed as part of this proposal.



Figure 3: Right-side and rear elevations including the proposed patio.

Design

Staff finds the proposed design, though distinctly contemporary, will not detract from the character of the surrounding district. The roof form, window size and scale, and green roof are all intended to stand apart from the historic buildings and historic building styles found throughout the historic district. However, Staff finds the proposed house's siting, massing, proportions, and materials (all discussed below) and not its stylistic elements are what makes the proposed design appropriate under Standard 9 which encourages compatibility while differentiating between new and historic elements.

One of the critiques of the design presented at the January 2024 Preliminary Consultation voiced by a number of commissioners, was that the fenestration on the front elevation appeared unbalanced and that the overall fenestration appeared disjointed and hindered creating a cohesive whole. The revised design balances the width of the front elevation opening, and stacks the openings, but Staff notes these are wider openings than are typically found throughout the historic district and creates an appearance with a more highly glazed percentage of wall surface. While Staff also notes that the window openings on the other elevations are stacked, the proposed window sizes are irregular. Staff requests feedback from the HPC on the appropriateness of the fenestration size and arrangement.

Additionally, part of the Capitol View Historic District's significance is that it "exhibits most building styles "typical" in the development of suburban Montgomery County." That variety of styles leads Staff to find no one style would be the correct solution for infill construction. Staff finds consideration of the factors discussed below is more important in determining the proposal's overall compatibility than the specific design elements.

Based on these considerations, Staff finds the design of the proposed house appears to satisfy 24A-8(c) and (d) and Standards 9 and 10.

Size and Placement

Staff finds the proposed revisions have created a taller house, but one with a much smaller footprint than what was presented at the first Preliminary Consultation. The previous proposal, which was broken into three pieces was nearly 75' (seventy-five feet) deep, whereas the revised design is 44' (forty-four feet) deep. The smaller footprint also means there is less of an opportunity to take advantage of the lot's steep grade change, a detail Staff found successfully hid much of the previous scheme's proposed mass.

Staff finds the house width is generally consistent with the infill house next door, constructed c. 2006. As accurate construction drawings are unavailable for 10219 Menlo Ave., Staff does not have an accurate height for that building, but it appears to be near the zoning maximum of 30' (thirty feet). Staff finds that the proposed house height will not overwhelm its neighbor. The adjacent streetscape includes one, one-and-a-half-story, and two-story houses; and while the current proposal is relatively tall, it is not an outlier on this block.

At 32' (thirty-two feet) wide, the proposed house is nearly the maximum allowed under code. The house will have an 8' (eight-foot) setback from the south property line and a 10' (ten-foot) setback from the north property line. This is generally consistent with the width of the previous design reviewed by the HPC. Based on Staff's review of the infill project at 10201 Menlo Ave. and analysis using GIS,⁵ Staff finds houses this width are fairly common in this section of the Capitol View Park Historic District.

⁵ The Staff Report and application materials for the approved infill house at 10201 Menlo Ave., Silver Spring are available here: <https://montgomeryplanning.org/wp-content/uploads/2019/04/I.A-10201-Menlo-Avenue-Silver-Spring.pdf>.

Finally, Staff finds the proposed 25' (twenty-five foot) front setback is also generally consistent with the development pattern of the surrounding streetscape. On this block of Menlo Ave., front setbacks range from 22' (twenty-two feet) to 92' (ninety-two feet). The majority of the houses are between 25'–30' (twenty-five to thirty feet).

Materials

Staff finds the proposed materials which consist mostly of:

- Stone foundation;
- Fiber cement siding;
- Metal panel siding;
- Aluminum-clad wood windows;
- Vegetative green roof;
- Glass deck railing;

Are all generally consistent with materials found throughout the Capitol View Park Historic District. The notable exceptions being the metal panel siding and green roof, however, Staff finds the placement of the metal will not be highly visible from the right-of-way, but also requests a material sample so that it's finish may be evaluated with the final HAWP materials. Staff additionally finds that the green roof will help to control water runoff and minimize erosion, two considerations that are of significant importance for residents of the historic district.

Staff remains unconvinced about the proposed 'Kawall' translucent roof/wall system. Staff request input from the HPC on the appropriateness of this material and, if no commissioners are familiar with it, Staff recommends the HPC request a material sample be submitted with the final HAWP submission.

Grading, Hardscaping, and Lot Coverage

Staff's final considerations are the excavation on site, rear patio, and the front driveway and walkway. The applicant proposes to cut into the hillside to excavate and level the area to accommodate the foundation and rear patio. The applicant states that equalizing the site will eliminate the need for additional fill and will eliminate the need for additional concrete retaining walls. Much of the area between topo lines 370 and 355, shown on the attached topographic survey, will be excavated to accommodate the construction. Staff requests feedback from the HPC on the appropriateness of this excavation and the treatment for the strip to the south of the proposed house.

The driveway will be 25' (twenty-five feet) long and constructed out of stamped concrete. Adjacent to the driveway, the applicant proposes to construct a paved walkway. To the rear of the house, the applicant proposes to construct a patio that measures approximately 35' × 32' (thirty-five feet deep, by thirty-two feet wide), not including the proposed stairs.

Staff finds the stamped concrete driveway will not detract from the character of the district and is modestly sized. Additionally, because parking off street is limited, a walkway to the front door is necessary. No materials were identified for the new walkway, however, the renderings show them constructed using the same concrete as the driveway. Staff would support the driveway and front walk as a HAWP.

Staff finds the proposed patio will not be at all visible from the public right-of-way and, under 24A-8(d), it should be given a lenient review. While no material was identified for the patio, Staff's larger concerns have to do with the size of the patio and the total lot coverage of the proposal. The proposal as presented covers 24.5% of the lot.

While the total lot coverage is below the maximum allowable under the zoning ordinance, the HPC has frequently required less than that amount to preserve the character of a site or historic district.

Staff requests input from the HPC on the proposed lot coverage and requests recommendations for any site improvements that may minimize the visual impact of the proposed lot coverage if the HPC deems it necessary.

Finally, Staff suspects the applicant will be required to take additional measures to address water runoff including, but not limited to drywells. Staff requests the applicant provide additional information on those measures either at the preliminary consultation hearing or to submit those materials as part of a final HAWP submission.

Staff requests feedback from the HPC on:

- The appropriateness of the proposed size, massing, and height of the proposed house;
- The appropriateness of the fenestration patterns and the overall approach to the solid/void ratio of the house;
- The appropriateness of the size of the backyard;
- The appropriateness of the identified materials, specifically the metal panels, green roof, and ‘Kawall’;
- The overall impact the paving and backyard patio will have on the site; and
- Any other feedback regarding the proposed site grading and the overall amount of impervious surfaces on the site.

STAFF RECOMMENDATIONS

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP or potentially an additional preliminary consultation.

FOR STAFF ONLY:
HAWP# 1079660
DATE ASSIGNED _____



APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Ken Gear
Address: 8532 Freyman Dr. #120
Daytime Phone: 202-595-4882

E-mail: v6ukbg@gmail.com
City: Chevy Chase, MD Zip: 20815
Tax Account No.: 00996542

AGENT/CONTACT (if applicable):

Name: Beth Davis
Address: 14508 Chesterfield Rd
Daytime Phone: 202-642-4729

E-mail: contractorservicesdc@gmail.com
City: Rockville, MD Zip: 20853
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Capitol View Park Historic District
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10221 Street: Menlo Ave
Town/City: Silver Spring Nearest Cross Street: Loma
Lot: #1 Block: #18 Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ken Gear

7/24/2024

70C07CE033154B1... Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Kenneth Gear 8532 Freyman Dr. #120 Chevy Chase, MD 20815	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
10219 Menlo Ave Silver Spring, MD 20910	10222 Leslie St Silver Spring, MD 20902
10218 Menlo Avenue Silver Spring MD 20910 10220 Menlo Avenue Silver Spring, MD 20910	10220 Leslie St Silver Spring, MD 20910

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The lot is 50' wide by 210' long. It is the end lot on Menlo Ave as the boundary to the west. Forest Glen parkland is located to the north, and single family homes on lots of similar and smaller size are located to the east and south. The lot slopes from high to low from the west lot line towards a small creek that runs across the lot about 150' to the east. The remaining 60' from the creek to the east lot line is densely covered with trees and brush, and slopes steeply from low to high.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We are proposing to construct a new single family home with a rear deck and patio. The program for the single family home includes a primary suite, guest suite, storage, screen porch on the basement level. A one-car garage, home office / guest suite, kitchen, dining and living room on the 1st floor. A flex room, bedroom suite and vaulted area on the 2nd floor. All three levels are connected by an interior stair and elevator.

The new single family home will be a modern "slip" or "multi-directional" shed roof style home with cement board V-groove siding, metal paneling, metal clad windows and doors, translucent wall & roof, metal overhangs, and glass railings.

Due to the sloping nature of the site, the home is tucked into the hill and has a two stories of height on the Menlo Ave elevation, while having a walk-out basement on the eastern side, allowing for three stories of height. The 1st floor has a wood deck off the rear, and the walk-out basement is connected to a tiered patio of permeable concrete pavers and dry-laid block retaining walls and landscaping. By equalizing the site we will eliminate the need to bring in additional soil, and can minimize the site disturbance area. This also eliminates the need for expensive concrete retaining walls.

The new single family home will contain many sustainable features, including a green roof and permeable pavers to help manage storm water on the site. The building is also to be constructed using modular techniques to minimize on site construction timing & construction waste, maximize efficiencies available. The construction techniques planned include installing a modular foundation system and factory built superstructure.

Work Item 1: <u>Excavation / Storm Water Management</u>	
Description of Current Condition: The lot slopes from high to low from the west lot line towards a small creek that runs across the lot about 150' to the east. The remaining 60' from the creek to the east lot line is densely covered with trees and brush, and slopes steeply from low to high.	Proposed Work: Equalize the site by cutting out the hillside closest to Menlo Ave and using it to level out the rear patio. The construction will contain many sustainable features, including a green roof and permeable pavers to help manage storm water on the site.

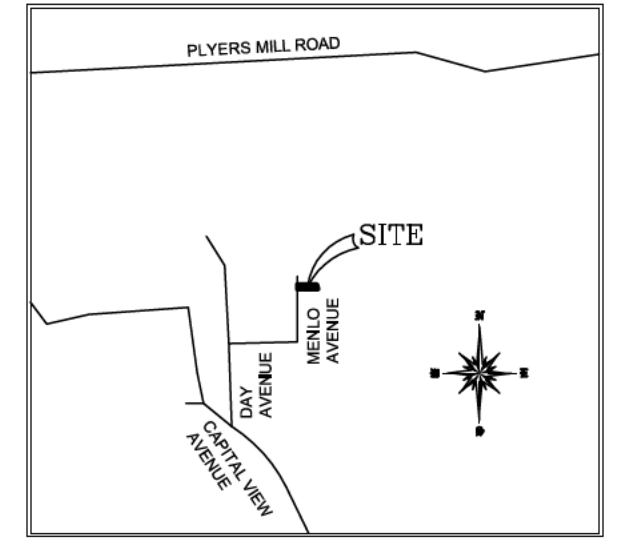
Work Item 2: <u>New House</u>	
Description of Current Condition: Construct a new single family structure.	Proposed Work: The building is to be constructed using modular techniques to minimize construction waste and site disturbance, and maximize efficiencies. The techniques include using a modular foundation system and factory built superstructure.

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

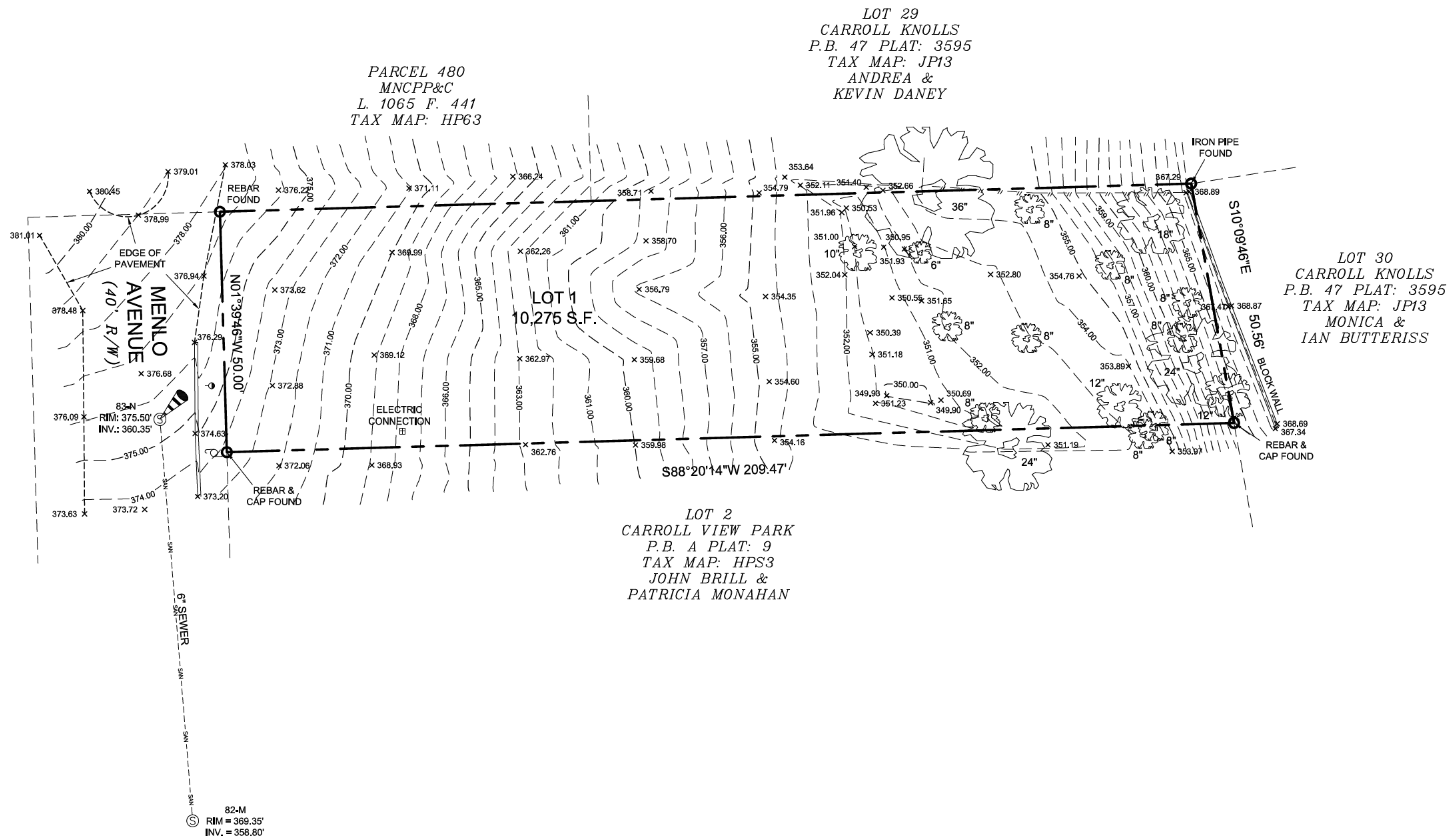
HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

ADDRESS: 10221 MENLO AVENUE
SILVER SPRING, MD 20910



VICINITY MAP
SCALE: 1"=2000'



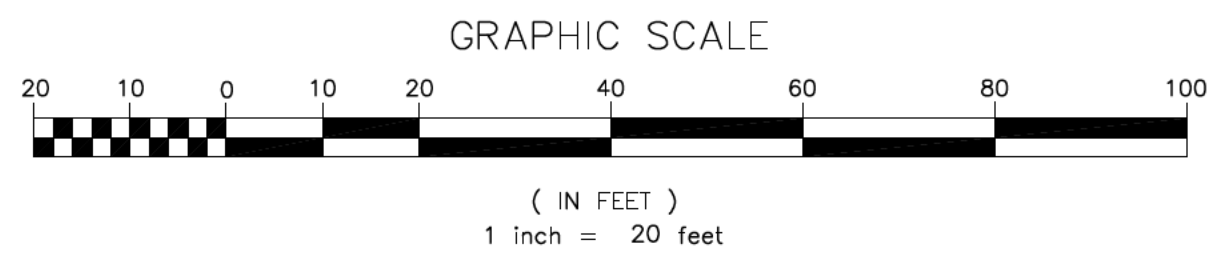
LEGEND

- TREE
- GUY WIRE
- UTILITY POLE
- SEWER MANHOLE
- LIGHTPOLE
- PROPERTY LINE
- WOOD FENCE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- SEWER LINE

NOTES:

1. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.
2. SUBJECT TO ALL EASEMENTS ON RECORD.
3. THE VERTICAL DATUM SHOWN HEREON IS NAVD88.

DRAWN BY: DS
FILE: #10221 MENLO AVENUE 2



I HEREBY CERTIFY THAT IMPROVEMENTS ARE LOCATED AS SHOWN HEREON AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.

FITZROY J. BERTRAND
SURVEYOR

DATE

BOUNDARY & TOPOGRAPHIC SURVEY
LOT 1: BLOCK 18
CAPITOL VIEW PARK
PLAT: A @ 9
MONTGOMERY COUNTY, MARYLAND
SCALE: 1" = 20' DATE: 6/6/24

REAL ESTATE SURVEYORS & DEVELOPERS, LLC

Residential, Commercial, Industrial and Land
WWW.RESDLLC.COM
6207 CODY COURT
BELTSVILLE, MARYLAND 20705
TEL: (301)604-3105 FAX: (301)604-3108

10221 Menlo Ave NE, Silver Spring, MD 20910; KEN GEAR RESIDENCE

Proposed Project Specifications:

- Two story single family house with basement, rear deck and patio.

Glazed full light door Images:



Notes:

- **Windsor** flush glazed full light fiberglass entry door product#500004 w/U- VALUE = 0.25 & SHGC = 0.16 or equal

Glass window Images:



Notes:

- **Windsor** pinnacle casement clad windows w/U-VALUE = 0.33 & SHGC = 0.18 or equal

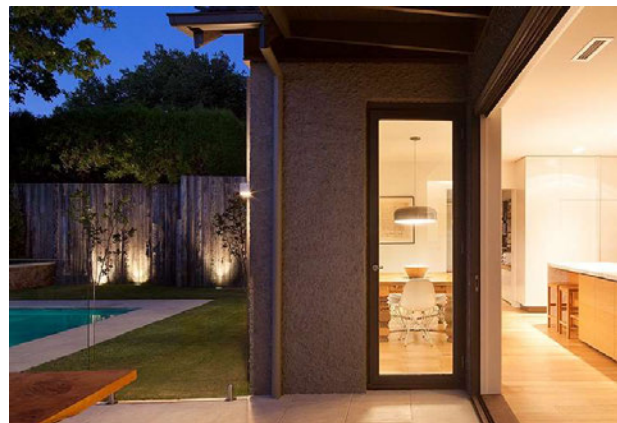
Garage Door Images:



Notes:

- **Clopay** canyon ridge modern garage door or equal

Patio Door Images:



Notes:

- **La Cantina** aluminium wood inswing door w/ U-V value = 0.40 & SHGC= 0.28 or equal

Sliding door Images:



Notes:

- **Windsor** pinnacle clad sliding door w/U-VALUE = 0.35 & SHGC = 0.20 or equal

Exterior siding Images.



Notes:

- 12" **PAC-CLAD** smooth metal flush panel

Notes:

- 6 3/4" **Jameshardie** hardie® artisan siding v groove profile

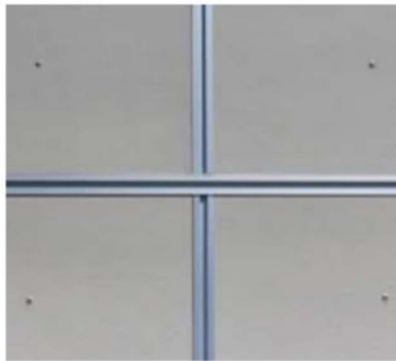
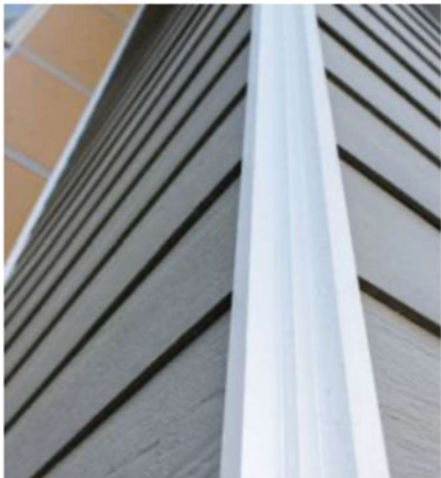
Exterior siding Images:



Notes:

- **ecooutdoor** clancy random ashlar natural stone clad.

Exterior Trim Images:



Notes:

- 5/4" x 4" **Easytrim** trim or equal typ.
- 1/2" **Easytrim** j panel trim

Glass Railing Images:



Screened Porch Images:



Notes:

- **Viewrail** glass railing w/ surface mounted talon spigots system

Notes:

- **Screeze** flush mounted fixed screens

Translucent Roof / Wall System Images:



Notes:

- **Kalwall** translucent skyroof or equal

Green Roof Images:



Notes:

- **Hydrotech** intensive green roof system or equal

Deck Images:



Patio Images:

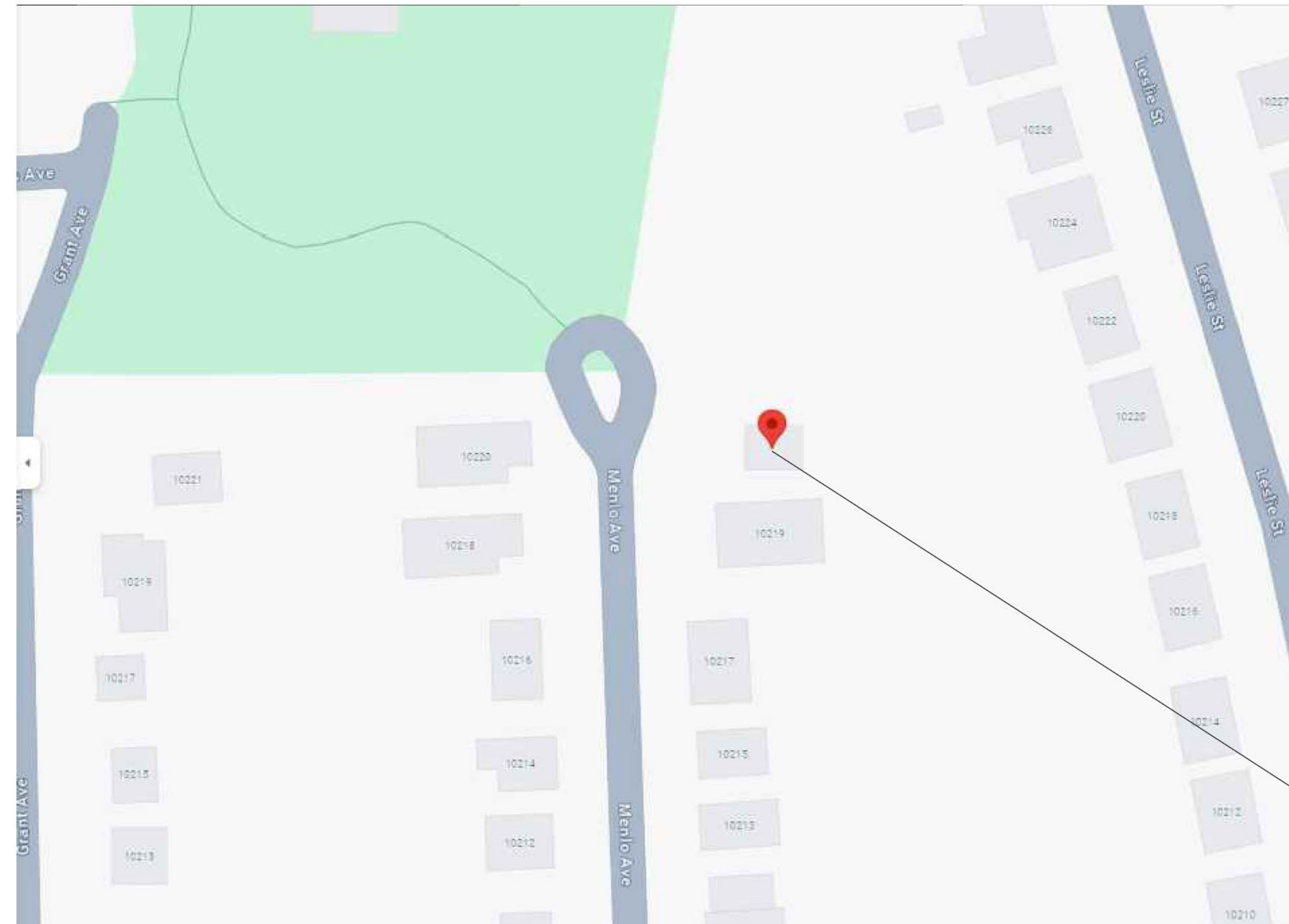


Notes:

- Notes:
 - Deck from the first floor with Glass railing for outdoor seating overlooking the nature outside

- Notes:
 - Outdoor Patio space overlooking the nature outside

10221 Menlo Ave. Silver Spring, MD 20910



1 SITE LOCATION PLAN
SCALE: NONE

PROPERTY LOCATION



2 EXISTING SITE
SCALE: NONE

PROJECT DESCRIPTION

CONSTRUCT NEW 2-STORY SINGLE FAMILY HOME WITH BASEMENT, INCLUDING A RECK DECK AND PATIO W/ SITE RETAINING WALLS.

HISTORIC APPLICATION: 1079661

NOTE

ALL DIMENSIONS LISTED CORRELATE WITH THE DESIGN INTENTION. DO NOT SCALE DRAWINGS. IF ANY DIMENSIONS OR NOTES ARE IN QUESTION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING W/ WORK.

DRAWING INDEX

0001	COVER SHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX
0003	SITE PLAN
A-0001	PROPOSED PLANS, DOOR SCHEDULES & NOTES
A-0002	PROPOSED PLANS, DOOR SCHEDULES & NOTES
A-0003	PROPOSED PLANS, DOOR SCHEDULES & NOTES
A-0004	PROPOSED RENDERINGS
A-0005	PROPOSED EXTERIOR ELEVATIONS & NOTES
A-0006	PROPOSED ELEVATIONS
A-0007	PROPOSED ELEVATIONS
A-0008	PROPOSED SECTIONS & NOTES
A-0009	PROPOSED SECTIONS & NOTES
A-0010	PROPOSED SECTIONS & NOTES

GENERAL INFO

OWNER:
KEN GEAR
8532 FREYMAN DR #120.
CHEVY CHASE, MD 20815

ARCHITECT:
AGGREGATE ARCHITECTURE +
DESIGN, PLLC
1308 9TH ST NW - SUITE 200
WASHINGTON, DC 20001
PH: 202.289.0053

ZONING INFO

LOT: 1
ZONE: R-60
EXIST. LOT AREA: 10275 SQ.F.T
EXIST. LOT OCC: N/A
PROPOSED LOT OCC: 24.5%
MAX LOT OCC: 25%

CODE REVIEW INFO.

ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECS & DRAWINGS, & SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS, LICENSES & INSURANCE NECESSARY FOR THE PROPER EXECUTION OF WORK SHALL BE SECURED & PAID FOR BY THE GENERAL CONTRACTOR. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL FIRE PREVENTION CODE (IFC)
2018 MECHANICAL CODE (IMC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2017 INTERNATIONAL ELECTRIC CODE (IEC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

BUILDING DATA

	EXIST. BUILDING	PROP. ALTERATION
IRC OCCUPANCY CLASSIFICATION	N/A	R-3
TYPE OF CONSTRUCTION	N/A	V-B
NUMBER OF STORIES ABOVE GRADE	N/A	2
FLOOR AREA OF PROPOSED HOUSE	N/A	4,224.8 SQ.F.T



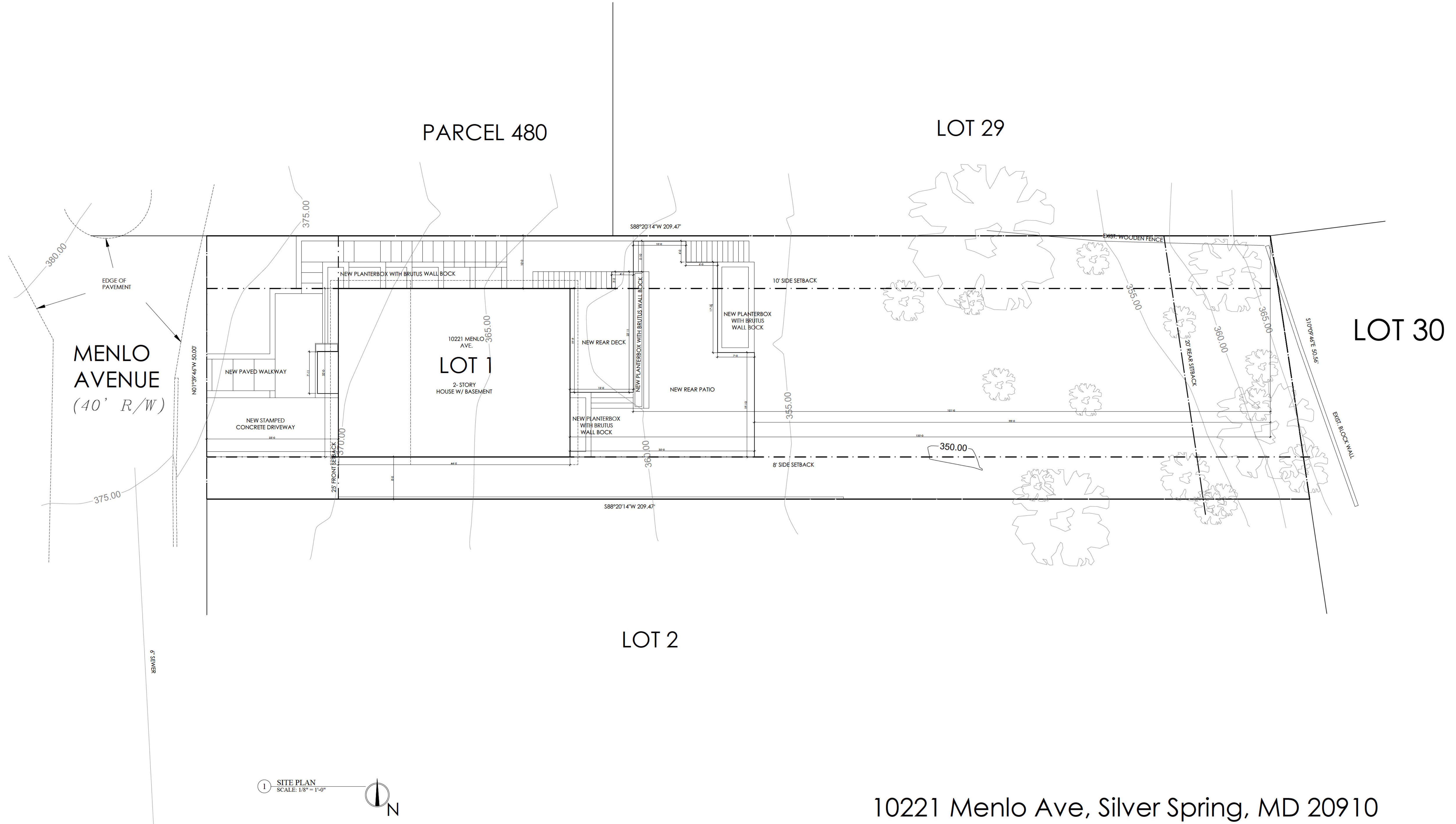
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SUBMISSION	DATE
PRICING	07.17.24
HISTORIC PERMIT	07.24.24
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DRAWN BY:	DS
CHECKED BY:	MF/LWF
PROJECT NO:	2024-06

COVER
DRAWING
SHEET

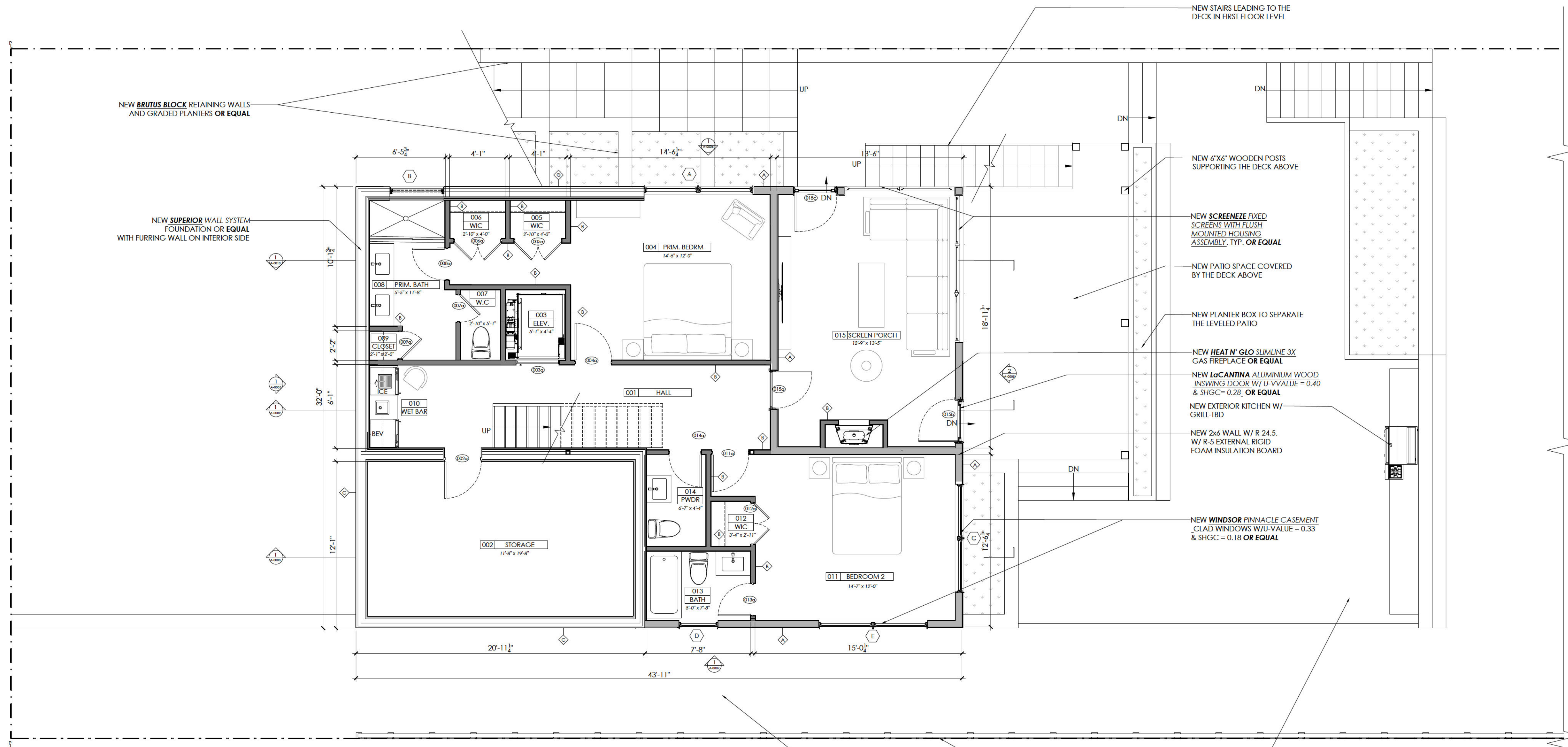
0001



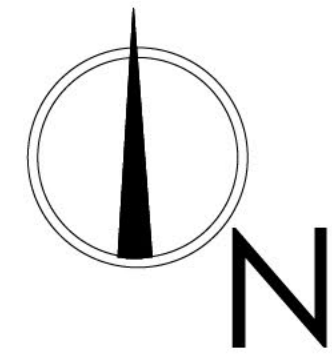
1 SITE PLAN
SCALE: 1/8" = 1'-0"

10221 Menlo Ave, Silver Spring, MD 20910

<p>Aggregate Architecture & Design, PLLC © 2024 1308 9th St NW, Suite 200 WASHINGTON, DC 20001</p>	SUBMISSION DATE PRICING 07.17.24 HISTORIC 07.24.24	SITE PLAN
	I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 16690 EXPIRATION DATE 10.12.2025	
	DRAWN BY: EM CHECKED BY: MF-LF PROJECT NO: 2024-06	0003
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1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



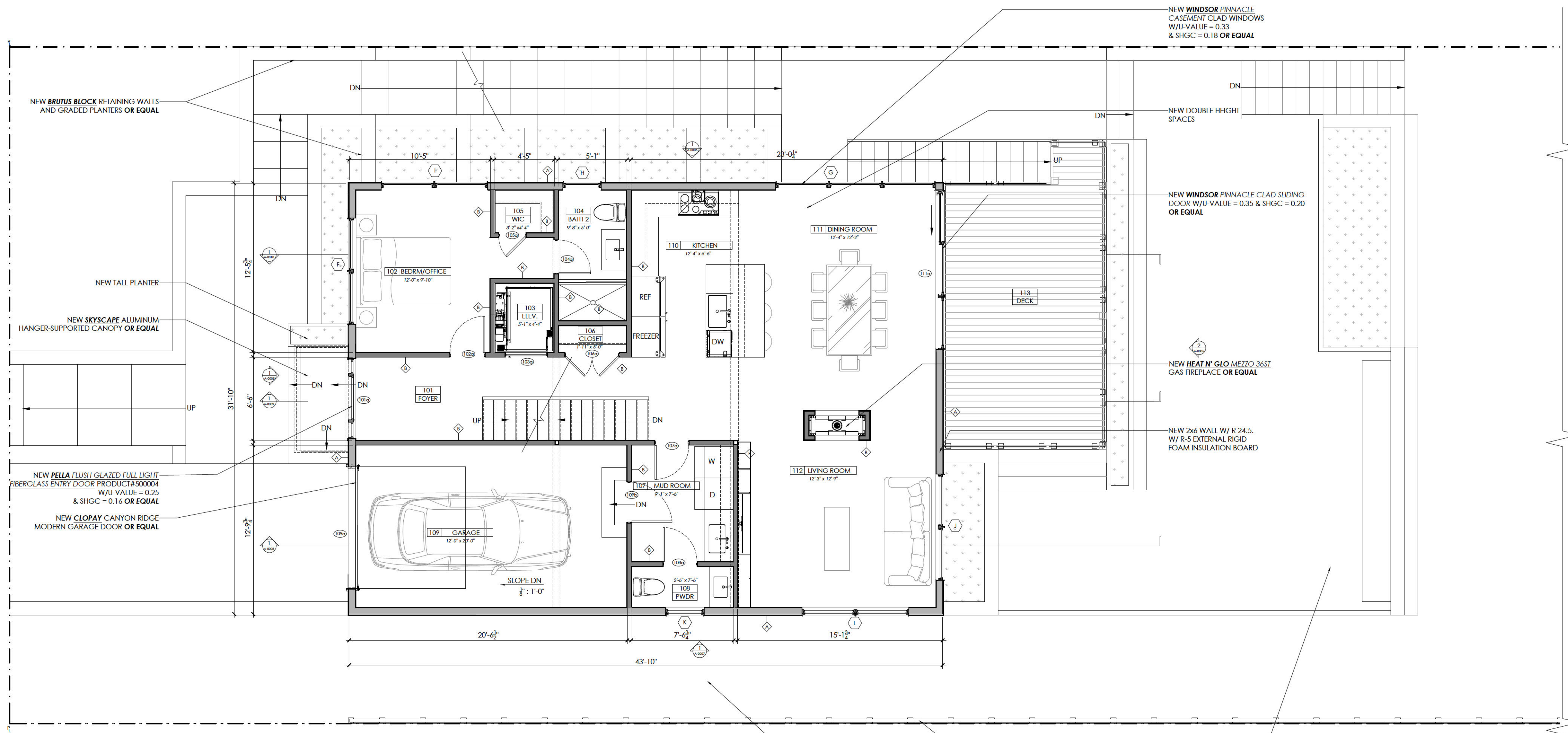
DOOR SCHEDULE											
DOOR DESCRIPTION						FRAME			HARDWARE	COMMENTS	
NO.	WIDTH	HEIGHT	THK	MAT.	FINISH	QTY	MAT.	CASING	FINISH		
002a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
003a	36"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	TBD	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL - TO MANUFACTURER'S SPECIFICATION
004a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
005a	20"	80"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
006a	20"	80"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
007a	24"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
008a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
009a	24"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
011a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
012a	18"	80"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
013a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
014a	28"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
014a	28"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
015a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
015b	38"	96"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW LaCANTINA ALUMINUM WOOD INSWING DOOR W/ U-VALUE 0.40 & SHGC=0.28 OR EQUAL, ALUMINUM FINISH TO MATCH WINDOW
015c	38"	96"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW LaCANTINA ALUMINUM WOOD INSWING DOOR W/ U-VALUE 0.40 & SHGC=0.28 OR EQUAL, ALUMINUM FINISH TO MATCH WINDOW

NOTE: PROVIDE TEMPERED SAFETY GLASS PER BUILDING CODE. NOTE: VERIFY ALL DIMENSIONS IN FIELD.

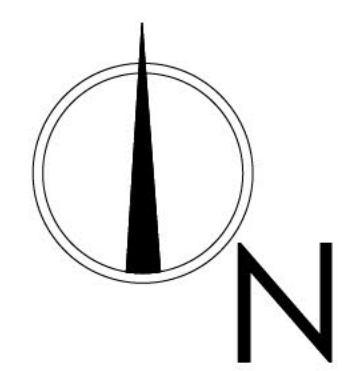
WALL KEY	
	NEW 2X6 WALL FRAMING
	NEW 2X4 WALL FRAMING
	SUPERIOR WALL SYSTEM FOUNDATION

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1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



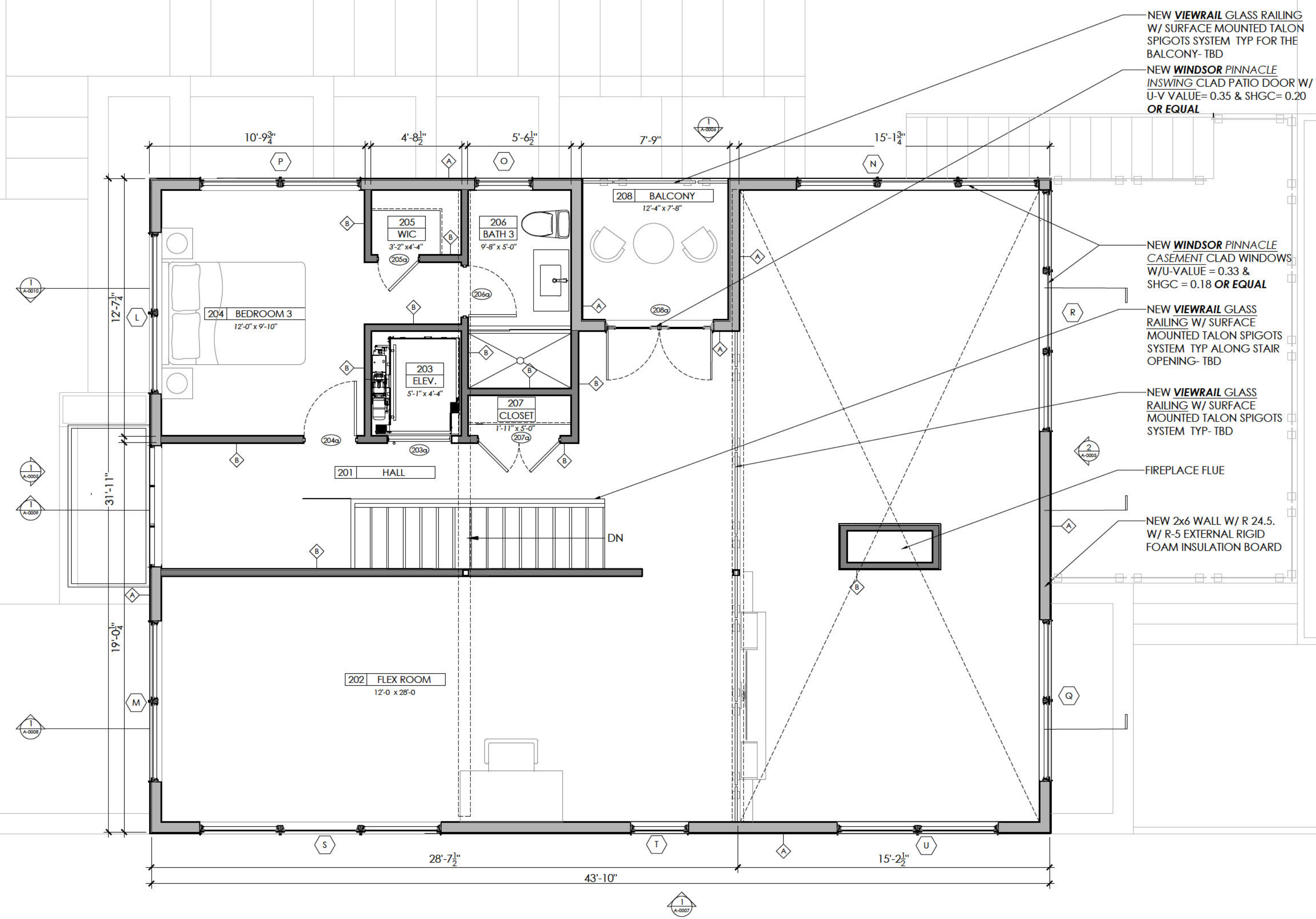
WALL KEY	
	NEW 2X6 WALL FRAMING
	NEW 2X4 WALL FRAMING
	SUPERIOR WALL SYSTEM FOUNDATION

DOOR SCHEDULE											
DOOR DESCRIPTION							FRAME			HARDWARE	COMMENTS
NO.	WIDTH	HEIGHT	THK	MAT.	FINISH	QTY	MAT.	CASING	FINISH		
101a	36"	96"	1 3/4"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW PELLA FLUSH GLAZED FULL LIGHT FIBERGLASS ENTRY DOOR PRODUCT#500004 W/U-VALUE = 0.25 & SHGC = 0.16 OR EQUAL
102a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
103a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	TBD	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL- TO MANUFACTURER'S SPECIFICATION
104a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
105a	24"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
106a	24"	80"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
107a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
108a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
109a	108"	114"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW CLOPAY CANYON RIDGE MODERN GARAGE DOOR OR EQUAL
109b	30"	80"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
111a	47.25"	91.75"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW WINDSOR PINNACLE CLAD SLIDING DOOR W/U-VALUE = 0.35 & SHGC = 0.20 OR EQUAL

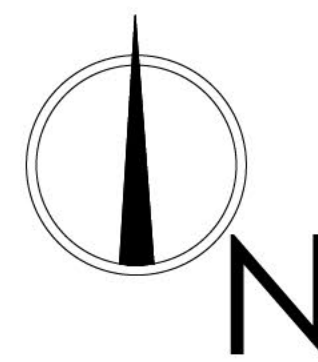
NOTE: PROVIDE TEMPERED SAFETY GLASS PER BUILDING CODE. NOTE: VERIFY ALL DIMENSIONS IN FIELD.

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	DRAWN BY: EM CHECKED BY: MF-LF PROJECT NO: 2024-06	



1 LOFT FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL KEY	
	NEW 2X6 WALL FRAMING
	NEW 2X4 WALL FRAMING
	SUPERIOR WALL SYSTEM FOUNDATION

DOOR SCHEDULE											
DOOR DESCRIPTION											
NO.	WIDTH	HEIGHT	THK	MAT.	FINISH	QTY	FRAME			HARDWARE	COMMENTS
							MAT.	CASING	FINISH		
203a	36"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	TBD	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL- TO MANUFACTURER'S SPECIFICATION
204a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
205a	24"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
206a	30"	80"	1 3/8"	WOOD	PRIMED	01	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
207a	24"	80"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW MASONITE SOLID CORE FLUSH DOOR OR EQUAL
208a	32"	80"	1 3/8"	WOOD	PRIMED	02	N/A	N/A	N/A	PRIVACY	NEW WINDSOR PINNACLE INSWING CLAD PATIO DOOR W/ U-V VALUE= 0.35 & SHGC= 0.20 OR EQUAL. FINISH TO MATCH WINDOW
NOTE: PROVIDE TEMPERED SAFETY GLASS PER BUILDING CODE.						NOTE: VERIFY ALL DIMENSIONS IN FIELD.					

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DRAWN BY:	EM
CHECKED BY:	MF-LF
PROJECT NO:	2024-06

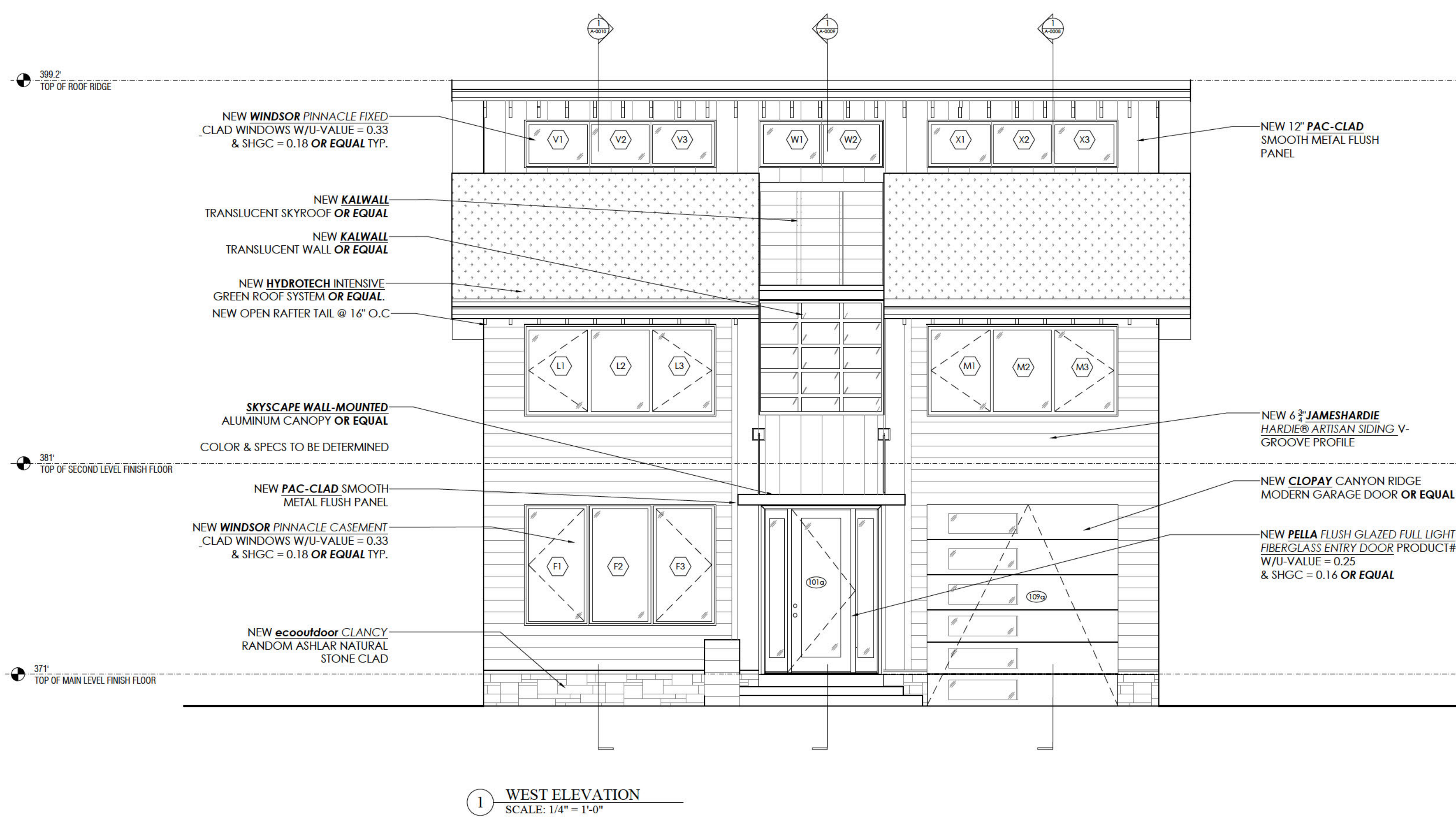
PROPOSED PLAN

A-0003

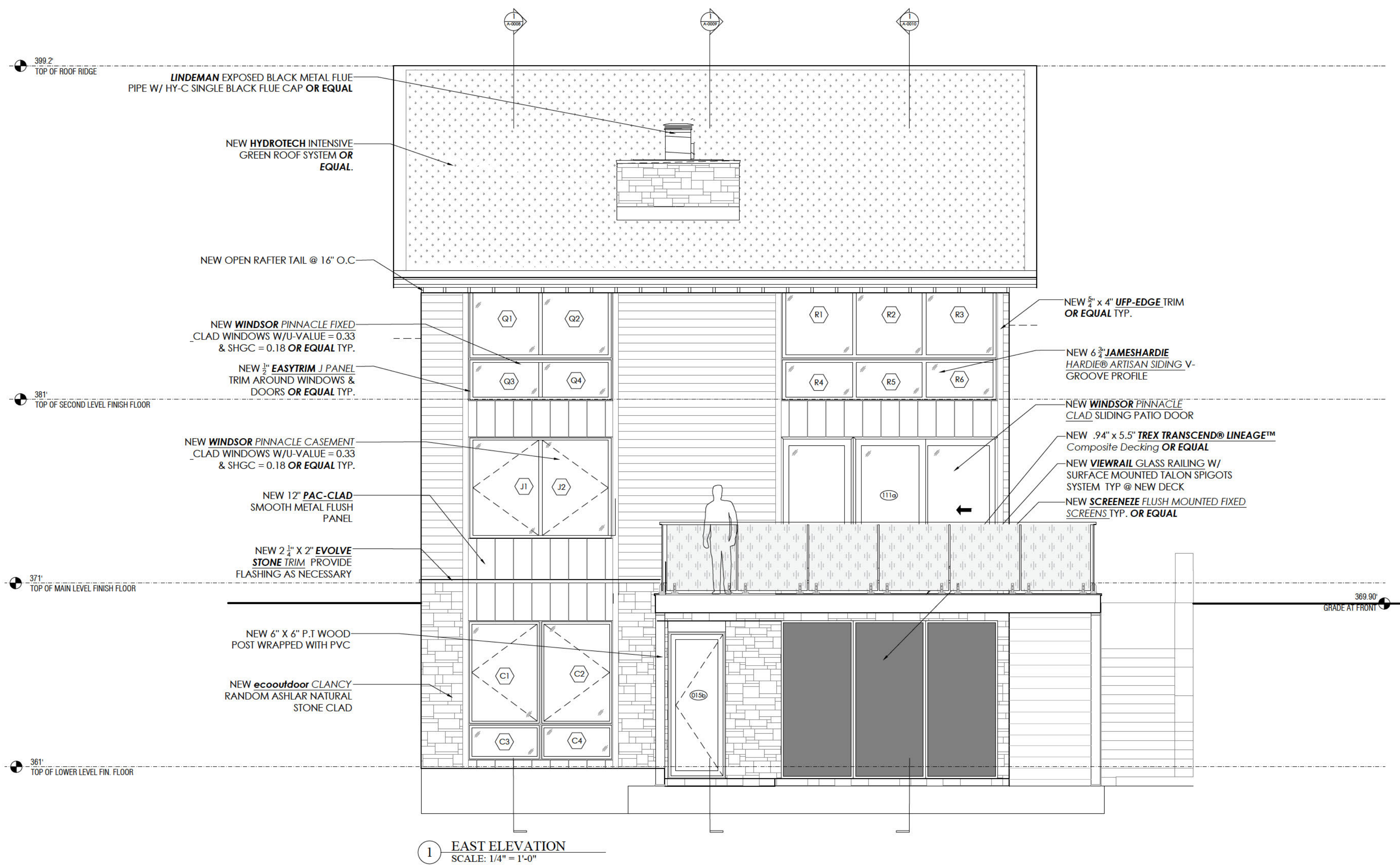


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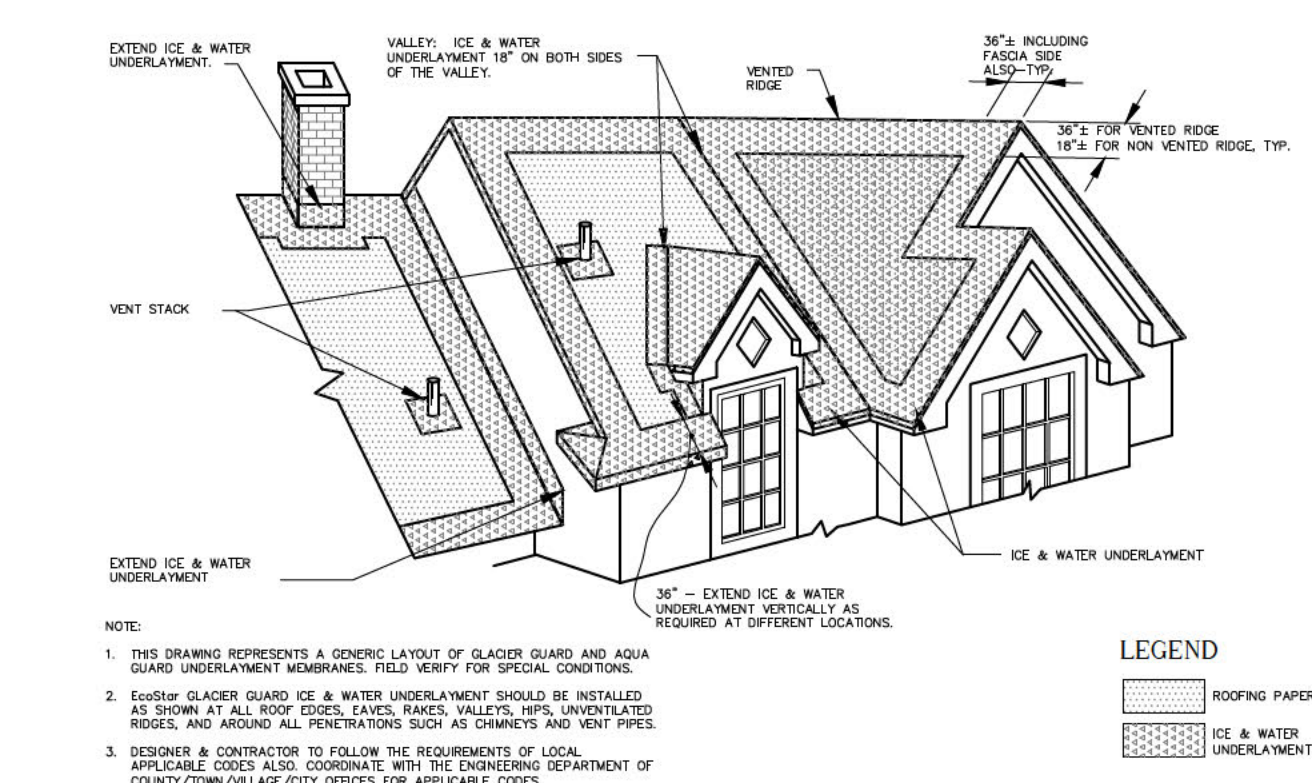
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	SUBMISSION DATE																					
PRICING	07.17.24																					
HISTORIC	07.24.24																					
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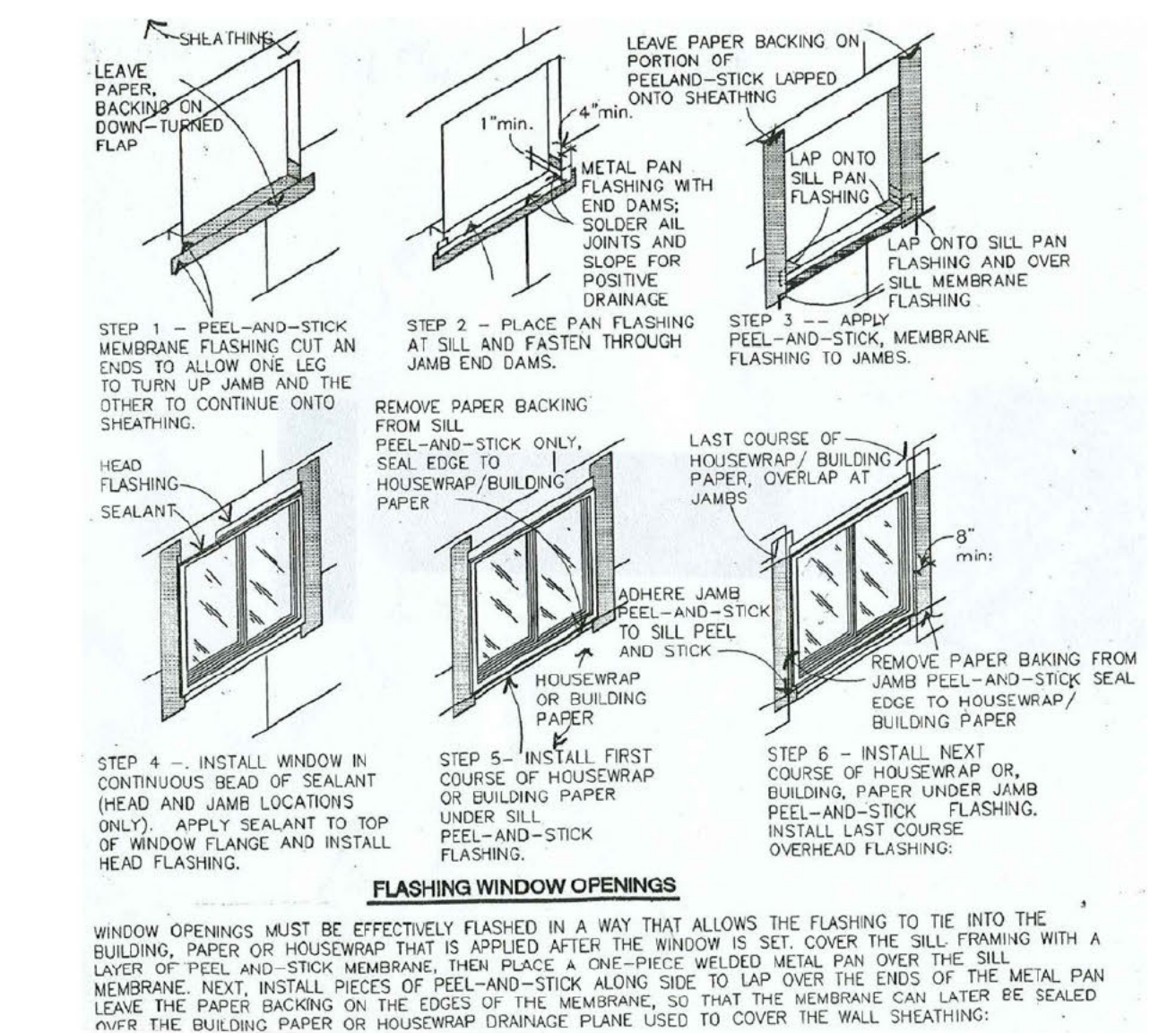
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



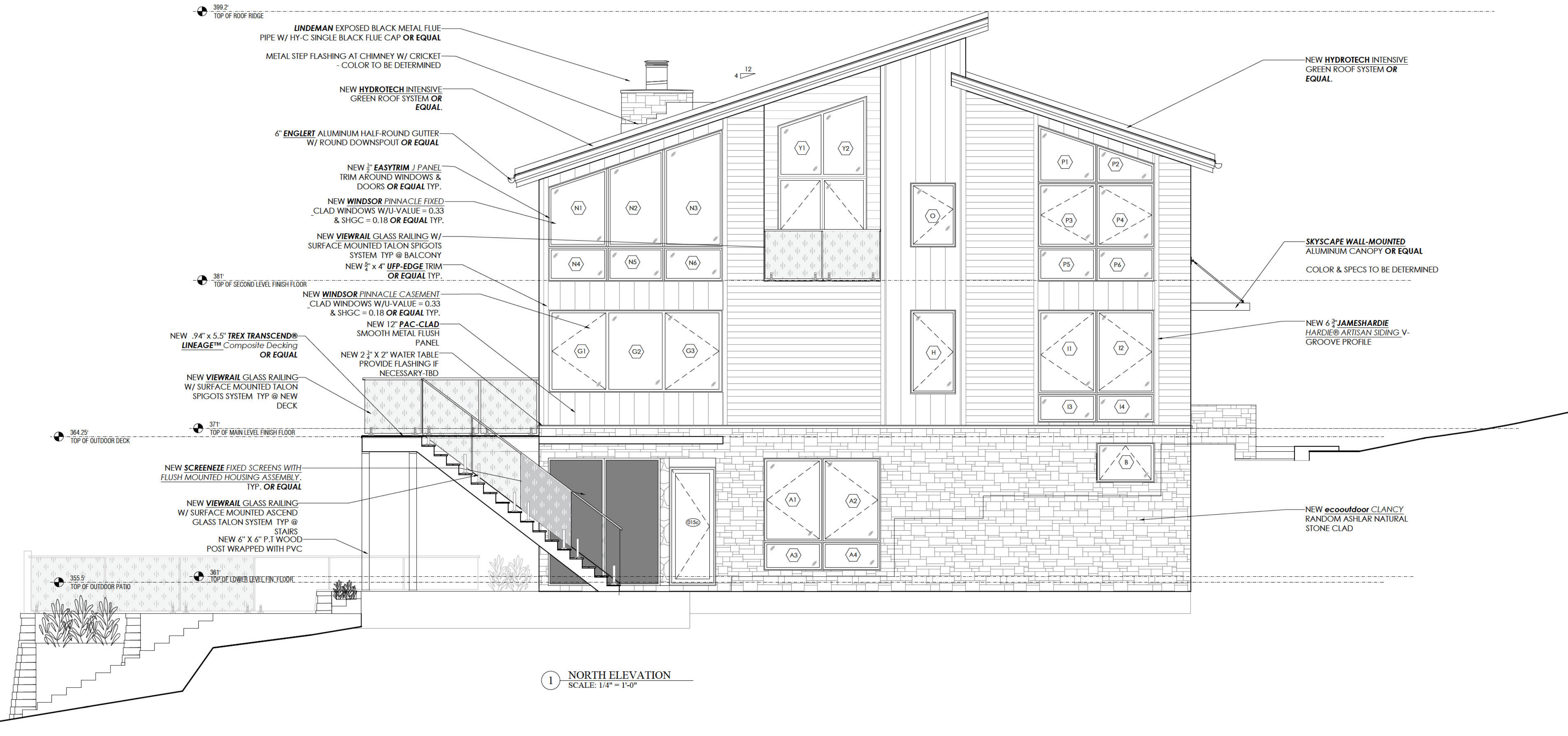
2 ROOF ICE & WATER SHED DETAILS
SCALE: NONE



3 WINDOW FLASHING DETAILS
SCALE: NONE


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	SUBMISSION	DATE																			
PRICING	07.17.24																				
HISTORIC	07.24.24																				
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PROJECT NO.:	2024-06																				



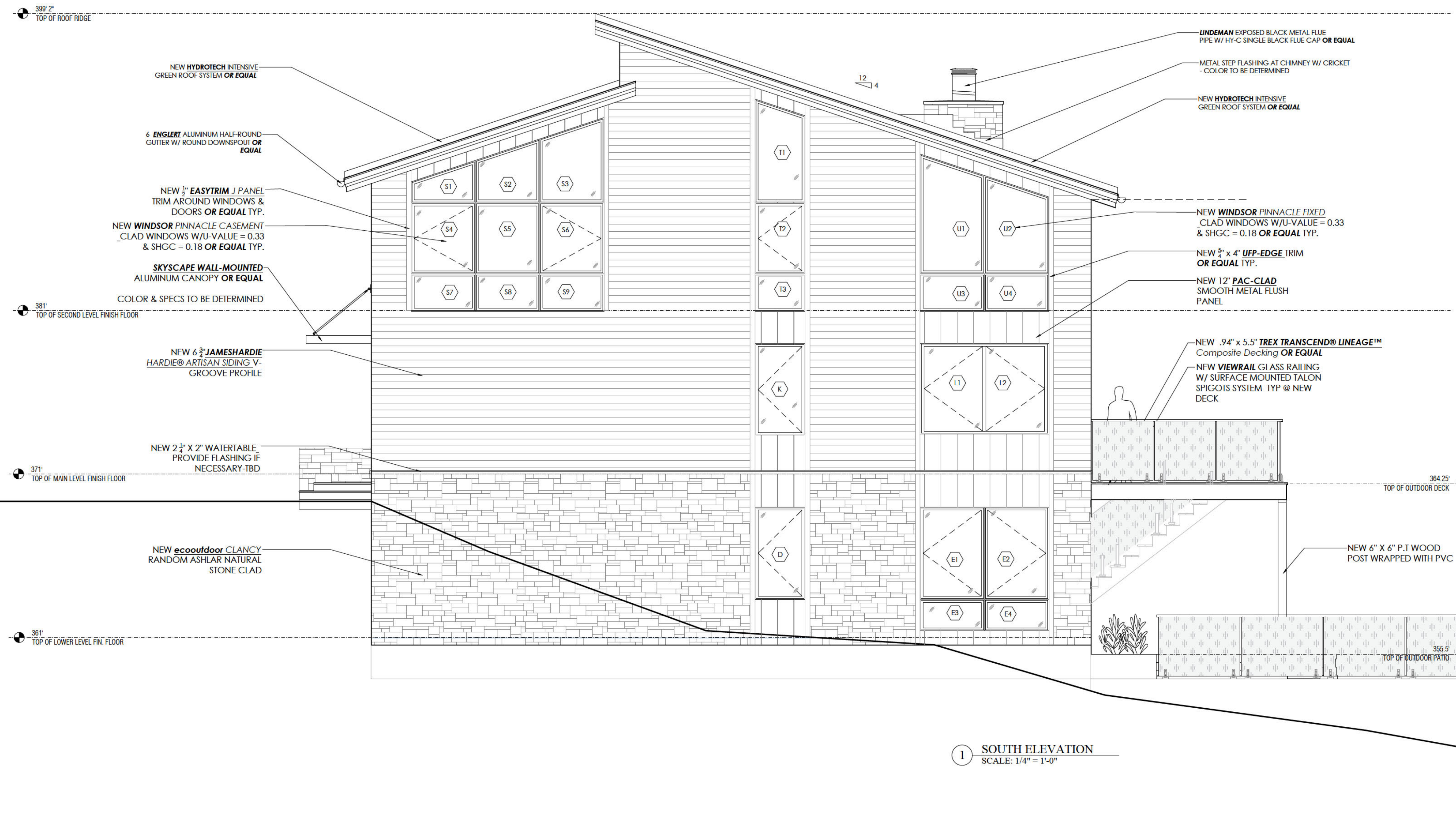
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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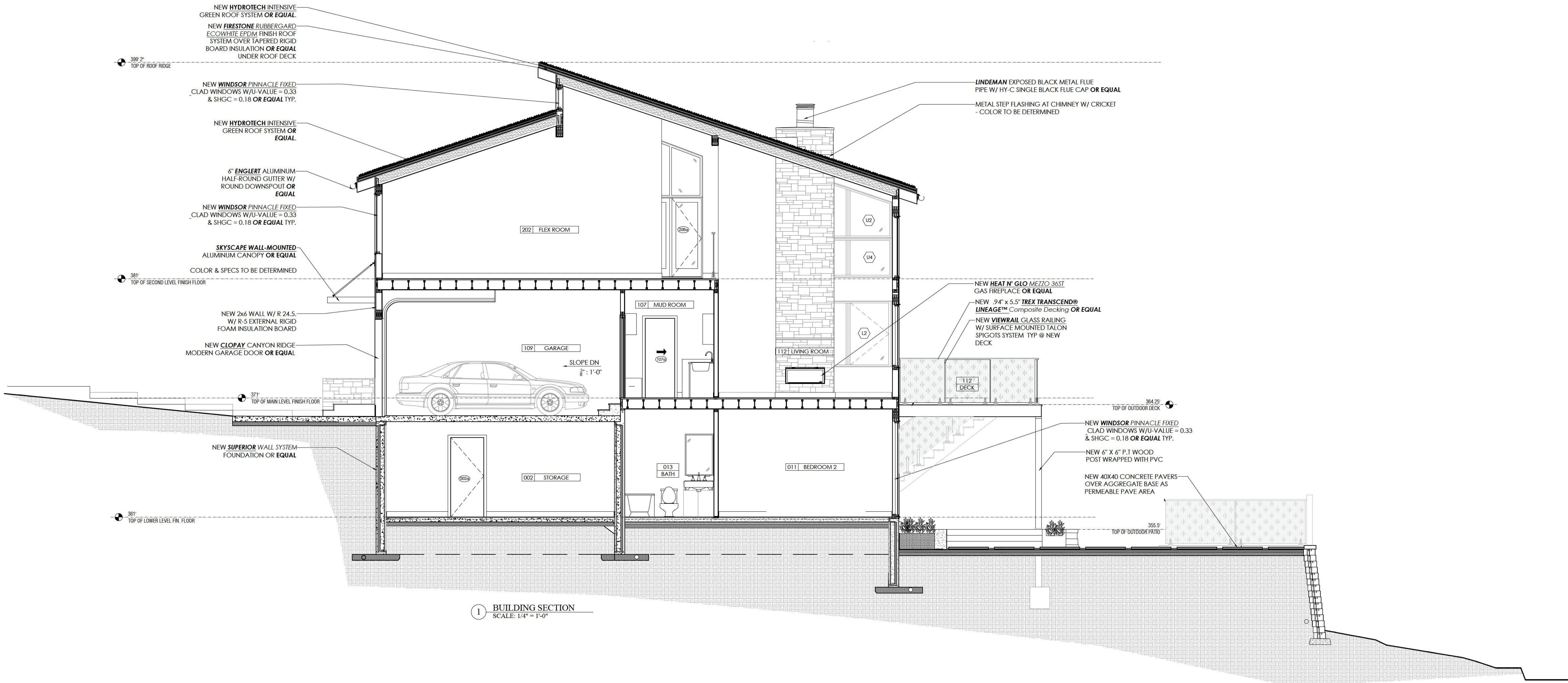
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1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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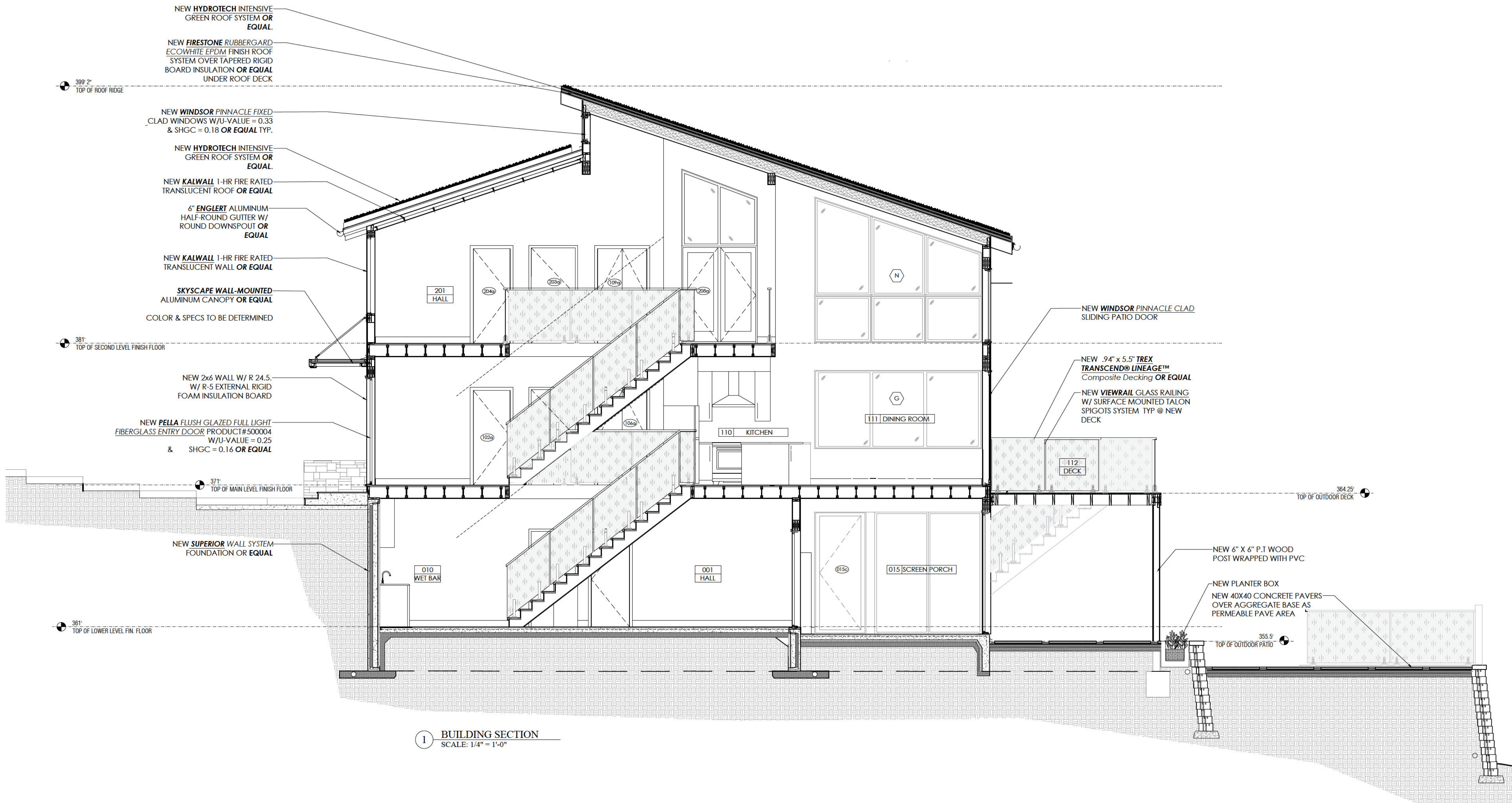
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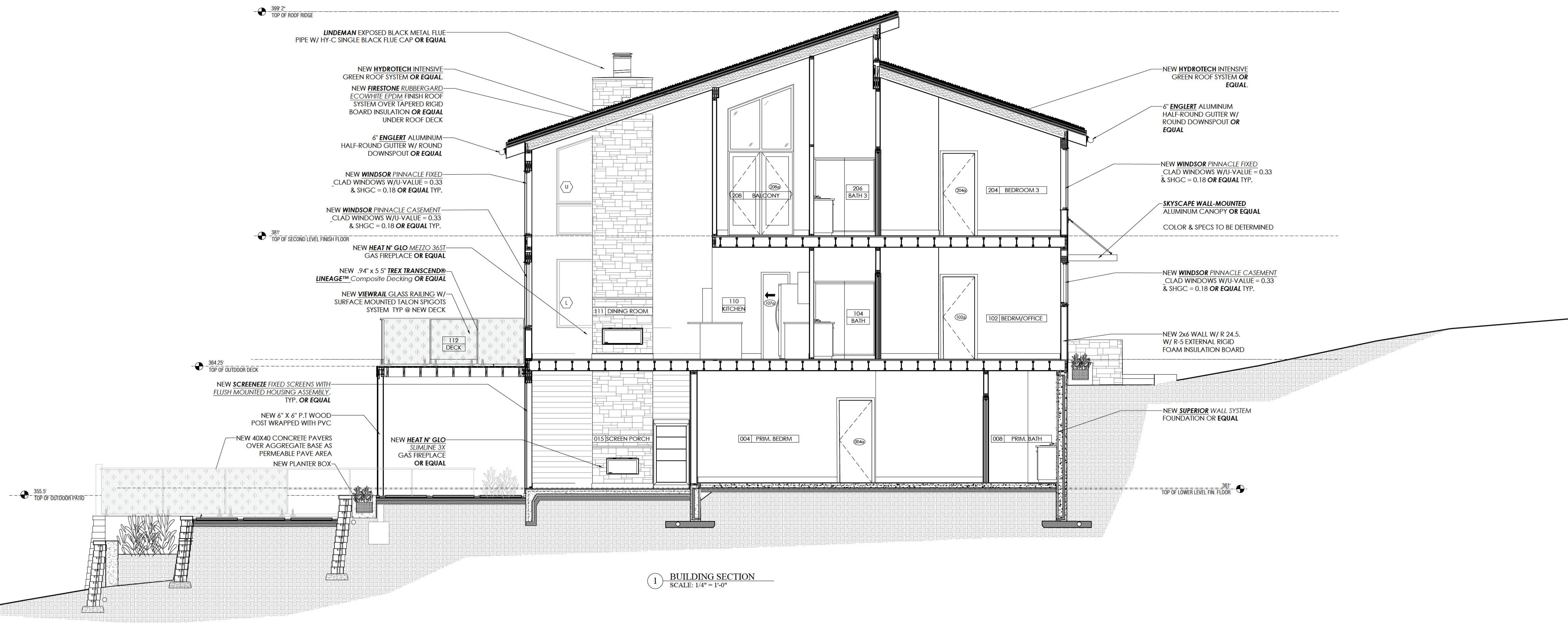
PROPOSED SECTION

A-0008



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	<p>A-0009</p>	



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