

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7204 Maple Avenue, Takoma Park	<b>Meeting Date:</b>	9/4/2024
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	8/28/2024
<b>Applicant:</b>	Paul Schwengels (James Simeone, Project Coordinator)	<b>Public Notice:</b>	8/21/2024
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Yes
<b>Permit No.:</b>	1077124	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Fenestration and Siding Alterations		

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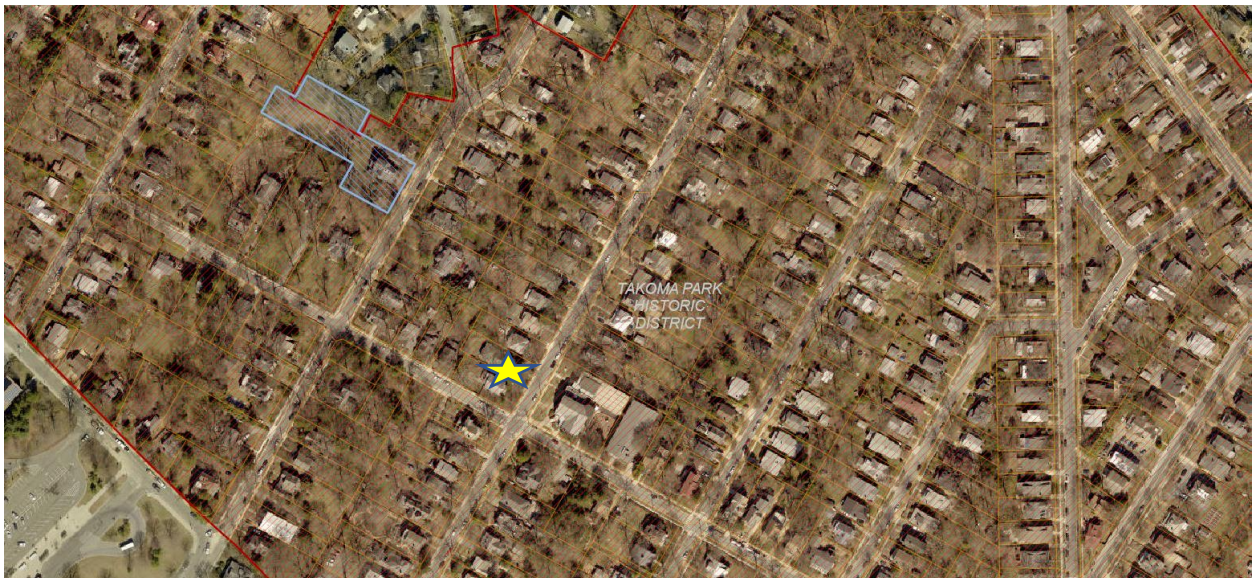
**STAFF RECOMMENDATION**

Staff recommends the HPC **approve with two (2) conditions** the HAWP application, with final approval authority delegated to staff:

1. The replacement windows must be appropriately detailed wood or aluminum-clad wood windows. Final approval authority to determine the windows are compatible with the character of the property and district is delegated to Staff.
2. The replacement front and side doors must be wood.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Colonial Revival  
**DATE:** c.1923



*Figure 1: The subject property is located across the street from the Takoma Park Presbyterian Church.*

## **BACKGROUND**

A fire caused significant damage at the subject property on the morning of March 17, 2023. Fire and water damaged all of the existing windows and doors and caused extensive interior damage.



*Figure 2: Photo taken on the morning of March 17, 2023.*

## **PROPOSAL**

The applicant proposes to replace the existing windows and doors, reconstruct a rear balcony, and reconstruct a rear porch pier.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be

restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required,

Original size and shape of window and door openings should be maintained, where feasible,

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition,

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited,

While additions should be compatible, they are not required to be replicative of earlier architectural styles,

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course,

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **STAFF DISCUSSION**

The subject property is a two-story Colonial Revival house. The first floor is sided in stucco and the second story is covered in clapboards. The hipped roof is covered in asphalt shingles. The house was extensively damaged due to a house fire. The house suffered extensive interior damage. On the exterior, the most significant damage occurred on the windows and doors. Most windows and doors on the front and sides appear to have been historic wood sashes, while the windows on the rear were installed when the rear porch was filled in. The windows and doors that were not directly burned by the fire suffered extensive water damage to the point where they are no longer operational. Based on the photos submitted and Staff's observations at a site visit, Staff finds that the existing windows have all deteriorated beyond repair and must be replaced. The applicant proposes to replace all of the existing windows and doors.

### **Window Replacement**

The applicant proposes to install Andersen 400 series window insert, also known as a sash pack. These will be installed in the existing frames and will reduce the overall amount of glazing in the windows. Sash windows will be 6/1 which matches the configuration of the windows installed before the fire. Windows on the rear elevation are a mix of 6/1 sash windows and six-light casements. All of the windows will have what Andersen calls "Full Divided Lights", which means permanent interior and exterior grilles with a spacer bar between the glass. This is a typical requirement for replacement windows to Contributing and Outstanding Resources in the Takoma Park Historic District.

The exterior of the Andersen 400 series window is clad in Fibrex, a proprietary material similar to vinyl, but with a factory-applied finish that is more consistent with the appearance of an aluminum-clad wood window. The Fibrex finish also will not dull or yellow over time the way a typical vinyl window will.

For window replacement projects in Takoma Park, the typical requirement is for the applicant to demonstrate the windows have deteriorated beyond the point where they can be reasonably repaired or to document there is some other hazard that can't be mitigated without removal and replacement. For example, if an applicant proposes to replace the historic wood windows because of lead paint concerns, the HPC has required applicants to replace the historic windows with wood. However, this is an instance where the historic fabric has been destroyed and the starting point for this evaluation is the shell of a building. Staff finds the current situation is more analogous to new construction but recognizes the replacement windows will be highly visible from the public right-of-way and still needs to be evaluated as a Contributing Resource. If this were new construction or building addition, the HPC would likely approve a properly detailed aluminum-clad wood window, finding the material is a compatible non-original material that sufficiently approximates the appearance of a painted wood window. Staff additionally finds that contemporary wood windows do not exactly replicate historic wood windows in construction method, repairability, and durability. Because these characteristics differ, Staff finds that either a wood or aluminum-clad wood window would be consistent with Standard 6.

Staff finds the finish of the Fibrex is shiny and its finish is closer to a vinyl window than to painted wood or aluminum-clad wood window. Additionally, while the profiles of the Andersen 400 series window has

more depth than a typical vinyl window, the submitted documents have not convinced Staff that the profile of the proposed window is a compatible substitute for a wood or aluminum clad wood window.

Because the house cannot be occupied until the envelope is secured, Staff recommends the HPC approve a replacement wood or aluminum-clad wood window and delegate final approval authority to Staff to ensure the window is compatible with the character of the house and surrounding district. With the recommended condition, Staff recommends the HPC approve the window replacement under 24A-8(b)(2) and (d), the *Design Guidelines*, and Standard 2.

### **Door Replacement**

The multi-light wood front door suffered both fire and water damage and cannot be repaired. The right-side door was completely destroyed and the opening is covered with plywood. The applicants propose to replace both doors with ¼-light, two-panel fiberglass doors. The proposed fiberglass doors are paintable.

While the appearance of painted fiberglass is consistent with painted wood, the other physical characteristics are not. In instances where the HPC has allowed substitute materials on the front of the house, those materials are ones that are not touched, like trim. The feeling of the material as it is manipulated must factor into the consideration of substitute materials. Staff also considers Standard 6, which states distinctive historic materials that cannot be repaired should be replaced with materials that match the historic in size, design, and materials. After discussion with the applicant's representative, Staff supports a wood door with the ¼-light, two-panel configuration of the proposed door due to security and privacy concerns.

Staff recommends the HPC add a condition to the approval of this HAWP that the proposed door be wood. Final approval authority to verify this condition has been satisfied can be delegated to Staff. With the recommended condition, Staff finds the proposed door is consistent with 24A-8(b)(2) and (d); the *Design Guidelines*; and Standard 2 and 6. The replacement wood doors are eligible for the County's Historic Preservation Tax Credit.

The other work proposed for the house is all considered replacement in-kind or repair which does not require a HAWP. This work includes selective siding repair, painting, replacing a porch footer in the rear, and rebuilding the balcony on the rear. Because this work will repair these elements in kind, it is all eligible for the County's Historic Preservation Tax Credit.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with two (2) conditions** the HAWP application with final approval authority delegated to staff:

1. The replacement windows must be appropriately detailed wood or aluminum-clad wood windows. Final approval authority to determine the windows are compatible with the character of the property and district is delegated to Staff.
  2. The replacement front and side doors must be wood;
- under the Criteria for Issuance in Chapter 24A-8(b)(2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name \_\_\_\_\_  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent Date 7

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: \_\_\_\_\_

Description of Current Condition:



Proposed Work:

Work Item 2: \_\_\_\_\_

Description of Current Condition:



Proposed Work:

Work Item 3: \_\_\_\_\_

Description of Current Condition:



Proposed Work:



**FRONT ELEVATION**

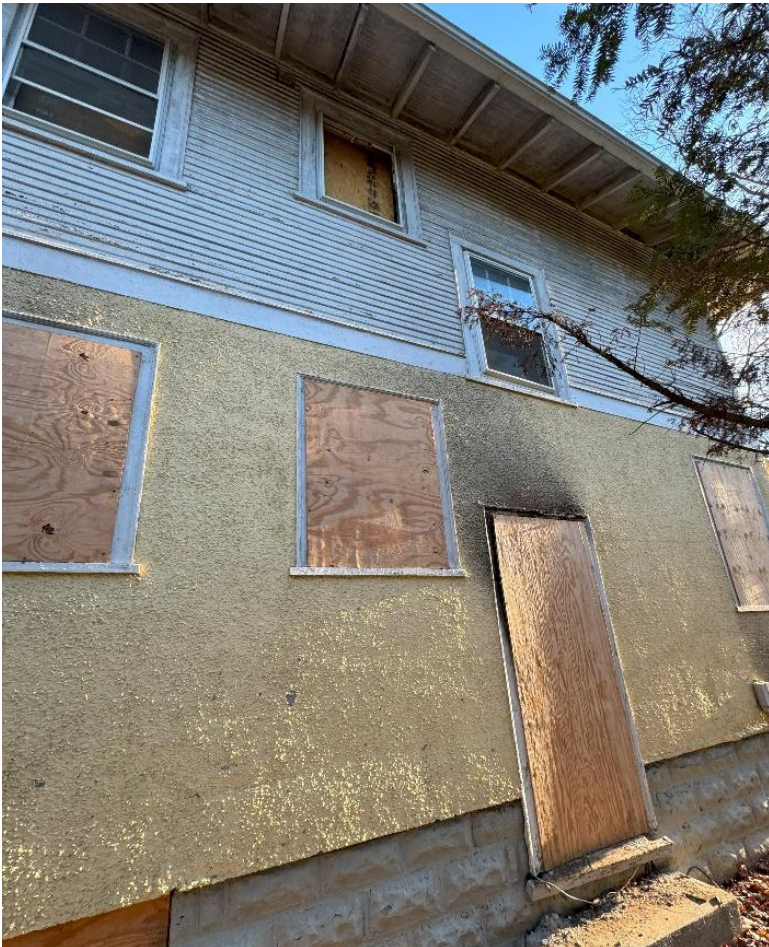


**REAR ELEVATION**

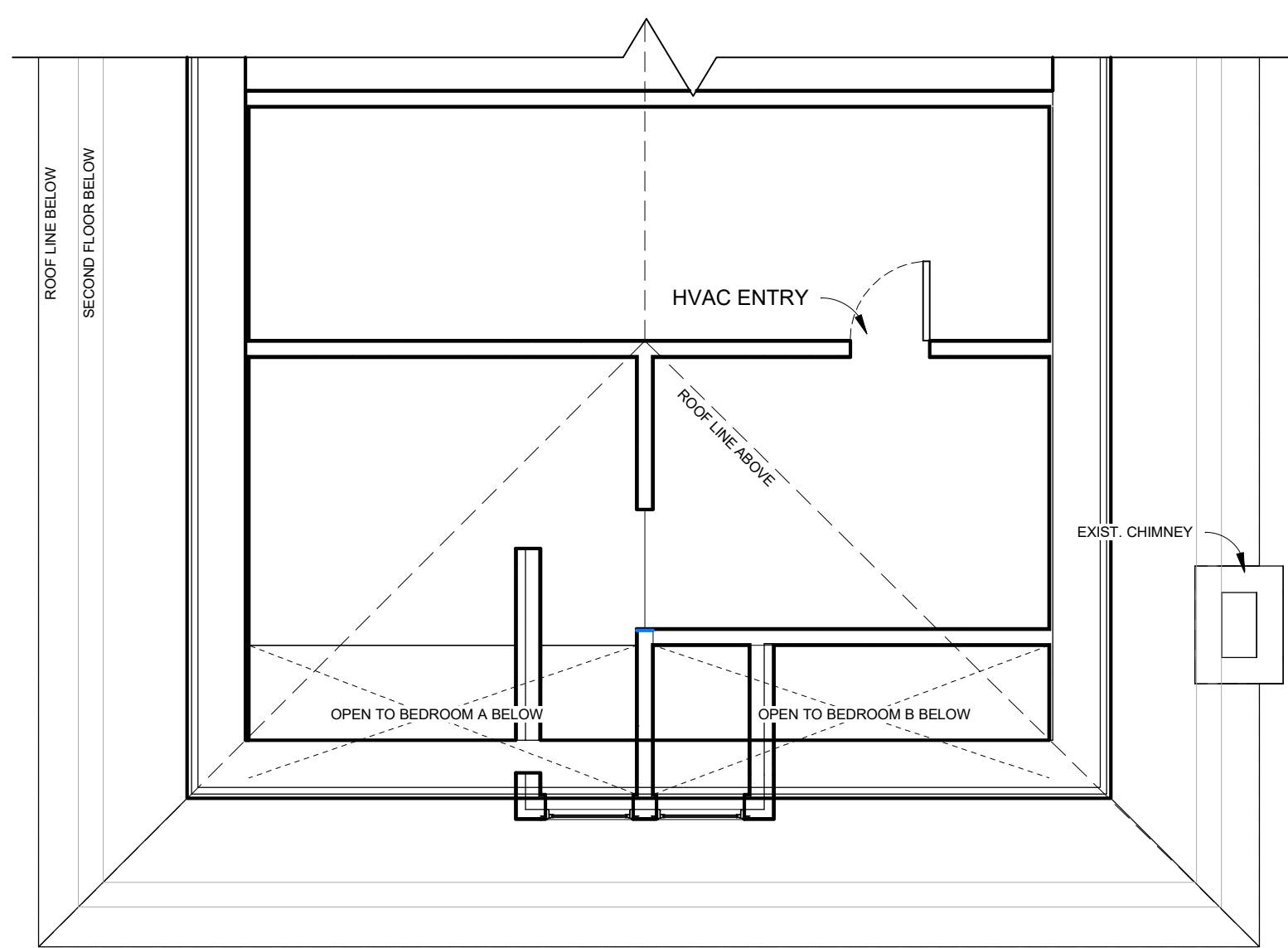
**ELEVATIONS & PHOTOGRAPHS**



**RIGHT ELEVATION**



**LEFT ELEVATION**



4 EXISTING ATTIC LOFT  
1/4" = 1'-0"

EXIST. CEILING HEIGHT: 7'-0"

**LEGEND & GENERAL INFORMATION:**

- EXISTING WALLS TO REMAIN
- N.I.S. NOT IN SCOPE
- NEW WALLS
- DEMO'D WALLS & DOORS
- EXIST. WALLS TO BE REPLACED IN LIKE KIND AS NEEDED DUE TO DAMAGE (2X4 STUDS @ 16" O.C. U.O.N)
- EXIST. DAMAGED TRUSS & FRAMING TO BE REPLACED IN LIKE KIND U.O.N
- EXIST. TRUSS, FRAMING TO BE INSPECTED BY G.C. V.I.F. FOR REPLACEMENT IN LIKE KIND OR, CLEAN AS NEEDED
- EXIST. JOISTS TO REMAIN
- NEW JOISTS

- UNLESS NOTED OTHERWISE, REPLACE CHARRED DBL STUD HEADERS @ OPENINGS AS FOLLOWS:

- (2)2x6: UP TO 4'-0" OPENING
- (2)2x8: UP TO 5'-0" OPENING
- (2)2x10: UP TO 7'-0" OPENING
- (2)2x12: UP TO 8'-0" OPENING

- REPLACE TAGGED WINDOWS AND DOORS AS NEEDED IN LIKE KIND. G.C. TO VERIFY ALL DOOR AND WINDOW SIZES PRIOR TO ORDERING.

**SCHWENGLES RESIDENCE**

**SCOPE OF WORK**

**INSURANCE RESTORATION CLAIM:**  
FIRE DAMAGE TO SINGLE FAMILY RESIDENCE

1. REPLACE INT. AND EXT. FLOOR, WALL, & CEILING FINISHES AS NEEDED IN LIKE KIND.
2. STRUCTURAL DAMAGE:
  - REPLACE EXISTING LVL HEADER IN KITCHEN OPENING PER ENGINEER'S REPORT.
  - ENCAPSULATE DAMAGED EXTERIOR SHEATHING AND APPLY NEW 1/2" PLYWOOD SHEATHING ALONG INTERIOR WALLS. REFRAME ANY MISSING OR DAMAGED 2X FLOORING AFFECTED BY ROTT OR MOLD PRIOR TO ADDING NEW FINISHES. ALL WORK TO MATCH EXISTING.
  - SISTER EXIST. FLOOR JOISTS AS NEEDED TO ACCOMMODATE 2ND FLOOR BATHROOM FLOOR AND EXISTING ATTIC LOFT AREA PER ENGINEER'S REPORT.
  - REPLACE DAMAGED JOISTS IN REAR BALCONY PER ENGINEER'S REPORT.
  - ALL FRAMING TO BE SPF #2 AT MINIMUM.
3. BATT INSULATION:
  - CEILING: R-49
  - EXIST. 2X4 WALLS: R-15
4. ALL WORK TO COMPLY w/ IRC 2018, 2018 IECC, MONTGOMERY COUNTY CODE & ALL LOCAL AMENDMENTS.

**SHEET LIST**

SHEET NUMBER	SHEET NAME
A1.0	EXISTING FLOOR PLANS
A1.1	PROPOSED FLOOR PLANS
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED ELEVATIONS
S1.0	CEILING FRAMING PLANS
S1.1	CEILING FRAMING PLANS AND ROOF PLAN

**CONTACT**

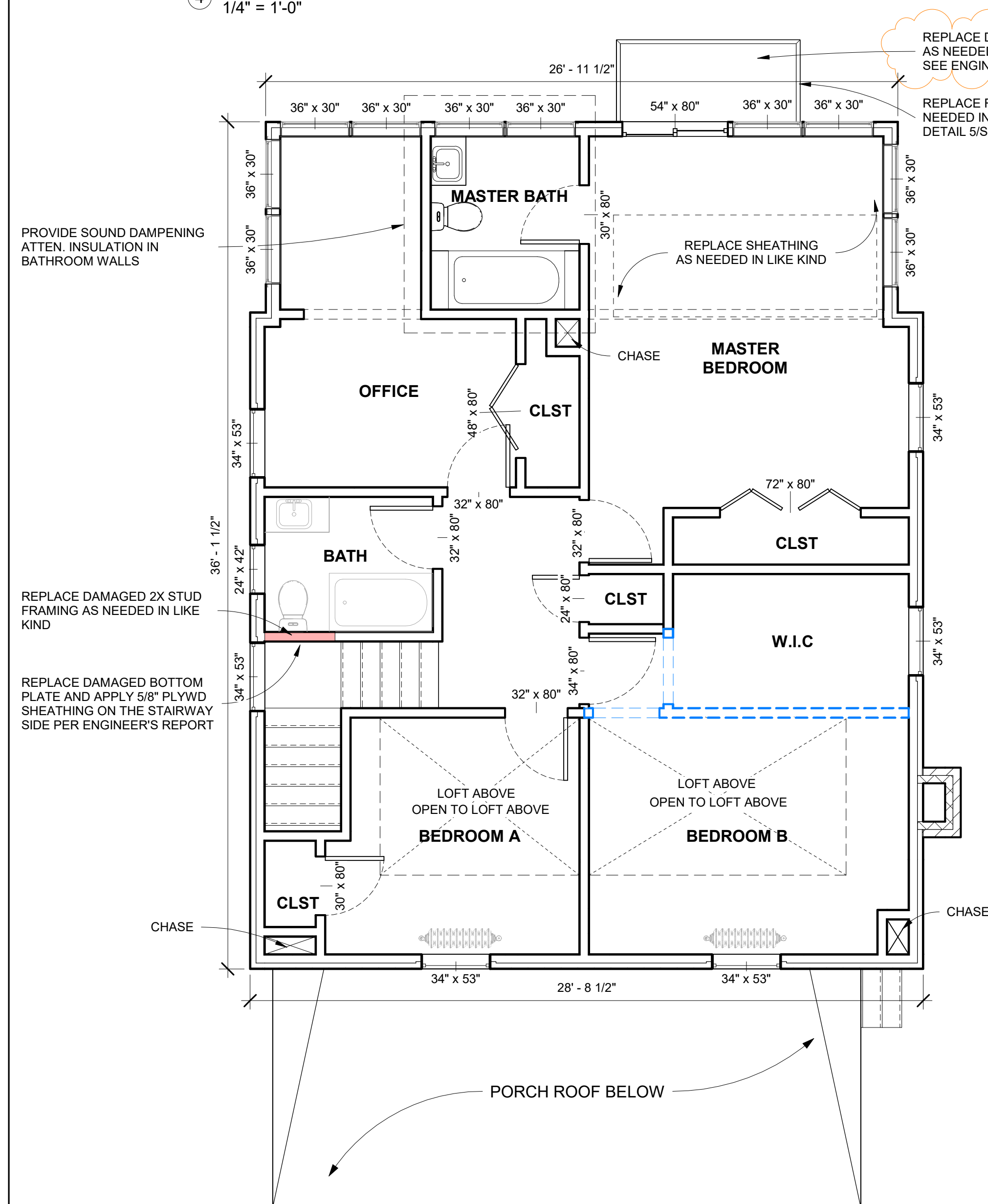
**GENERAL CONTRACTOR:**  
Roger Davis (Project Manager)  
roger.davis@pauldavis.com

**PROPERTY OWNER:**  
Paul Schwengels  
7204 Maple Ave  
Takoma Park, MD 20912

Paul Davis Restoration - Suburban MD & DC  
8797 Snuffer School Rd, Suite G  
Gaithersburg, MD 20879

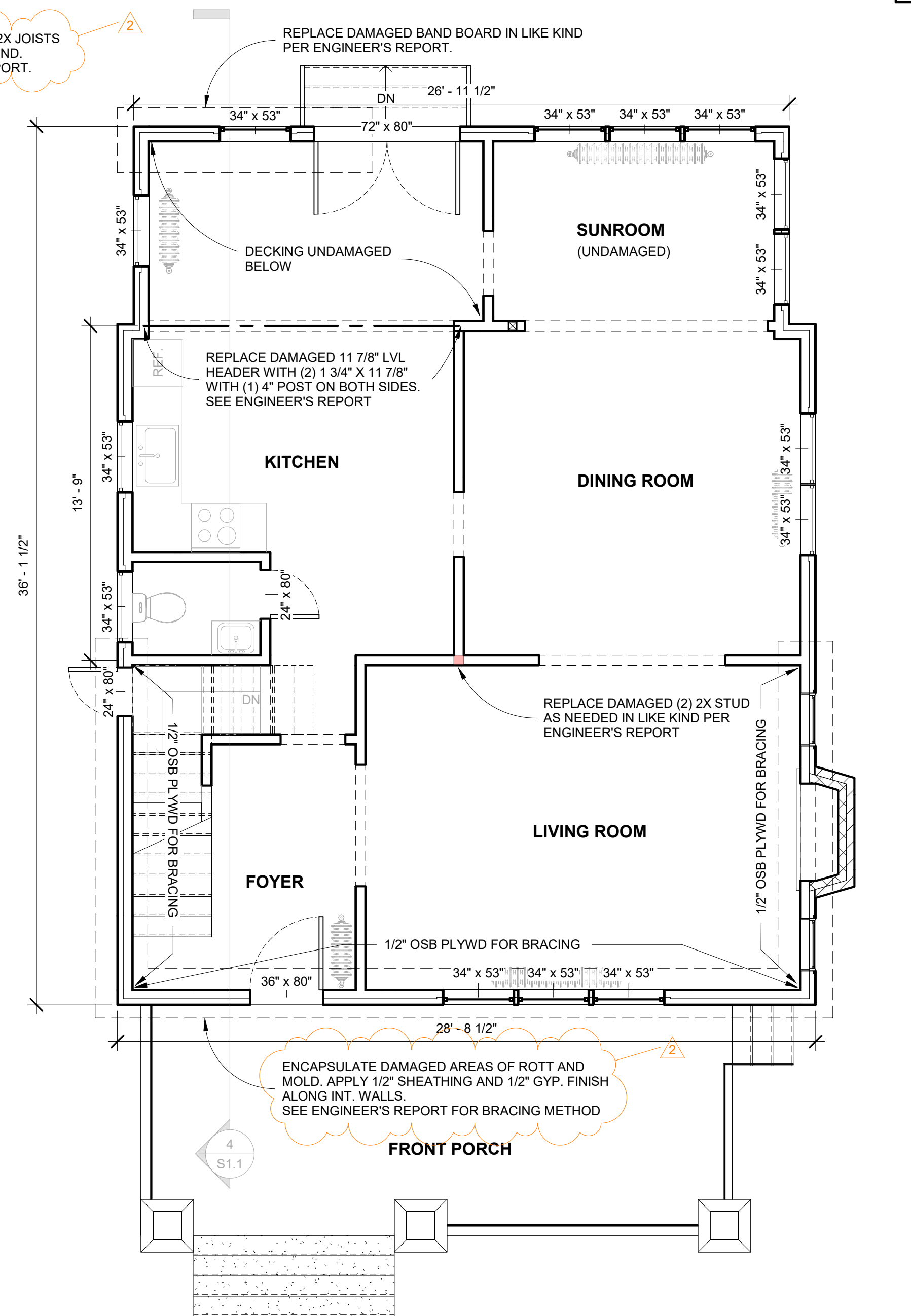
PDR Job #: 23-0422-R  
MD License #: 129476

**NOTE:** THE INFORMATION REGARDING THE EXISTING CONSTRUCTION WAS OBTAINED BY FIELD INVESTIGATION. ALL INFORMATION SPECIFYING EXISTING CONDITIONS MUST BE VERIFIED BY THE GENERAL CONTRACTOR. IF EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THE DRAWINGS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT/DESIGNER OF RECORD.



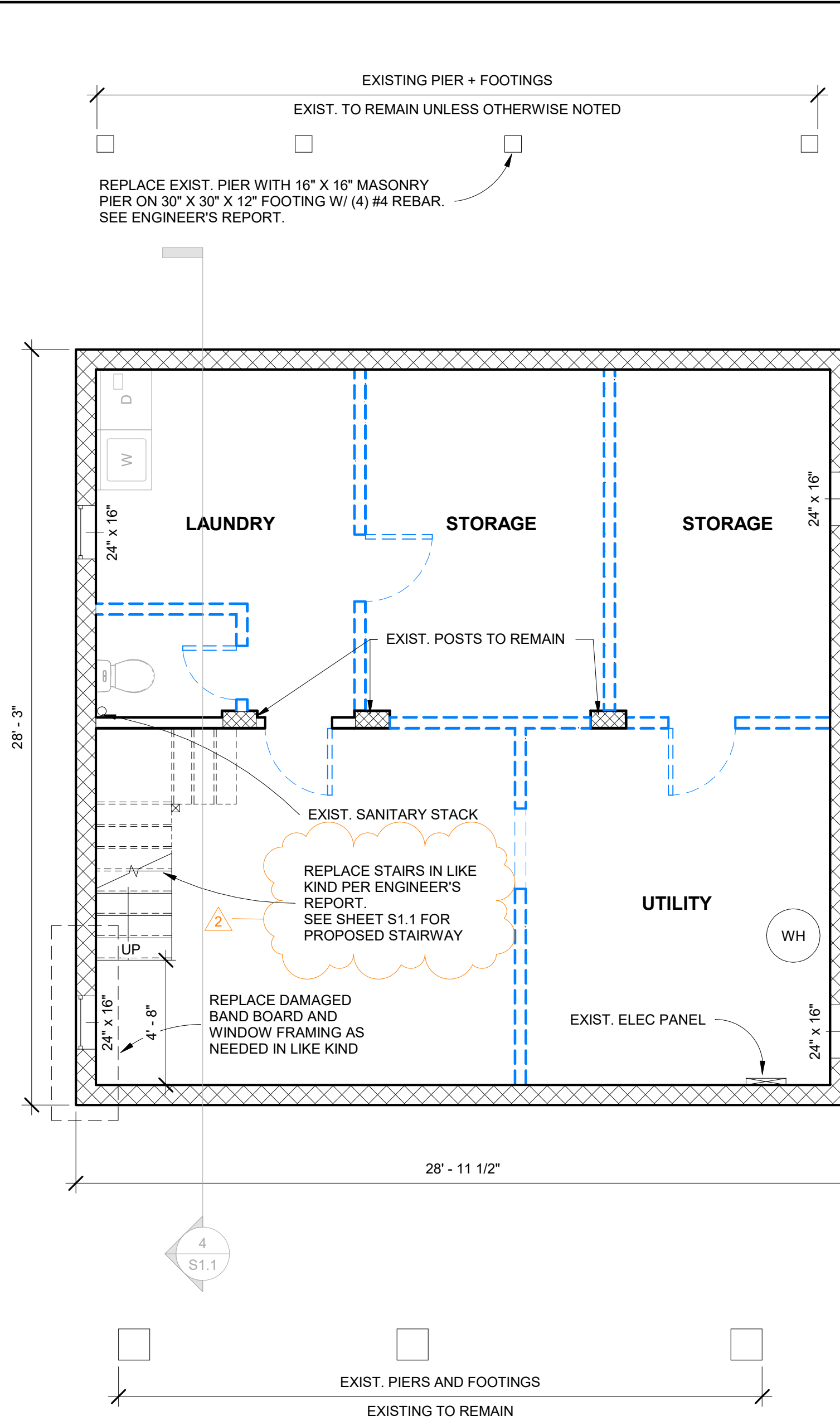
3 EXISTING SECOND FLOOR  
1/4" = 1'-0"

EXIST. CEILING HEIGHT: 7'-2"



2 EXISTING FIRST FLOOR  
1/4" = 1'-0"

EXIST. CEILING HEIGHT: 8'-9"



1 EXISTING BASEMENT  
1/4" = 1'-0"

EXIST. CEILING HEIGHT: 7'-2"

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761C Monroe St, Suite 201  
Herndon, VA 20170  
(833)-819-9461  
www.mwarchitects.com

**SCHWENGLES RESIDENCE**

7204 Maple Avenue  
Takoma Park, MD 20912

PROJECT NUMBER: 24.014  
DATE: 2/19/24  
DRAWN BY: SD + JCC  
CHECKED BY: JS + MSW

REVISIONS:

Permit Set:	3/27/24
Rev #1:	5/9/24
Rev #2:	5/28/24
Rev #3:	7/30/24

SEAL:

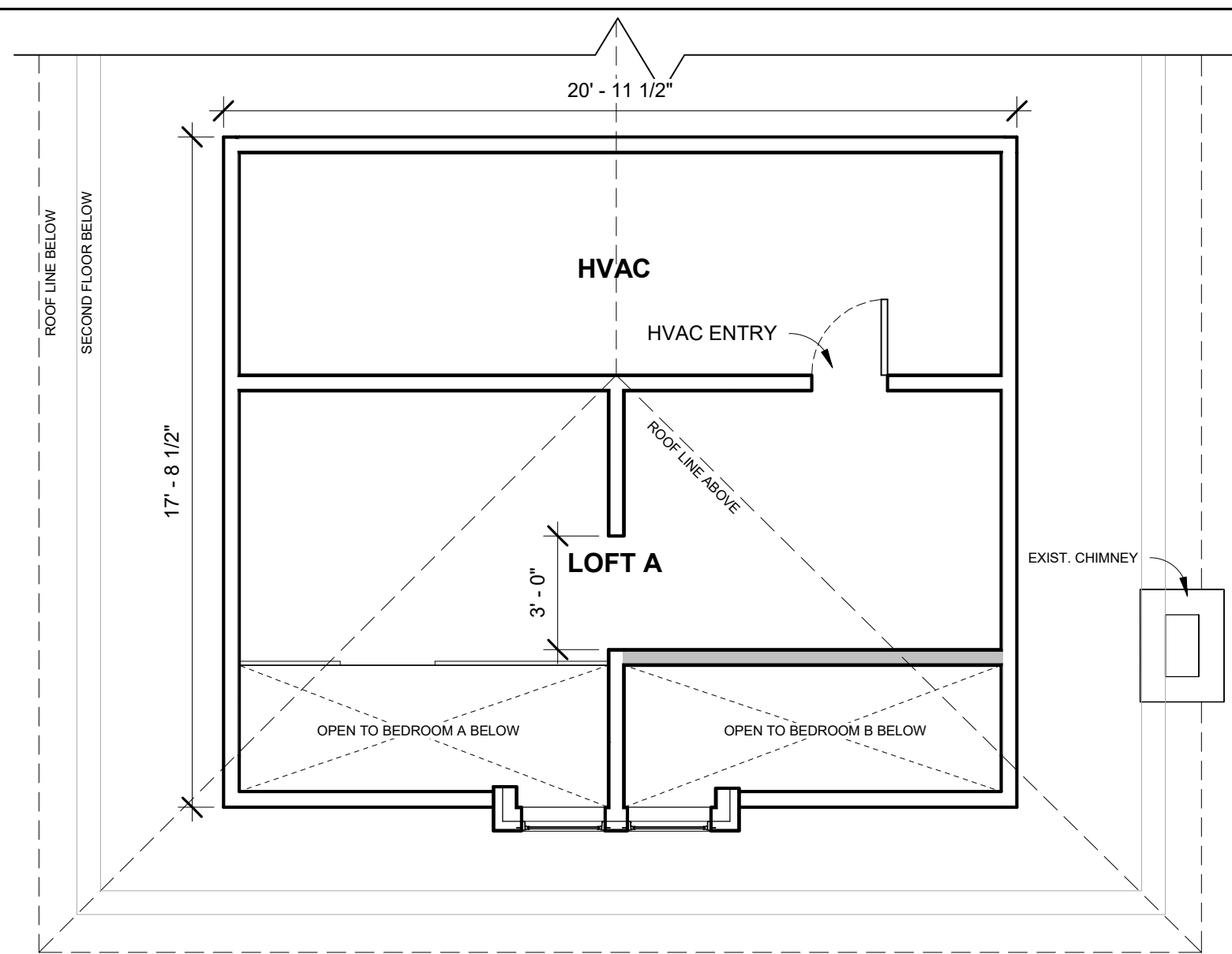
Michael Wijdoogen, AIA, LEED AP BD+C  
Principal/Owner: Michael Wijdoogen AIA, LEED AP BD+C

MW Architects, LLC  
Principal/Owner: Michael Wijdoogen AIA, LEED AP BD+C  
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license # 13894, expiration date June 28, 2026.

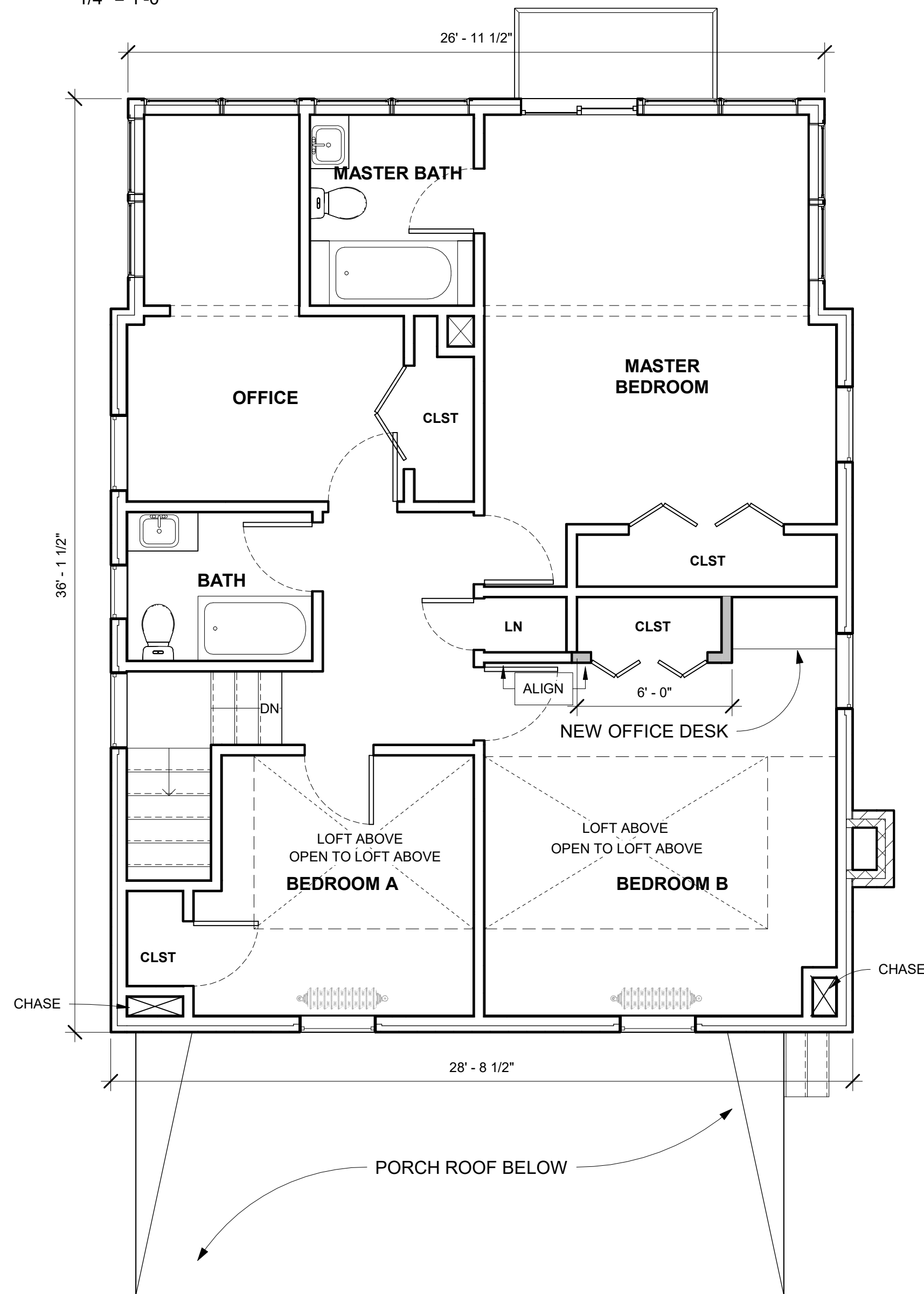
SCALE: As indicated

SHEET TITLE: EXISTING FLOOR PLANS

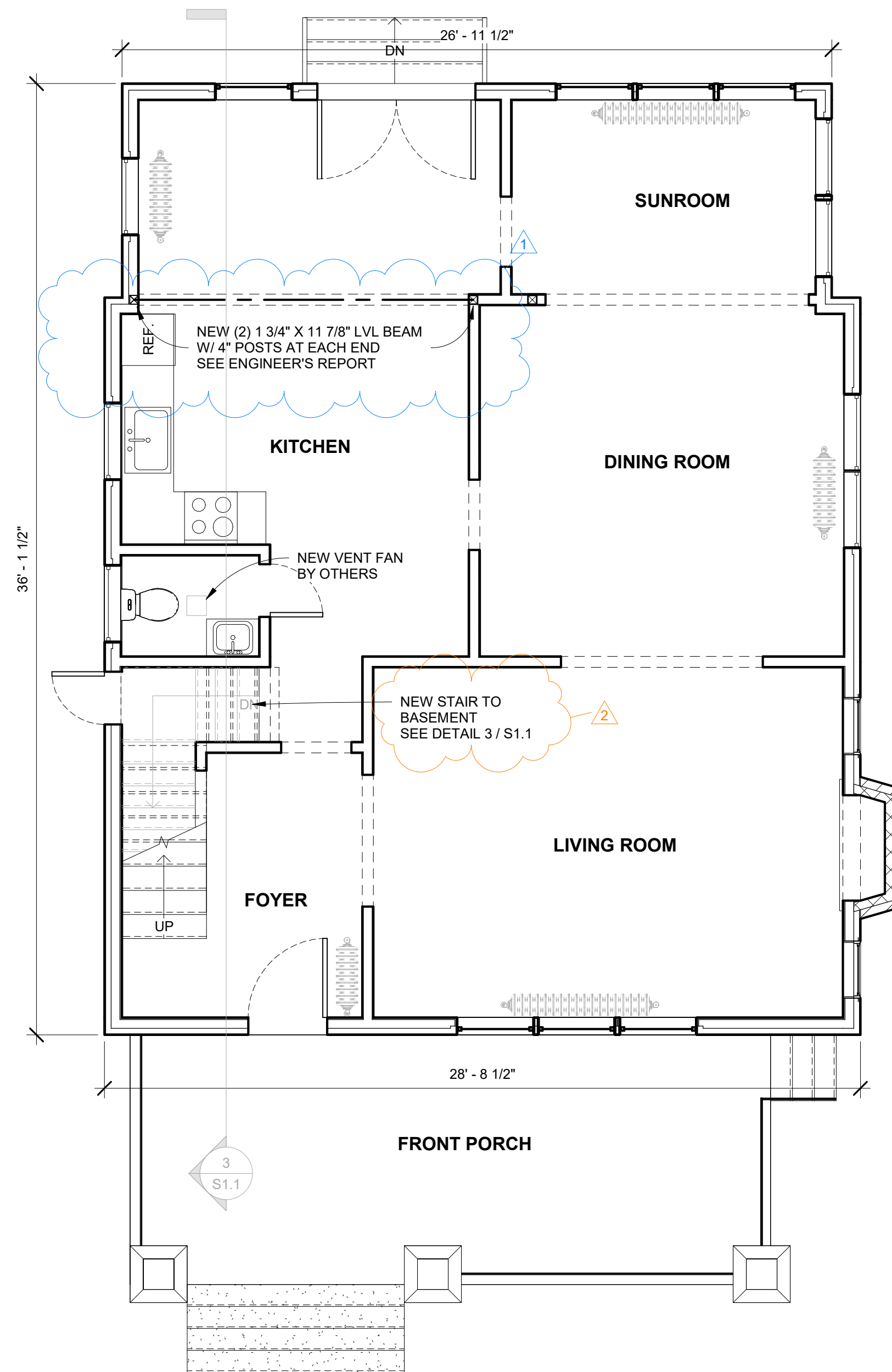
SHEET NUMBER: A1.0



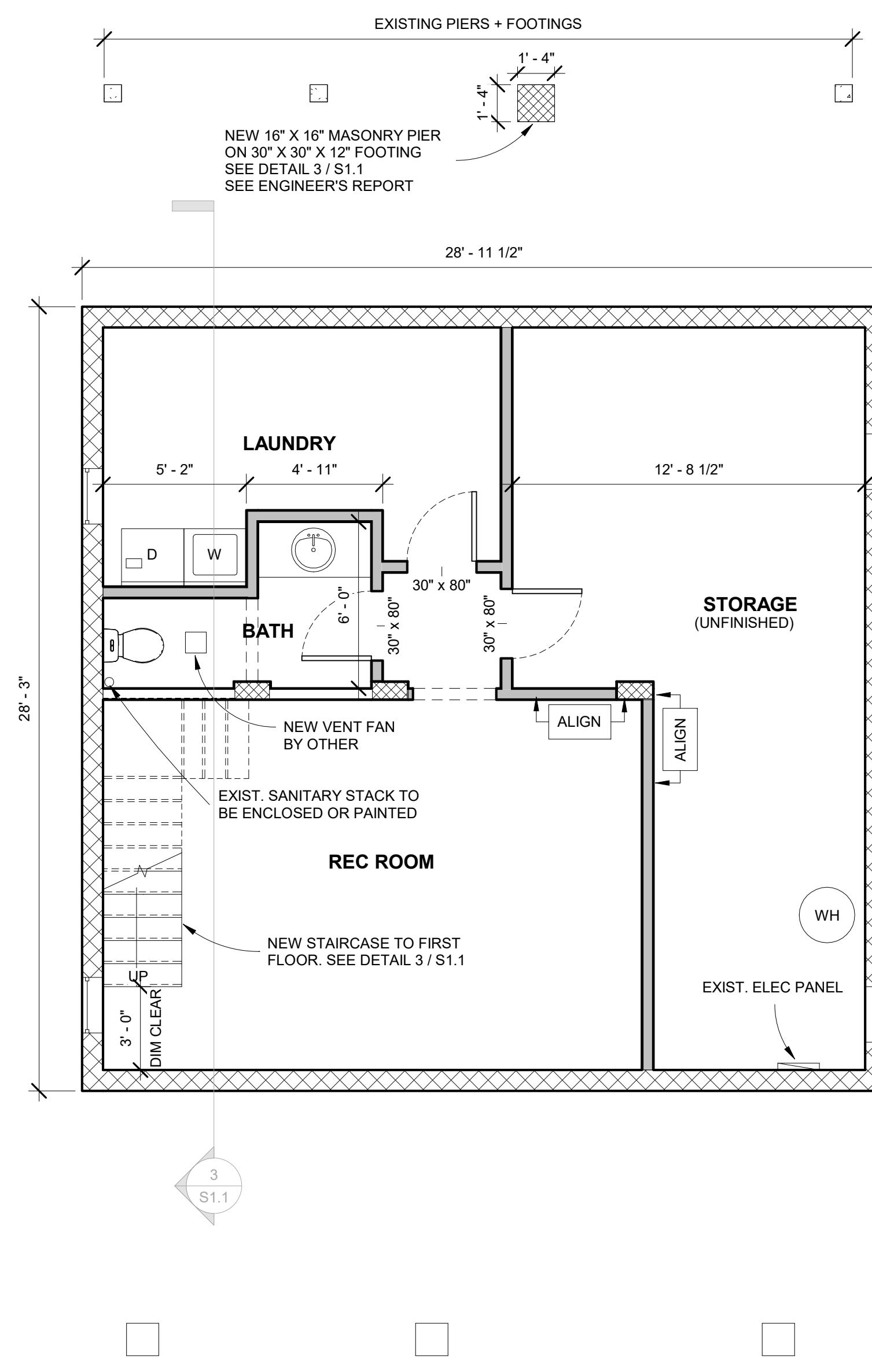
4 PROPOSED ATTIC LOFT  
1/4" = 1'-0"  
EXIST. CEILING HEIGHT: 7' - 0"



3 PROPOSED SECOND FLOOR  
1/4" = 1'-0"  
EXIST. CEILING HEIGHT: 7' - 2" (NO CHANGE)



2 PROPOSED FIRST FLOOR  
1/4" = 1'-0"  
EXIST. CEILING HEIGHT: 8' - 9" (NO CHANGE)



1 PROPOSED BASEMENT  
1/4" = 1'-0"  
EXIST. CEILING HEIGHT: 8' - 0" (NO CHANGE)

**WOOD NOTES:**

- ALL HEADERS, JOISTS, RAFTERS ARE TO BE HEM-FIR OR SPF #2 OR BETTER UNLESS NOTED OTHERWISE. MINIMUM DESIGN VALUES:
  - BENDING STRESS FB= 850 PSI FOR SINGLE MEMBER USE
  - HORIZONTAL SHEAR FV= 70 PSI
  - COMPRESSION PARALLEL TO GRAIN FC11= 1100 PSI
  - COMPRESSION PERPENDICULAR TO GRAIN FC= 405 PSI
  - MODULUS OF ELASTICITY= 1,300 KSI
- ALL WALL STUDS ARE SPF STUD GRADE OR BETTER WITH MINIMUM DESIGN VALUES:
  - COMPRESSION PARALLEL TO GRAIN FC11= 625 PSI
  - BENDING STRESS= 675 PSI FOR SINGLE MEMBER USE
  - MODULUS OF ELASTICITY= 1,200 KSI
- ALL LVLS SHALL HAVE THE MINIMUM DESIGN VALUES:
  - BENDING STRESS= 2800 PSI
  - HORIZONTAL SHEAR= 250 PSI
  - MODULUS OF ELASTICITY= 2,000 KSI

**STRUCTURAL NOTES**

- CENTER ALL PIERS AND COLS. WITH CENTER OF CONC. FOOTINGS TYP.
- BOTTOM OF ALL FOOTINGS SHALL BE MIN. OF 2'-6" BELOW FINISHED GRADE TYP. OR AS SHOWN ON THE DRAWINGS.
- FRAMING CONNECTORS FOR ALL JOISTS, BEAMS AND COLUMNS SHALL BE BY "SIMPSON" OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MANUF. RECOMMENDATIONS.
- PROVIDE "SIMPSON" H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 292 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- ALL WOOD POSTS SHALL BE SOUTHERN PINE NO.1 OR LVL POST; NOT BUILT-UP STUDS.
- PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS.
- PROVIDE "SIMPSON" POST CAP AND BASE CONNECTION AT ALL POSTS AND BEAM CONNECTIONS.

**DRYWALL NOTES:**

- ALL GYPSUM WALL BOARD SHALL BE INSTALLED HORIZONTALLY IN SINGULAR CONTINUOUS PIECES WITH NO BUTTED-END JOINTS.
- GYPSUM BOARD GAP AT THE FLOOR SHALL NOT EXCEED 1/4".
- NO GYP. BD. SHALL SPAN OVER 16" IN ANY DIRECTION WITHOUT FRAMING SUPPORT. ADDITIONAL SUPPORT WILL BE NECESSARY AT ALL OPENINGS AND FLOOR AND CEILING JOINTS.
- CONTRACTOR TO PROVIDE WALL BLOCKING FOR ALL CASEWORK AND WALL MOUNTED ITEMS AS REQUIRED. RESTORE ALL EXISTING RATED ASSEMBLIES WHERE DISTURBED FOR INSTALLATION, USING ONLY FIRE-TREATED BLOCKING.
- UNLESS NOTED OTHERWISE, PARTITION TYPE DESIGNATION REPRESENTS THE ENTIRE LENGTH OF THE PARTITION IN WHICH IT IS LOCATED.

**ROOFING NOTES:**

- PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SHINGLES @ ALL VALLEYS AND ALL PERIMETERS OF THE ROOF STRUCTURE. ENSURE WEATHER GUARD EXTENDS PAST 24" FROM INTERIOR FACE OF EXTERIOR STUD WALL.
- SEE FRAMING PLANS FOR ANY OVERBUILD AREAS.
- G.C. TO INSTALL DRIP EDGE AT ALL FASCIA AND GUTTER LOCATIONS.



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Herndon, VA 20170  
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SCHWENGELS  
RESIDENCE

7204 Maple Avenue  
Takoma Park, MD 20912

PROJECT NUMBER: 24.014  
DATE: 2/19/24  
DRAWN BY: SD + JCC  
CHECKED BY: JS + MSW

REVISIONS:  
Permit Set: 3/27/24  
Rev #1: 5/9/24  
Rev #2: 5/28/24  
Rev #3: 7/30/24

SEAL:  
Michael Wijdoogen, AIA  
Digitally signed by Michael Wijdoogen, DN: cn=Michael Wijdoogen, o=MW Architects, ou=MW Architects, email=Michael.Wijdoogen@mwarchitects.com, c=US  
Michael Wijdoogen, AIA  
Professional Seal  
Michael Wijdoogen, AIA, LEED AP BD+C  
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license # 13894, expiration date June 28, 2026.

MW Architects, LLC  
Principal/Owner: Michael Wijdoogen AIA, LEED AP BD+C

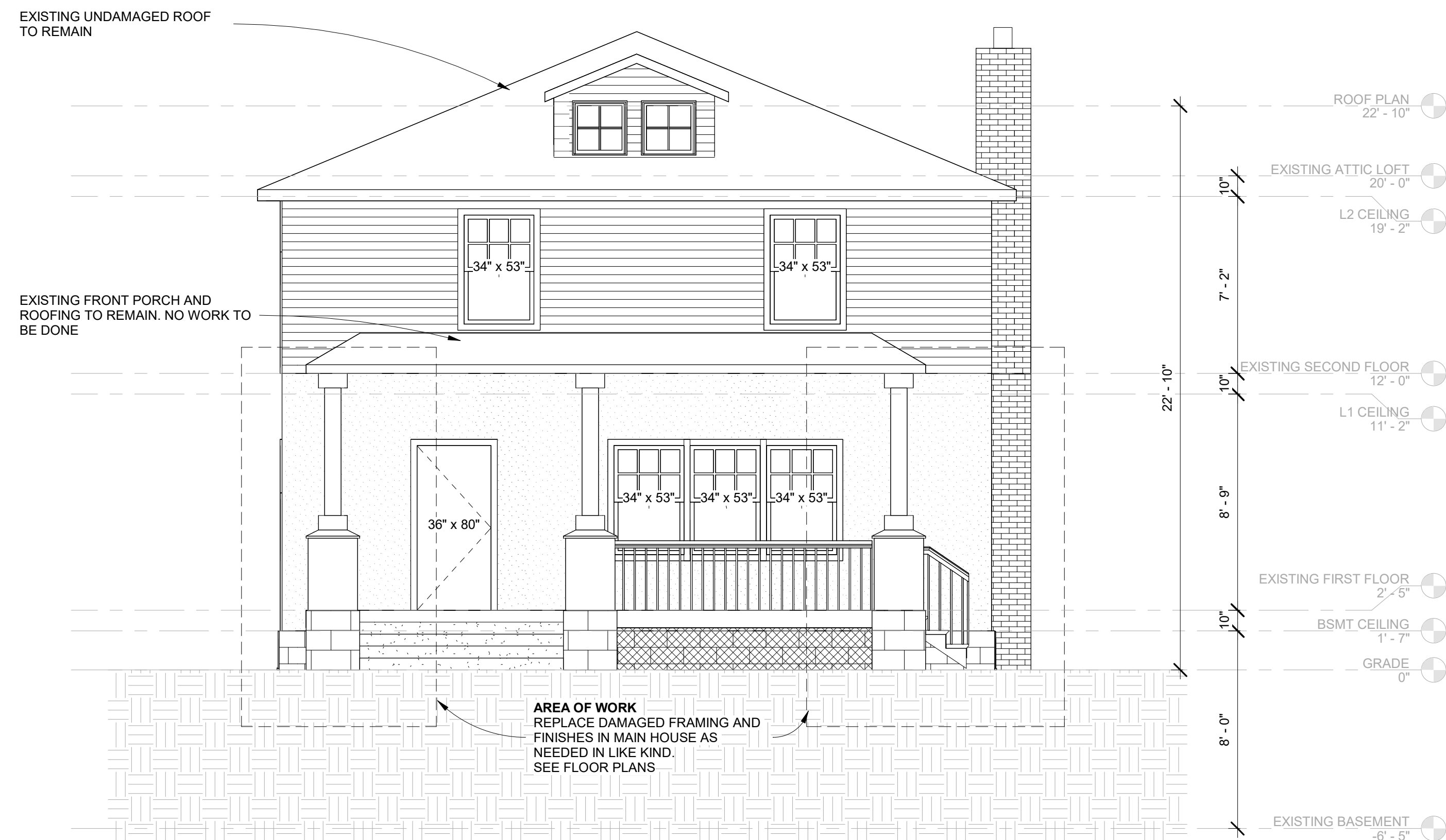
SCALE: As indicated  
SHEET TITLE: PROPOSED FLOOR PLANS

SHEET NUMBER: A1.1



2 EXISTING REAR ELEVATION  
1/4" = 1'-0"

REPLACE ALL DAMAGED FINISHES AS NEEDED IN LIKE KIND



1 EXISTING FRONT ELEVATION  
1/4" = 1'-0"

REPLACE ALL DAMAGED FINISHES AS NEEDED IN LIKE KIND



3 EXISTING LEFT ELEVATION  
1/4" = 1'-0"

REPLACE ALL DAMAGED FINISHES AS NEEDED IN LIKE KIND



4 EXISTING RIGHT ELEVATION  
1/4" = 1'-0"

REPLACE ALL DAMAGED FINISHES AS NEEDED IN LIKE KIND



ARCHITECTS

"Architecture with a scaled & constructive approach"

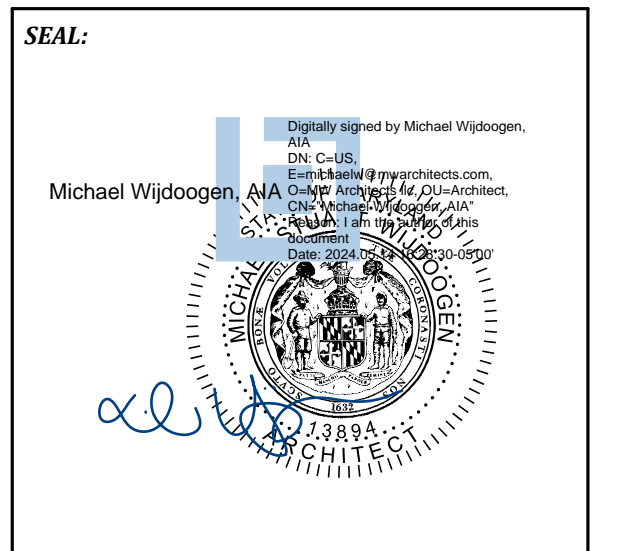
761C Monroe St, Suite 201  
Herndon, VA 20170  
(833)-819-9461  
www.mwarchitects.com

SCHWENGLS  
RESIDENCE

7204 Maple Avenue  
Takoma Park, MD 20912

PROJECT NUMBER:	24.014
DATE:	2/19/24
DRAWN BY:	SD + JCC
CHECKED BY:	JS + MSW

REVISIONS:	
Permit Set:	3/27/24
Rev. #1:	5/9/24
Rev. #2:	5/28/24
Rev. #3:	7/30/24



MW Architects, LLC  
Principal/Owner: Michael Wijdoogen AIA, LEED AP BD+C  
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license #13894, expiration date June 28, 2026.

SCALE:	1/4" = 1'-0"
SHEET TITLE:	EXISTING ELEVATIONS
SHEET NUMBER:	A2.0



2 PROPOSED REAR ELEVATION  
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



3 PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



4 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"



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& constructive approach"

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**SCHWENGENLS  
RESIDENCE**

7204 Maple Avenue  
Takoma Park, MD 20912

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REVISIONS:	
Permit Set:	3/27/24
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Rev. #3:	7/30/24

SEAL:

Michael Wijdoogen, AIA, LEED AP BD+C  
Principal/Owner: Michael Wijdoogen AIA, LEED AP BD+C  
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license # 13894, expiration date June 28, 2026.

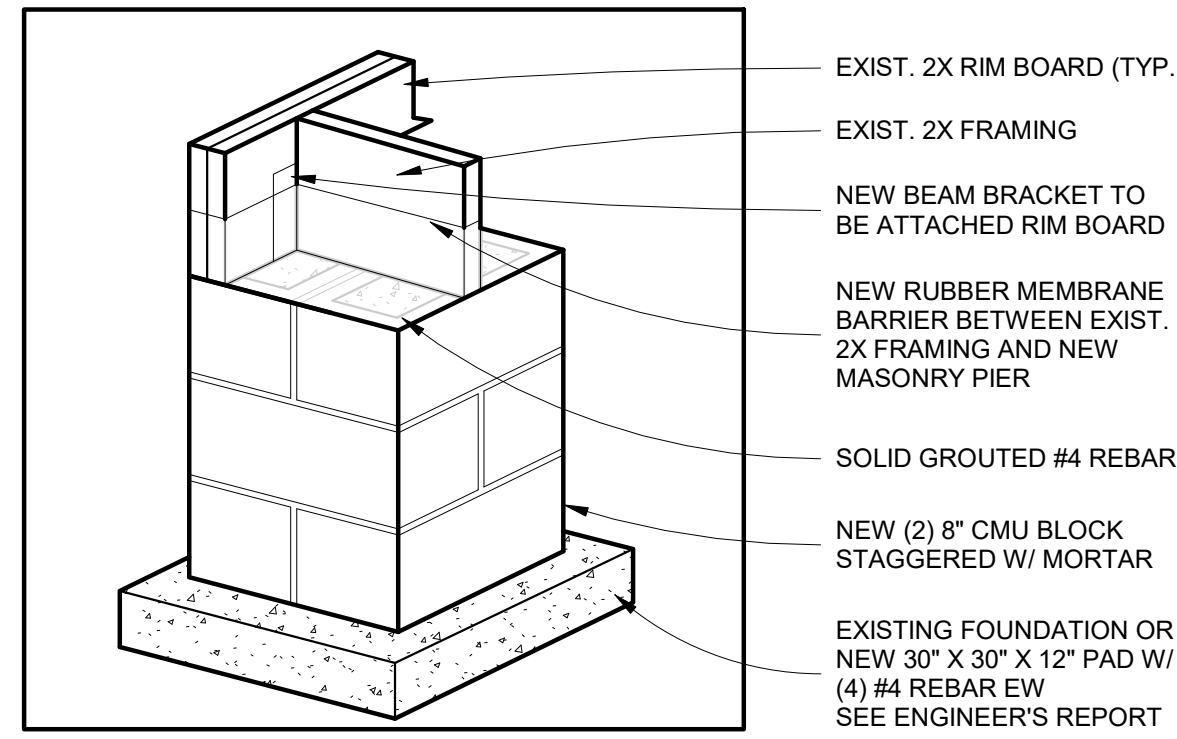
SCALE:	1/4" = 1'-0"
SHEET TITLE:	PROPOSED ELEVATIONS
SHEET NUMBER:	<b>A2.1</b>



**NOTE: (NON TREATED LUMBER SHALL NOT BE IN DIRECT CONTACT WITH MASONRY)**

1. ALL FRAMING MEMBERS BEARING ON MASONRY SHALL REST ON P.T. 2X SILL PLATE OR EQUAL.
2. ALL FRAMING MEMBERS POCKETED INTO MASONRY SHALL BE WRAPPED IN WATERPROOF MEMBRANE OR WRAPPED IN P.T. WOOD THEN GROUTED SOLID IN POCKET TYP.
3. ENSURE ALL EXISTING LUMBER IN CONTACT WITH MASONRY IS PRESSURE TREATED OR PROVIDE RUBBER MEMBRANE BARRIER BETWEEN MASONRY AND WOOD.

**NEW 16" X 16" MASONRY PIER WITH FOOTING**



③ NEW 16" X 16" MASONRY PIER WITH FOOTING  
1 1/2" = 1'-0"

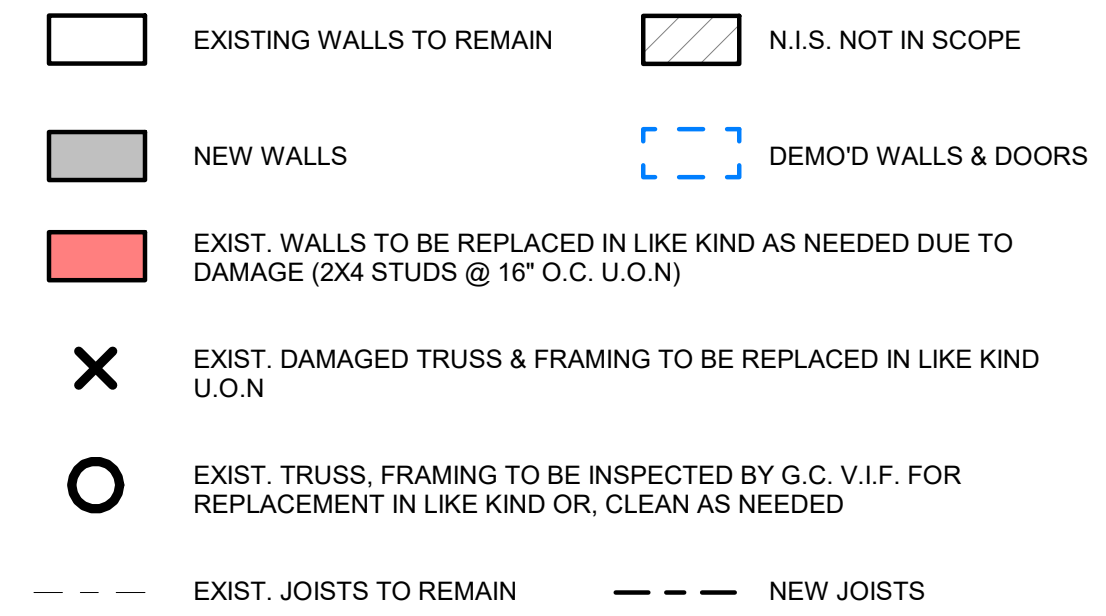
**WOOD NOTES:**

1. ALL HEADERS, JOISTS, RAFTERS ARE TO BE HEM-FIR OR SPF #2 OR BETTER UNLESS NOTED OTHERWISE. MINIMUM DESIGN VALUES:
  - BENDING STRESS FB= 850 PSI FOR SINGLE MEMBER USE
  - HORIZONTAL SHEAR FV= 70 PSI
  - COMPRESSION PARALLEL TO GRAIN FC11= 1100 PSI
  - COMPRESSION PERPENDICULAR TO GRAIN FC= 405 PSI
  - MODULUS OF ELASTICITY= 1,300 KSI
2. ALL WALL STUDS ARE SPF STUD GRADE OR BETTER WITH MINIMUM DESIGN VALUES:
  - COMPRESSION PARALLEL TO GRAIN FC11= 625 PSI
  - BENDING STRESS= 675 PSI FOR SINGLE MEMBER USE
  - MODULUS OF ELASTICITY= 1,200 KSI
3. ALL LVLS SHALL HAVE THE MINIMUM DESIGN VALUES:
  - BENDING STRESS= 2800 PSI
  - HORIZONTAL SHEAR= 250 PSI
  - MODULUS OF ELASTICITY= 2,000 KSI

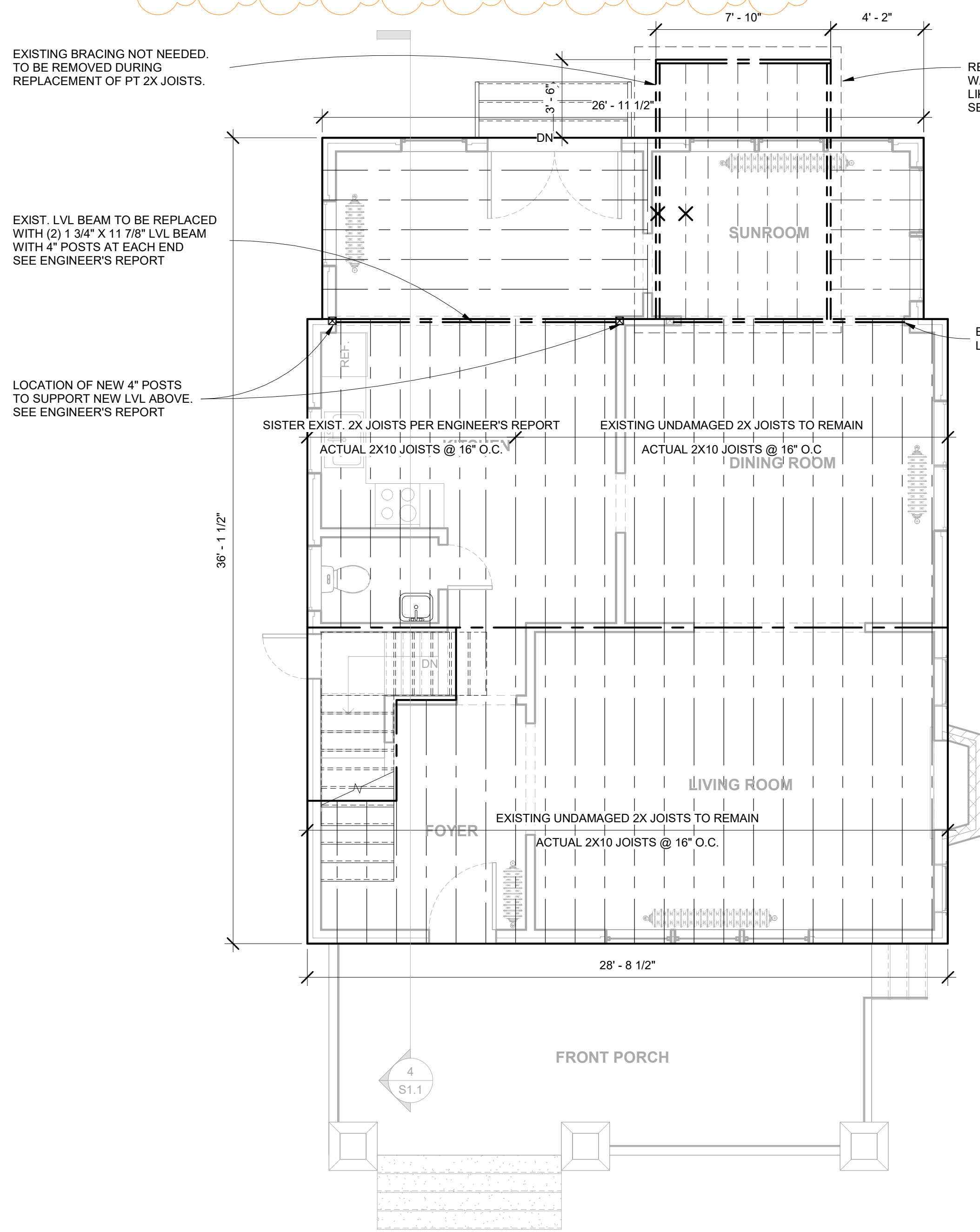
**STRUCTURAL NOTES**

1. CENTER ALL PIERS AND COLS. WITH CENTER OF CONC. FOOTINGS TYP.
2. BOTTOM OF ALL FOOTINGS SHALL BE MIN. OF 2'-6" BELOW FINISHED GRADE TYP. OR AS SHOWN ON THE DRAWINGS.
3. FRAMING CONNECTORS FOR ALL JOISTS, BEAMS AND COLUMNS SHALL BE BY "SIMPSON" OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE "SIMPSON" H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 292 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE NO.1 OR LVL POST; NOT BUILT-UP STUDS.
6. PROVIDE FLOORING UNDER POSTS BETWEEN BLOCKS DOWN TO TOP OF CMU OR STEEL BEAMS.
7. PROVIDE "SIMPSON" POST CAP AND BASE CONNECTION AT ALL POSTS AND BEAM CONNECTIONS.

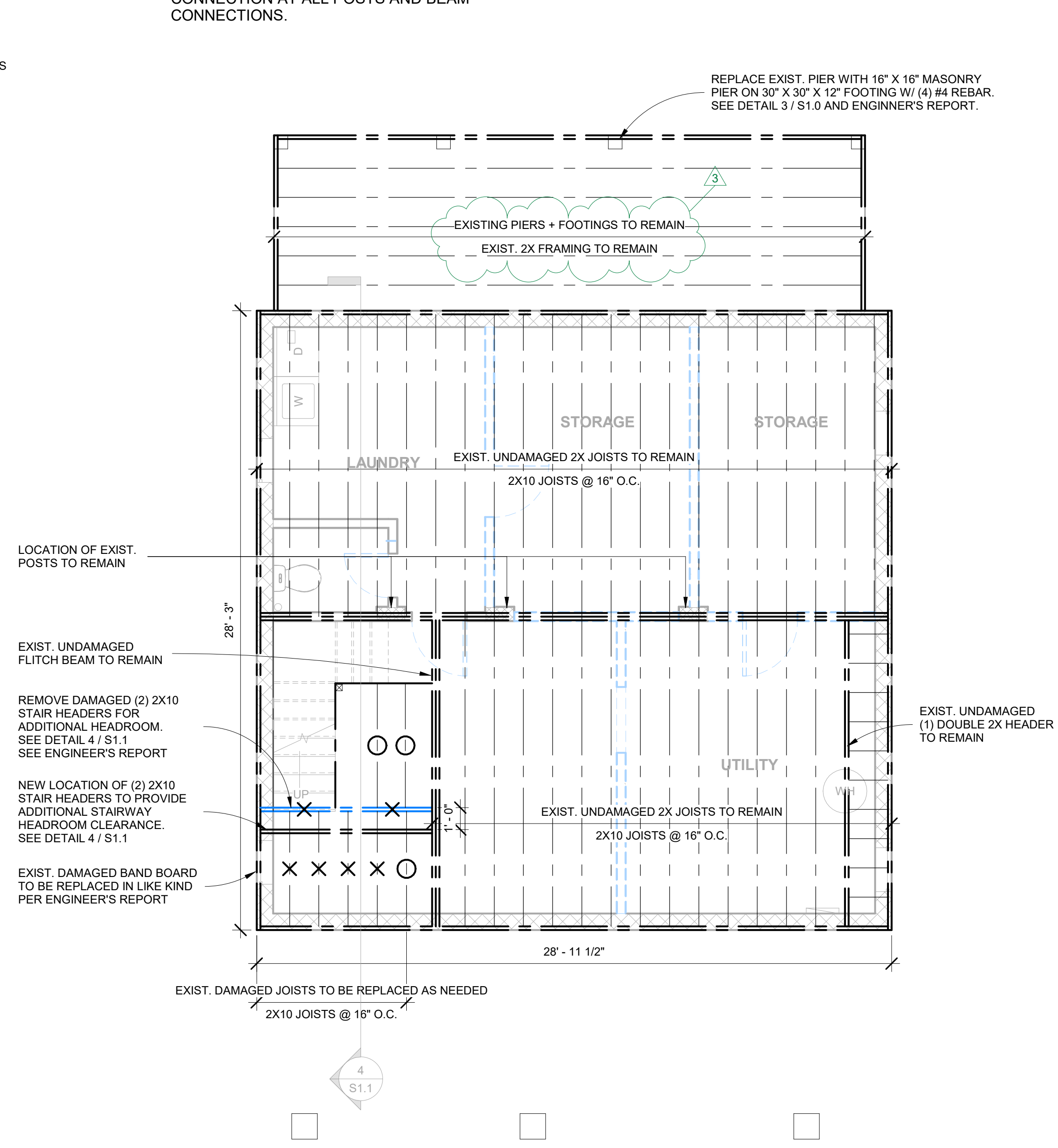
**LEGEND & GENERAL INFORMATION:**



- UNLESS NOTED OTHERWISE, REPLACE CHARRED DBL STUD HEADERS @ OPENINGS AS FOLLOWS:  
 - (2)2x6: UP TO 4' - 0" OPENING  
 - (2)2x8: UP TO 5' - 0" OPENING  
 - (2)2x10: UP TO 7' - 0" OPENING  
 - (2)2x12: UP TO 8' - 0" OPENING  
 - REPLACE TAGGED WINDOWS AND DOORS AS NEEDED IN LIKE KIND. G.C. TO VERIFY ALL DOOR AND WINDOW SIZES PRIOR TO ORDERING.



② EXISTING FIRST FLOOR - CEILING FRAMING PLAN  
1/4" = 1'-0"



① EXIST. BASEMENT - CEILING FRAMING PLAN  
1/4" = 1'-0"

**SCHWENGELS RESIDENCE**  
 7204 Maple Avenue  
 Takoma Park, MD 20912

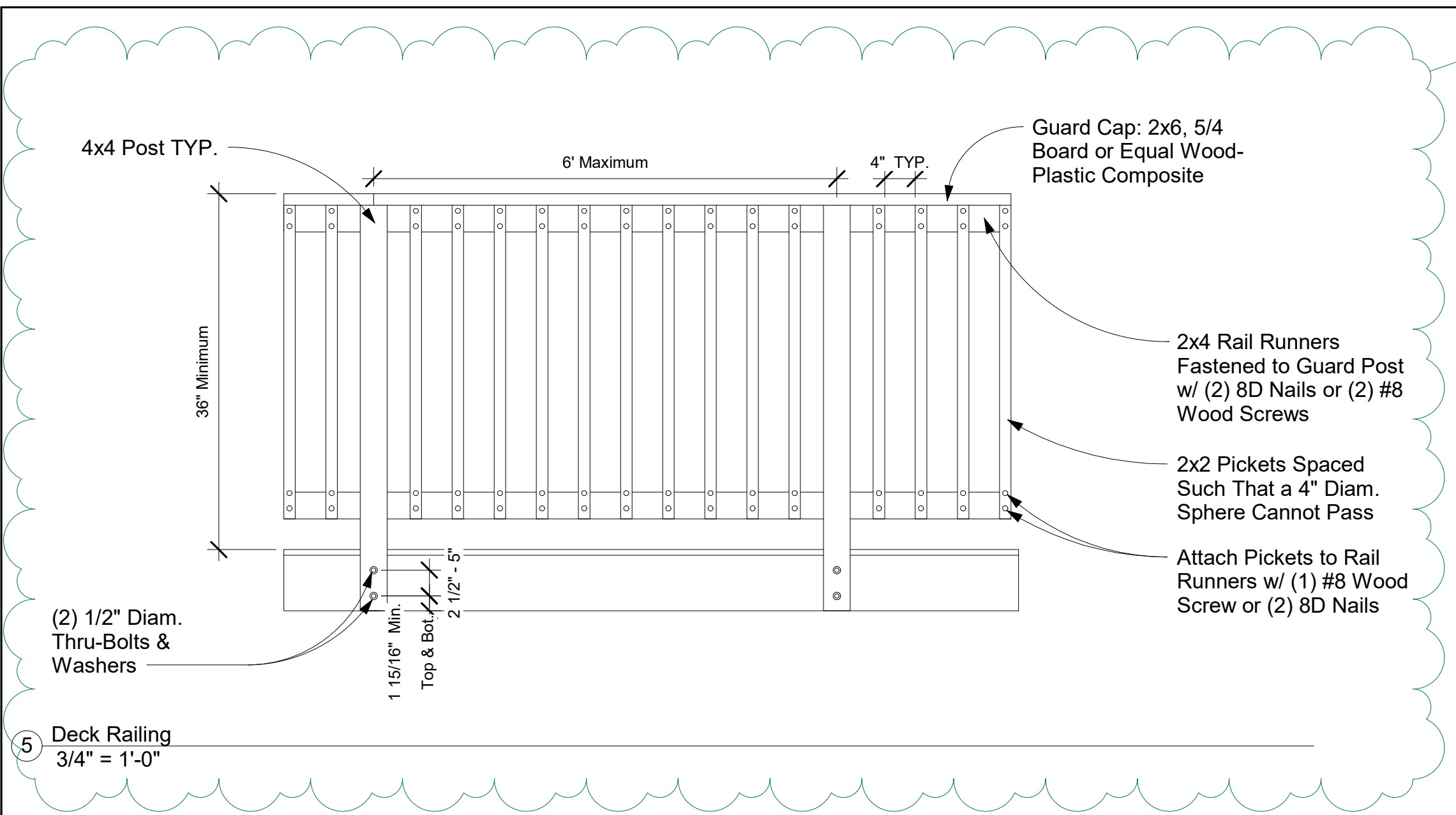
PROJECT NUMBER:	24.014
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DRAWN BY:	SD + JCC
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REVISIONS:	
Permit Set:	3/27/24
Rev. #1:	5/9/24
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Rev. #3:	7/30/24

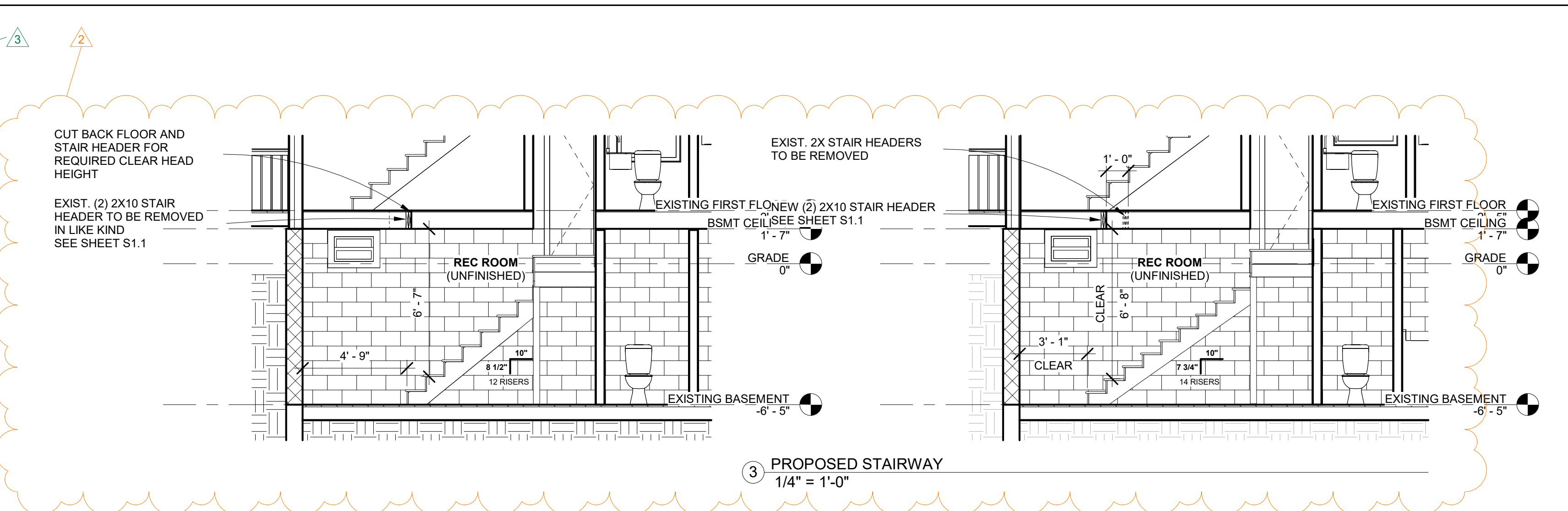
SEAL: Michael Wijdoogen, AIA, LEED AP BD+C  
 Digitally signed by Michael Wijdoogen, DN: cn=Michael Wijdoogen, o=MW Architects, ou=MW Architects, email=Michael.Wijdoogen@mwarchitects.com

MW Architects, LLC  
 Principal/Owner: Michael Wijdoogen AIA, LEED AP BD+C  
 Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license # 13894, expiration date June 28, 2026.

SCALE:	As indicated
SHEET TITLE:	CEILING FRAMING PLANS
SHEET NUMBER:	<b>S1.0</b>

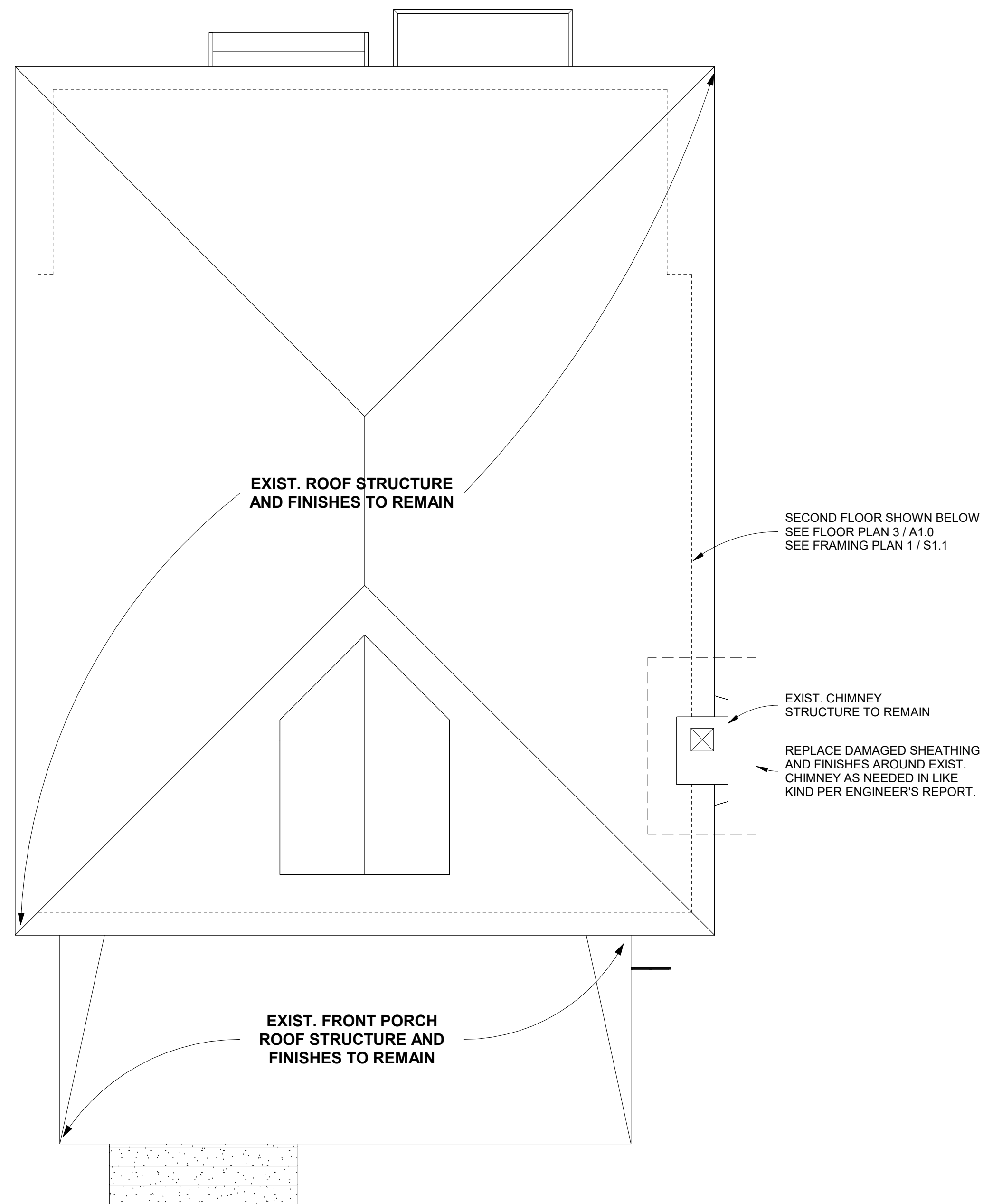


5 Deck Railing  
3/4" = 1'-0"

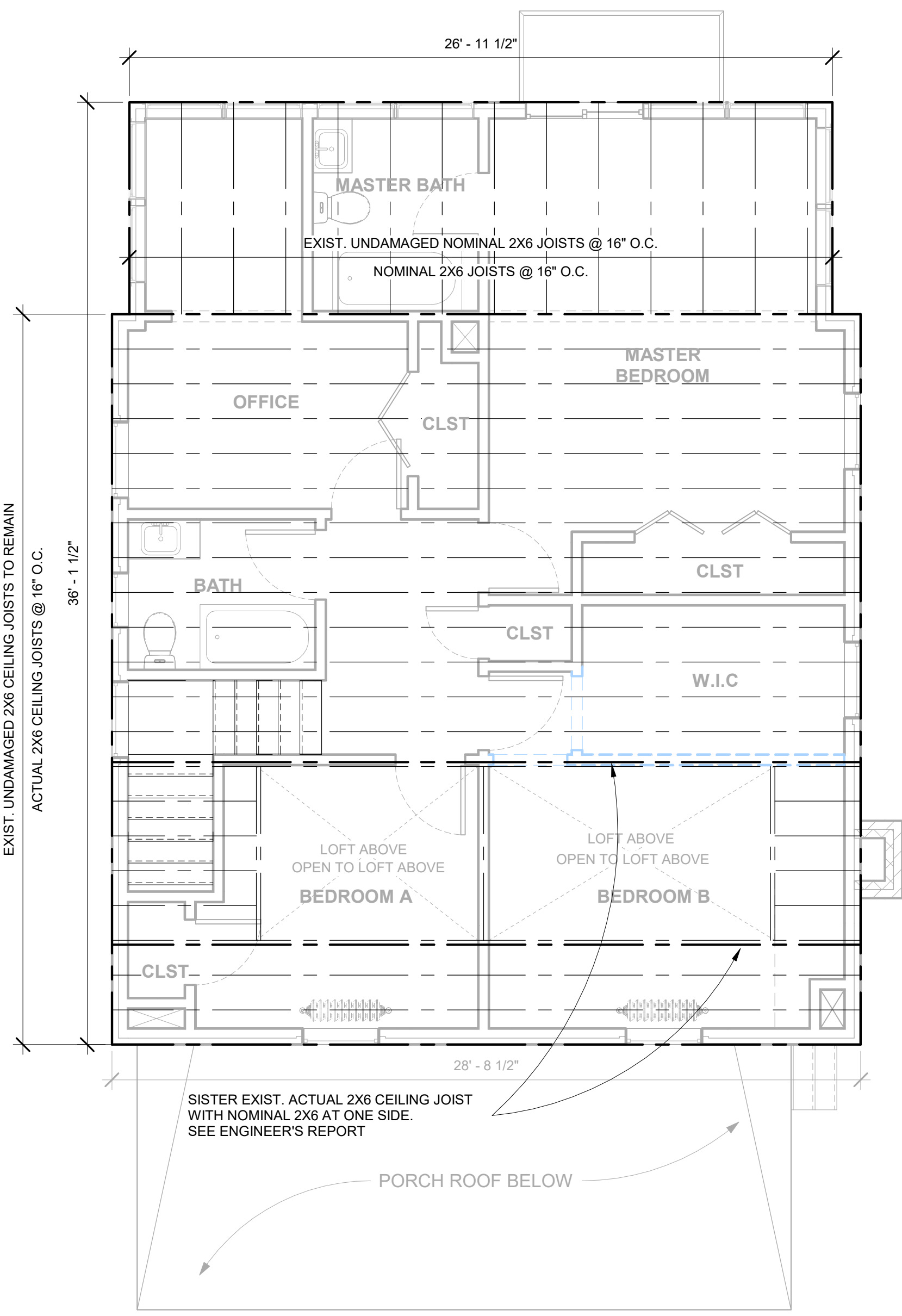


4 EXISTING STAIRWAY  
1/4" = 1'-0"

3 PROPOSED STAIRWAY  
1/4" = 1'-0"



2 ROOF PLAN  
1/4" = 1'-0"



1 EXISTING SECOND FLOOR - CEILING FRAMING PLAN  
1/4" = 1'-0"

**LEGEND & GENERAL INFORMATION:**

- EXISTING WALLS TO REMAIN
  - N.I.S. NOT IN SCOPE
  - NEW WALLS
  - DEMO'D WALLS & DOORS
  - EXIST. WALLS TO BE REPLACED IN LIKE KIND AS NEEDED DUE TO DAMAGE (2X4 STUDS @ 16" O.C. U.O.N)
  - EXIST. DAMAGED TRUSS & FRAMING TO BE REPLACED IN LIKE KIND U.O.N
  - EXIST. TRUSS, FRAMING TO BE INSPECTED BY G.C. V.I.F. FOR REPLACEMENT IN LIKE KIND OR, CLEAN AS NEEDED
  - EXIST. JOISTS TO REMAIN
  - NEW JOISTS
- UNLESS NOTED OTHERWISE, REPLACE CHARRED DBL STUD HEADERS @ OPENINGS AS FOLLOWS:
- (2)x6 : UP TO 4' - 0" OPENING
  - (2)x8 : UP TO 5' - 0" OPENING
  - (2)x10 : UP TO 7' - 0" OPENING
  - (2)x12 : UP TO 8' - 0" OPENING
- REPLACE TAGGED WINDOWS AND DOORS AS NEEDED IN LIKE KIND. G.C. TO VERIFY ALL DOOR AND WINDOW SIZES PRIOR TO ORDERING.

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SCALE:	As indicated
SHEET TITLE:	<b>CEILING FRAMING PLANS AND ROOF PLAN</b>
SHEET NUMBER:	<b>S1.1</b>



**SOLD BY:**

Leland L. Fisher Lumber, Inc. Rockville  
 525 E Gude Dr  
 PO Box 1187  
 Rockville, MD 20850-1353  
 Fax: 301-424-8864

**SOLD TO:**

**CREATED DATE**  
7/26/2024

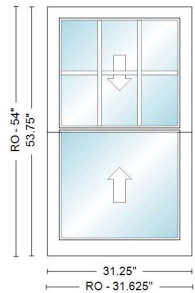
**LATEST UPDATE**  
7/29/2024M

**OWNER**  
scott allen

**Abbreviated Quote Report - Customer Pricing**

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Unassigned Quote	Unassigned Project	6166605		

**ORDER NOTES:** **DELIVERY NOTES:**



Item	Qty	Operation	Location	Unit Price	Ext. Price
300	1	AA	DINING ROOM	\$1,008.61	\$1,008.61

**RO Size: 31 5/8" x 54"**

**Unit Size: 31 1/4" x 53 3/4"**

TWI 2' 7 1/4"X4' 5 3/4", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) Division, 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/Unfinished, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Full Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 31.25 x 53.75 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width
A1	0.32	0.28	NO	A1	27.4520

## 400 SERIES



THE WINDOWS  
**CONTRACTORS**  
TRUST THE MOST.\*

\*2020 Andersen brand survey of U.S. contractors.



# AMERICA'S MOST LOVED BRAND OF WINDOWS & DOORS.\*

You want to give your customers a home they love, and we're here to make that easy for you. That's why we're proud to offer you products that rate #1 in quality and performance,\*\* and to be the #1 trusted and recommended window and door brand† by pros.

## 400 SERIES PRODUCTS

Our most popular choice with homeowners and the windows contractors trust the most! Easy to install, low maintenance and with fewer callbacks, the 400 Series can be your go-to for pretty much any project.

\*2020 Andersen brand surveys of U.S. contractors, builders and realtors.

\*\*2020 Andersen brand surveys of U.S. contractors, builders and architects.

†2020 Andersen brand survey of U.S. contractors.

# RELIABLE & ENERGY EFFICIENT

As our best-selling products, the 400 Series product line offers a distinct blend of design, reliability and trade confidence. Designed for easy installation for replacement, remodel or new construction projects, 400 Series products feature our Perma-Shield® exterior cladding that revolutionized the window industry. They're also backed by our renowned limited warranty and the largest service network in the industry.

## ENERGY-SAVING GLASS FOR ANY CLIMATE

Andersen makes windows and patio doors with options that make them ENERGY STAR® v. 6.0 certified throughout the United States.

Visit [andersenwindows.com/energystar](http://andersenwindows.com/energystar) for more information and to verify that the product with your glass option is certified in your area.



## RIGOROUSLY TESTED

The exclusive Andersen Perma-Shield system gives our windows and doors a tough, protective shell that safeguards the wood inside. It repels water, resists dents\* and stays beautiful for years.

## LOW MAINTENANCE, NEVER NEEDS PAINTING

The Perma-Shield exteriors on Andersen 400 Series windows and doors offer superior weather resistance and are virtually maintenance free.



## OPTIONS FOR THE HARSHTEST WEATHER

400 Series windows with Stormwatch® Protection meet building code requirements in coastal areas.\*\* Products with Stormwatch Protection are energy efficient, resist the effects of salt water, and stand up to hurricane-force winds and wind-borne debris.\*\* For details, visit [andersenwindows.com/coastal](http://andersenwindows.com/coastal).



## QUALITY SO SOLID, THE WARRANTY IS TRANSFERABLE\*

Many other window and door warranties end when a home is sold, but our coverage – 20 years on glass, 10 years on non-glass parts – transfers from each owner to the next. And because it's not prorated, the coverage offers full benefits year after year, owner after owner. So it can add real value when you decide to sell your home.



## BUILT FOR YEARS TO COME\*

Our products are built strong to last long. We use the right materials in the right places, including solid wood, fiberglass and our own Fibrex® composite material. These give our windows and doors superior strength, stability and long-term beauty.

## KEEPS THE WEATHER OUT

Our weather-resistant construction and careful selection of weatherstrip by product type seals out drafts, wind and water whatever the weather.

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\*See your local code official for code requirements in your area.

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

# REPLACEMENT SOLUTIONS

Homeowners and realtors agree that Andersen products increase the value of a home by at least 10%\*. So you're not just replacing their windows, you're upgrading their home.

## INSERT WINDOWS



### 400 Series Woodwright® Double-Hung Insert Windows

The classic, traditional style of Woodwright full-frame windows in a time-saving insert.



### 400 Series Tilt-Wash Double-Hung Insert Windows

Our best-selling double-hung windows in an insert for easy replacement.

## REPLACEMENT WINDOWS



### 400 Series Replacement Casement & Awning Windows

Available without an installation flange for easy window replacement from inside or outside. Feature predrilled, through-the-jamb installation holes for quick installation.

Our insert and replacement windows include flat self-hanging shims, backer rod, installation screws and complete instructions.



## CUSTOM-SIZE FULL-FRAME WINDOWS

When the existing window frame is rotted or deteriorated, or you're modifying the size or shape of the existing window opening, our full-frame double-hung, casement, awning and specialty windows are available in custom sizes to fit your project.



## CUSTOM-SIZE PATIO DOORS

Whether you need a hinged or gliding patio door for replacement, Andersen has a number of custom-size options to fit your project.



\*2020 Andersen brand surveys of U.S. realtors and homeowners.



## GRILLE OPTIONS

Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern, and we'll even work with you and your customers to create custom patterns.

Permanent exterior  
Permanent interior  
with spacer

**FULL DIVIDED LIGHT**

Permanently applied to the interior and exterior of the window, with a spacer between the glass.

Permanent exterior  
Permanent interior

Permanent exterior  
Removable interior

**SIMULATED DIVIDED LIGHT**

### SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior, with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

Removable interior

Finelight grilles-between-the-glass

**CONVENIENT CLEANING OPTIONS**

### CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes, and feature a contoured profile in 1" (25) and 3/4" (19) widths.

### Grille Bar Widths & Patterns

3/4" (19)

7/8" (22)

1 1/8" (29)

2 1/4" (57)

Actual width shown.

Our 2 1/4" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

To see all of the standard patterns available for a specific window or door, refer to the detailed product sections in this product guide.

\*7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass. Dimensions in parentheses are 24 millimeters.





# TILT-WASH DOUBLE-HUNG INSERT WINDOWS

- Custom Sizes ..... 92
- Specifications ..... 92
- Existing Window Measurements ..... 93
- Sill Angle Details ..... 93
- Grille Patterns ..... 94
- Window Details ..... 94-95
- Joining Details ..... 95
- Product Performance ..... 197

**CUSTOM SIZING**  
in 1/8" (3) increments 

Dimensions in parentheses are in millimeters.

# TILT-WASH DOUBLE-HUNG INSERT WINDOWS

## FEATURES

### FRAME

**A** A Fibrex® material exterior protects the frame – beautifully. Best of all, it's low maintenance and never needs painting.\*

**B** For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex material exterior. Sill ends are protected and sealed with weather-resistant covers.

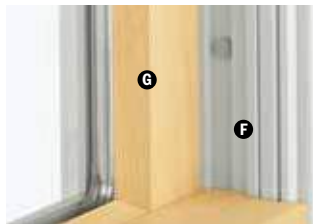
**C** Natural wood stops are available in pine, and prefinished white, dark bronze and black.\*\*

**D** Weatherstrip throughout the unit provides a long-lasting, energy-efficient, weather-resistant seal. For the top and bottom rails, an enclosed foam material is used. The head jamb liner and sill have a rigid vinyl rib that the weatherstrip material compresses against. At the meeting rail, compressible vinyl bulb material is used. Side jamb liners use leaf-type weatherstrip with foam inserts.

**E** Exterior stop covers are specially designed to allow easy application of high-quality sealant.

3 1/4" (83) "pocket window" jamb depth allows convenient replacement without disturbing interior window trim for most double-hung replacement situations.

**F** Jamb liners are available in white or gray, and must be specified when ordering. Contact your Andersen supplier for details.



Unique block-and-tackle balancers feature sized-to-the-unit, rust-resistant springs that require no adjustment. Glass-reinforced nylon balancer shoes provide smooth, reliable sash operation. They automatically lock the balancer into position when sash are tilted into wash mode.



### SASH

Wash assists make it easy to tilt the sash into wash mode.

**G** Wood sash members are treated with a water-repellent preservative for long-lasting protection and performance. Interior surfaces are unfinished pine. Low-maintenance prefinished white interiors are also available.

**H** A polyester-stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

**I** Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

### GLASS

**J** In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

**K** Silicone bed glazing provides superior weathertightness and durability.

**L** High-Performance options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

### Patterned Glass

Patterned glass options are available. See page 12 for more details.

### SILL

#### Sill Angles

Three sill angles are available – 0°, 8° and 14° – to closely match the existing sill in window replacement applications. See page 93 for details.



0° Sill Angle



8° Sill Angle



14° Sill Angle

#### Sill Angle Finder App

Our Sill Angle Finder App lets you quickly and easily find the sill angle of existing double-hung windows. Available for free for both iPhone® and Android™ smartphones. Download the app for iPhone from the App Store™ or for Android smartphones from the Google Play Store. The app is only available for smartphones, as tablets and other large devices are too bulky for measuring window sill angles.

### INSTALLATION

#### Exterior Stop Cover



An exterior stop cover provides a clean transition from the new window to the existing window casing.

#### Included Installation Materials



Flat self-hanging shims, backer rod, installation screws and complete instructions are included with each insert window. See the measurement guide and worksheet at [andersenwindows.com/measure](http://andersenwindows.com/measure).

#### SASH OPTIONS†



Cottage

Reverse Cottage

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\*Products with dark bronze and black interiors have matching exteriors.

†Shown on 400 Series tilt-wash double-hung full-frame windows.

“Flexacron” is a registered trademark of PPG Industries, Inc.

“iPhone” and “App Store” are registered trademarks of Apple Inc. “Android” is a trademark of Google Inc.

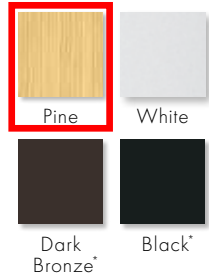
Dimensions in parentheses are in millimeters.

**EXTERIOR & INTERIOR OPTIONS**

**EXTERIOR COLORS**



**INTERIOR OPTIONS**



**HARDWARE**



Standard Lock & Keeper

Black | Gold Dust | **Stone** | White  
Stone is standard with natural interior units. White comes with prefinished white interiors. Other finishes optional.

**OPTIONAL HARDWARE** Sold Separately

**ESTATE™**



Lock & Keeper

Optional Estate lock and keeper reduces the clear opening height by 3/16" (14). Check with local building code officials to determine compliance with egress requirements.

Antique Brass | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Oil Rubbed Bronze  
Polished Chrome | **Satin Nickel**

**CONTEMPORARY**



Bar Lift

Antique Brass | Black | Bright Brass  
Brushed Chrome | Distressed Bronze  
**Distressed Nickel** | Gold Dust  
Oil Rubbed Bronze | Polished Chrome  
Satin Nickel | Stone | White

**TRADITIONAL**



Bar Lift



Hand Lift

Finger Lifts

Antique Brass | Black | Bright Brass | Brushed Chrome  
Distressed Bronze | Distressed Nickel | Gold Dust | **Oil Rubbed Bronze**  
Polished Chrome | Satin Nickel | Stone | White

Bold name denotes finish shown.

**HARDWARE FINISHES**



**ACCESSORIES** Sold Separately

**SASH**

**Window Opening Control Device**



A recessed window opening control device is available factory applied. It limits the sash travel to less than 4" (102) when the window is first opened. Available in white, stone and black. A field-applied window opening control device kit is also available.

**INSECT SCREENS**

**Insect Screen Frames**



Choose full insect screen or half insect screen. Half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

**INSTALLATION**

**Coil Stock**



Andersen® aluminum coil stock can be ordered to match any of our 11 trim colors. Made from .018" thick aluminum, Andersen coil stock is available in 24" (610) x 50' (15240) rolls. Color-matched 1 1/4" (32)-long stainless steel trim nails are also available and can be ordered in 1 lb./454 kg boxes.

**TruScene® Insect Screens**

Andersen TruScene insect screens let in over 25% more fresh air\*\* and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects.

**Conventional Insect Screens**

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

**GRILLES**

Grilles are available in a variety of configurations and widths. For double-hung grille patterns, see page 94.

**CAUTION:**

- Painting and staining may cause damage to rigid vinyl.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- Do not paint 400 Series windows in white, canvas, Sandtone, dark bronze, forest green or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

**GLASS**

**Andersen Art Glass**

Available for 400 Series tilt-wash transom and picture units. Andersen art glass panels come in a variety of original patterns. See art glass section starting on page 173 for more information or visit [andersenwindows.com/artglass](http://andersenwindows.com/artglass).

\*Products with dark bronze and black interiors have matching exteriors.

\*\*TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

# NEW FRONT DOOR SPECIFICATIONS



**EXISTING DAMAGED FRONT DOOR**

## Product Information

Internet # 203114641  
 Model # 27158  
 UPC Code # 030151127158  
 Store SKU # 266976  
 Store SO SKU #476576

## Specifications



### Door Configuration

Single Door

[See Similar Items](#)

### Door Handing

Right-Hand/Inswing

[See Similar Items](#)

### Glass Style

Clear Glass

[See Similar Items](#)

### Door Type

Exterior Prehung

[See Similar Items](#)

### Glass Layout

1/4 Lite

[See Similar Items](#)

### Glass Shape

Rectangle Lite

[See Similar Items](#)

### Finish Type

Primed

[See Similar Items](#)

### Panel Type

2 Panel

[See Similar Items](#)

## Specifications

### Dimensions

Door Height (in.)	80 in	Door Thickness (in.)	1.75 in
Door Width (in.)	37.5 in	Jamb Size (in.)	4-9/16"
Nominal Door Height (in.)	80 in	Nominal Door Thickness (in.)	2 in
Nominal Door Width (in.)	36 in	Rough Opening Height (in.)	82
Rough Opening Width (in.)	38.25		

### Details

Bore Type	Double Bore	Color Family	White
Color/Finish	Primed White	Door Configuration	Single Door
Door Glass Insulation	Dual Pane	Door Handing	Right-Hand/Inswing
Door Style	Traditional	Door Type	Exterior Prehung
Features	Brickmold, Lockset Bore (Double Bore), Weatherstripping	Finish Type	Primed
Frame Material	Wood	Glass Caming Finish	No caming
Glass Layout	1/4 Lite	Glass Shape	Rectangle Lite
Glass Style	Clear Glass	Hinge Finish	Black
Hinge Type	Ball Bearing	Included	Instructions, No Additional Items Included
Material	Fiberglass	Number of Hinges	3
Number of Lites	6 Lite	Panel Type	2 Panel
Product Weight (lb.)	110	Suggested Application	Front
Works With	No additional compatibility		

### Warranty / Certifications

Energy Star Qualified	North-Central, Northern, South-Central, Southern	Manufacturer Warranty	Limited Lifetime Warranty
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Hover Image to Zoom

**PROPOSED FRONT DOOR**

**PROPOSED FRONT DOOR PROFILE**



ARCHITECTS

MEMO

Date: 8/2/24

To: Montgomery County Planning  
Takoma Park Historic Review Board

From: MW Architects LLC  
Michael Wijdoogen, AIA  
Phone: 703.819.9461

Regarding: Project Address: 7204 Maple Ave. Takoma Park, MD 20912  
Permit Application No. BLDG-1064646 / # 177124

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To whom it may concern,

Please note that the following corrections have been made to the re-submitted permit drawings for the above referenced address. These corrections should reflect MW Architects LLC response to your comments.

### HISTORIC REVIEW

1. **Rear deck specifications.** “The existing wood deck is built on low piers (one of which will be replaced), but there isn’t a note the submitted drawings that identifies the decking material. Please identify the material proposed for the rear deck. If no change is proposed for the deck, please let us know.”
  - a. *Understood. There is no change for the existing deck. All deck framing to remain existing.*
2. **Rear steps from the house.** “I can’t tell from the photo if the rear steps from the house to the deck are damaged and if any work is proposed. Those stairs aren’t shown on the plans or elevations. Please indicate whether any work is proposed on the exterior stairs at the rear of the house.”
  - a. *No work to be done on the rear exterior stairs of the house.*
3. **Balcony off master bedroom.** “The detail of the elevation drawings doesn’t indicate the railing detail and whether the existing bracing will be retained. Please provide a railing detail for the deck and indicate whether any additional framing not under the balcony surface is required.”
  - a. *Noted. Please see detail 5/S1.1 for the railing detail. The existing bracing is not needed and can be removed once damaged framing has been replaced in like kind.*

**4. Rear door and side door condition.** “The rear and side doors are understandably covered in plywood. The condition of these doors and any proposed work on these doors were not provided with the submitted materials. Please provide photos of these doors and indicate whether work is proposed for these doors. If so, please provide a door spec for each of these openings.”

*a. Understood. The rear and side doors are to be replaced in like kind. See pictures provided.*

**5. Eave detail / repairs.** “No information about the condition of the eaves and their exposed rafter tails was provided. Please confirm no work, aside from painting is proposed for this feature.

*a. Existing eave finishes are damaged and are to be replaced in like kind. No damage to rafter tails. No work proposed.*

**6. Incomplete drawings.** “Elevations of all four sides of the house need to be provided with the application. In some cases, we can get away with a single elevation. But the work proposed is on all elevation. Please provide elevations of all four sides of the houses.”

*a. Please see sheet A2.0 and A2.1 for existing & proposed elevations.*

**7. In addition to the missing items.** “We reviewed the provided window and door specs and want to caution you about bringing them forward. The HPC has not approved vinyl windows or fiberglass doors on contributing resources in the Takoma park Historic District and the staff would not recommend they approve them in this instance either. No vinyl or fiber glass doors windows. ”

*a. Thank you for letting us know. Please see attached updated door and window specs.*

**8. Windows.** “Submitted details on the existin window configuration was sparse, but most of the windows appear to be the original, historic wood windows, with selective replacements and modifications. Because of the nature of the window damage, I believe the HPC would only accept a wood or aluminum – clad wood window. Additionally, the replacement windows should match the historic light configuration and need to have permanently affixed interior and exterior grilles with a spacer bar between the panes of glass ( Andersen calls this ‘ full divided lights’, Marvin calls it ‘Simulated Divided lite with spacer bar’). ”

Vinyl windows have a finish that is too shiny to be an acceptable substitute for a painted wood window, and their profile is too flat. This is especially the case with multi-light windows.

I would be happy to discuss window options further to find one the HPC would support if you would like.

*a. Thank you for letting us know. Please see attached updated window spec.*

**9. Doors.** “Fiberglass doors are not typically allowed for the same reason the windows are. These doors can usually be painted which helps, but in the end, their appearance and physical characteristics aren’t close enough to wood to be a compatible substitute.”

I do think the HPC would be OK with changing the configuration from the 15 – light door to the six-light door.”

*a. Please see the attached door spec. We will move forward with the desired door for HPC response.*

I trust that these revisions are in accordance with the required changes. Please call me if there are any questions or concerns.

Respectfully Submitted,



Michael Wijdoogen, AIA, LEED BD+C  
MW Architects LLC