

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	23717 Woodfield Road, Gaithersburg	Meeting Date:	8/14/2024
Resource:	Third Period (Contributing) Resource Woodfield Historic District	Report Date:	8/7/2024
Applicant:	Janice Johnson	Public Notice:	7/31/2024
Review:	HAWP	Tax Credit:	No
Case No.:	1067618	Staff:	Laura DiPasquale
Proposal:	Construction of accessory structure		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application with final review and approval of all details delegated to staff.

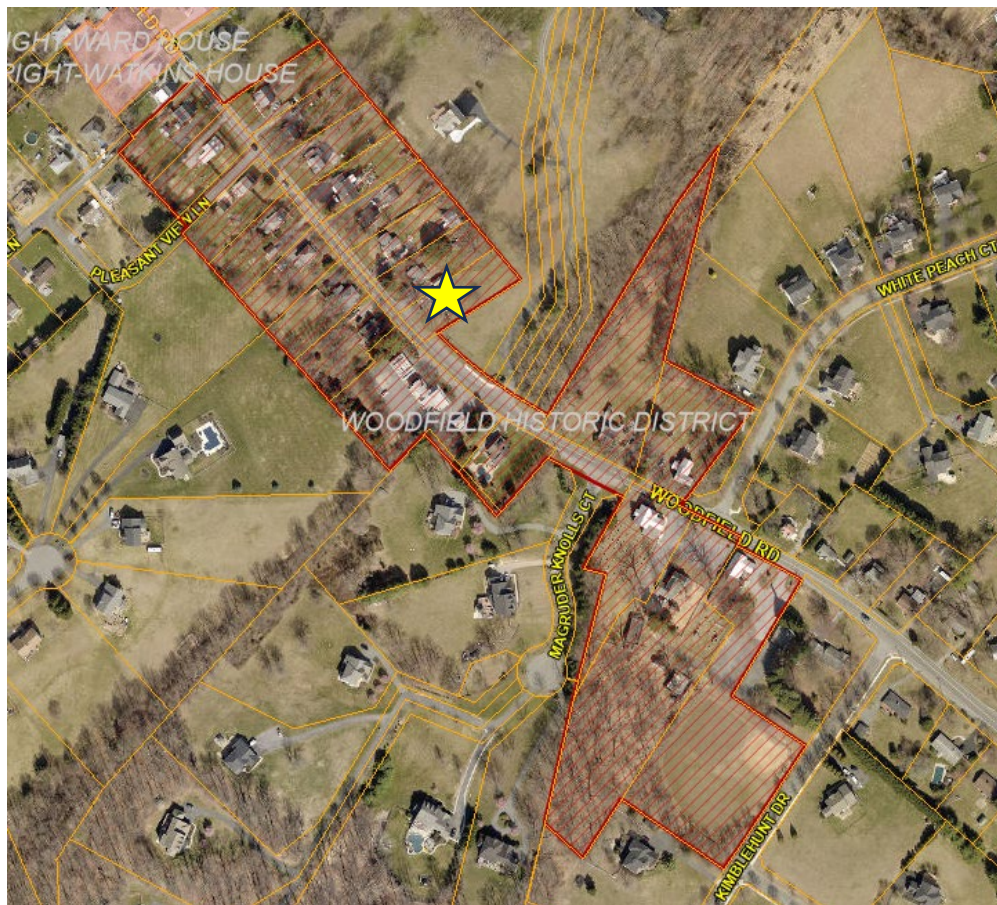


Figure 1: 23717 Woodfield Road (shown with the yellow star) is located on the north side of Woodfield Road within the Woodfield Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Third Period (Contributing) Resource to the Woodfield Historic District
STYLE: Cape Cod
DATE: 1946



Figure 2: The 1946 Cape Cod at 23717 Woodfield Road, July 2024 (Historic Preservation Office).



Figure 3: View of the property from Woodfield Road. The rear yard where the accessory structure is proposed is located behind a minimal post and wire fence and visible across the undeveloped land to the southeast. July 2024 (Historic Preservation Office).

PROPOSAL

The applicant proposes to construct a freestanding 30-foot wide by 24-foot deep carport-style accessory structure with a metal roof and metal siding on a concrete slab at the rear of the property.

APPLICABLE GUIDELINES

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) (“Regulations”), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code (“Chapter 24A”), the *Secretary of the Interior’s Standards and Guidelines for Rehabilitation* (“Standards”), and pertinent guidance in applicable master plans. [Note: where guidance in an applicable master plan is inconsistent with the Standards, the master plan guidance shall take precedence (section 1.5(b) of the Regulations).] The pertinent information in these documents, incorporated in their entirety by reference herein, is outline below.

When reviewing projects within the Woodfield Historic District (#14/16), the Commission uses information found in the *Damascus-Goshen Historic Resources Master Plan Amendment* (Approved and Adopted April 2009) for guidance. Specifically, the Commission should refer to the following statements:

Preservation of Physical Context:

A significant feature of the Woodfield Historic District is the rural streetscape which is characterized by mature trees, the orientation of houses to the road, and the modest scale of architectural elements fronting the road. Review of the proposed changes should ensure that these features are respected.

Categorization of Resources and Design Review

In reviewing proposed changes to buildings within the Historic District, the Historic Preservation Commission will utilize the Secretary of the Interior’s Standards for Rehabilitation.

Third Period Resource

The third historic period in Woodfield is 1935-1955. Structures built during this period are Contributing Resources. This Amendment recognizes the constraints inherent in the small scale of Third Period houses. These structures would receive greater leniency in their review. Additions should be placed to the rear, or in some case, to the side, of existing structures so that they are less visible from the public right-of-way. Third Period Resources are characterized by Tudor Revival and Colonial Revival brick-clad residences. While these resources are of secondary historic and architectural significance, they contribute to the pattern of development in their contribution to the Woodfield streetscape.

Montgomery County Code Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within a historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The property at 23717 Woodfield Avenue is 257 feet deep by 92 feet wide, with the existing 39-foot by 41-foot house set back approximately 63 feet from Woodfield Road (see Figure 5). The proposed accessory structure would be located an additional 116 feet behind the house, although it would be visible from Woodfield Road owing to the undeveloped land to the southeast of the property (see Figure 3).

Staff notes that the drawings included in the application show two carport options, "Regular" style with rounded roof corners and "A-Frame," (the A-Frame is actually a gable roof option and will be described as such in the report) with the example photograph showing the gable option (see Figure 6). Staff suggests that the applicants pursue the gabled roof option, as gable roofs are common throughout the district and in other rural settings. A similar gable roofed accessory structure measuring 24 feet by 24 feet was approved by the HPC at 23725 Woodfield Road in 2015 (Case Number 14/16-15A, see Figure 7 below).¹ However, staff finds that neither option would seriously impair the district.

¹ The 2015 HAWP application #14/16-15A for 23725 Woodfield Road:
https://mcatlas.org/tiles6/06_HistoricPreservation_PhotoArchives/HAWP/23725%20Woodfield%20Road,%20Gaithersburg.PDF

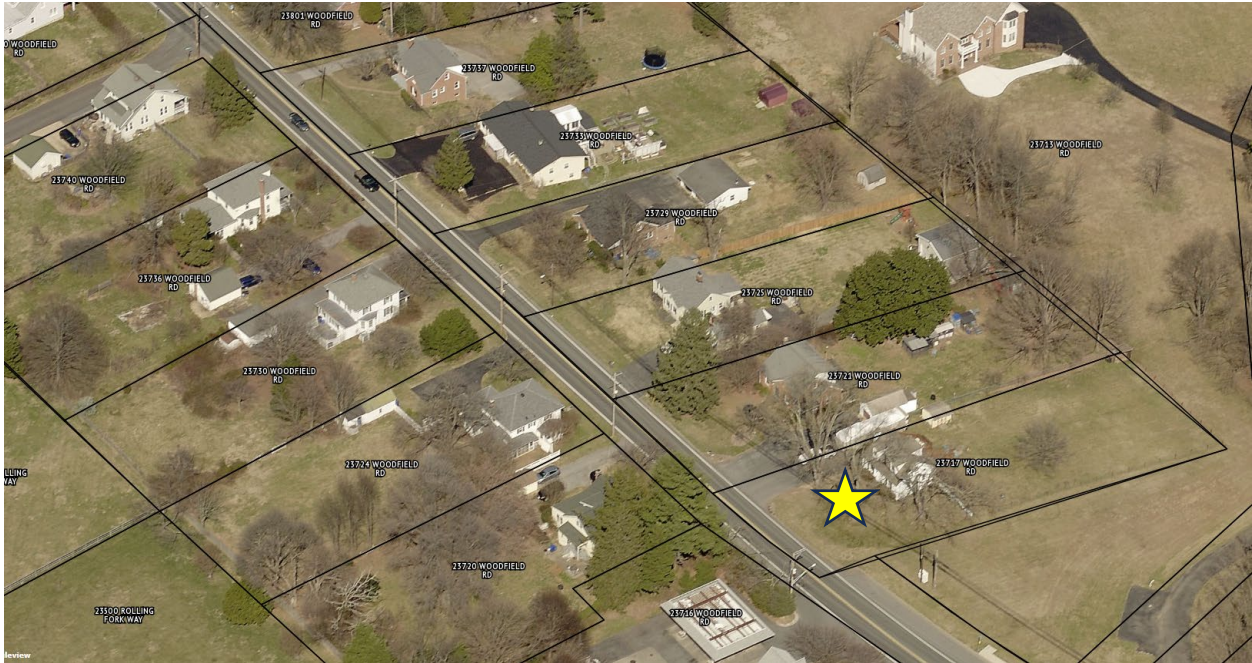


Figure 4: Birdseye view of 23717 Woodfield Road (shown with the yellow star) and adjacent properties. Note numerous detached accessory structures with simple gable roofs located towards the rears of properties in the district. Source: ConnectExplorer, 2023.

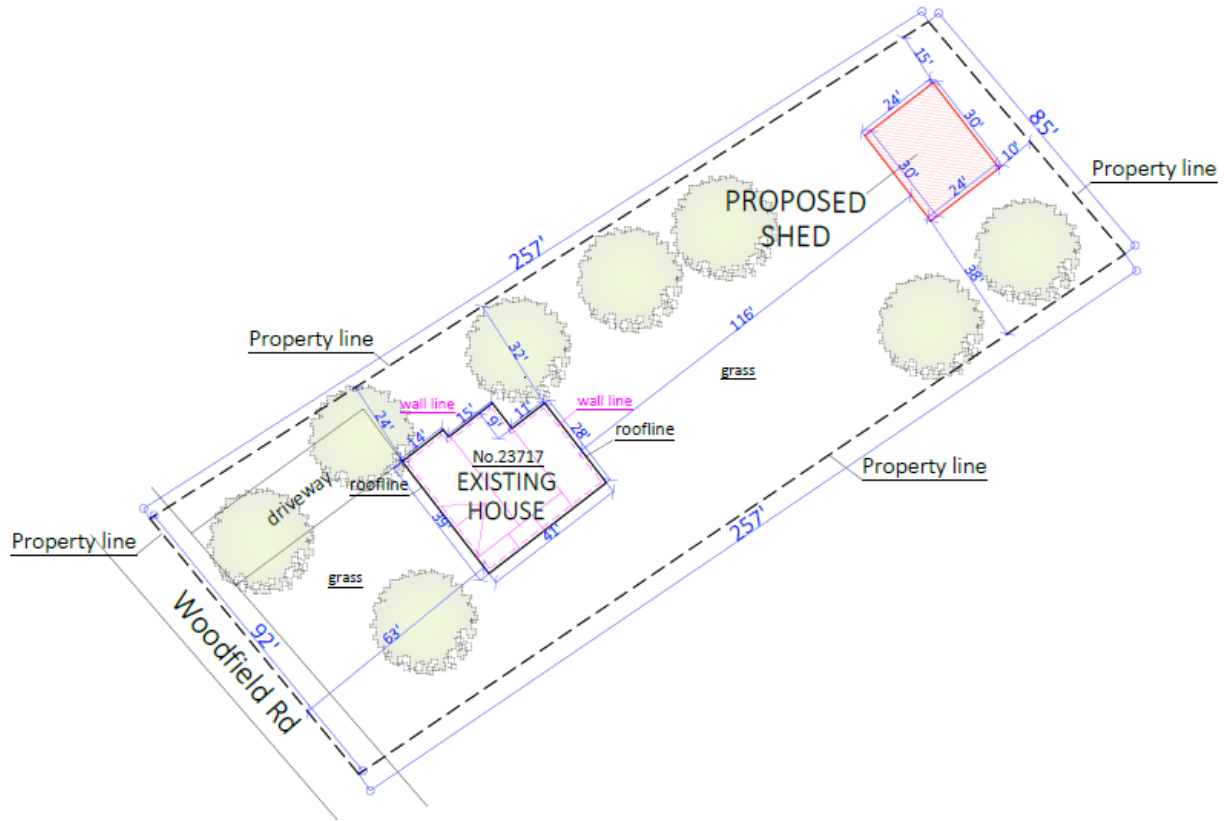


Figure 5: Proposed site plan.



Figure 6: “Regular” and “A-Frame” (gable) options shown in submission drawings (left) and example image (right).



Figure 7: Drawings of the gable shed approved at the Third Period resource at 28725 Woodfield Road in 2015.

Staff finds that, in accordance with the *Damascus-Goshen Historic Resources Master Plan Amendment*, the proposed accessory structure respects the rural streetscape of the Woodfield Historic District. The proposed accessory structure will not affect any mature trees, alter the orientation of the historic house to the road, or affect the modest scale of any architectural elements that front on the road. In addition, the proposed accessory structure will be at the rear of the subject property, which although visible across undeveloped land, reduces visibility and the impact on the historic resource and district.

With regard to the Standards, the historic character of the property will be preserved and the proposed accessory structure is compatible with the massing, size, scale and architectural features of the property. The proposed structure will not alter features, spaces or spatial relationships that characterize the property, and, if removed in the future, the essential form and integrity of the property and its environment would be unimpaired.

The staff finds that the proposal is consistent with the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) and Chapter 24A-8(d), and consistent with the *Secretary of the Interior's Standards for Rehabilitation* 2, 9, and 10.

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application with final review and approval of all details delegated to staff under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) and Chapter 24A-8(d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1067618 DATE ASSIGNED

APPLICANT:

Name: Janice Johnson Address: 23717 Woodfield Rd Daytime Phone: 3012757416

E-mail: jmj876303@cs.com City: Gaithersburg Zip: 20882 Tax Account No.: 00931557

AGENT/CONTACT (if applicable):

Name: Address: Daytime Phone:

E-mail: City: Zip: Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property M 14-16

Is the Property Located within an Historic District? Yes/District Name Woodfield Historic District No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Janice M Johnson Signature of owner or authorized agent Date 4/22/2024

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
Janice Johnson
23717 Woodfield Rd
Gaithersburg MD 20882

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

23721 Woodfield Rd
Gaithersburg MD 20882

23713 Woodfield Rd
Gaithersburg MD 20882

Please log for August and include this attached image and the email below. I am sending other emails with more info. Her case was removed from an agenda earlier this spring because it was not complete. Please compile all the info for the August case. Thanks.



Rebecca Ballo

Historic Preservation Supervisor

Montgomery County Planning Department
2425 Reedy Drive, 13th Floor, Wheaton, MD 20902
Rebecca.Ballo@montgomeryplanning.org
o: 301.563.3404



From: Janice Johnson <jmj876303@cs.com>
Sent: Thursday, July 4, 2024 1:22 PM
To: Ballo, Rebecca <rebecca.ballo@montgomeryplanning.org>
Subject: Re: 23717 Woodfield Road shed application

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Attached is a picture of the building. Not to size.

On Wednesday, July 3, 2024 at 02:35:37 PM EDT, Janice Johnson <jmj876303@cs.com> wrote:

Hi Rebecca

We are now looking at a metal frame, metal sides and a metal roof.

Thanks!

On Wednesday, July 3, 2024 at 12:59:13 PM EDT, Ballo, Rebecca <rebecca.ballo@montgomeryplanning.org> wrote:

Hi Janice,

This looks good to me. Are you able to specify at this time the materials you want to use or are you still figuring that out? You had said in your email below you were looking at two options:

“I'm looking at a pole barn with a wood frame, metal siding and metal roof or a wood frame with vinyl siding and single roof.”

If you are still figuring that out, that is fine and we can condition the permit to say one or the other is approved and details will be submitted to staff before the permit is issued.

The last thing I would need are pictures of a similar building that the manufacturer has built with the metal siding and the vinyl siding options you noted you were looking at. If there is anything on their website—it does not matter if the size is different—that would work.



Rebecca Ballo

Historic Preservation Supervisor

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

Rebecca.Ballo@montgomeryplanning.org

o: 301.563.3404



From: Janice Johnson <jmj876303@cs.com>
Sent: Tuesday, July 2, 2024 8:34 AM
To: Ballo, Rebecca <rebecca.ballo@montgomeryplanning.org>
Subject: Re: 23717 Woodfield Road shed application

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Rebecca

Attached are the drawings sent by the company. Please let me know if this is what you need

On Friday, June 7, 2024 at 12:09:22 PM EDT, Ballo, Rebecca <rebeccah.ballo@montgomeryplanning.org> wrote:

Hi Janice, good morning,

The HPC staff would recommend approval of an outbuilding that you are describing. The HPC should not have any issues approving a building of that size and height, in the location that you have shown on your property. I think it would be completely appropriate for your property within the District and I think you would be approved. I think the materials you are proposing would also be approved for a new outbuilding. I'm sorry to hear they all want such large deposits for a final estimate. I would recommend proceeding with the company you would like to go with and when you have final specs and details, you can send those to me, and we will get the application on the HPC agenda for approval. We meet all year long, even in August.



Rebeccah Ballo

Historic Preservation Supervisor

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

Rebeccah.Ballo@montgomeryplanning.org

o: 301.563.3404



From: Janice Johnson <jmj876303@cs.com>
Sent: Wednesday, June 5, 2024 4:52 PM

To: Ballo, Rebecca <rebeccah.ballo@montgomeryplanning.org>
Subject: Re: 23717 Woodfield Road shed application

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Thank you for your response. I'm looking at a pole barn with a wood frame, metal siding and metal roof or a wood frame with vinyl siding and single roof. As far as the height, I'm sure there is a code limiting height but I don't know what it is. I'm looking at 12 feet. I contacted some builders but they all want a deposit of \$1000.00 in order to give me the exact specifications and I don't even know if I'm allowed to build a 24 x 30 foot building so I don't want to give them a deposit. If you could point me in the direction of what I should do next I would appreciate it. If you think I will be approved for a 24 x 30 building 12 feet tall I will try to get a definite estimate to see if I can even afford it.

Thank you.

On Friday, May 31, 2024 at 01:04:02 PM EDT, Ballo, Rebecca <rebeccah.ballo@montgomeryplanning.org> wrote:

Good afternoon Janice,

Thank you very much for the site plan and the pictures of your property. I will need the specification sheets from the catalogue of the outbuilding you will want to install. It should have elevations and show the height at the peak of the roof, and label all of the materials. A typical pole barn like what you described below would be approvable. When you have this information please send it to me, and then I can schedule the complete application for the next available HPC docket. I do not have a concern about any typical pole barn that you would want to install, so I would advise you to go ahead and choose what you would like and send me those specifications. If you have any questions, please let me know.

Best,



Rebecca Ballo

Historic Preservation Supervisor

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

Rebecca.Ballo@montgomeryplanning.org

o: 301.563.3404



From: Janice Johnson <jmj876303@cs.com>
Sent: Friday, May 24, 2024 3:12 PM
To: Ballo, Rebecca <rebecca.ballo@montgomeryplanning.org>
Cc: Janice Johnson <jmj876303@cs.com>
Subject: Re: 23717 Woodfield Road shed application

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Thank you for your information.

I am attaching a site plan done by a site plan company. I'm not sure why these trees are on the plan as I have no trees in the area where I want to put this shed. I am attaching pictures of the part of the yard where the shed will be. I have chosen a size of 24 x 30.

If you need any further information please let me know.

Thank you.

Janice Johnson

On Tuesday, May 21, 2024 at 11:24:02 AM EDT, Ballo, Rebecca
<rebeccah.ballo@montgomeryplanning.org> wrote:

Good morning Janice,

Thank you for sending the site plan. However, I need this on either your plat/site survey or another professionally prepared measured drawing. We also need photographs of this portion of the property and information about any trees that would be removed and any foundation that may be necessary. 25' x 30' is too large to qualify for staff approval; we can only staff approve buildings that are 250 square feet or smaller. So we will need to put this on the docket for a public hearing at the HPC when your application is complete. When you have chosen your specifications, please send those to me as well for the packet. Wood and metal buildings are common in this part of the County so I could see many choices being approvable. I am happy to look at any choice and give you a recommendation. When you have all the information and can send to me, I will let you know which docket the item will be scheduled for public hearing. Right now we are accepting items for the June 12th hearing. The schedule for public hearings and the due dates for materials for each meeting are available here on our website:

<https://montgomeryplanning.org/planning/historic/historic-preservation-commission/>

Please let me know any questions or concerns.

Sincerely,



Rebecca Ballo

Historic Preservation Supervisor

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

Rebecca.Ballo@montgomeryplanning.org

o: 301.563.3404



From: Janice Johnson <jmj876303@cs.com>
Sent: Saturday, May 18, 2024 9:38 AM
To: Ballo, Rebeccah <rebeccah.ballo@montgomeryplanning.org>
Subject: Re: 23717 Woodfield Road shed application

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Sorry it took so long to get back to you. I was out of town. Attached is a site plan for the proposed shed. The proposed size is 25' x 30'. The material would be a wood frame with metal sides and a metal roof. I am looking at several pole barn dealers but need to know what I am allowed to build in order to see what I can afford.

Thank you.

Janice Johnson

On Friday, May 10, 2024 at 01:19:25 PM EDT, Ballo, Rebeccah <rebeccah.ballo@montgomeryplanning.org> wrote:

Good afternoon,

We have received your shed application and I believe this can qualify for staff approval and not need to go to the Historic Preservation Commission for a public hearing. However, I need a site plan or lot plan showing the location of the shed and some specification sheets showing the size and materials of the shed. If you can provide these to me at your earliest opportunity, I can continue to process the permit.

Please let me know any questions or concerns.

Sincerely,



Rebecca Ballo

Historic Preservation Supervisor

Montgomery County Planning Department

2425 Reedy Drive, 13th Floor, Wheaton, MD 20902

Rebecca.Ballo@montgomeryplanning.org

o: 301.563.3404



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

House is located on a large lot.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Would like to put a storage shed in the back of the lot.

Work Item 1: Storage Shed

Description of Current Condition:
Non-existent

Proposed Work:
Install a storage shed

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

SITE PLAN

23717 Woodfield Road
Gaithersburg, MD 20882

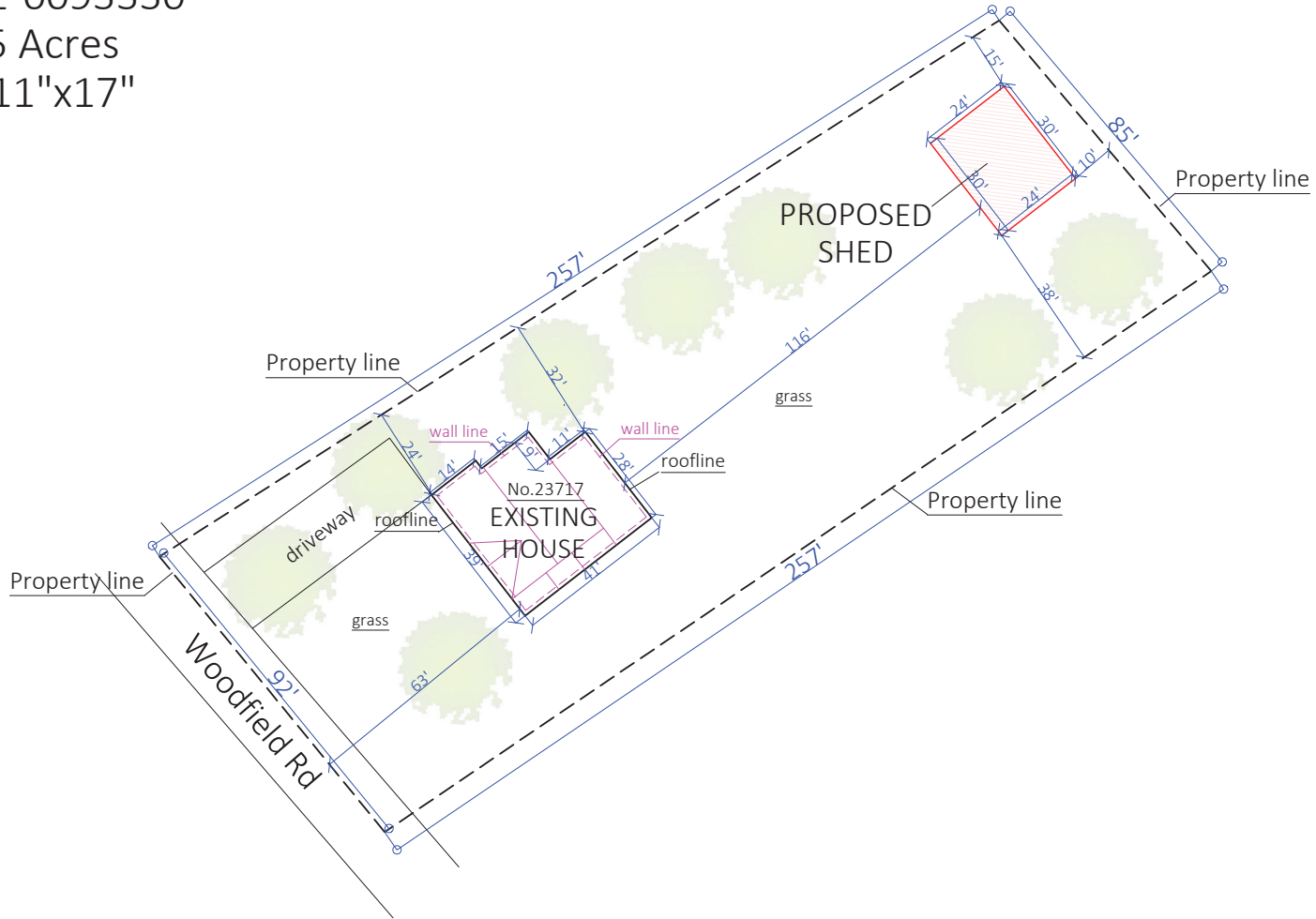
Parcel ID: 12-0093330

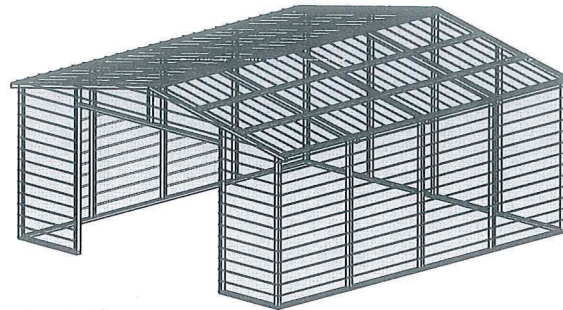
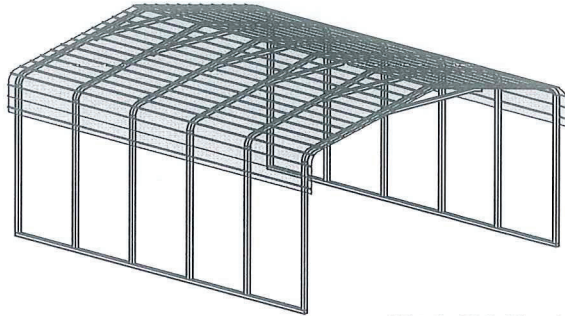
Lot area: 0.5 Acres

Paper Size: 11"x17"



scale 1"=30'





REGULAR / A-FRAME 24'-0" WIDE CARPORT STYLE BUILDINGS

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2018, OSHA, AISC 360, AISI 100, ASCE 7-16, AWS D1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
3. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
4. ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 X 3/4" SDS (E5R-2196 OR EQ) WITHOUT WASHERS.
5. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ. CONNECTIONS SHALL BE #12-14 X 3/4" SDS (E5R-2196 OR EQ) WITH NEOPRENE WASHERS.
6. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL (FY = 50 KSI, FU = 65 KSI).
7. STRUCTURAL TUBE 2 1/2" X 2 1/2" - 14GA. IS EQUIVALENT TO TS 2 1/4" X 2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
8. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

DESIGN CRITERIA

PREVAILING CODE:	MBPS (IBC 2018)
USE GROUP:	U (CARPORTS, BARNS)
RISK CATEGORY:	I
1. DEAD LOAD (D)	D = 4 PSF
2. ROOF LIVE/SNOW LOAD (Lr)	Lr = 20 - 61 PSF (AS PER SNOW LOAD SEE TABLE 4)
3. SNOW LOAD (S)	
GROUND SNOW LOAD	P _g = 20 - 90 PSF
IMPORTANCE FACTOR	I _s = 0.8
THERMAL FACTOR	C _t = 1.2
EXPOSURE FACTOR	C _e = 1.0
ROOF SLOPE FACTOR	C _s = 1.0
4. WIND LOAD (W)	
BASIC WIND SPEED	V _{ULT} = 105 - 180 MPH
EXPOSURE	C
5. SEISMIC LOAD (E)	
DESIGN CATEGORY	D
IMPORTANCE FACTOR	I _e = 1.00

LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

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MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243
SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

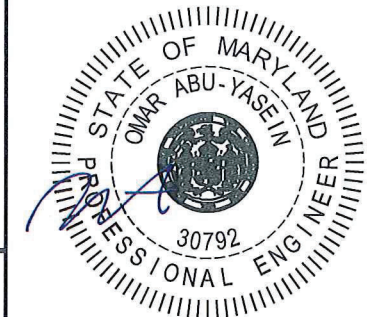
DRAWN BY: A.W. DATE: 2/9/22

CHECKED BY: OAA DATE: 2/9/22

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO DATE OF EXPIRATION.

SEAL:



STAMP EXPIRY: 07-23-2024

DATE SIGNED: 07-30-2022

CUSTOMER INFORMATION

OWNER:
ADDRESS:

DESIGN LOADS

GROUND SNOW:

ROOF LIVE LOAD:

BASIC WIND SPEED:

BUILDING INFORMATION

WIDTH:

LENGTH:

HEIGHT:

CERTIFICATION VALIDITY NOTICE

FRAME TYPE:

ENCLOSURE TYPE:

- A-FRAME
 REGULAR
 FULL
 PARTIAL
 OPEN

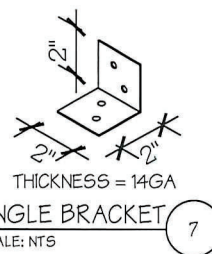
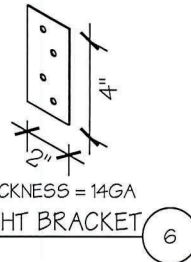
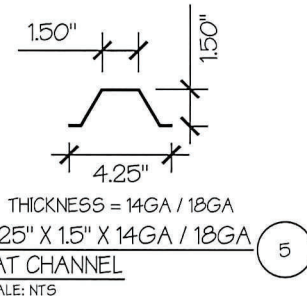
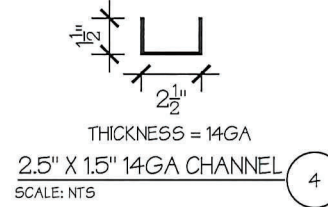
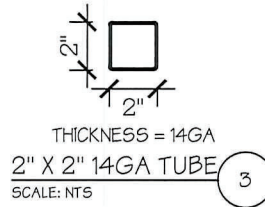
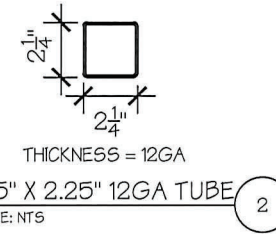
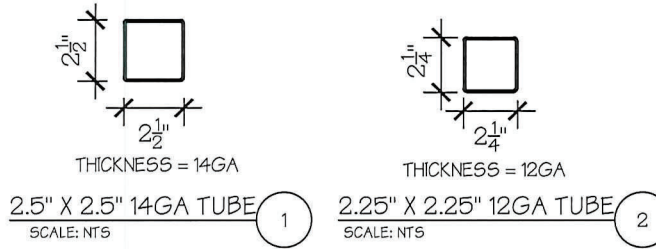
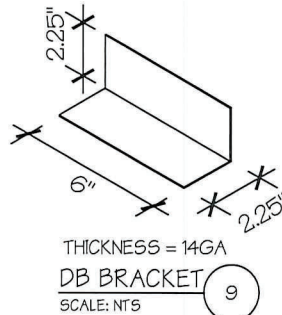
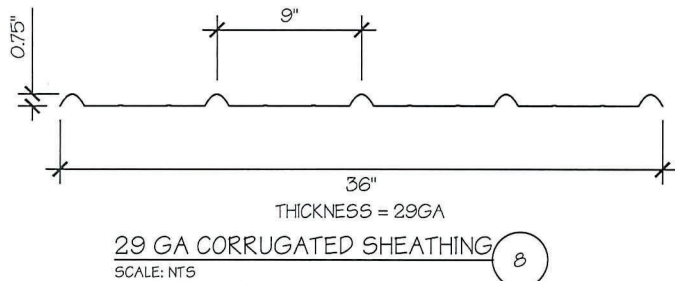
TABLE 2.1: MEMBER PROPERTIES

NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 1.5" 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 3/16" ANGLE	10
8	PURLIN	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" 14GA CHANNEL	1
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER	

TABLE 2.2: SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" C/C	MIN. 1	4 1/2" C/C	9" C/C

FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER
 *SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.



MANUFACTURED BY:



457 N. Broadway,
 Joshua, TX 76058
 1-866-730-9865

ENGINEERED BY:



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 6036 Renaissance Place, Toledo, OH 43623
 Tel. 419-292-1983 • Fax. 419-292-0955
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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS
 LOCATION: STATE OF MARYLAND
 PROJECT NO.: 033-22-0243
 SHEET TITLE:

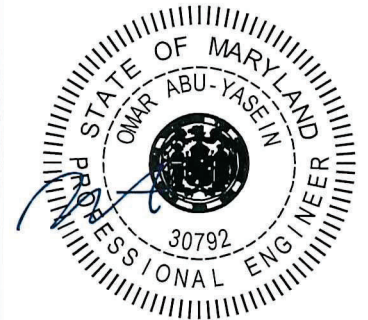
SCHEDULES & MEMBER SECTIONS

SHEET NO.: 2 / 11
 DRAWN BY: A.W. DATE: 2/9/22
 CHECKED BY: OAA DATE: 2/9/22

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1-866-730-9865

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CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

**FRAME SECTIONS &
DETAILS**

SHEET NO.: 3-A / 11

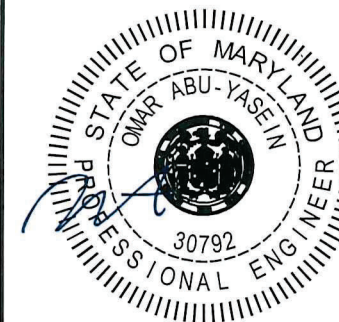
DRAWN BY: A.W. DATE: 2/9/22

CHECKED BY: OAA DATE: 2/9/22

LEGAL INFORMATION

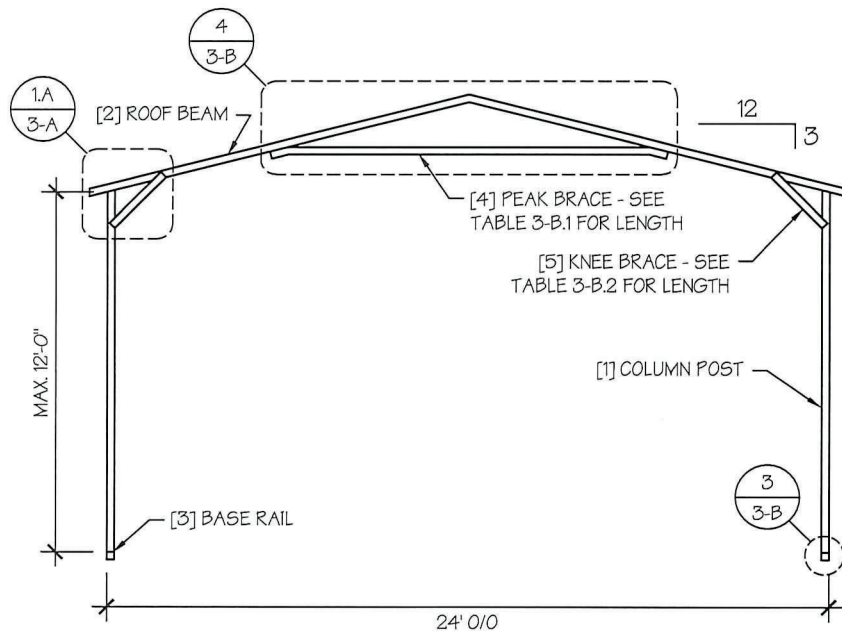
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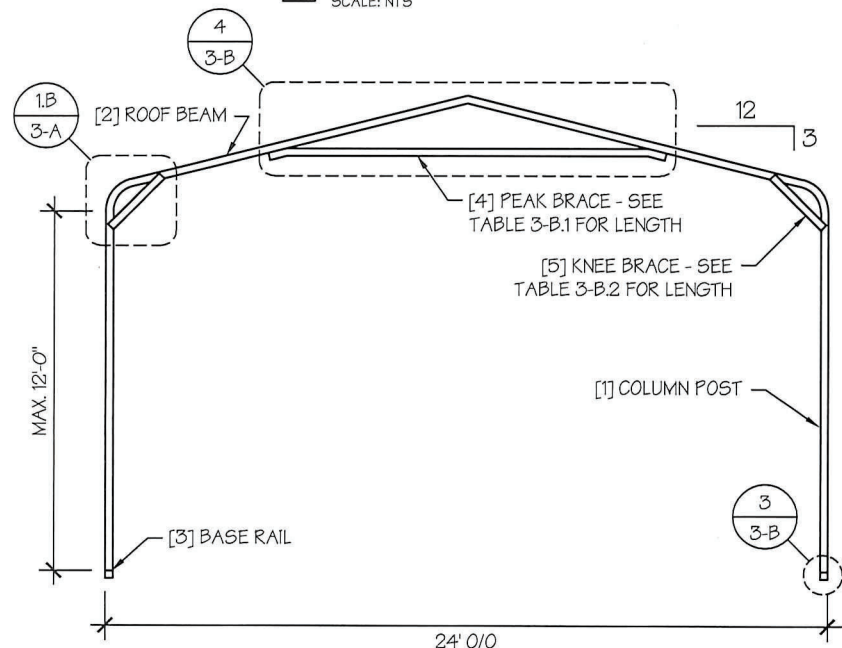


STAMP EXPIRY: **07-23-2024**

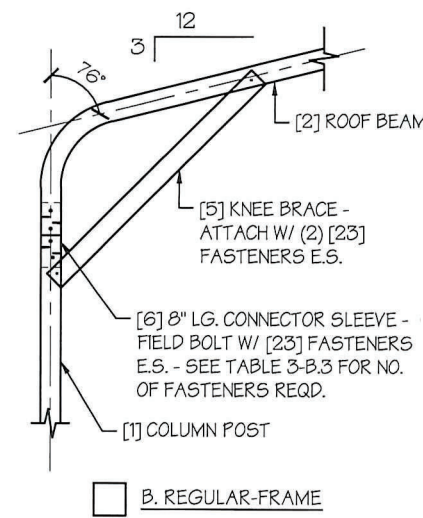
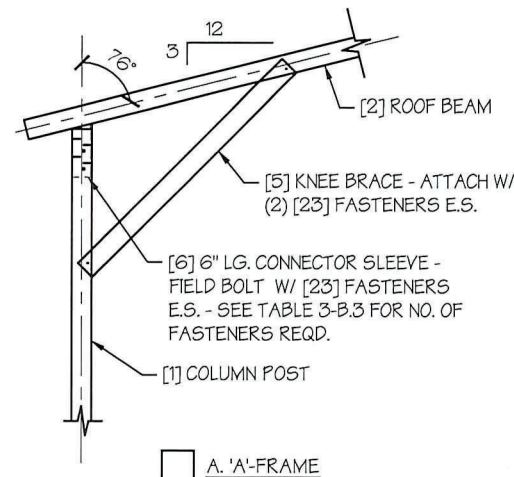
DATE SIGNED: **07-30-2022**



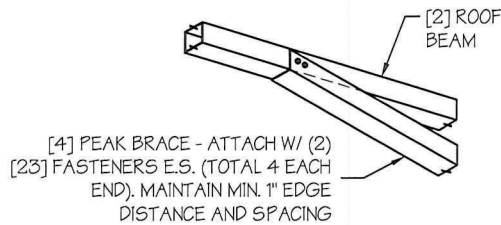
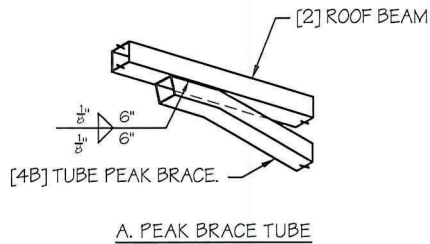
TYP. A-FRAME SECTION
SCALE: NTS



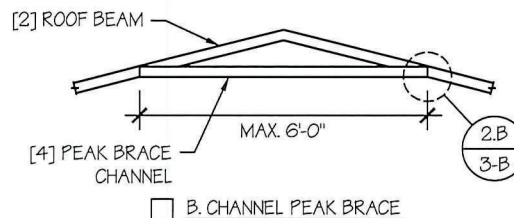
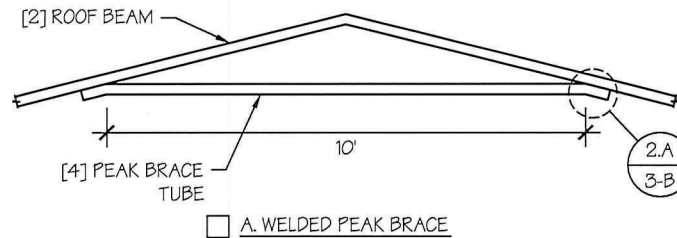
TYP. REGULAR FRAME SECTION
SCALE: NTS



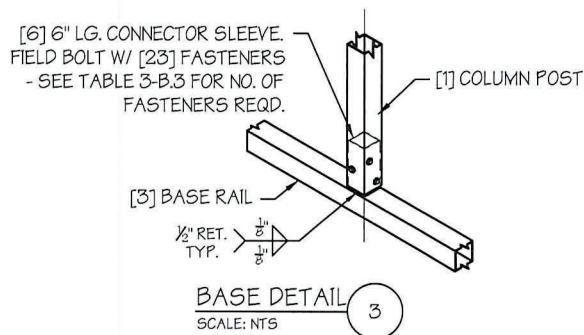
EAVE DETAIL 1
SCALE: NTS



PEAK BRACE CONNECTION DETAILS 2
SCALE: NTS



PEAK BRACE DETAILS 4
SCALE: NTS



NOTE: COLUMN POST MAY BE ADJUSTED ±1" FOR LEVELING. MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

TABLE 3-B.1: PEAK BRACE SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	WIND SPEED	
	□ 105 TO 130	□ 140 TO 180
□ 30 / 20	6'	10'
□ 35 / 25 TO 90 / 61	10'	10'

TABLE 3-B.2: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
□ UP TO 8'	24"
□ 9' TO 12'	36"

TABLE 3-B.3 FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
□ 105 TO 125	4
□ 130 TO 155	6
□ 160 TO 180	8

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457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

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DRAWING INFORMATION

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LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11

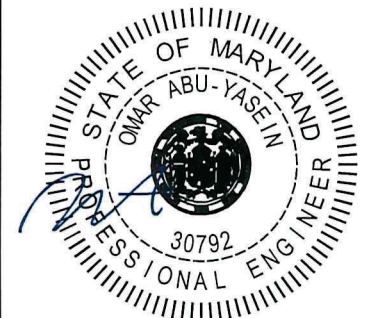
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1-866-730-9865

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A&A ENGINEERING
CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

SPACING SCHEDULES
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

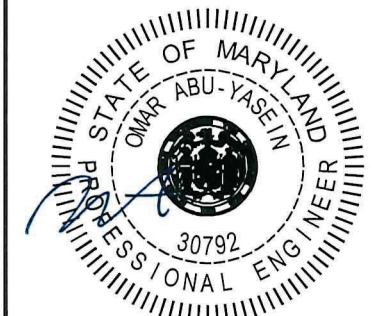
DRAWN BY: A.W. DATE: 2/9/22

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TABLE 4: FRAME SPACING CHART / SCHEDULE

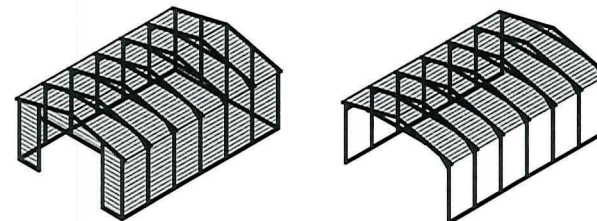
GROUND SNOW / ROOF LIVE LOAD (PSF)	ENCLOSED BUILDINGS							OPEN BUILDINGS						
	WIND SPEED (MPH)							WIND SPEED (MPH)						
	105	115	130	140	155	165	180	105	115	130	140	155	165	180
30 / 20	60	60	54/60	54	42	42	36	48	48	48	42	36	30	24
40 / 27	48/60	48/60	42/60	42/54	42	42	36	42	42	42	42	36	30	24
50 / 34	40/48	40/48	40/48	40/48	40/42	40/42	36	30	30	30	30	30	30	24
60 / 41	36	36	36	36	36	36	36	30	30	30	30	30	30	24
70 / 47	30	30	30	30	30	30	30	24	24	24	24	24	24	24
80 / 54	24	24	24	24	24	24	24	24	24	18	18	18	18	18
90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---
30 / 20	60	60	54/60	54	48	42/48	42	54	54	48/54	42/54	36/48	36	30
40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	42	42	42	42	36/42	36	30
50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	36	36	36	36	36	36	30
60 / 41	36	36	36	36	36	36	36	30	30	30	30	30	30	30
70 / 47	30	30	30	30	30	30	30	24	24	24	24	24	24	24
80 / 54	24	24	24	24	24	24	24	24	24	24	24	24	24	24
90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---
30 / 20	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/42	36
40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	48	48	42/48	42/48	36/48	36/42	36
50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/42	40/42	40/42	40/42	36/42	36	36
60 / 41	36	36	36	36	36	36	36	36	36	36	36	36	36	30
70 / 47	30	30	30	30	30	30	30	30	30	30	30	30	30	30
80 / 54	24	24	24	24	24	24	24	24	24	24	24	24	24	24
90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---

NOTES:

1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

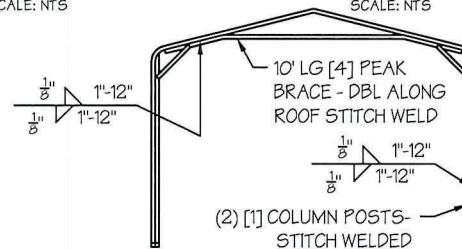
ENCLOSURE CLASSIFICATION:

1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.



TYP. ENCLOSED BUILDING
SCALE: NTS

TYP. OPEN BUILDING
SCALE: NTS



TYP. OPEN END WALL ON 3
SIDE ENCLOSED BUILDING
SCALE: NTS

GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.

TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ 14GA. HAT CHANNEL PURLIN						
	WIND SPEED (MPH)						
	□ 105	□ 115	□ 130	□ 140	□ 155	□ 165	□ 180
□ 30 / 20	54	48	42	36	30	24	24
□ 40 / 27	42	42	42	36	30	24	24
□ 50 / 34	40	40	40	36	30	24	24
□ 60 / 41	36	36	36	36	30	24	24
□ 70 / 47	32	32	32	32	30	24	24
□ 80 / 54	30	30	30	30	30	24	24
□ 90 / 61	24	24	24	24	24	24	24
□ 30 / 20	54	48	42	42	36	30	30
□ 40 / 27	42	42	42	42	36	30	30
□ 50 / 34	40	40	40	40	36	30	30
□ 60 / 41	36	36	36	36	36	30	30
□ 70 / 47	32	32	32	32	32	30	30
□ 80 / 54	32	32	32	32	32	30	30
□ 90 / 61	30	30	30	30	30	30	30
□ 30 / 20	54	48	42	42	36	36	30
□ 40 / 27	42	42	42	42	36	36	30
□ 50 / 34	40	40	40	40	36	36	30
□ 60 / 41	36	36	36	36	36	36	30
□ 70 / 47	32	32	32	32	32	32	30
□ 80 / 54	32	32	32	32	32	32	30
□ 90 / 61	30	30	30	30	30	30	30
□ 30 / 20	54	48	42	42	36	36	30
□ 40 / 27	42	42	42	42	36	36	30
□ 50 / 34	40	40	40	40	36	36	30
□ 60 / 41	36	36	36	36	36	36	30
□ 70 / 47	32	32	32	32	32	32	30
□ 80 / 54	32	32	32	32	32	32	30
□ 90 / 61	30	30	30	30	30	30	30

NOTES:

- PURLIN SPACING UNITS ARE IN INCHES.
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

IRREGULAR BUILDING NOTES:

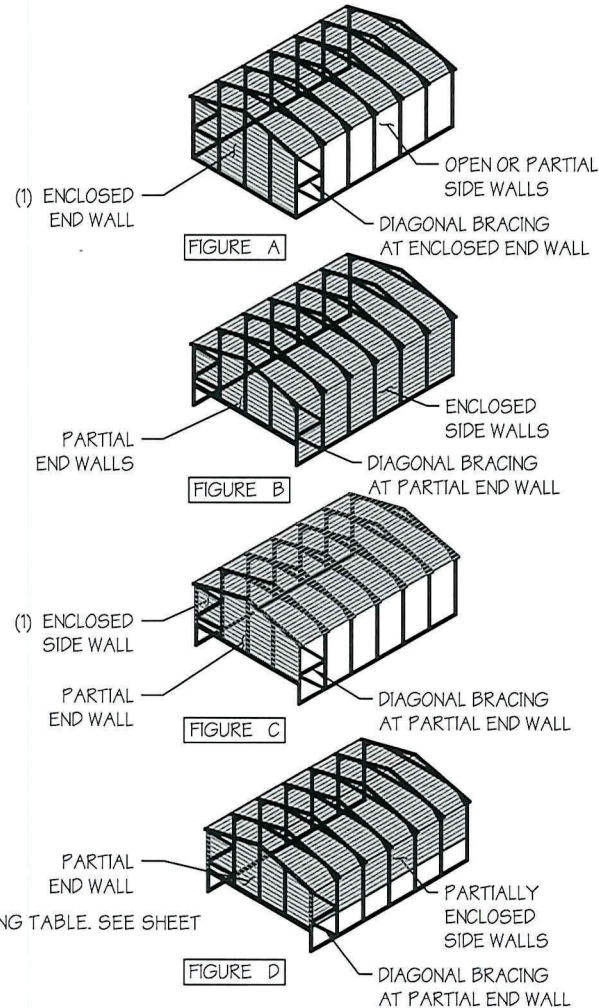
- FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
- FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
- SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
- IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

FRAME SPACING	WIND SPEED (MPH)						
	□ 105	□ 115	□ 130	□ 140	□ 155	□ 165	□ 180
□ 5'-0"	60	48	36	30	24	24	18
□ 4'-6"	60	60	48	42	36	30	24
□ 4'-0"	60	60	54	54	42	36	30
□ 3'-6"	60	60	54	54	48	42	42
□ 2'-0" TO 3'-0"	60	60	54	54	48	42	42

NOTES:

- GIRT SPACING UNITS ARE IN INCHES.
- THIS SCHEDULE IS TO BE USED FOR BOTH 14GA
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



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457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



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6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

PURLIN & GIRT
SPACING SCHEDULES

SHEET NO.: 5 / 11

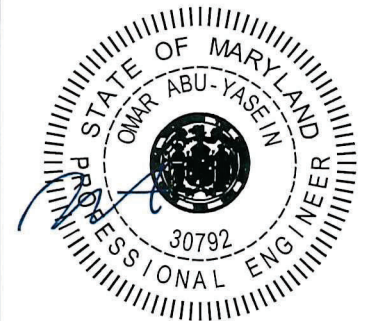
DRAWN BY: A.W. DATE: 2/9/22

CHECKED BY: OAA DATE: 2/9/22

LEGAL INFORMATION

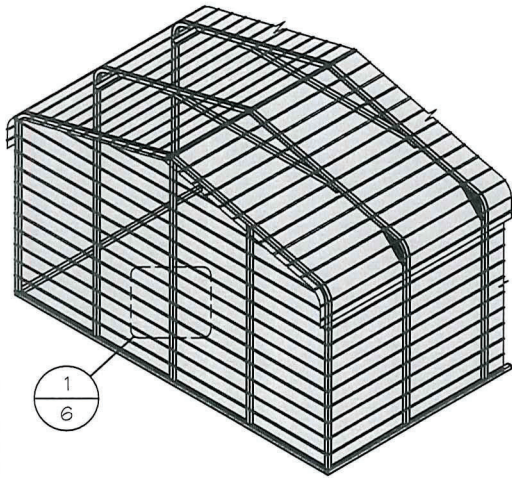
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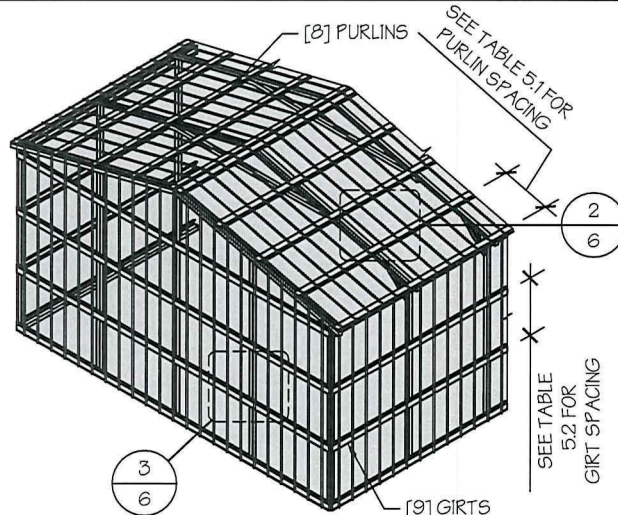


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TYP. HORIZONTAL SHEATHING
SCALE: NTS



TYP. VERTICAL SHEATHING
SCALE: NTS

GENERAL SHEATHING NOTES:

1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER

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457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

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6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
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LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

**SHEATHING OPTIONS
& DETAILS**

SHEET NO.: 6 / 11

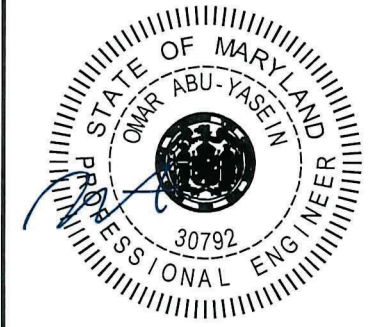
DRAWN BY: A.W. DATE: 2/9/22

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LEGAL INFORMATION

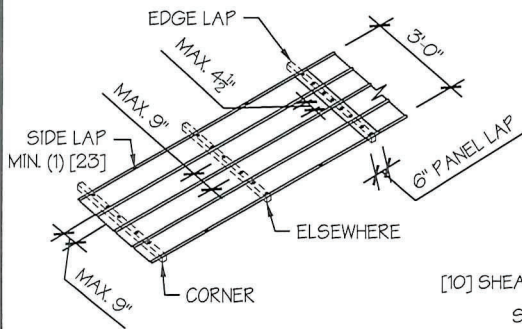
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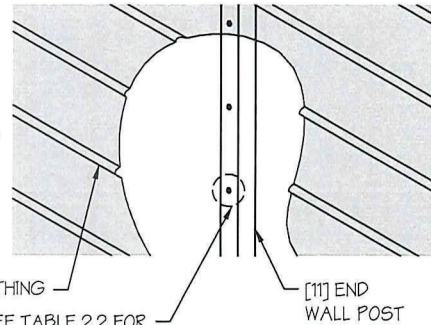


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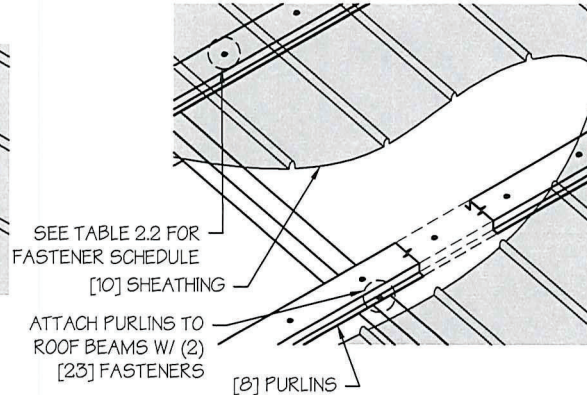
DATE SIGNED: **07-30-2022**



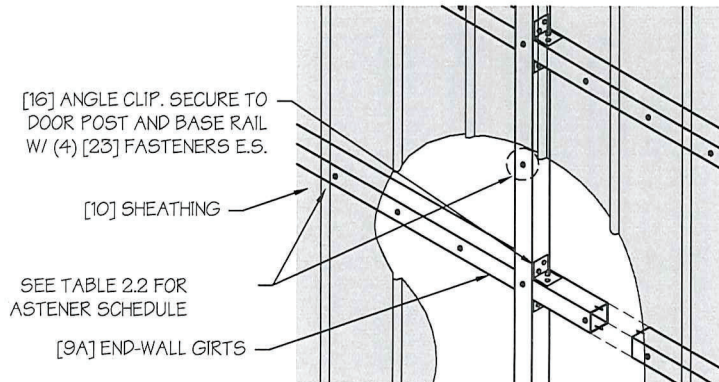
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SCALE: NTS



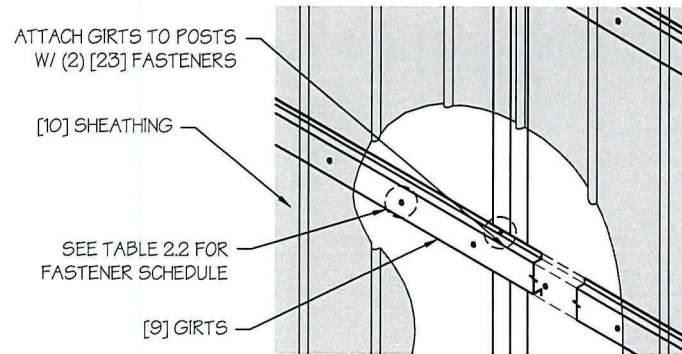
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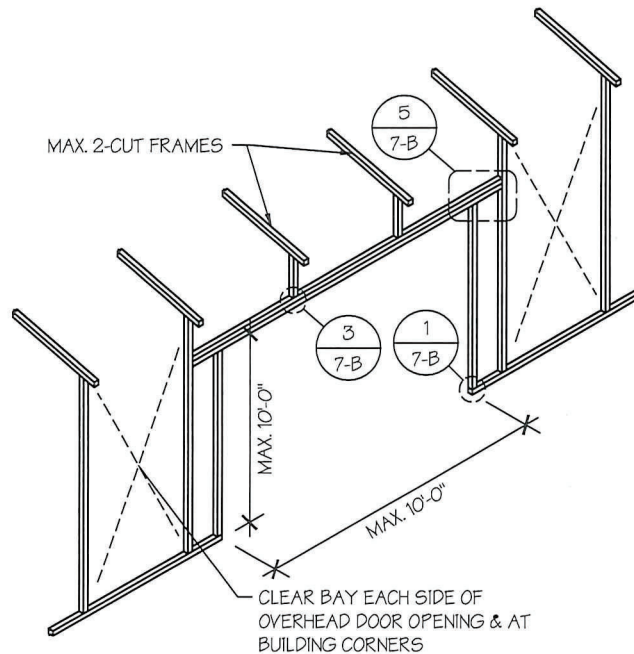
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SCALE: NTS



WALL VERTICAL SHEATHING - TUBE DETAIL
SCALE: NTS

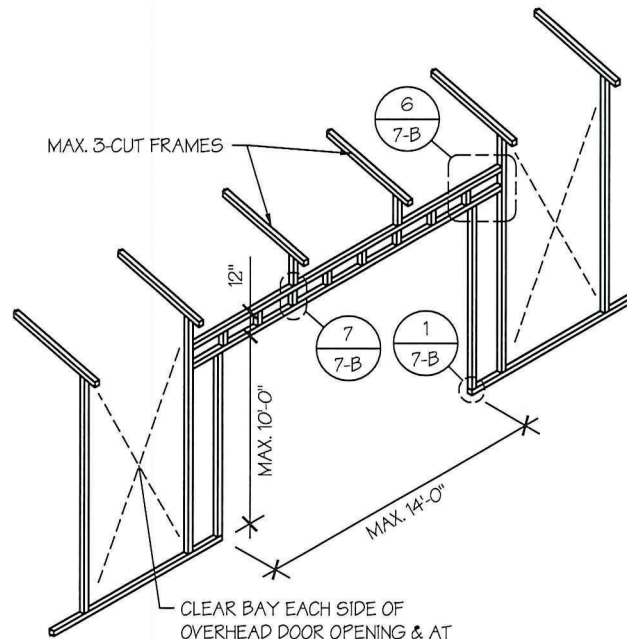


WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL
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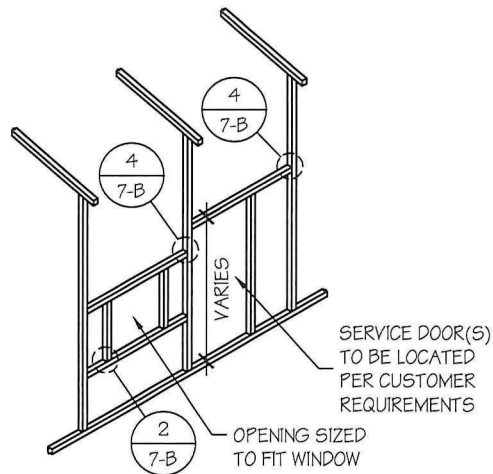
SIDE WALL OVERHEAD DOOR OPENINGS

SCALE: NTS



SIDE WALL OVERHEAD DOOR OPENINGS WITH TRUSS STYLE HEADER

SCALE: NTS



SIDE WALL SERVICE DOOR / WINDOW OPENINGS

SCALE: NTS

SIDE WALL FRAMING NOTES:

1. TRUSS-STYLE HEADERS ARE REQUIRED FOR WHERE THE GROUND SNOW LOAD IS 40 PSF OR GREATER.
2. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
3. MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT LESS THAN THE EAVE HEIGHT.
4. OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
5. MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
6. MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
7. SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.

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457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
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6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

SIDE WALL FRAMING
& OPENINGS

SHEET NO.: 7-A / 11

DRAWN BY: A.W. DATE: 2/9/22

CHECKED BY: OAA DATE: 2/9/22

LEGAL INFORMATION

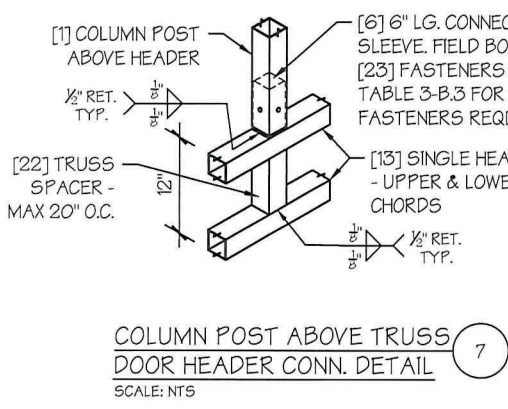
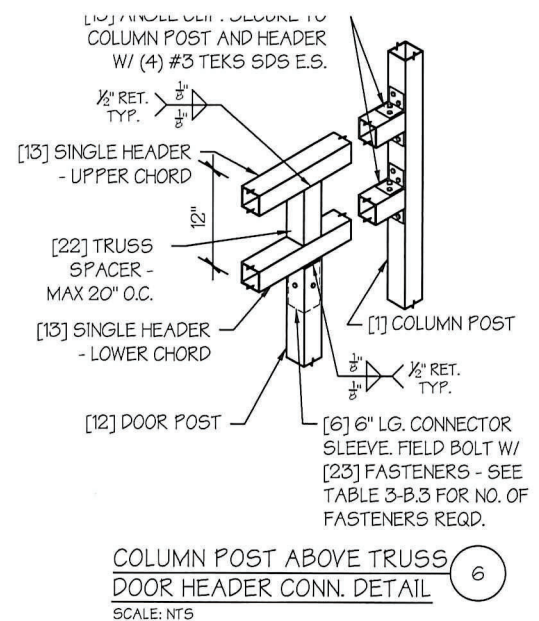
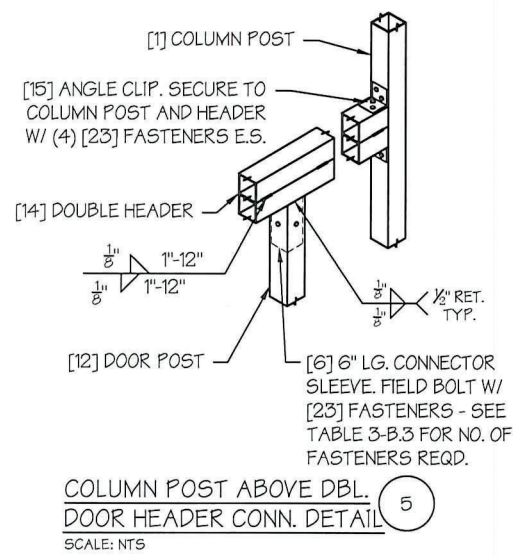
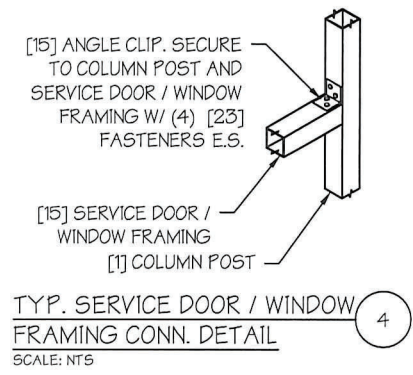
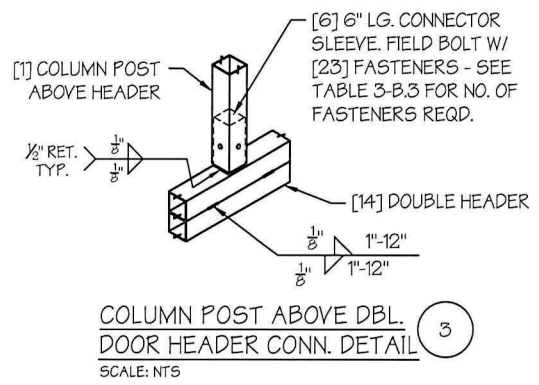
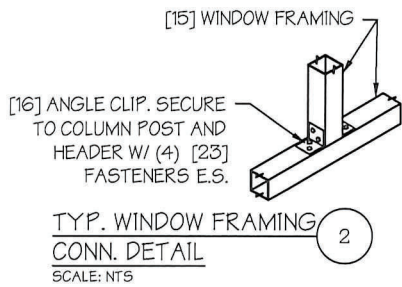
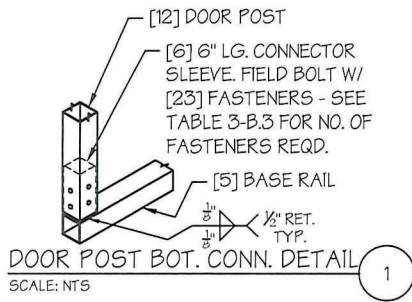
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1-866-730-9865

ENGINEERED BY:



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CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aan-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS
LOCATION: STATE OF MARYLAND
PROJECT NO.: 033-22-0243
SHEET TITLE:
**SIDE WALL FRAMING
DETAILS**
SHEET NO.: 7-B / 11
DRAWN BY: A.W. DATE: 2/9/22
CHECKED BY: OAA DATE: 2/9/22

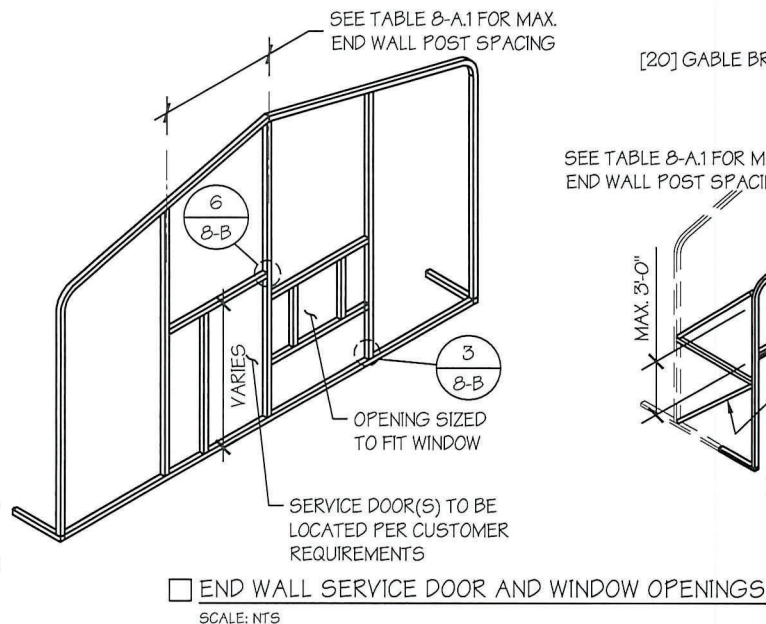
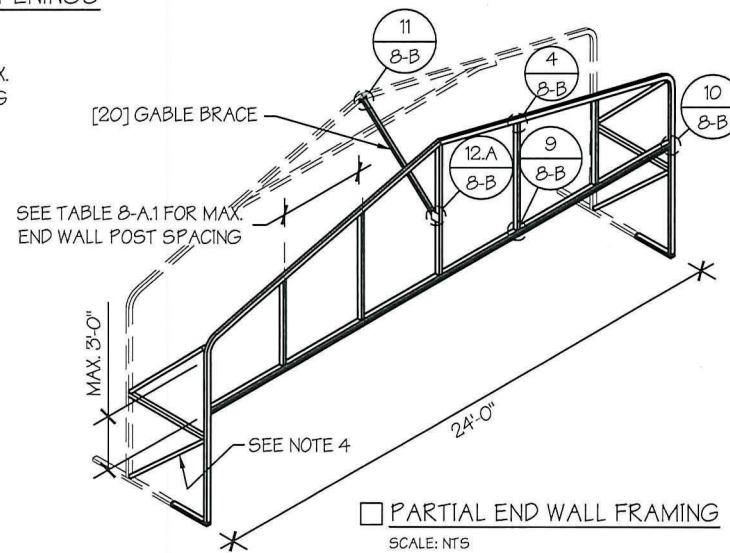
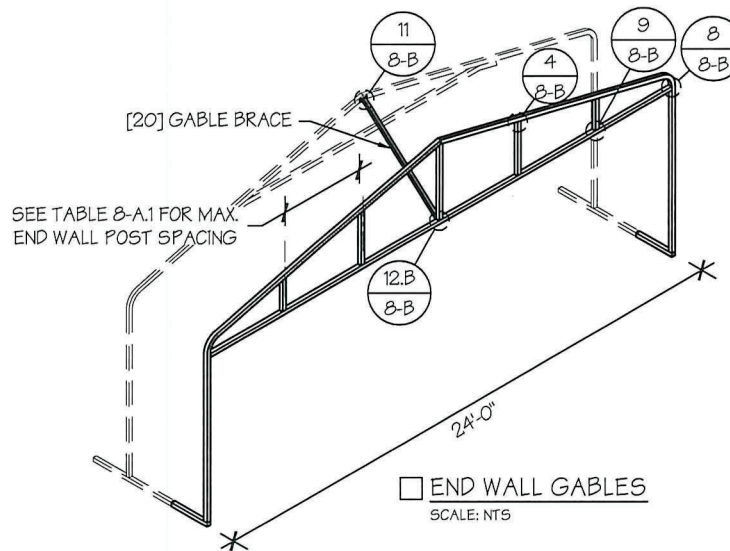
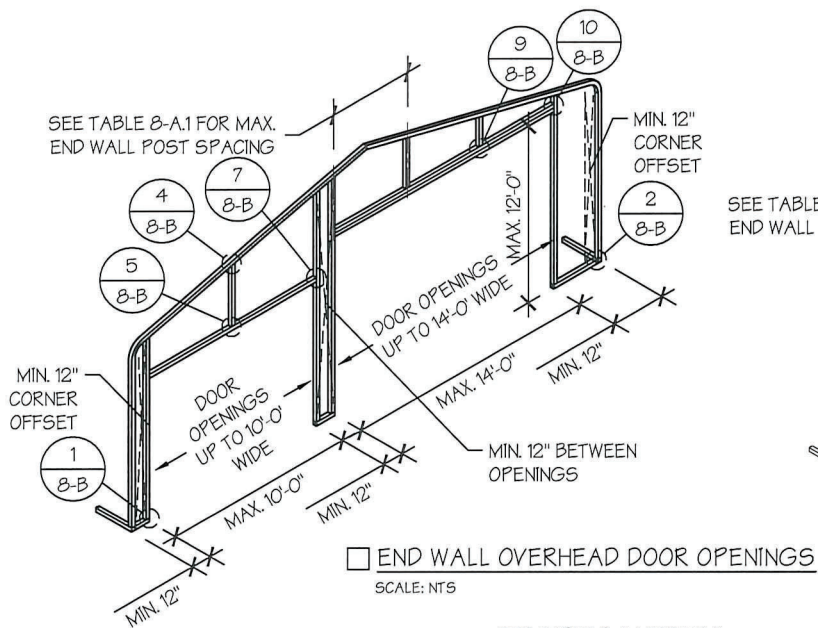
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GABLE BRACING NOTE

- GABLE BRACE IS ONLY REQUIRED FOR PARTIALLY ENCLOSED END WALLS (END WALL POSTS ARE NOT ANCHORED TO THE GROUND).
- FULLY ENCLOSED OR OPEN END WALLS DO NOT REQUIRE GABLE BRACING.

END WALL FRAMING NOTES:

- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
- DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.

TABLE 8-A.1: END WALL POST SPACING SCHEDULE

WIND SPEED (MPH)	EAVE HEIGHT		
	UP TO 7'	8' TO 9'	10' TO 12'
□ 105	5'	5'	5'
□ 115	5'	5'	4.5'
□ 130	4.5'	4.5'	4'
□ 140	4.5'	4.5'	3'
□ 155	4'	4'	2.5'
□ 165 - 180	3.5'	3'	2'

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Tel. 419-292-1983 • Fax. 419-292-0955
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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

END WALL FRAMING

SHEET NO.: 8-A / 11

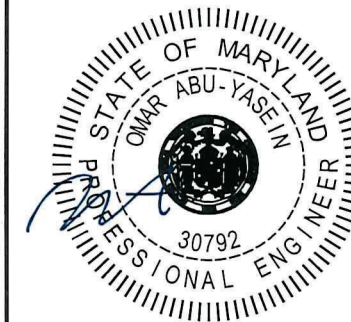
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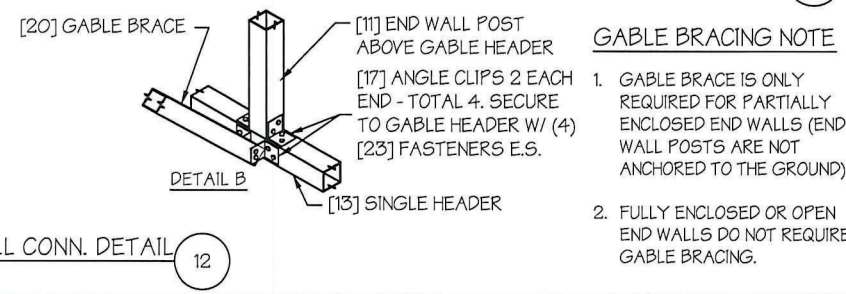
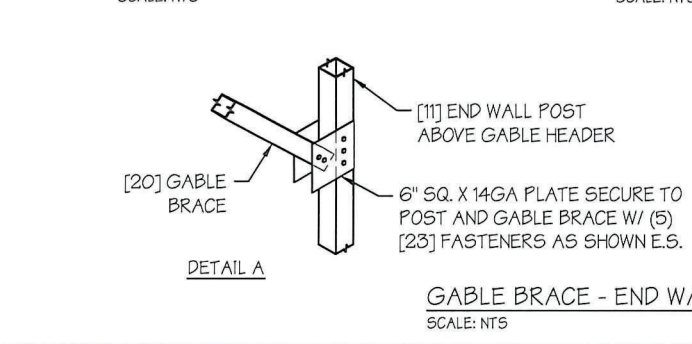
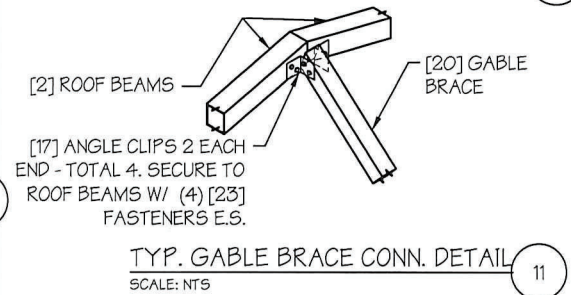
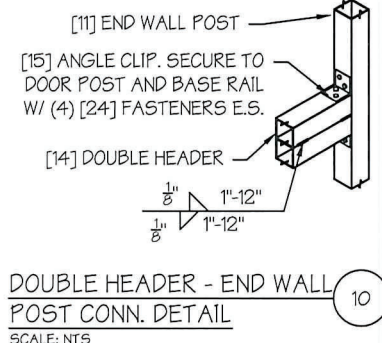
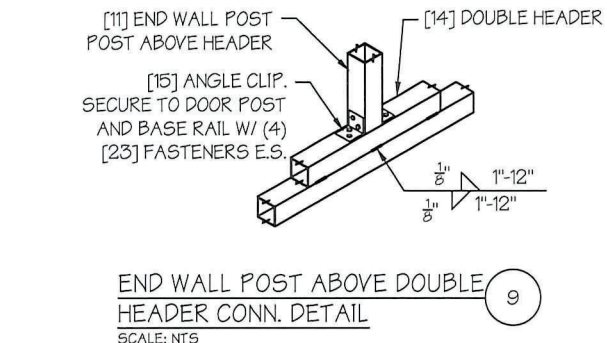
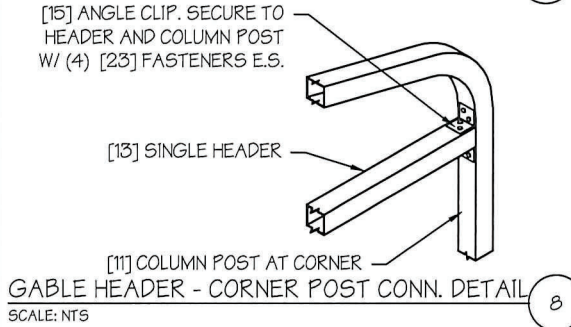
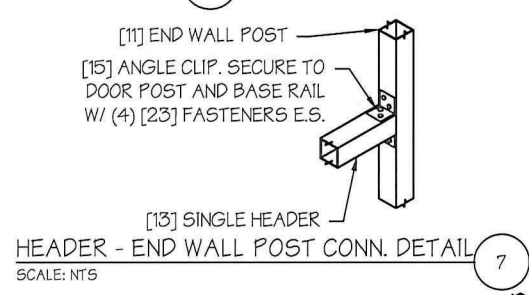
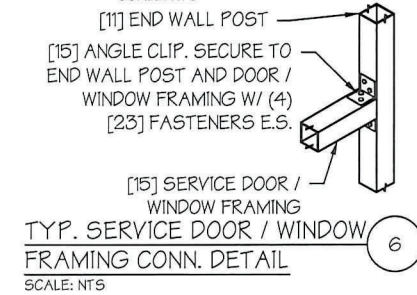
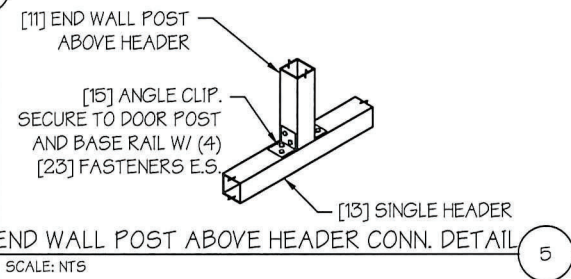
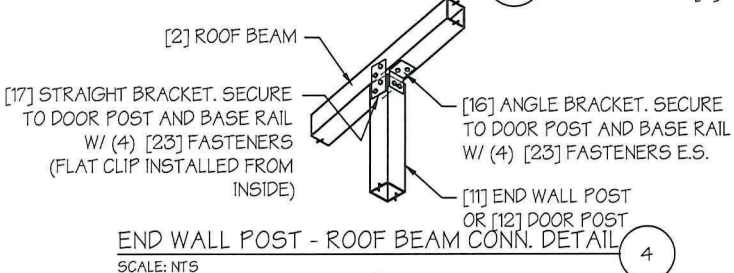
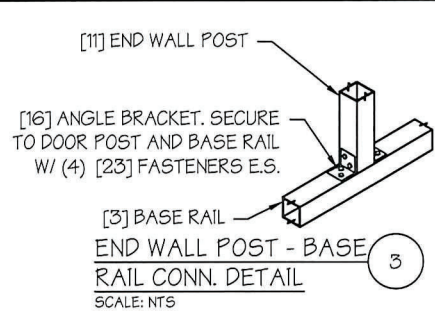
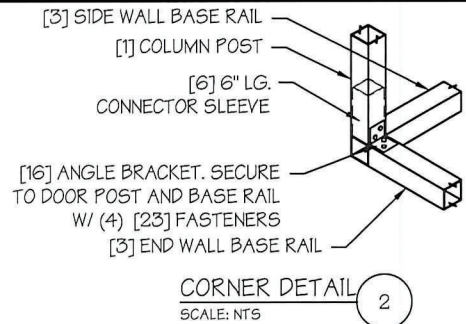
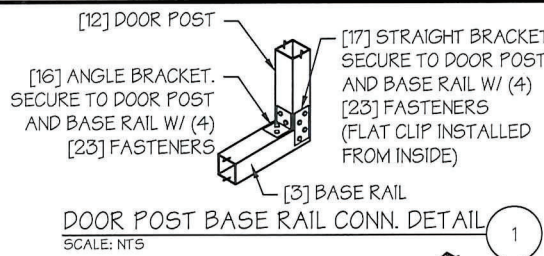
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1-866-730-9865

ENGINEERED BY:



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CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS
LOCATION: STATE OF MARYLAND
PROJECT NO.: 033-22-0243
SHEET TITLE:
END WALL FRAMING DETAILS

SHEET NO.: B-B / 11

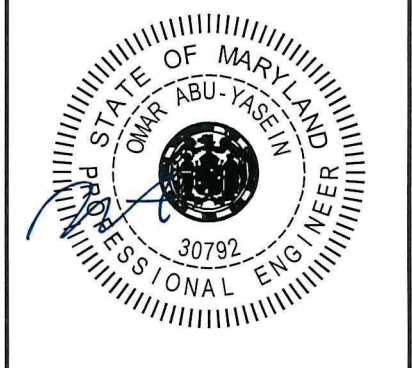
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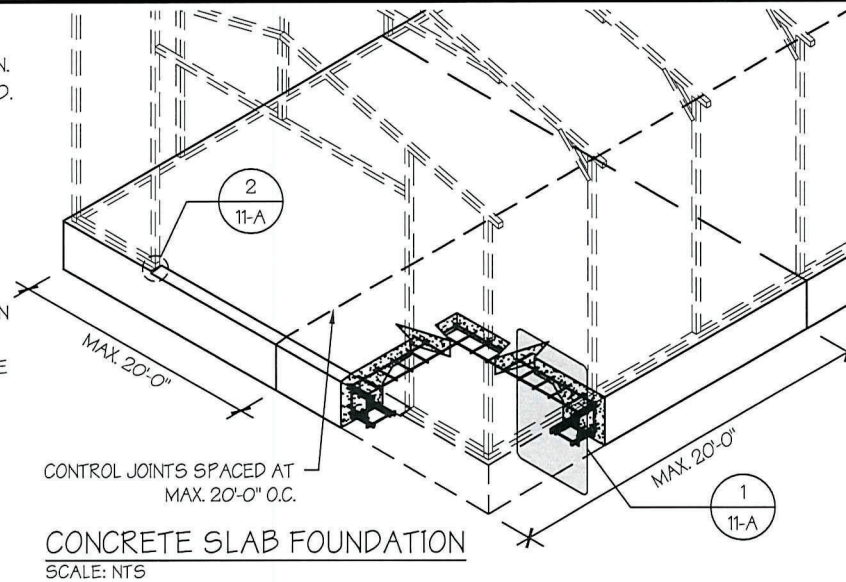


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DATE SIGNED: **07-30-2022**

CONCRETE SLAB FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A.2.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS 5 1/2" FOR 14GA MATERIAL AND 5 3/4" FOR 12GA MATERIAL.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.



CONCRETE SLAB FOUNDATION
SCALE: NTS



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:
A&A ENGINEERING
CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF MARYLAND

PROJECT NO.: 033-22-0243

SHEET TITLE:

FOUNDATION OPTION 1:
CONCRETE SLAB

SHEET NO.: 11-A / 11

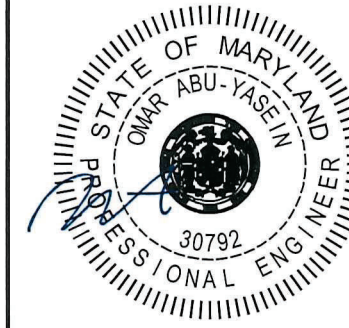
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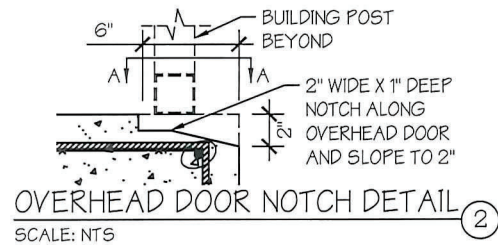
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DATE SIGNED: **02-07-2022**



OVERHEAD DOOR NOTCH DETAIL
SCALE: NTS

TABLE 11-A.2: CONCRETE SLAB ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	□ 105 TO 135	(1) 1/2"Ø X 7"
	□ 136 TO 180	(2) 1/2"Ø X 7"
OPEN	□ 105 TO 135	(1) 1/2"Ø X 7"
	□ 136 TO 180	(2) 1/2"Ø X 7"

- NOTES:
- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
 - MIN. EMBEDMENT DEPTH TO BE 2 7/8".
 - ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

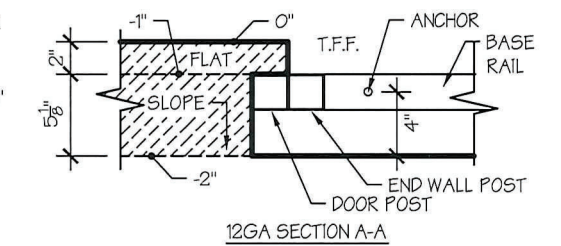
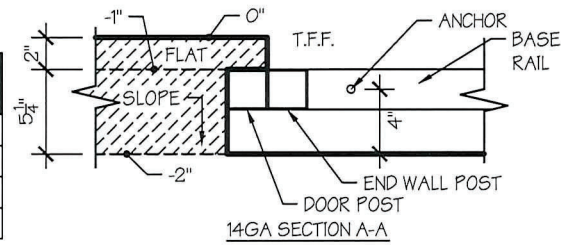
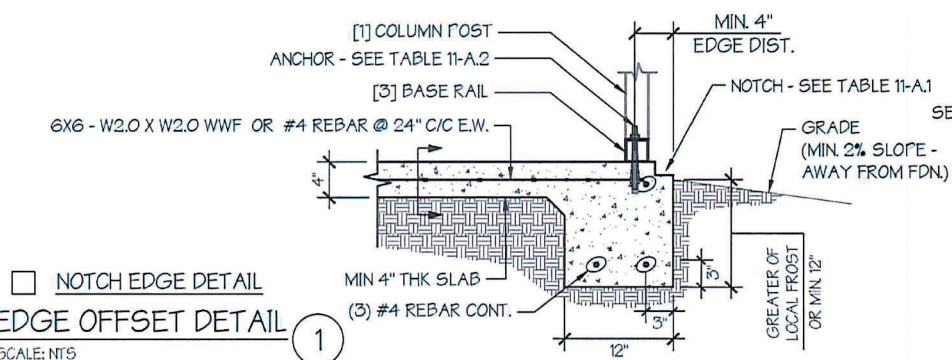


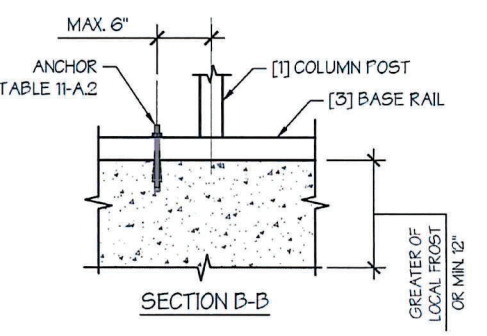
TABLE 11-A.1: NOTCH WIDTH

HORIZONTAL/OPEN		VERTICAL	
□ 14GA	□ 12GA	□ 14GA	□ 12GA
2 3/4"	2 7/8"	1 3/4"	1 7/8"

NOTE: DEPTH IS TO BE 1 1/2"



EDGE OFFSET DETAIL
SCALE: NTS



SECTION B-B







