

*Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5808 Surrey Street, Chevy Chase	<b>Meeting Date:</b>	7/10/2024
<b>Resource:</b>	Post-1916 (Non-Contributing) Resource <b>Somerset Historic District</b>	<b>Report Date:</b>	7/3/2024
<b>Applicant:</b>	Maya Weil Stephen Santos, Architect	<b>Public Notice:</b>	6/26/2024
<b>Review:</b>	Prelim	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Accessory Dwelling Unit Construction and Solar Installation		

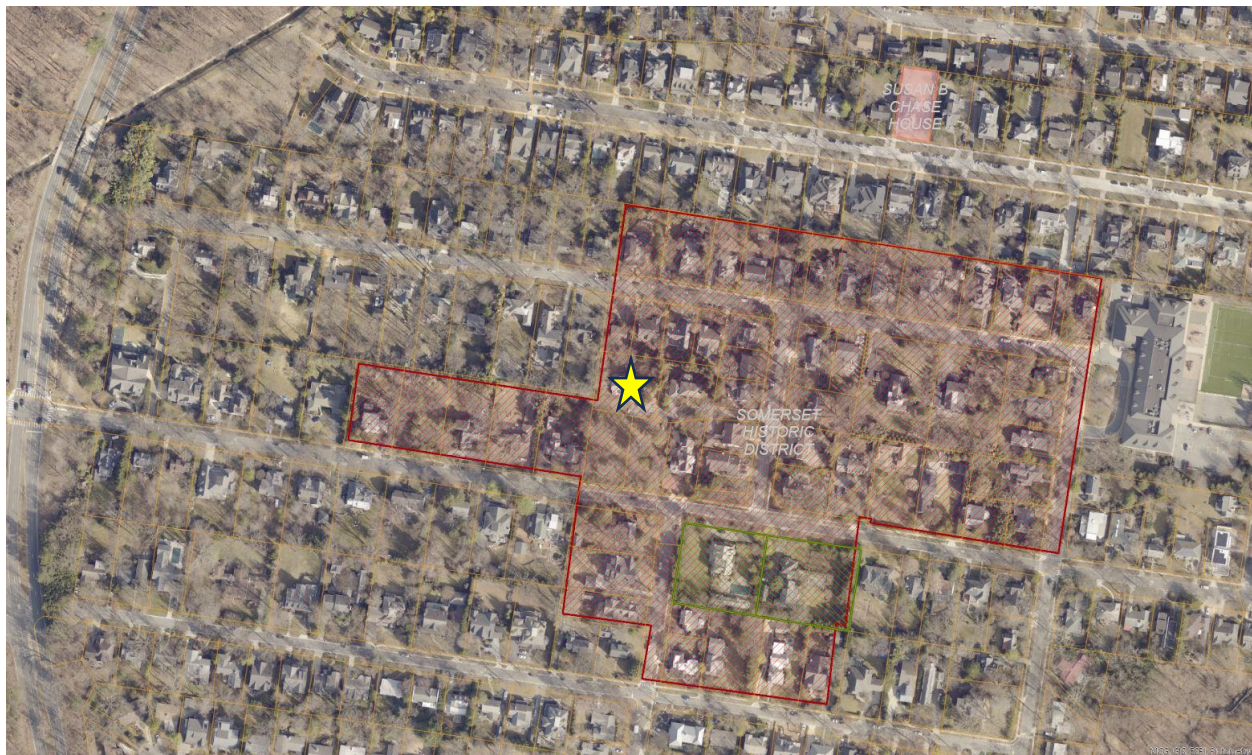
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**STAFF RECOMMENDATION**

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Post-1916 (Non-Contributing) Resource to the Somerset Historic District  
**STYLE:** Siberian Cabin  
**DATE:** c.1918



*Figure 1: The subject property is on an interior lot in the Somerset Historic District.*

**PROPOSAL**

The applicant proposes to construct an accessory dwelling unit with solar panels at the subject property.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Somerset Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Somerset Historic District Amendment to the Master Plan for Historic Preservation (*Designation*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. Additionally, the proposed roof mounted solar array should be reviewed under the HPC's *Policy No. 20-01 ADDRESSING EMERGENCY CLIMATE MOBILIZATION THROUGH THE INSTALLATION OF ROOF-MOUNTED SOLAR PANELS*. The pertinent information in these documents is outlined below.

- A Map of the boundaries of the Somerset Historic District is included at the end of this amendment. Important contributing resources built before 1915 are noted on this map. The later structures in the district are mainly mid-20<sup>th</sup> Century architectural styles – many are Colonial Revival – although some very recent house have replicated the Victorian styles of the original buildings. As specified in the Historic Preservation Ordinance, applications for new construction in the district for work on structures in the district which are of little historical or design significance shall be judged leniently, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the district.

**Montgomery County Code; Chapter 24A-8**

(b)

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Secretary of the Interior’s Standards for Rehabilitation**

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable Standards are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

***Historic Preservation Commission Policy No. 20-01: Addressing Emergency Climate Mobilization Through the Installation of Roof-Mounted Solar Panels***

Now, THEREFORE:

WHEREAS, Historic Area Work Permit decisions are guided by the criteria in Section 24A, The Secretary of the Interior’s Standards for Rehabilitation, and pertinent guidance from applicable master plan amendments and/or site or district-specific studies;

WHEREAS, The Secretary of the Interior’s Standards for Rehabilitation as interpreted by the National Park Service limit the placement of rooftop solar panels under Standards 2, 9, and 10 to less conspicuous locations;

WHEREAS, the County Council has established a Climate Emergency;

WHEREAS, the Historic Preservation is a body established by the County Executive and County Council;

WHEREAS, Section 24-8(b)(6) states, “In balancing the interest of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit;”

WHEREAS, the widespread use of solar panels, both for hot water and for electricity production, will reduce greenhouse gases in the county, in accordance with the aims of the Emergency Climate Mobilization resolution (Resolution No.: 18-974), it shall be the policy of the Historic Preservation Commission that:

- a. The preferred locations for solar panel installation(s) on a designated historic site or an historic resource located within an historic district is a) on the rear of the property, b) on non-historic building additions, c) on accessory structures, or d) in ground-mounted arrays;
- b. If it is not feasible to install solar panels in one of the identified preferred locations due to resource orientation or other site limitations; and,
- c. The roof is determined to be neither architecturally significant, nor a character-defining feature of the resource, nor is it a slate or tile roof, that unless it can be demonstrated that the solar array will be installed without damaging the historic character of the resource or historic fabric; then

- d.** The public welfare is better served by approving a Historic Area Work Permit for solar panels on all visible side or front roof slopes under Section 24A-8(b)(6).

A Historic Area Work Permit (HAWP) is required for all work referenced in this policy.

**STAFF DISCUSSION**

The subject property is comprised of three lots, Lot 36, Lot 40, and Lot 41 (see *Figure 2, below*), and was originally constructed as a “Siberian cedar-log home” c.1918 on Lot 36. In the 1930s, the house was remodeled and the log siding was covered in stone. In 1985, the house was renovated again, including the construction of a two-story addition, a west dormer, and additional porches. The HPC approved a HAWP in 2014 that included a two-story addition on the west side of the house and extending the front terrace, resulting in the building’s current appearance (the 2014 HAWP identified the subject property as 4807 Dorset Ave.). Because there are two vacant lots to the south (Lots 40 and 41), the existing house and proposed ADU will be highly visible from Dorset Ave., particularly when that view is considered in the absence of vegetation.

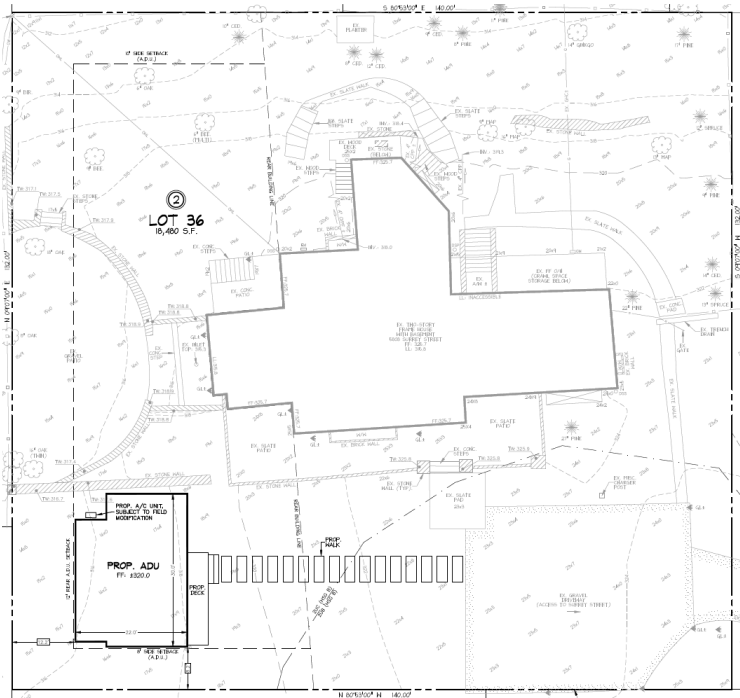


*Figure 2: The subject property is composed of three lots in the Somerset Historic District.*

For this Preliminary Consultation, the applicant seeks feedback on the appropriateness of constructing an accessory dwelling unit in the southwest corner of the subject property on Lot 36. The applicant also proposes to install solar panels on the roof of the new construction. No trees will be impacted by the proposed work.

**Accessory Dwelling Unit**

In the southwest corner of 5808 Surrey Street/Lot 36, the applicant proposes to install a one-story, contemporary-styled, T-shaped building, approximately 30' × 22' (thirty feet by twenty feet), with a small deck on its east side. The house will be sided in painted Versatex vertical siding (a cellular PVC siding), with Azek trim, architectural shingles, a paintable fiberglass door, and vinyl single-light fixed and casement windows. The front deck will be constructed using pressure-treated wood.



*Figure 3: Existing lot with the proposed ADU in the southwest corner.*

Staff has concerns regarding about the appropriateness of the placement of the proposed ADU. The subject lot is an interior lot, that is accessed through an easement from Surrey St., created in a 1979 subdivision. The ADU will be highly visible from Dorset Avenue. The applicant provided site plan (shown in *Figure 3*) shows the ADU at the minimum allowable setbacks in the southwest corner of the lot. However, Staff notes that the northwest corner of the lot would be less visible from the public right of way. Constructing the ADU in the northeast corner may require a variance, but would be in a location less visible from the public right-of-way (Staff notes there is an existing stone wall to the northeast of the existing house which may make placing the ADU in that location infeasible).

The primary concern should be whether the proposed ADU’s location would “seriously impair” the historic or architectural value and character of the surrounding district, per the *Designation* and 24A-8(d). Further, does that consideration depend on location and massing alone, or does the high visibility of the proposed building trigger additional considerations regarding appropriateness of materials and fenestration patterns? Finally, the disposition of the lot and its setbacks being unique, staff is requesting the applicant provide written determinations from DPS Zoning as well as the Town of Somerset that the setbacks assumed in the drawings are accurate and that both the agency and municipality would approve the location of this structure were the HPC to approve the HAWP.

- Does the HPC find the proposed location to be appropriate?
  - And if not, what location is preferable?
- Does the HPC request any additional information of DPS Zoning and/or the Town of Somerset to aid in the deliberations?



*Figure 4: The proposed ADU as viewed from the east.*

Staff finds the style and design of the ADU is contemporary and is generally compatible with the approved 2014 addition (attached with the submitted application materials) Staff further finds the size of the proposed structure will not overwhelm the character of the site or surrounding district. However, the placement of the proposed structure, while in the rear yard of the subject property, will appear to be placed in the front yard when viewed across Lots 40 and 41 from Dorset Avenue. This is a singular issue of visual and spatial compatibility because typically accessory structures are disallowed from placement in a front yard by zoning in addition to historic preservation guidelines which have been adopted to maintain the pattern of development along the streetscape. Recognizing this is an interior lot within the block, a highly unusual condition in any of the historic districts, the question remains regarding visual compatibility within the Somerset Historic District.

- Does the HPC concur with Staff's finding that the size and style of the proposed ADU are compatible with the character of the site?
- Does the HPC recommend any specific design revisions?

Staff recognizes that substitute materials may be appropriate for additions and new construction within the Somerset Historic District. However, some of the material proposed, such as the Versatex siding, have not been previously reviewed by the HPC. Staff does not have an opinion on this material and recommends the applicant provide a material sample to Staff and the HPC to review prior to (or at) the hearing for this Preliminary Consultation. Staff's preliminary review of the material found that it is paintable and offered in several configurations, but without a visual inspection, Staff cannot recommend the HPC approve the material.

Other materials, like the vinyl windows are not typically approved because they do not adequately replicate the profiles and appearance of a historic wood window. Vinyl windows also are not paintable and do not develop a patina over time. In this instance, the applicant is not attempting to replicate the appearance of a wood window for this contemporary-styled structure. Staff has not found information that indicates the proposed window is paintable, which would obscure its shiny appearance. Additionally, the applicant did not include a section drawing that show the profiles for the proposed window. Staff recommends the HPC require section drawings and more information on the proposed material before the

HPC can fully evaluate the proposal. Staff notes the HPC has consistently found an aluminum clad wood windows are appropriate in virtually all applications for new constructions and additions in the Somerset Historic District. Finally, Staff notes the addition approved by the HPC in 2014 included metal-framed windows. Staff would recommend the HPC approves a window that is consistent with the 2014 approval.

Staff also finds the level of detail for the proposed fiberglass door is not sufficient to provide appropriate feedback. Staff's review of the website for the Smooth-Star doors indicates that the doors are presented as an alternative to steel doors, and they are paintable. However, the website and the submitted specifications are not sufficient to make a determination as to the appropriateness of the door including the material's texture. Staff recommends the HPC require more information, which could be in the form of precedent images or a sample door/window to allow Staff and the HPC an opportunity to thoroughly evaluate the proposed material.

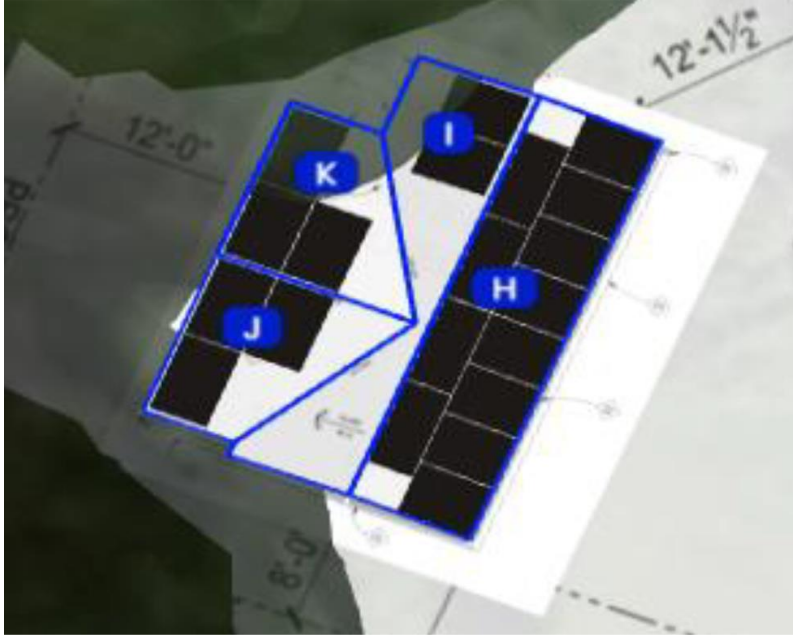
Staff finds the proposed Azek trim, architectural shingles, and pressure treated wood deck are all compatible with the character of the site and surrounding district and finds them to be appropriate in this instance.

Does the HPC concur with Staff's finding regarding:

- The need for more information about the Versatex siding?
  - Including a material sample?
- The general incompatibility of vinyl windows in the Somerset Historic District?
  - The appropriateness of an aluminum-clad wood or metal window?
- The incomplete information presented regarding the proposed fiberglass door?
- Any additional feedback regarding the proposed materials.

### **Proposed Solar Installation**

The applicant proposes to install 20 (twenty) solar panels on the roof of the subject property on four roof surfaces. Twelve panels will be installed on the front roof slope, six on the rear gable, and two on the rear slope of the side gable. Because of the structure's small size, the panels on the front roof slope are in a vertical orientation on the bottom row and horizontal in the top row. The other roof surfaces are smaller than the front roof slope and panels are installed as space allows. The applicant provided additional information regarding the proposed solar proposal that shows the array will offset approximately 33% (thirty-three percent) of the property's usage annually.



*Figure 3: The proposed solar panel layout.*

Staff finds the HPC's solar policy identifies accessory structures as one of the preferred locations for roof-mounted solar arrays. Staff additionally finds the solar panels will blend in with the proposed black architectural shingle roof, so their appearance will not be as visually jarring as it would on a lighter colored roof.

Staff finds the proposed solar installation is appropriate under the HPC's guidance and request any feedback from the HPC regarding the appropriateness of the proposed solar panels.

### **STAFF RECOMMENDATION**

Staff recommends the applicant make any recommended revisions and return for a HAWP.





APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1075033 DATE ASSIGNED

APPLICANT:

Name: MAYA WEIL Address: 5808 SURREY ST Daytime Phone:

E-mail: MAYAWEIL@COMPUSERVE.COM City: CHEVY CHASE Zip: 20815 Tax Account No.: 00537256

AGENT/CONTACT (if applicable):

Name: STEPHEN SANTOS Address: 7735 OLD GEORGETOWN RD SUITE 700 Daytime Phone: 240-333-2026

E-mail: SSANTOS@GTMARCHITECTS.COM City: BETHESDA Zip: 20814 Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name Town of Somerset No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 5808 Street: SURREY STREET Town/City: CHEVY CHASE Nearest Cross Street: DORSET AVENUE Lot: 36 Block: 2 Subdivision: 0044 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

06/18/2024

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  MAYA WEIL                  5808 SURREY STREET                  CHEVY CHASE, MD 20815</p>	<p><b>Owner's Agent's mailing address</b>                  STEPHEN SANTOS                  7735 OLD GEORGETOWN RD                  SUITE 700                  BETHESDA, MD 20814</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>MICHELLE &amp; PETER HIGH                  4817 DORSET AVENUE                  CHEVY CHASE, MD 20815</p>	<p>MEGAN SPELLACY &amp; PERRY URKEN                  4816 CUMBERLAND AVENUE                  CHEVY CHASE, MD 20815</p>
<p>DAVID J. BROWN                  4814 CUMBERLAND AVENUE                  CHEVY CHASE, MD 20815</p>	<p>PHYLLIS S. &amp; LESLIE H. WIESENFELDER                  4812 CUMBERLAND AVENUE                  CHEVY CHASE, MD 20815</p>
<p>JACQUELYN QUAN &amp; PETER BRYCE                  4810 CUMBERLAND AVENUE                  CHEVY CHASE, MD 20815</p>	<p>JAMES A. &amp; DABNEY S. GOOLD                  5812 SURREY STREET                  CHEVY CHASE, MD 20815</p>
<p>REGIONS BANK ET AL, TRUST                  4809 DORSET AVENUE                  CHEVY CHASE, MD 20815</p>	<p>MAYA WEIL                  4813 DORSET AVENUE                  CHEVY CHASE, MD 20815</p>

# WEIL RESIDENCE ACCESSORY DWELLING UNIT

5808 SURREY STREET,  
CHEVY CHASE, MD 20815

SCOPE OF WORK: CONSTRUCTION OF NEW REAR DETACHED ACCESSORY DWELLING UNIT

## PLAT DATA

5808 SURREY STREET,  
CHEVY CHASE, MD 20815  
(BLOCK 2, LOT 36, SUBDIVISION 0044)  
TOWN OF SOMERSET  
ZONED: R-60

18,480 SF LOT AREA

(SEE SITE PLAN ON SHEET 'Z001')

G T M ARCHITECTS

7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-2000  
(240)333-2001 FAX  
WWW.GTMARCHITECTS.COM



Seal

## FRONT RENDERING

\*RENDERING IS FOR ILLUSTRATIVE PURPOSES ONLY, REFER TO CONSTRUCTION DRAWINGS FOR INFORMATION\*



## LIST OF DRAWINGS

- 001 COVER SHEET
- 002 EXISTING HOUSE & PROPERTY PHOTOS
- 003 3D RENDERINGS
- Z001 SITE PLAN
- A100 FOUNDATION & FIRST FLOOR PLAN
- A101 ROOF PLAN
- A200 ELEVATIONS
- A300 BUILDING SECTIONS
- A500 DETAILS

## CALCULATIONS

EXISTING:		ZONED: R-60 DETACHED ACCESSORY DWELLING UNIT ZONING DATA	
EXISTING MAIN DWELLING FOOTPRINT	FOOTPRINT	PROVIDED	REQU RED
2,290 S.F.	2,290 S.F.	18,480 S.F.	6,000 S.F.
PROPOSED:		LOT AREA	18,480 S.F.
ACCESSORY DWELLING UNIT: 624 S.F.		TOTAL LOT COVERAGE:	2,914 S.F. (15.8%)
TOTAL PROPOSED CONSTRUCTED AREA: 624 S.F.		FRONT YARD SETBACK	25'-0"
TOTAL LOT COVERAGE: 2,914 S.F.		SIDE YARD SETBACK	SEE SITE PLAN
MAIN BUILDING FOOTPRINT = 2,290 S.F.		REAR YARD SETBACK	12'-0"
PROPOSED ADU = 624 S.F.		BUILDING HEIGHT	16'-5" FROM TOP OF SLAB TO ROOF PEAK, SEE ELEVATION '1/A200'
TOTAL = 2,914 S.F.			20' MAX. BUILDING HEIGHT

## ACCESSORY DWELLING UNIT FOOTPRINT CALCULATION

THE MAXIMUM GROSS FLOOR AREA FOR A DETACHED ACCESSORY DWELLING UNIT MUST BE THE LEAST OF:

- 50% OF THE FOOTPRINT OF THE PRINCIPAL DWELLING
  - 10% OF THE LOT AREA
  - 1,200 SQ OF GROSS FLOOR AREA
- OR
- 50% X 2,290 SF (MAIN BUILDING FOOTPRINT) = 1,145 SF (MAXIMUM GROSS FLOOR AREA)
  - 10% X 18,480 SF (LOT AREA) = 1,848 SF (MAXIMUM GROSS FLOOR AREA)
  - 1,200 (MAXIMUM GROSS FLOOR AREA)

PROPOSED ACCESSORY BUILDING IS 624 SF < 1,145 SF (MAXIMUM ALLOWED GROSS FLOOR AREA)

Consultant

Project  
**WEIL RESIDENCE**  
5808 SURREY STREET, CHEVY CHASE, MD 20815  
Owner  
**MAYA WEIL**

Developer

HAWP SET	06-19-2024
Issue Description	Date

GTM Project No.	19.0597
Checked By	GTM/MEK
Drawn By	SOS/FSC
Scale	AS NOTED

Sheet Title  
**COVER SHEET**

Sheet No.  
**001**

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## GRAPHIC SYMBOLS

SECTION SHEET NO. (A-A5) ELEV. 42.00 DATUM ELEVATION

EXTERIOR ELEVATION SHEET NO. (N-A12) ROOM NUMBER (106) DOOR NUMBER (1) WINDOW TYPE (1) TEMPERED GLASS IN WINDOW/DOOR UNIT (T) REVISION NUMBER (A) PARTITION TYPES SEE SCHEDULE (P1)

DETAIL TARGET, ENLARGEMENT SHEET NO. (A-A5)

SECTIONAL DETAIL SHEET NO. (A-A5)

## MATERIAL SYMBOLS

EARTH CONCRETE

STEEL BRICK

FINISH WOOD CONCRETE MASONRY UNIT

ROUGH LUMBER BLOCKING GYPSUM SHEATHING

SLAT BOARD ACOUSTICAL TILE

## ABBREVIATIONS

ABOVE FINISH FLOOR	AFF	EACH	EA	INTERIOR	INT	PLATE	PL	VERTICAL	PL
ADJUSTABLE	ADJ	ELECTRICAL	ELEC	JANITOR'S CLOSET	JC	PLYWOOD	PLY	VERTICALE	PLY
AIR CONDITIONING	AC	ELEVATION	EL	JUMP	JT	POLY(VINYL CHLORIDE)	PVC	VOLTS	VOLTS
AIR HANDLING UNIT	AH	ELEVATOR	ELEV	JUST	JST	POUND	LB	WALLBOARD	WB
AIR HANDLING UNIT	AHU	EMERGENCY POWER	EM	JUNCTION BOX	JB	FOUNDS PER SQUARE INCH	PSI	WELDED WIRE FABRIC	WFF
ALTERNATE CURRENT	ALT	EMPTY CONDUIT	EC	LAMINATED	LAM	PREFABRICATED	PREFAB	WOOD	WOOD
ALUMINUM	AL	ENGINEER	ENGR	LABORATORY	LAV	PREFINISHED	PREFIN	WITH	WITH
AMP	AMP	ELECTRIC WATER COOLER	EW	LEFT HAND	LH	PRELIMINARY	PRELIM	WITHOUT	WITHOUT
ANCHOR BOLT	AB	EXISTING	EX	LENGTH	LN	QUARRY TILE	QT	YARD	YARD
ARCHITECT	ARCH	EXPANSION	EXP	LONG LEG HORIZONTAL	LHG	RADIUS	RAD	REF	REF
AVERAGE	AVG	EXPANSION JOINT	EJ	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
BEAM	BM	EXTERIOR	EXT	LONG LEG VERTICAL	LJV	REQUIRED	REQD	REINFORCING	REIN
BOARD	BD	FAHRENHEIT	F	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
BOARDS	BD	FEET PER MINUTE	FFM	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CABINET	CAB	FEET FOOT	FF	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CATALOG	CAT	FINISH	FIN	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CEILING	CLG	FIRE EXTINGUISHER CAB.	FE	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CENTERLINE	CL	FLOOR	FL	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CERAMIC TILE	CT	FLOURESCENT	FL	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CLOSET	CL	FIRE RATED	FR	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
COLUMN	CO	GALVE	GA	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CONCRETE	CON	GALLON	GAL	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
CONCRETE MASONRY UNITS	CMU	GALLONS PER MINUTE	GPM	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
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CONCRETE	CON	GALLON	GAL	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
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CONCRETE	CON	GALLONS PER MINUTE	GPM	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN
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CONCRETE	CON	GALLON	GAL	LONG LEG VERTICAL	LJV	REINFORCING	REIN	REINFORCING	REIN



FRONT LEFT VIEW 1



FRONT LEFT VIEW 2



FRONT LEFT VIEW 3



AREA OF PROPOSED ADU



FRONT RIGHT VIEW 1



FRONT RIGHT VIEW 2



FRONT ELEVATION



FRONT ELEVATION

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Seal

Consultant

Project  
**WEIL  
RESIDENCE**

5808 SURREY STREET, CHEVY CHASE, MD 20815

Owner  
**MAYA WEIL**

Developer

HAWP SET 06-19-2024  
Issue Description Date

GTM Project No. 19.0597  
Checked By GTM/MEK  
Drawn By SOS/FSC  
Scale AS NOTED

Sheet Title  
**EXISTING HOUSE &  
PROPERTY PHOTOS**

Sheet No.  
**002**

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**GENERAL NOTES**

- Boundary information and house locations are based upon surveys performed by CAS Engineering, dated May, 2024.
- Total lot area: Lot 36 = 18,480 sq. ft. (0.424 acres)
- Property is located on Tax Map HN121 and WSSC 2007 Sheet 208NW05.
- Property is located on Soils Survey Map Number 27.  
Soil type(s): ZUB, Glen-Urban Land Complex, 0-8%, HSG "B",  
ZUC, Glen-Urban Land Complex, 8-15%, HSG "B".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
- Property is located in the Little Falls Watershed, Use Class I.P.
- Water Category - 1, Sewer Category - 1
- Local utilities include:  
Water / Sewer - Washington Suburban Sanitary Commission  
Electric - PEPCO  
Telephone - Verizon  
Gas - Washington Gas
- Property is located in the incorporated municipality of Town of Somerset.
- Property is not located in a Special Protection Area.
- Property is located in the Town of Somerset Historic District.
- This plan was created without the benefit of a title report.

**ZONING DATA - MONTGOMERY COUNTY**

- Zoning: R-60**  
Min. Lot Area = 6,000 sq. ft. Front Setback = 25 ft.  
Min. Lot Width at R/W = 25 ft. Rear Setback = 20 ft.  
Min. Lot Width at Front Building Line = 60 ft. Side Setback = 8 ft. min., 18 ft. total

- Verify (Non-Refill) lot coverage in accordance with the Zoning Ordinance.**  
Coverage is the area of a lot or site occupied by a building, including an accessory building, structured parking, or other rooded structure such as a porch, patio, deck, or steps.  
Coverage does not include paved areas such as a driveway, a pedestrian walkway, a bay window measuring 17 feet in width or less and 2 feet in depth or less, an unenclosed porch or patio, deck, a swimming pool, or roof overhang.  
Allowable Lot Coverage: 35% of total lot area.  
Lot 36 = 18,480 sq. ft. (Per Plat)  
18,480 x 0.35 = 6,468 sq. ft.  
Allowable area to be covered by buildings (including acc. buildings) = 6,468 sq. ft.  
Total area covered by existing buildings = 2,549 sq. ft.

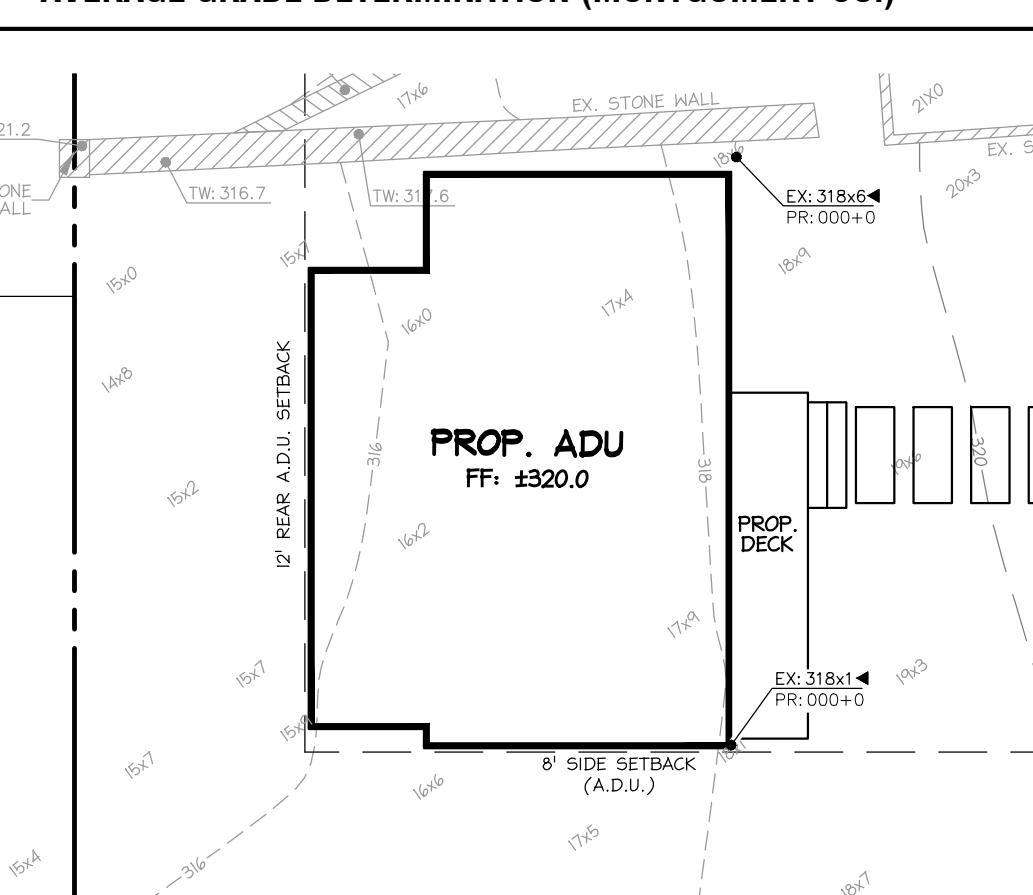
- Verify minimum ADU Setbacks**  
Per Montgomery County Zoning Ordinance Section 3.3.3.C(2)(c):  
Side Setback: Same minimum side setback as principle dwelling (8-feet, per R-60 Zone)  
Rear Setback: 12 feet.

- Verify lot coverage in accordance with the Zoning Ordinance for ADU.**  
Proposed Detached ADU Gross Floor Area (per architect): 640 sf  
Per Montgomery County Zoning Ordinance Section 3.3.3.C(2)(e), the maximum gross floor area for a Detached Accessory Dwelling Unit must be the least of:  
i) 50% of the footprint of the principal dwelling; 1,274.5 sf  
ii) 10% of the lot area (18,480 sf, per plat); 1,848 sf  
iii) 1,200 sf of gross floor area

- Verify accessory PEAK structure height in accordance with the Zoning Ordinance.**  
First floor elevation: 320.00 ft  
Height of building from FF to highest point: 16.417 ft (16'-5" Per Arch.)  
Elevation at highest point: 336.417 ft  
Average elevation along front of building: 318.35 ft  
Height of building at highest point = 336.417 - 318.35 = 18.067 feet  
Allowable height of building = 20 feet  
Proposed peak height of building to highest point = 18.07 feet

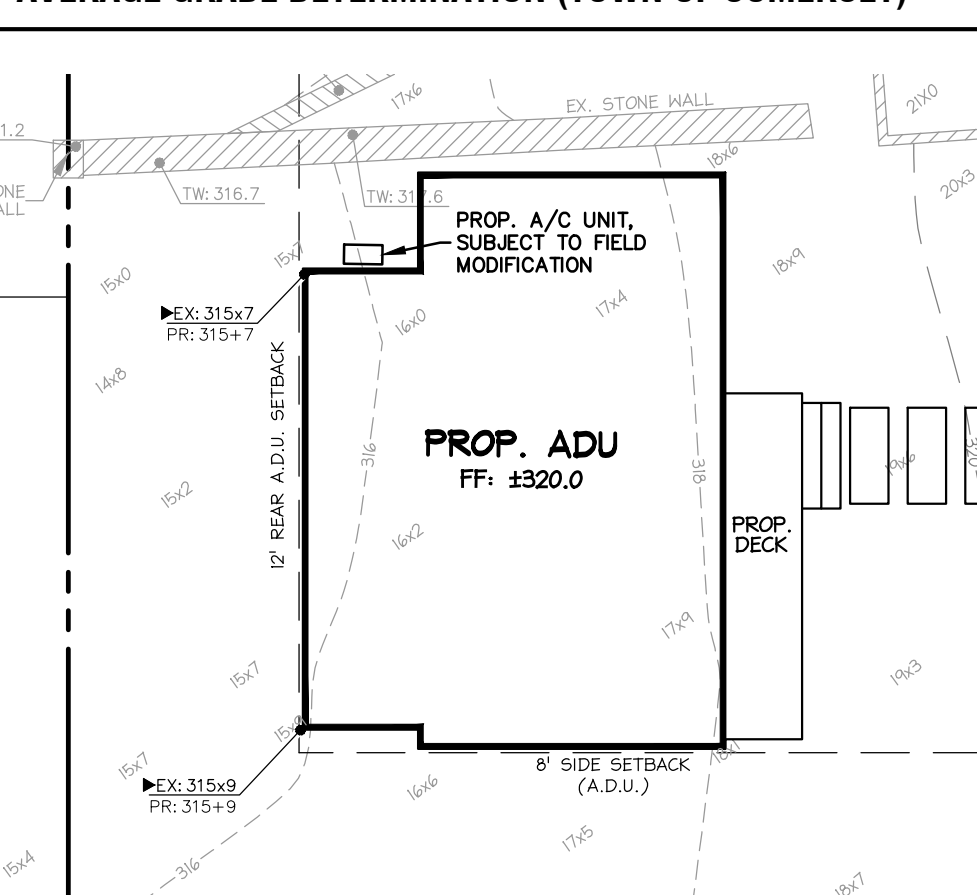
- Verify accessory MEAN structure height in accordance with the Zoning Ordinance.**  
First floor elevation: 320.00 ft  
Mean height of accessory structure from first floor: 13.00 ft (13'-0" Per Arch.)  
Elevation at mean height of accessory structure: 333.00 ft  
Average elevation along front of accessory structure: 318.35 ft  
Mean height of accessory structure = 333.00 - 318.35 = 14.65 feet  
Allowable accessory structure mean height = 15 feet  
Proposed mean height of accessory structure = 14.65 feet

**AVERAGE GRADE DETERMINATION (MONTGOMERY CO.)**



ELEV. POINT 1	ELEV. POINT 2	AVERAGE GRADE
318.1	318.6	(318.1 + 318.6) / 2 = 318.35
<b>AVERAGE GRADE: 318.35</b>		

**AVERAGE GRADE DETERMINATION (TOWN OF SOMERSET)**



ELEV. POINT 1	ELEV. POINT 2	AVERAGE GRADE
XXX.XX	XXX.XX	(XXX.XX + XXX.XX) / 2 = XXX.XX
<b>AVERAGE GRADE: XXX.XX</b>		

**LEGEND**

- EXISTING FEATURES**
- Ex. Sewer Manhole and Invert
  - Ex. Water Line with Valve
  - Ex. Gas Line with Valve
  - Ex. Overhead Utility with Pole
  - Ex. Drain Pipe and Inlet
  - Ex. Downspout Piped / Spilled
  - Ex. Curb Wire
  - Ex. Two- And Ten-foot Contours
  - Ex. Spot Elevation
  - Ex. Ground Light
  - Ex. Wood or Stockade Fence
  - Ex. Retaining Wall
  - Sub 2/42
  - Ex. Soil Line with Soil Types
  - Ex. Tree

**UTILITY INFORMATION**

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.COM 48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE UNDER FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 30A OF THE MONTGOMERY COUNTY CODE.

From: Daniels, Delvin Delvin.Daniels@montgomerycountymd.gov  
Subject: RE: 5808 Surrey Street (23-0013)  
Date: July 19, 2023 at 3:57 PM  
To: Jeff Robertson jeff@casengineering.com  
Cc: Dylan Dylanc@casengineering.com

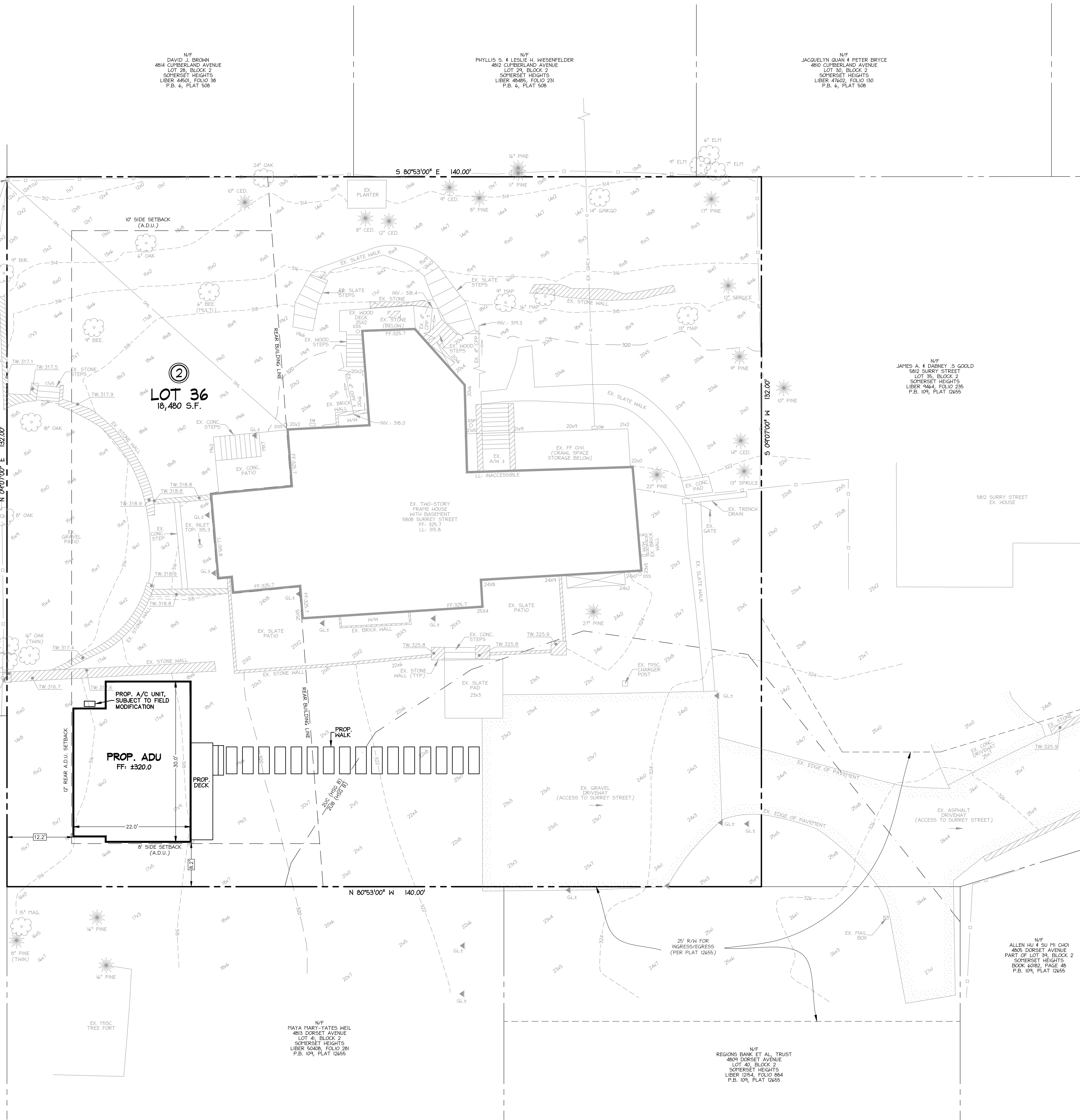
Good afternoon,  
The property zone is R-60.  
The property is landlocked with an ingress/egress easement allowing access to the public road. There is one rear lot line, and the other lines are side lines.  
The lot line that is farthest away from Surrey is the rear line.  
The 8-foot side setback and 10 foot side setback shown on the schematic is correct.  
The schematic that shows the outline of the rear yard for the purpose of locating an accessory building/structure not taller than 15 feet and not longer than 24 feet by 24 feet.  
The 60-foot accessory building setback is not applicable.

Best Regards

Delvin L. Daniels  
Zoning Specialist  
240-777-6249  
Department of Permitting Services  
2425 Reedie Drive  
Wheaton, Maryland 20902  
\*Make No Decision Based On Selfish Ambition\*

From: Douglas Lohmeyer montconslting@hotmail.com  
Subject: RE: [CAUTION: SUSPECT SENDER] 5808 Surrey Street (23-0013)  
Date: August 19, 2023 at 10:58 AM  
To: Jeff Robertson jeff@casengineering.com  
Cc: Matthew Trullinger trullingersenret@gmail.com

Jeff,  
Because the property at 5808 Surrey does not have public frontage on a Town Street, Section 112-14 (C) (2) (b) exempts the property from the requirements in Section 112-14 (C) (2) only.  
Doug



**PRELIMINARY**  
**BUILDING PERMIT SITE PLAN**  
**NOT FOR PERMIT SUBMITTAL**

**OWNER/APPLICANT**  
Maya Wei  
5808 Surrey Street  
Chevy Chase, MD 20815  
(703) 409-3832  
mayawei@compuserve.com

**ARCHITECT**  
GTM Architects  
7735 Old Georgetown Rd - #700  
Attn: George Myers  
(240) 333-2000  
gmyers@gtmarchitects.com

**5808 Surrey Street**  
**Lot 36, Block 2, Somerset Heights**  
**--Town of Somerset --**  
**Boundary and Topographic Survey**

**CAS JOB NO.:** 23-0013  
**DATE:** 06/2024

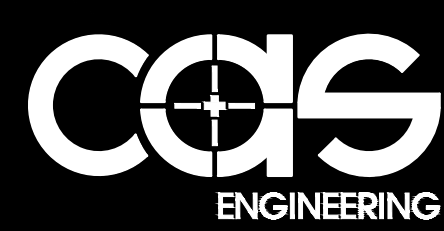
**DATE REVISION**

DATE	REVISION
06/17/24	EST - Issue Sheet to Client, Bulter, and Architect

**VICINITY MAP**  
ADC MAP #407, GRID E-6, SCALE: 1" = 2000'

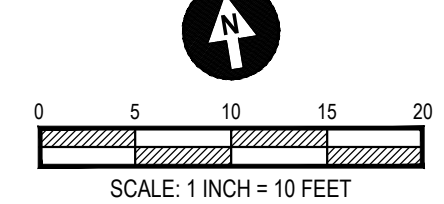
**INDEX MAP**  
SCALE: 1" = 50'

**Lot 36, Block 2, Somerset Heights**  
**Plat Book 109, Plat No. 12655, Recorded 10/18/1979**  
**Bethesda (7th) Election District, Montgomery County, MD**  
**5808 Surrey Street & 4807 Dorset Avenue**  
**Chevy Chase, Maryland 20815**



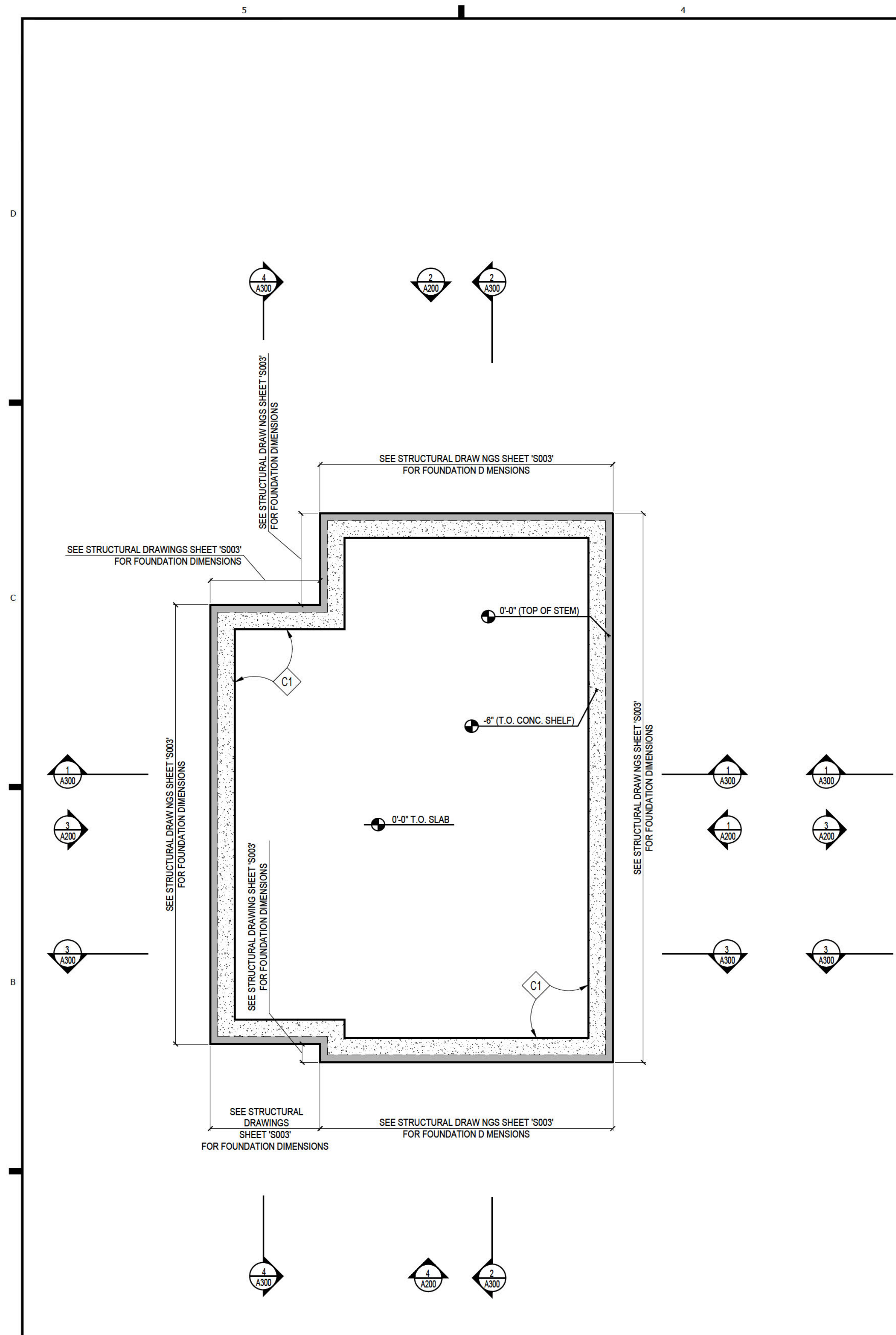
**CAS ENGINEERING-MD**  
10 South Santa Street  
Frederick, Maryland 21701  
301-607-8031 Phone  
info@caseng.com  
www.caseng.com

**CAS ENGINEERING-DC, LLC**  
4836 MacArthur Boulevard NW, 2nd Floor  
Washington, DC 20007  
202-393-7200 Phone  
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www.cas-dc.com

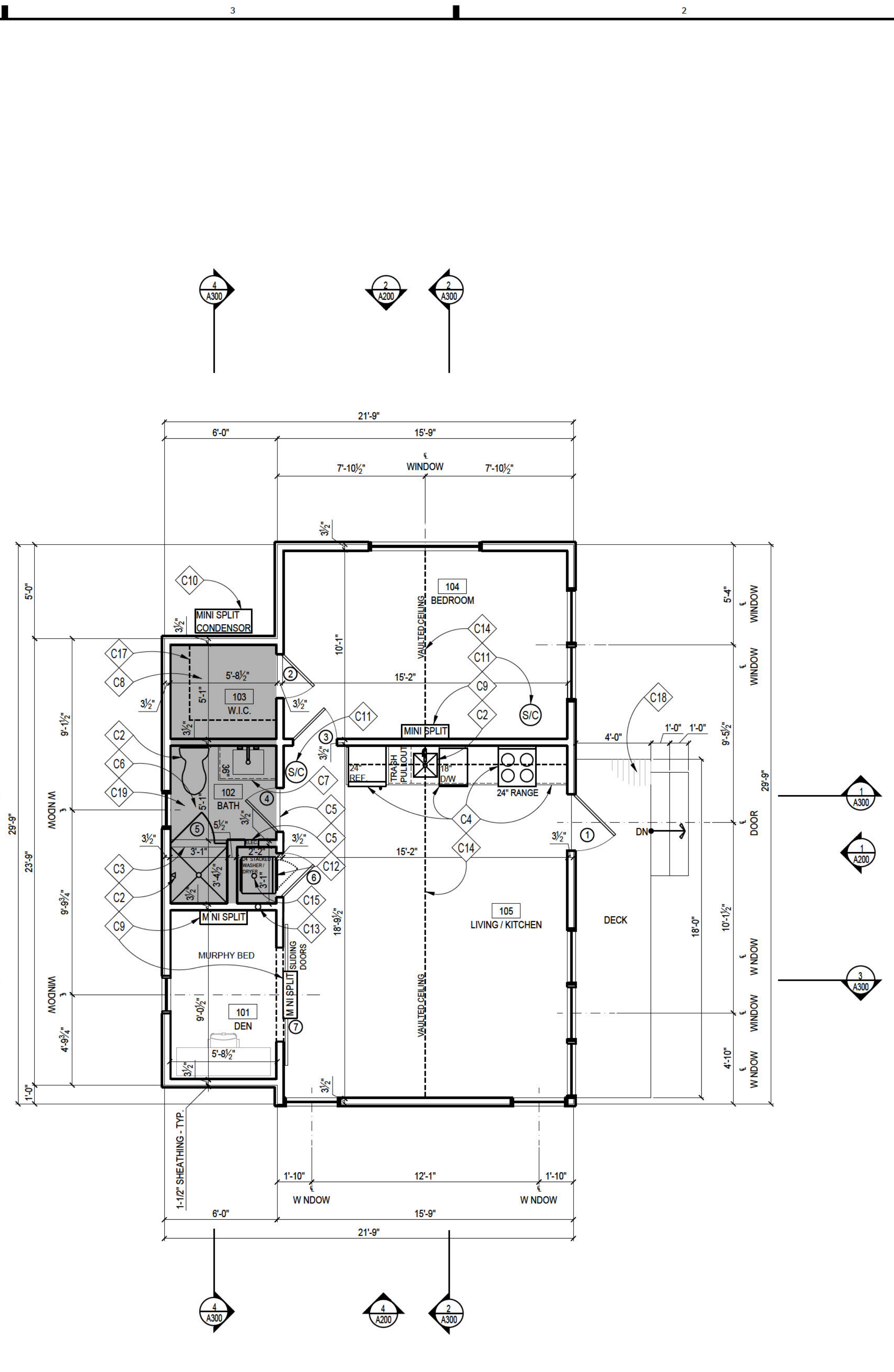


**SHEET TITLE:**  
**Boundary and Topographic Survey**

P:\2023\23013\_5808 Surrey Street\drawings\23013\_Draining Plan.dwg © 2024 CAS Engineering and CAS Engineering, LLC



**1 FOUNDATION PLAN**  
Scale: 1/4"=1'-0"



**2 FIRST FLOOR PLAN**  
Scale: 1/4"=1'-0"

HOLD EXTERIOR WALL FRAMING 1 1/2" FROM FACE OF CONCRETE FOUNDATION WALL; 1/2" EXTERIOR ZIP R-SHEATHING PANEL TO ALIGN W/ FACE OF CONCRETE, SEE DETAIL '7/A500'

**CONSTRUCTION NOTES**

- C1 CONCRETE FOUNDATION WALL; SEE STRUCTURAL DRAWINGS
- C2 PLUMBING FIXTURES & ACCESSORIES T.B.S. BY OWNER
- C3 TILED SHOWER & CURB W/ TEMPERED GLASS ENCLOSURE & DOOR; PROVIDE MEMBRANE LINER & 1/2" DUROCK AROUND ALL SIDES; SEE DETAIL '8/A500'
- C4 CABINETS, COUNTERTOPS & APPLIANCES, T.B.S. FINAL LAYOUT TO BE DETERMINED BY OWNER.
- C5 SCHLUTER THRESHOLD, T.B.S. SEE DETAIL '9/A500'
- C6 TONED AREA INDICATES A DROPPED FINISHED CEILING HEIGHT; SEE '4/A300' FOR SPECIFIC FINISHED CEILING HEIGHT
- C7 VANITY W/ SINK, FAUCET & COUNTERTOP T.B.S.
- C8 TONED AREA INDICATES A DROPPED FINISHED CEILING HEIGHT; SEE '4/A300' FOR SPECIFIC FINISHED CEILING HEIGHT
- C9 HVAC MINI SPLIT SYSTEM; GC TO COORDINATE W/ MECHANICAL CONTRACTOR & CONFIRM LOCATION W/ OWNER
- C10 MINI SPLIT A/C CONDENSER; GC TO COORDINATE W/ MECHANICAL CONTRACTOR
- C11 SMOKE DETECTOR/ CARBON MONOXIDE COMBO UNIT HARDWired WITH BATTERY BACK UP, PER IRC 2018
- C12 ELECTRICAL PANEL LOCATION; GC TO COORDINATE IN FIELD W/ ELECTRICAL CONTRACTOR
- C13 RADON PPE TO ROOF LOCATION, PER IRC 2018 APPENDIX F, GC TO COORDINATE FINAL LOCATION
- C14 DASHED LINE INDICATES VAULTED CEILING ABOVE
- C15 PROVIDE OVERFLOW FLOOR PAN & FLOOR DRAIN UNDER WASHING MACHINE
- C16 PROVIDE PTD. SHELF ABOVE WID, GC TO COORDINATE FINAL LAYOUT W/ OWNER
- C17 PROVIDE METAL CHROME HANGING ROD & PTD. 12" DEEP SHELF W/ 1 5" FASCIA, CONFIRM FINAL LAYOUT W/ OWNER
- C18 PRESSURE TREATED DECK, VERIFY RISER & TREAD DIMENSIONS IN FIELD.
- C19 HOT WATER HEATER TO BE INSTALLED IN ATTIC AREA ABOVE BATH. PROVIDE ACCESS DOOR.

**GENERAL NOTES**

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
2. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN THE FIELD
3. SEE STRUCTURAL DWGS FOR MORE INFORMATION
4. SEE DETAILS '182/A500' FOR TYPICAL FRAMING DETAILS

**WALL TYPES**

TYPICAL NEW EXTERIOR WALL; 2x4 WOOD STUDS 16" O.C., W/ INSULATION (SEE THERMAL ENVELOPE, SHEET 'E001' FOR INSULATION LOCATION & INFORMATION) W/ 1" CONTINUOUS R-6.6 INSULATION W/ 1/2" EXTERIOR SHEATHING, INTERIOR FINISH TO BE 1/2", GYP. BD. U.N.O.

TYPICAL NON-BEARING INTERIOR PARTITION; 2x4 STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE UNLESS OTHERWISE NOTED.

**FOUNDATION NOTES**

REFER TO FOUNDATION PLAN SHEET, 'S003' FOR FOUNDATION WALL TYPES (SEE THERMAL ENVELOPE, SHEET 'E001' FOR INSULATION INFORMATION)

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Seal

Consultant

Project  
**WEIL RESIDENCE**  
5808 SURREY STREET, CHEVY CHASE, MD 20815  
Owner  
**MAYA WEIL**

Developer

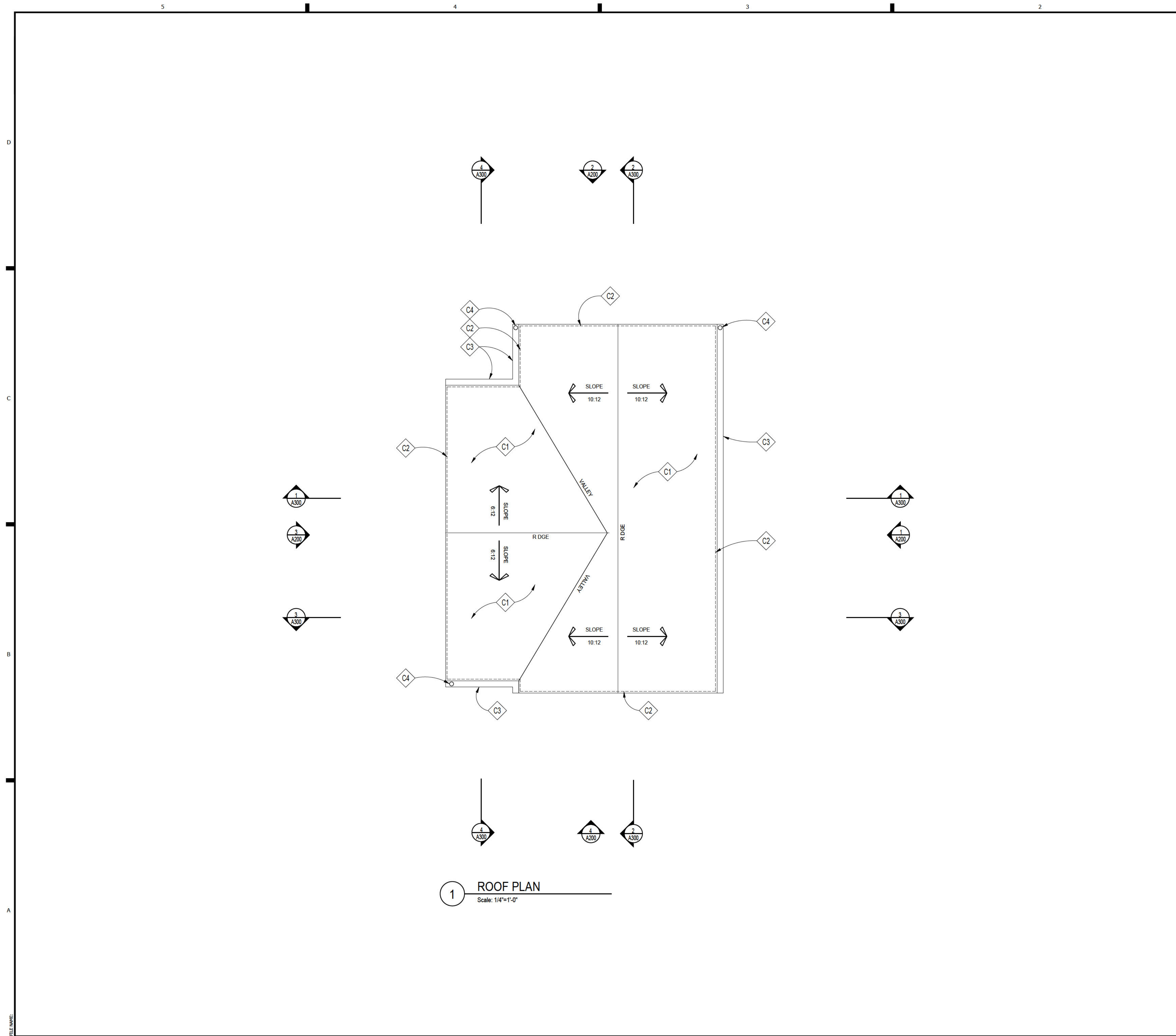
Issue Description	Date
HAWP SET	06-19-2024

GTM Project No.	19_0597
Checked By	GTM/MEK
Drawn By	SOS/FSC
Scale	AS NOTED

Sheet Title  
**FLOOR PLANS**

Sheet No.  
**A100**





1 ROOF PLAN  
Scale: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 ASPHALT SHINGLES OVER ROOFING FELT & ICE GUARD ON ROOF SHEATH NG, CONF RM FINAL COLOR W/ OWNER
- C2 DASHED LINE INDICATES OUTSIDE FACE OF EXTERIOR FRAME WALL BELOW
- C3 6" K-STYLE ALUMINUM BRONZE GUTTER, TYP.
- C4 4" ROUND ALUM NUM BRONZE DOWNSPOUT, SEE ELEV. DRAWINGS FOR LOCATIONS

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Owner  
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Developer

HAWP SET	06-19-2024
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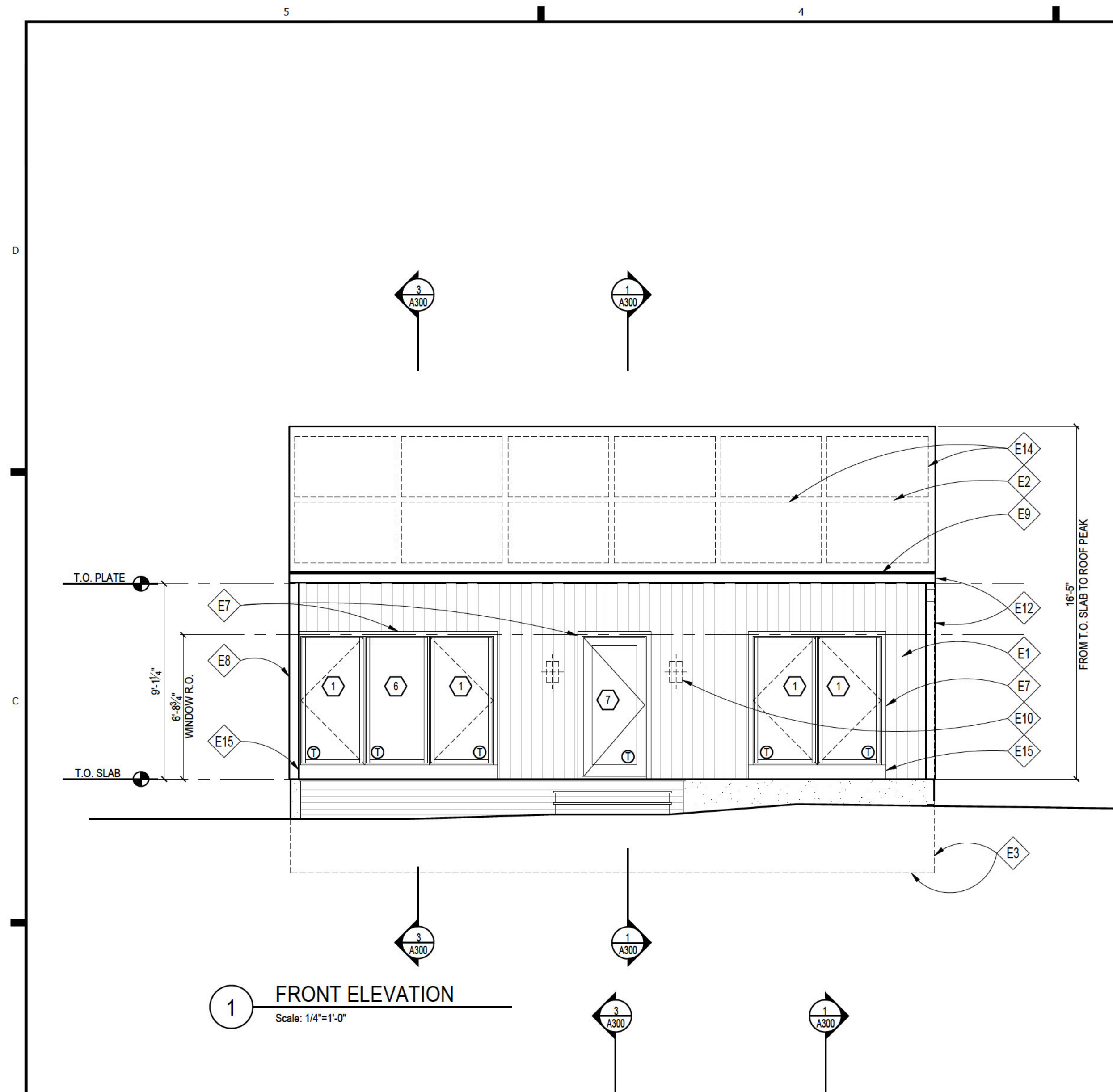
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Checked By	GTM/MEK
Drawn By	SOS/FSC
Scale	AS NOTED

Sheet Title  
**ROOF PLAN**

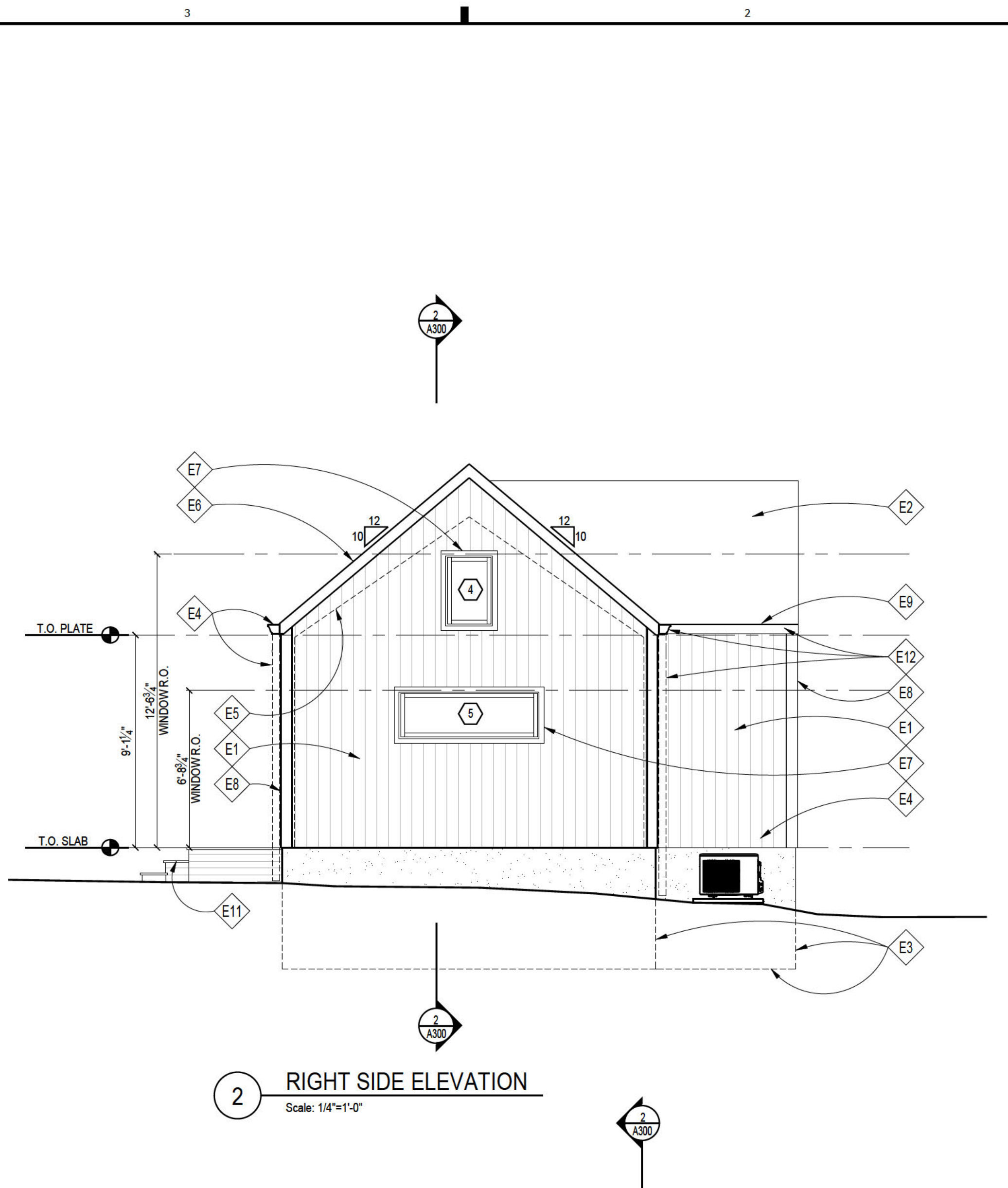
Sheet No.  
**A101**

GENERAL ROOFING NOTES

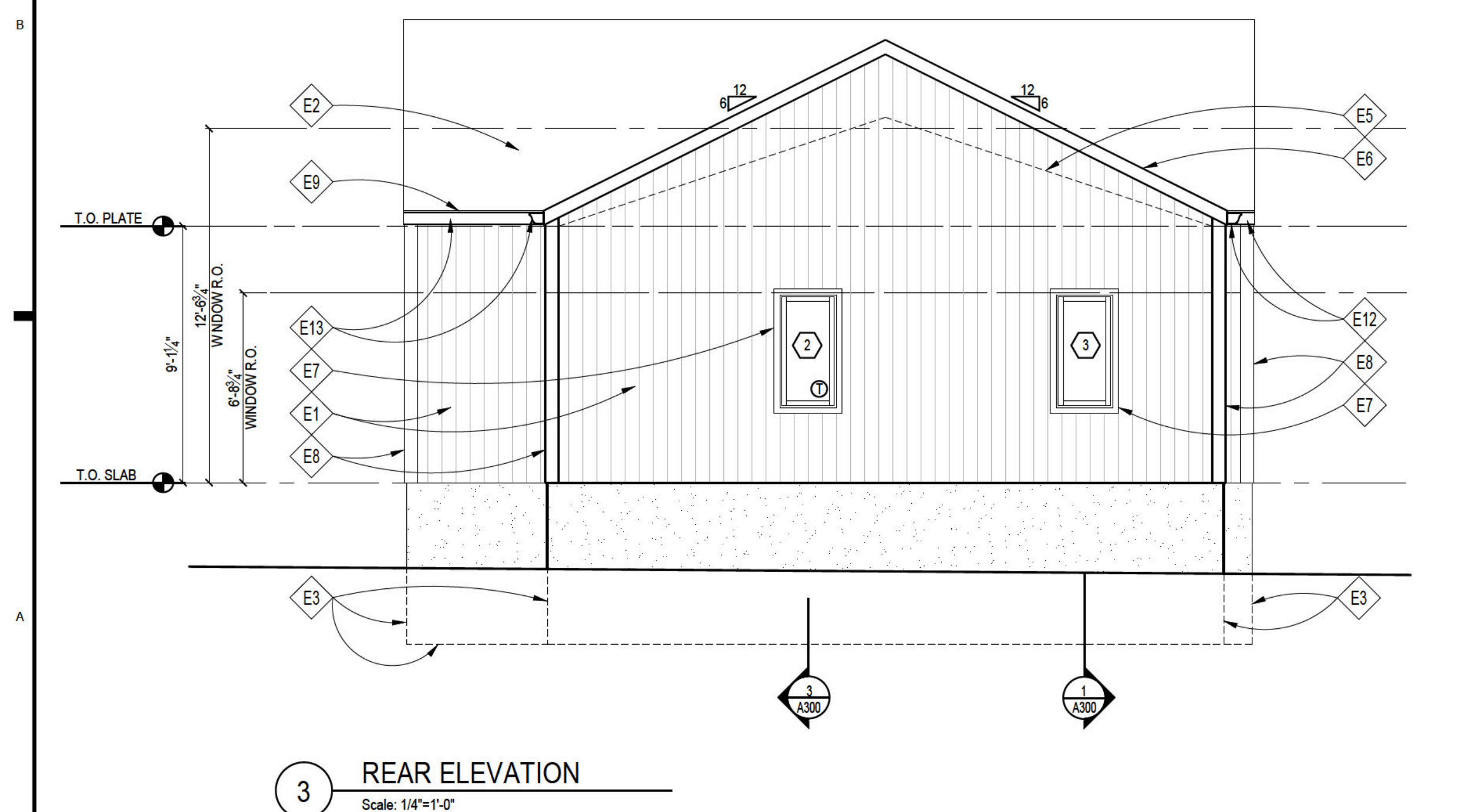
1. PROVIDE SELF-ADHER NG, 40 M L ICE AND WATER GUARD UNDERLAYMENT UNDER ROOF NG AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL L NE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12.
2. PROVIDE FLASHING FOR MIN. 8" EACH S DE OF ALL VALLEYS & PITCH CHANGES
3. DASHED LINE INDICATES OUTSIDE FACE OF EXTERIOR FRAME WALL BELOW



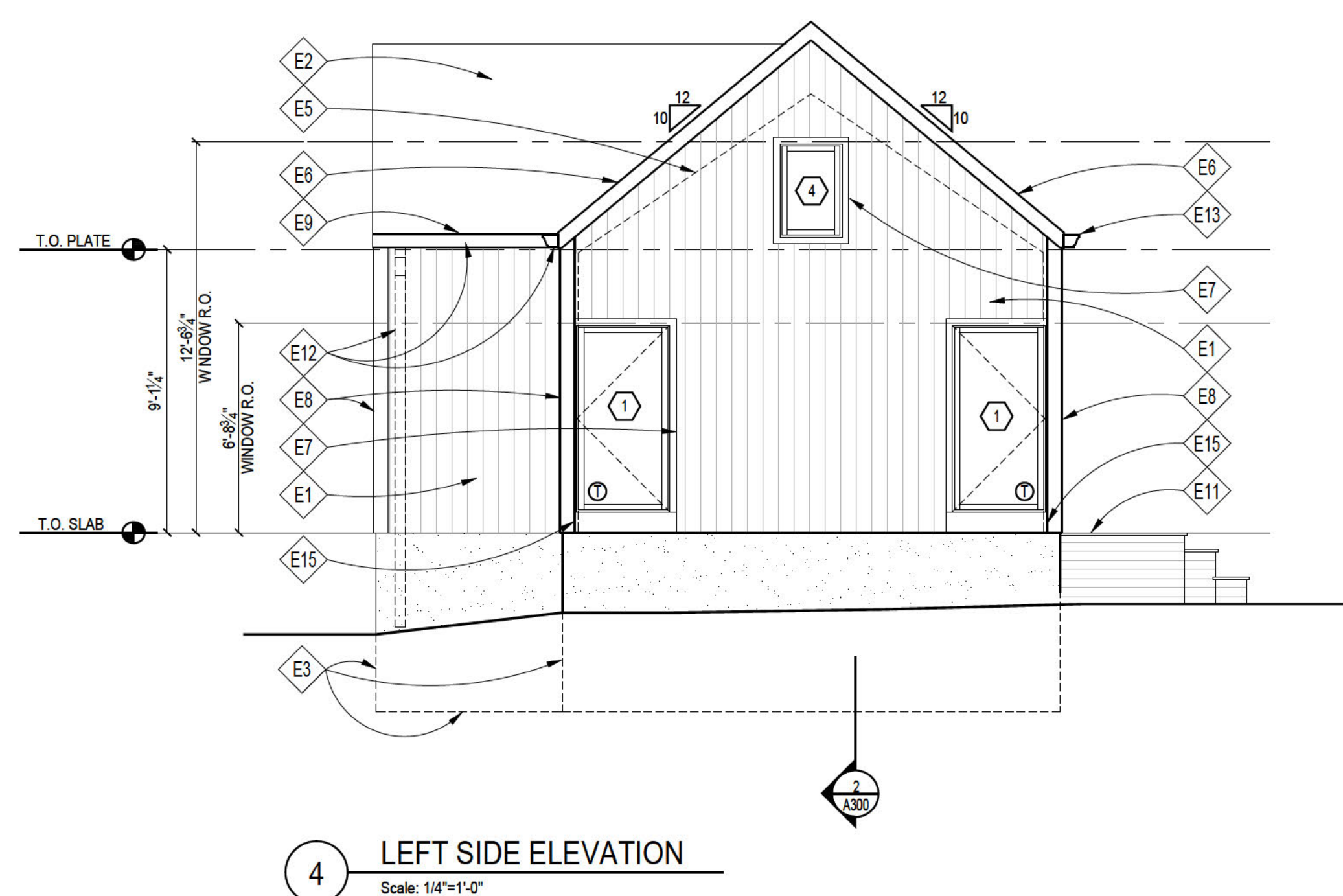
1 FRONT ELEVATION  
Scale: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION  
Scale: 1/4"=1'-0"



3 REAR ELEVATION  
Scale: 1/4"=1'-0"



4 LEFT SIDE ELEVATION  
Scale: 1/4"=1'-0"

ELEVATION NOTES

- E1 PAINTED VERSATEX WP4 1X8 NICKEL GAP VERTICAL SIDING
- E2 ROOF MATERIAL, SEE ROOF PLAN A102
- E3 DASHED LINE OF FOUNDATION WALL AND FOOTING, TYP. SEE FOUNDATION DRAWINGS FOR ADDITIONAL INFORMATION
- E4 MINI SPLIT A/C CONDENSER; GC TO COORDINATE W/ MECHANICAL CONTRACTOR
- E5 DASHED LINE OF VOLUME CEILING BEYOND
- E6 PTD. 5/4x8 PVC RAKE TRIM
- E7 PTD. 5/4x3 PVC WINDOW/DOOR TRIM
- E8 PTD. 5/4x6 PVC CORNER BOARD
- E9 PTD 1X8 PVC FASCIA TRIM
- E10 EXTERIOR SCONCES, T.B.S.; COORDINATE FINAL LOCATION WITH ELECTRICAL CONTRACTOR.
- E11 DECK BEYOND; SEE KEYNOTE 'C18/A100' FOR SPECS
- E12 GUTTER & DOWNSPOUT; SEE ROOF PLAN FOR SPECS
- E13 GUTTER; SEE ROOF PLAN FOR SPECS
- E14 DASHED LINES INDICATE LOCATIONS OF FUTURE SOLAR PANELS; PANELS TO BE INSTALLED IN AN ORGANIZED FASHION AS SHOWN. CONCEAL ALL CONDUIT AND INVERTERS IN ORDER TO LIMIT VISIBILITY OF SYSTEMS FROM PUBLIC WAY
- E15 PTD 5/4x PVC PANEL CUT TO FIT BELOW WINDOW SILL

\*NOTE:  
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD  
2. (T) = TEMPERED GLASS

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-3800  
(240)333-2001 FAX  
WWW.GTMARCHITECTS.COM



Seal

Consultant

Project  
**WEIL RESIDENCE**  
5808 SURREY STREET, CHEVY CHASE, MD 20815

Owner  
**MAYA WEIL**

Developer

HAWP SET	06-19-2024
Issue Description	Date

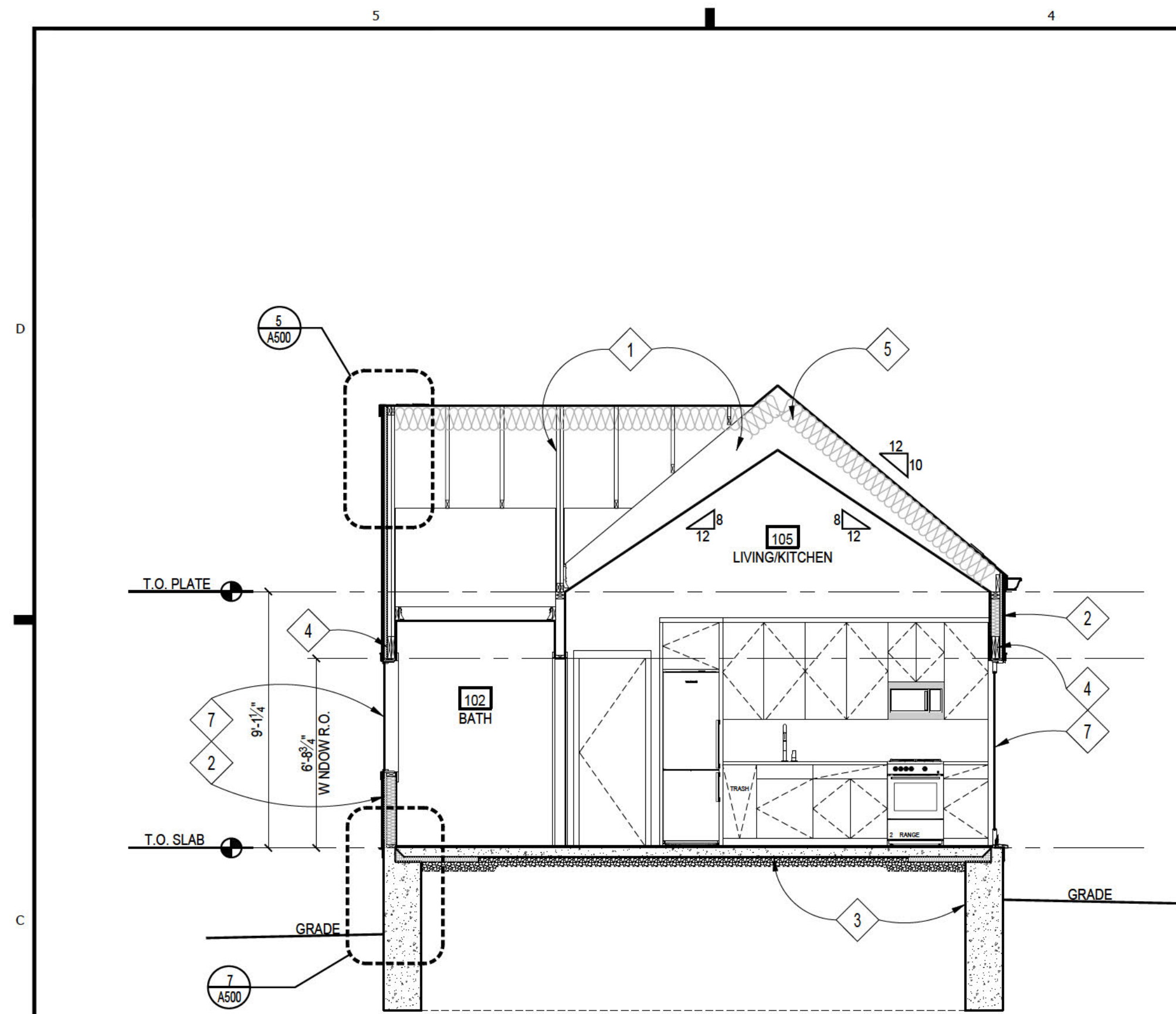
GTM Project No.	19.0597
Checked By	GTM/MEK
Drawn By	SOS/FSC
Scale	AS NOTED

Sheet Title  
**ELEVATIONS**

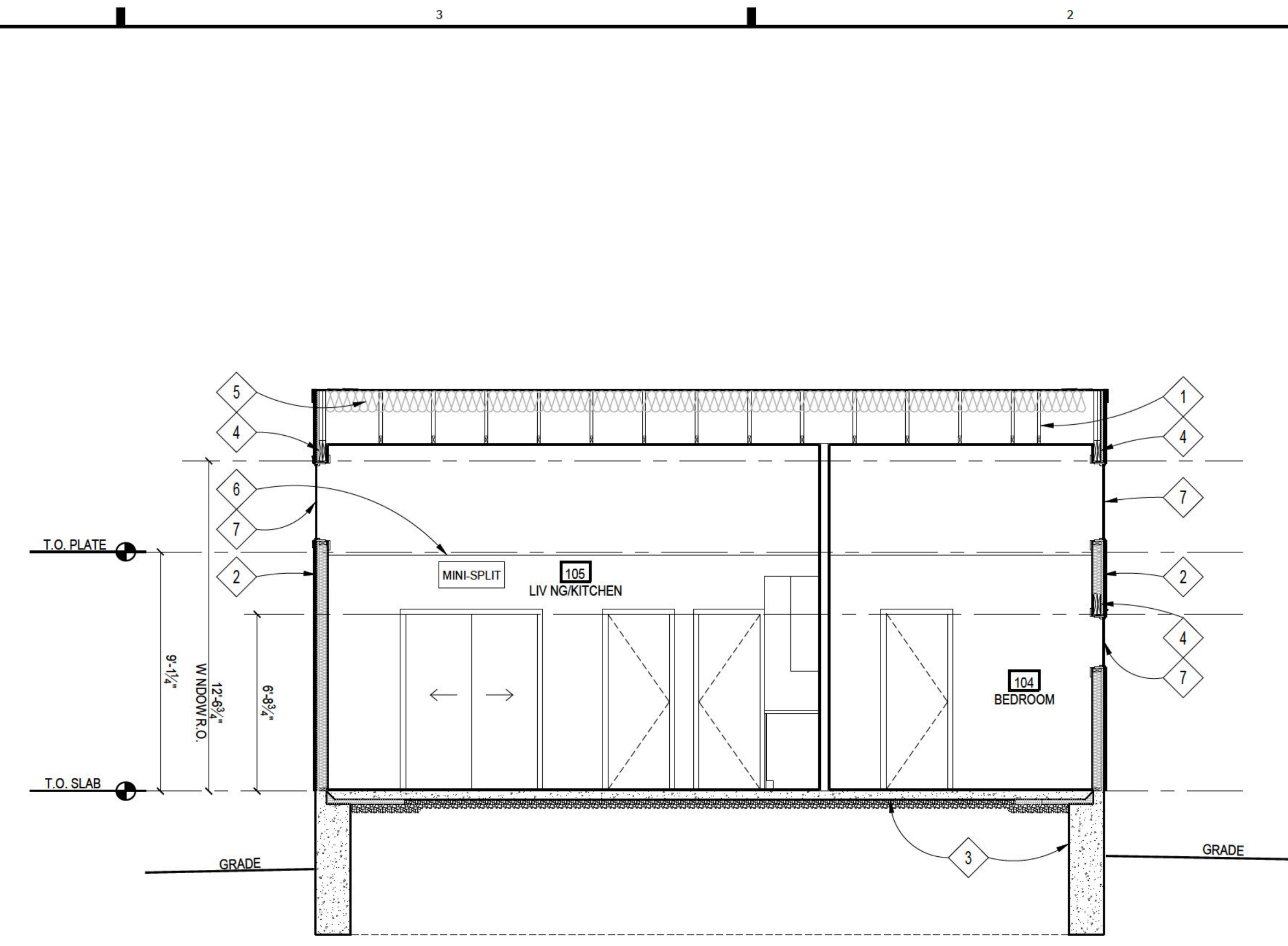
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**A200**

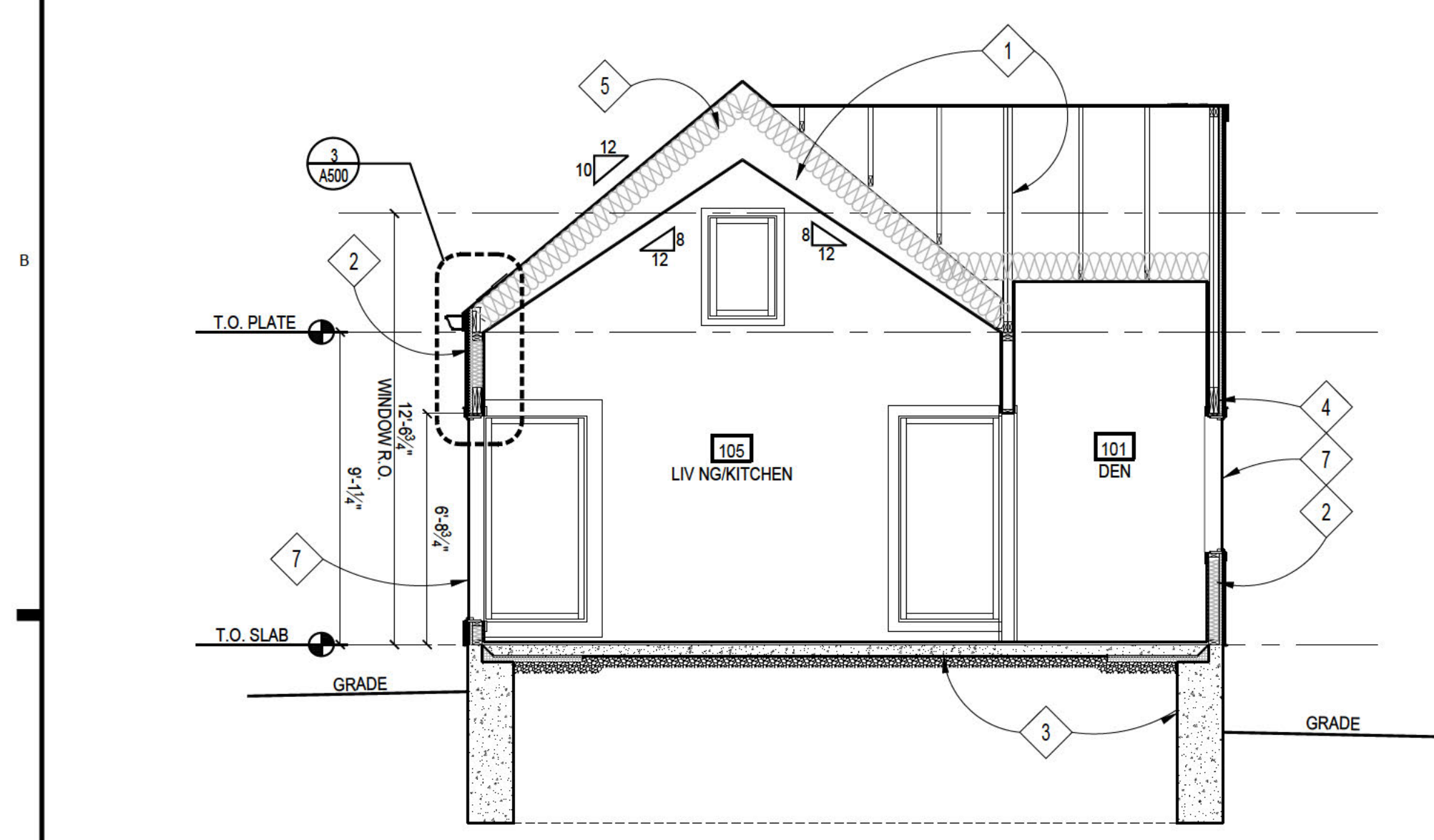
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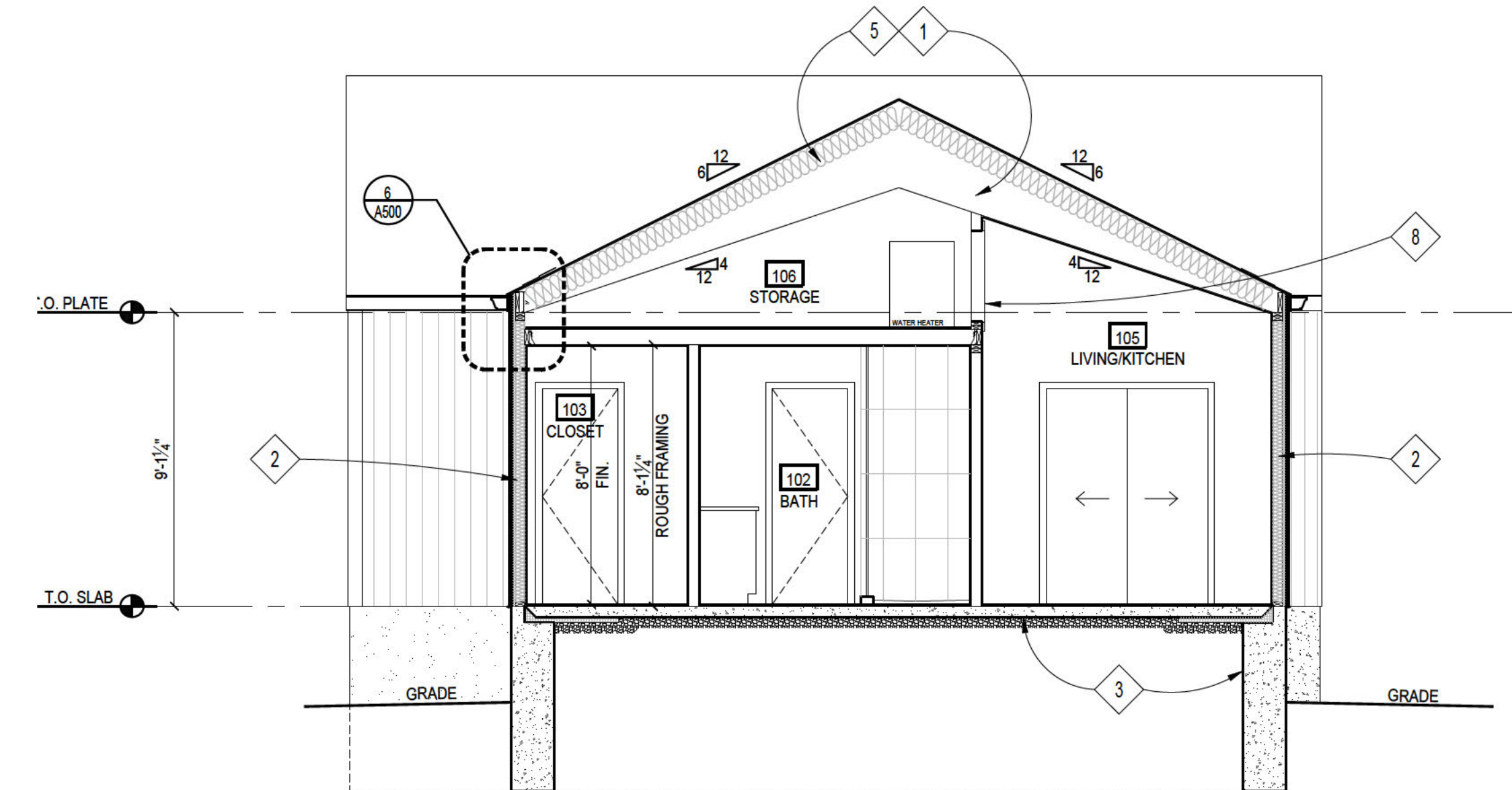
**1 BUILDING SECTION**  
Scale: 1/4"=1'-0"



**2 BUILDING SECTION**  
Scale: 1/4"=1'-0"



**3 BUILDING SECTION**  
Scale: 1/4"=1'-0"



**4 BUILDING SECTION**  
Scale: 1/4"=1'-0"

**SECTION NOTES**

- 1 ROOF TRUSS; SEE ROOF FRAMING PLAN
- 2 EXTERIOR WALL INSULATION AND FRAMING, SEE FLOOR PLANS
- 3 REINFORCED CONCRETE FOUNDATION SLAB; SEE FOUNDATION PLAN
- 4 HEADER; SEE FRAMING PLANS
- 5 INSULATION (SEE THERMAL ENVELOPE SHEET "EC001" FOR INSULATION INFORMATION)
- 6 LINE INDICATES EDGE OF WALL/CEILING BEYOND
- 7 SCHEDULED WINDOW / DOOR, SEE SHEET "EC001"
- 8 ATTIC ACCESS LADDER

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-3800  
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Seal

Consultant

Project  
**WEIL RESIDENCE**  
5808 SURREY STREET, CHEVY CHASE, MD 20815  
Owner  
**MAYA WEIL**

Developer

HAWP SET 06-19-2024  
Issue Description Date

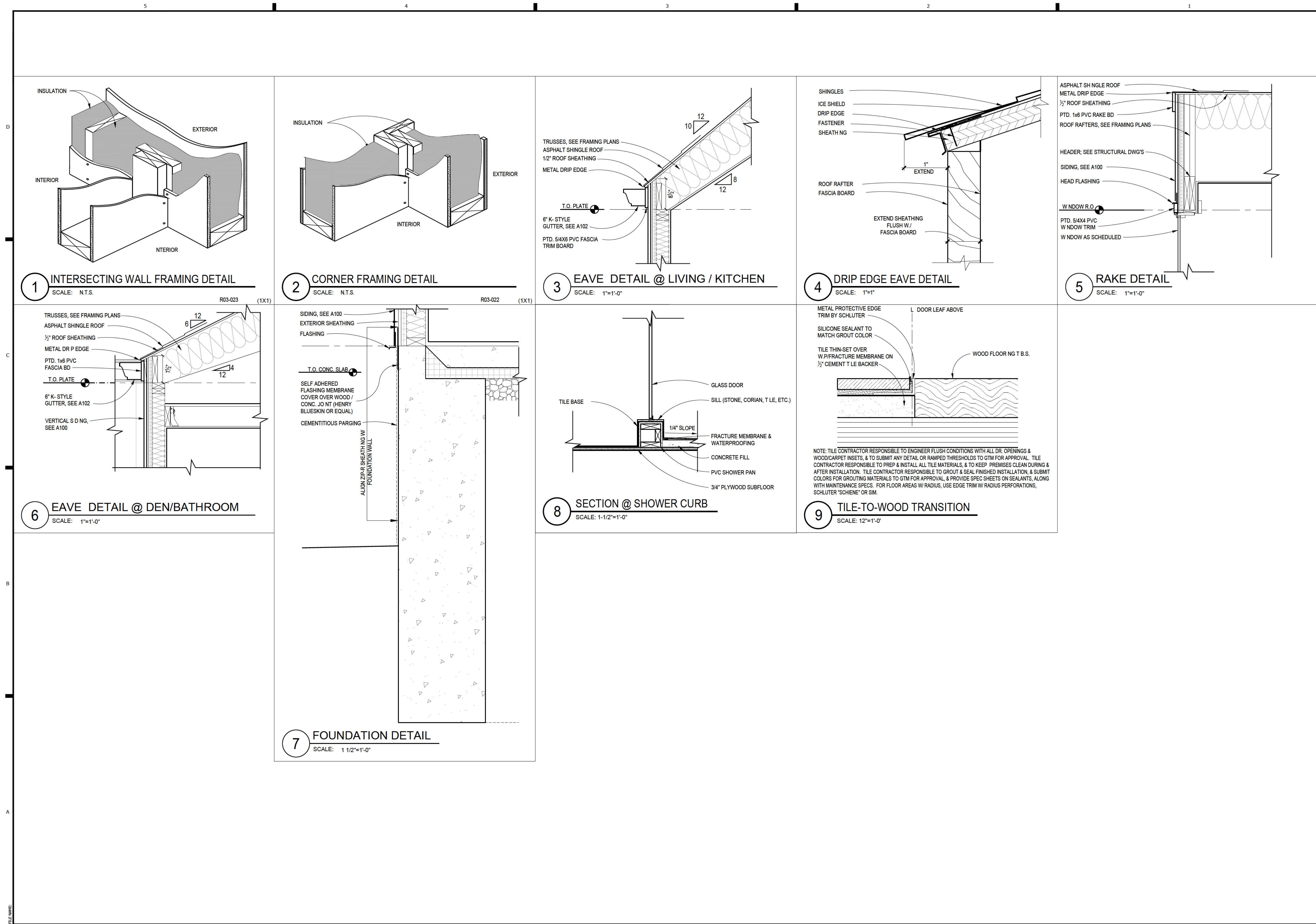
GTM Project No. 19.0597  
Checked By GTM/MEK  
Drawn By SOS/FSC  
Scale AS NOTED

Sheet Title  
**SECTIONS**

Sheet No.  
**A300**

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FILE NAME



GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-3800  
(240)333-2001 FAX  
WWW.GTMARCHITECTS.COM



Seal

Consultant

Project  
**WEIL RESIDENCE**  
5808 SURREY STREET, CHEVY CHASE, MD 20815  
Owner  
**MAYA WEIL**

Developer

HAWP SET 06-19-2024  
Issue Description Date

GTM Project No. 19.0597  
Checked By GTM/MEK  
Drawn By SOS/FSC  
Scale AS NOTED

Sheet Title  
**DETAILS**

Sheet No.  
**A500**

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# WHITE OR READY-TO-PAINT TRIM

## AZEK OFFERS STYLE-BASED SOLUTIONS

### Ready-to-Install Classic AZEK® Trim: Crisp, Bright White

The ultimate exterior matchmaker, AZEK Trim comes ready to install in brilliant white with two finish options (smooth and woodgrain) to complement and instantly elevate any surrounding. AZEK Classic Trim can be painted – but because paint is not required for a clean, finished look, installations go faster.



### Ready-to-Paint PaintPro Enhanced Trim: The Best Substrate for Paint

If your project requires painting trim, AZEK PVC Trim with PaintPro technology is the perfect choice. Ready to paint. No sanding. No priming. PaintPro Trim maintains the long-lasting, low-maintenance benefits of PVC trim while adding enhanced paintability. Paint bonds securely for lasting adhesion that resists splits, chips, and flakes.



\*PaintPro must be painted within 180 days of installation.  
Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.azekexteriors.com/products/trim/trim-boards/paintpro-trim)

# AZEK TRIM OUTPERFORMS WOOD TRIM

AZEK Trim is made from 100% engineered polymer to provide a durable, long-lasting building material that is far more resistant to the elements than wood. No sealants are needed on surfaces or cut ends; every inch of our trim is equally protected against moisture. With superior uniformity, durability, workability, beauty, and much more, AZEK PVC Trim is the better choice for exteriors than wood.

	AZEK PVC TRIM	WOOD TRIM
<b>UNIFORMITY</b>		
Square edges	★	★
No knots, no waste; every inch usable	★	
<b>DURABILITY</b>		
Will not rot, split, splinter, delaminate, warp, or swell excessively from moisture	★	
Impervious to moisture and insect-resistant	★	
Suitable for ground and masonry contact	★	
Lifetime limited warranty	★	
Handles easily without breakage	★	★
<b>WORKABILITY</b>		
Use standard woodworking tools	★	★
Safely milled, shaped, and molded without special safety equipment	★	★
Can be heat-formed	★	
Fasten close to edge without predrilling	★	
<b>BEAUTY</b>		
Readily accepts paint*	★	★
Can be crafted for unique applications	★	†
<b>EXTRAS</b>		
Available in trim boards, sheets, cornerboards, beadboard, and mouldings	★	
Special labor-saving solution profiles available	★	

★ ALL PRODUCTS MEET CRITERIA  
† SOME PRODUCTS MEET CRITERIA

\*PaintPro must be painted within 180 days of installation.  
Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.azekexteriors.com/products/trim/trim-boards/paintpro-trim).



GET FREE TRIM SAMPLES WITH  
PAINTPRO® TECHNOLOGY



### CLASSIC AZEK

Available in smooth or woodgrain finish

### PAINTPRO TECHNOLOGY

Reversible (one side smooth, one side woodgrain)



All AZEK Trim is long-lasting, moisture-resistant, and keeps its appearance with very little maintenance. Easily mill and router our trim, or heat form it before painting, for exquisite customized or curved applications. Classic AZEK Trim's brilliant white complements any exterior while AZEK Trim with PaintPro® was made to be painted.

## PROTECTIVE FILM KEEPS CLASSIC WHITE TRIM CLEAN

Classic AZEK Trim with protective film is available for smooth and woodgrain finishes. To ensure it looks as beautiful on your client's home as it does when it leaves our facilities, a protective film preserves AZEK Trim's crisp white semi-matte finish.

NOMINAL THICKNESS	NOMINAL WIDTH						
	4	5	6	8	10	12	16
5/4	SW	SW	SW	SW	SW	SW	SW
4/4	SW	SW	SW	SW	SW	SW	SW
5/8	SW	SW	SW	SW	SW	SW	SW



The film protects AZEK Trim through every production phase:

- Shipping
- Repackaging
- Installation
- Storage
- Handling

AZEK Trim with protective film should be kept dry prior to installation. Do not expose film to direct sunlight for extended periods. Protective film can be removed prior to, during, or immediately after installation.

## AZEK® TRIM

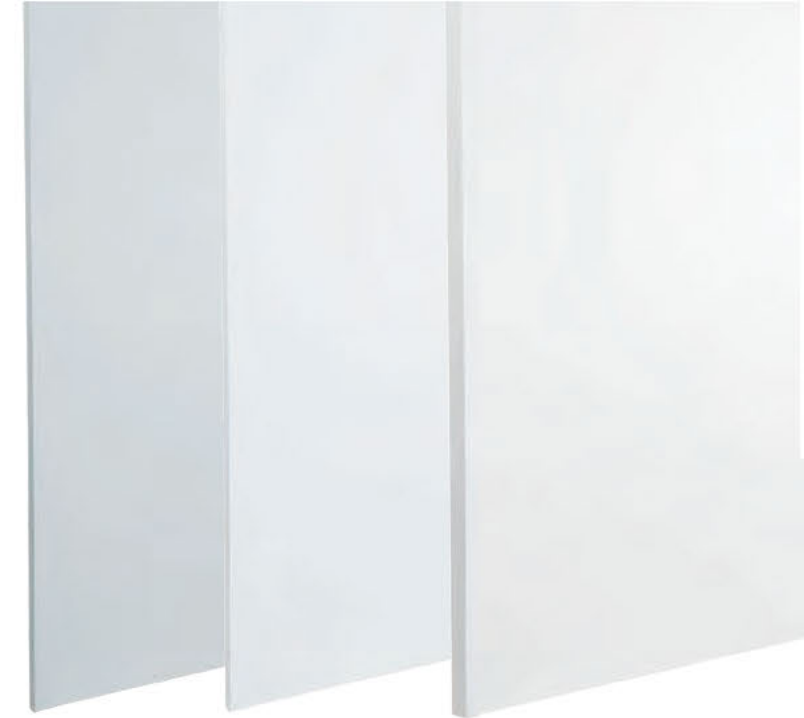
8/4 X THICKNESS		
NOMINAL	ACTUAL	18'
8/4 x 4	1 1/2" x 3 1/2"	S
8/4 x 6	1 1/2" x 5 1/2"	S
8/4 x 8	1 1/2" x 7 1/2"	S
8/4 x 10	1 1/2" x 9 1/2"	S
8/4 x 12	1 1/2" x 11 1/2"	S

6/4 X THICKNESS		
NOMINAL	ACTUAL	20'
6/4 x 4	1 1/2" x 3 1/2"	W
6/4 x 6	1 1/2" x 5 1/2"	W
6/4 x 8	1 1/2" x 7 1/2"	W
6/4 x 10	1 1/2" x 9 1/2"	W
6/4 x 12	1 1/2" x 11 1/2"	W

5/4 X THICKNESS					
NOMINAL	ACTUAL	12'	16'	18'	20'
5/4 x 4	1" x 3 1/2"	SW	P	SW	SW
5/4 x 5	1" x 4 1/2"	SW		SW	SW
5/4 x 6	1" x 5 1/2"	SW	P	SW	SW
5/4 x 8	1" x 7 1/2"	SW	P	SW	SW
5/4 x 10	1" x 9 1/2"	SW	P	SW	SW
5/4 x 12	1" x 11 1/2"	SW	P	SW	SW
5/4 x 16	1" x 15 1/2"	SW	P	SW	SW

4/4 X THICKNESS				
NOMINAL	ACTUAL	12'	16'	18'
1 x 2	3/4" x 1 1/2"		P	SW
1 x 3	3/4" x 2 1/2"		P	
1 x 4	3/4" x 3 1/2"	SW	P	SW
1 x 5	3/4" x 4 1/2"	SW		SW
1 x 6	3/4" x 5 1/2"	SW	P	SW
1 x 8	3/4" x 7 1/2"	SW	P	SW
1 x 10	3/4" x 9 1/2"	SW	P	SW
1 x 12	3/4" x 11 1/2"	SW	P	SW
1 x 16	3/4" x 15 1/2"	SW	P	SW

5/8 X THICKNESS		
ACTUAL	12'	18'
5/8" x 3 1/2"	SW	SW
5/8" x 5 1/2"	SW	SW
5/8" x 7 1/2"	SW	SW
5/8" x 9 1/2"	SW	SW
5/8" x 11 1/2"	SW	SW
5/8" x 15 1/2"	SW	SW



PaintPro Sheet Sheet ATM Sheet

## AZEK SHEET

Applications over 16" wide are easy with AZEK Sheet. Use Sheet for bay windows, dormers, and raised panels.

SHEET					
ACTUAL	8'	10'	12'	18'	20'
3/8" x 4'	SW	SW	S	S	
1/2" x 4'	SWP	SWP	SP	S	
5/8" x 4'	S	S	S	S	
3/4" x 4'	SWP	SWP	S	S	
1" x 4'	S	S	S	S	S

## AZEK-TO-MILL (ATM)

ATM's thick profile makes it an ideal material for fabrication. Its consistent density offers a superior product for milling operations.

AZEK-TO-MILL					
ACTUAL	8'	10'	12'	18'	20'
1 1/4" x 9 1/2"				S	
1 1/2" x 3 1/2"				S	
1 1/2" x 5 1/2"				S	
1 1/2" x 7 1/2"				S	
1 1/2" x 9 1/2"				S	
1 1/2" x 11 1/2"				S	
1 1/2" x 48" Sheet	S				
1 1/2" x 48" Sheet	S	S	S		S

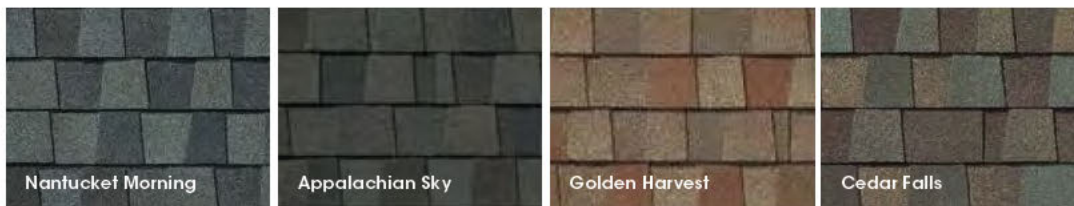
# Color Availability



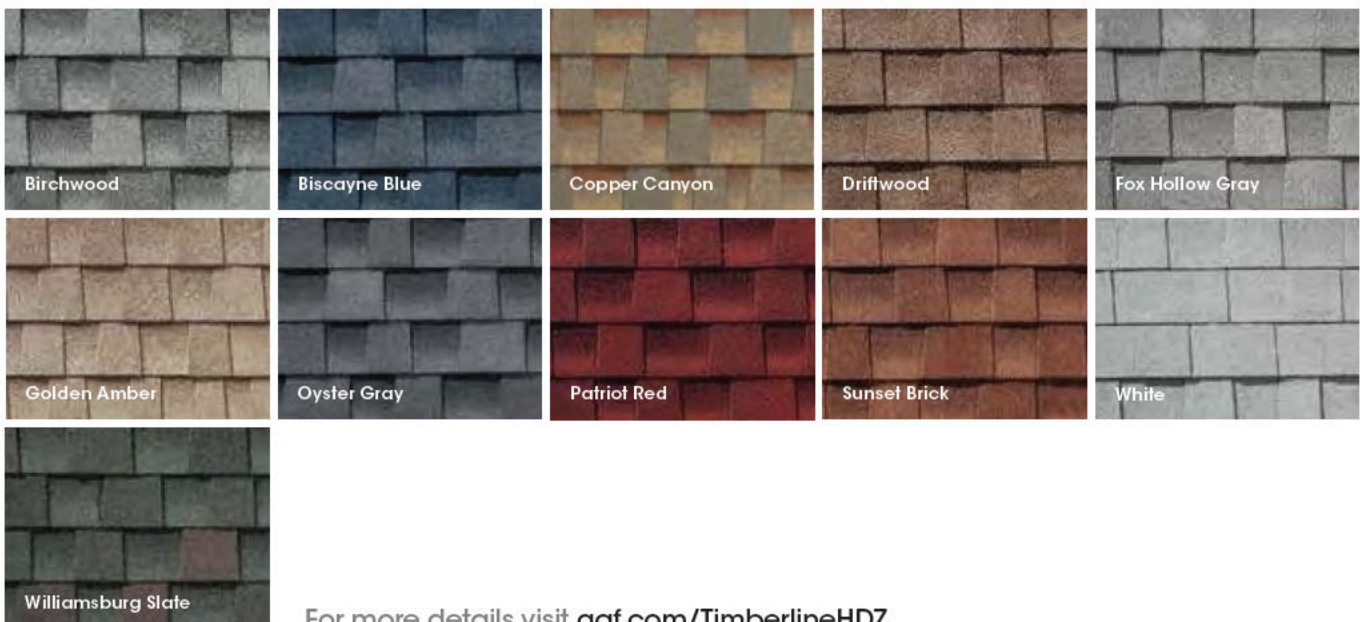
## Nationally Available Colors



## Harvest Blend Colors



## Regionally Available Colors (See next page for details.)



For more details visit [gaf.com/TimberlineHDZ](http://gaf.com/TimberlineHDZ)

# TimberTex® and TimberCrest® Premium Ridge Cap Shingles



Hip & Ridge Cap Shingles accentuate the natural beauty of your architectural shingle roof. They're the perfect finishing touch that helps defend against leaks at the hips and ridges. [gaf.com/ridgecaps](http://gaf.com/ridgecaps)



TimberTex® Premium Ridge Cap Shingles



TimberCrest® Premium SBS-Modified Ridge Cap Shingles

TimberTex® and TimberCrest® Premium Ridge Cap Shingles are designed to complement the color of your Timberline® Shingles. To ensure the closest color consistency for your roof, ask your contractor to use genuine TimberTex® or TimberCrest® Premium Ridge Cap Shingles.<sup>1</sup>

- Accentuate the beauty of your newly installed shingle roof
- Protect against leaks and blow-offs at the hip and ridge areas of your roof
- Complement the color of your GAF Shingles with hip and ridge cap shingles manufactured by GAF
- 25-year StainGuard Plus™ Algae Protection Limited Warranty<sup>2</sup> against blue-green algae discoloration uses GAF Time-Release Algae-Fighting Technology to help protect your ridge cap shingles from unsightly stains.

## Also available<sup>1</sup>



<sup>1</sup> These products are not available in all areas. See [gaf.com/ridgecapavailability](http://gaf.com/ridgecapavailability) for details.

<sup>2</sup> 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.



# Reeb Report



BUTLER WINDOW AND DOOR, INC.  
 3018 SHAWNEE DRIVE # 3  
 WINCHESTER VA 22601  
 540-931-5876



**Project Information (ID #8098498 Revision #12075393)** [Hide](#)

<b>Project Name:</b> makara	<b>Quote Date:</b> 04/11/2024
<b>Customer:</b>	<b>Submitted Date:</b>
<b>Contact Name:</b>	<b>PO#:</b> weil
<b>Phone (Main):</b>	
<b>Phone (Cell):</b>	<b>Sales Rep Name:</b> Howard Baker
<b>Customer Type:</b>	
<b>Terms:</b>	

**Delivery Information** [Hide](#)

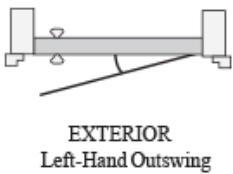
<b>Shipping Contact:</b>	<b>Comments:</b>
<b>Shipping Address:</b>	
<b>City:</b>	
<b>State:</b>	
<b>Zip:</b>	

**Unit Detail** [Hide All Configuration Options](#)

**Item:** 0001: Ext 36" x 80" S2000-LE LHO 6 9/16" FrameSaver **Location:** **Quantity:** 1



Smooth Star 36"x80" Single Door



EXTERIOR  
Left-Hand Outswing

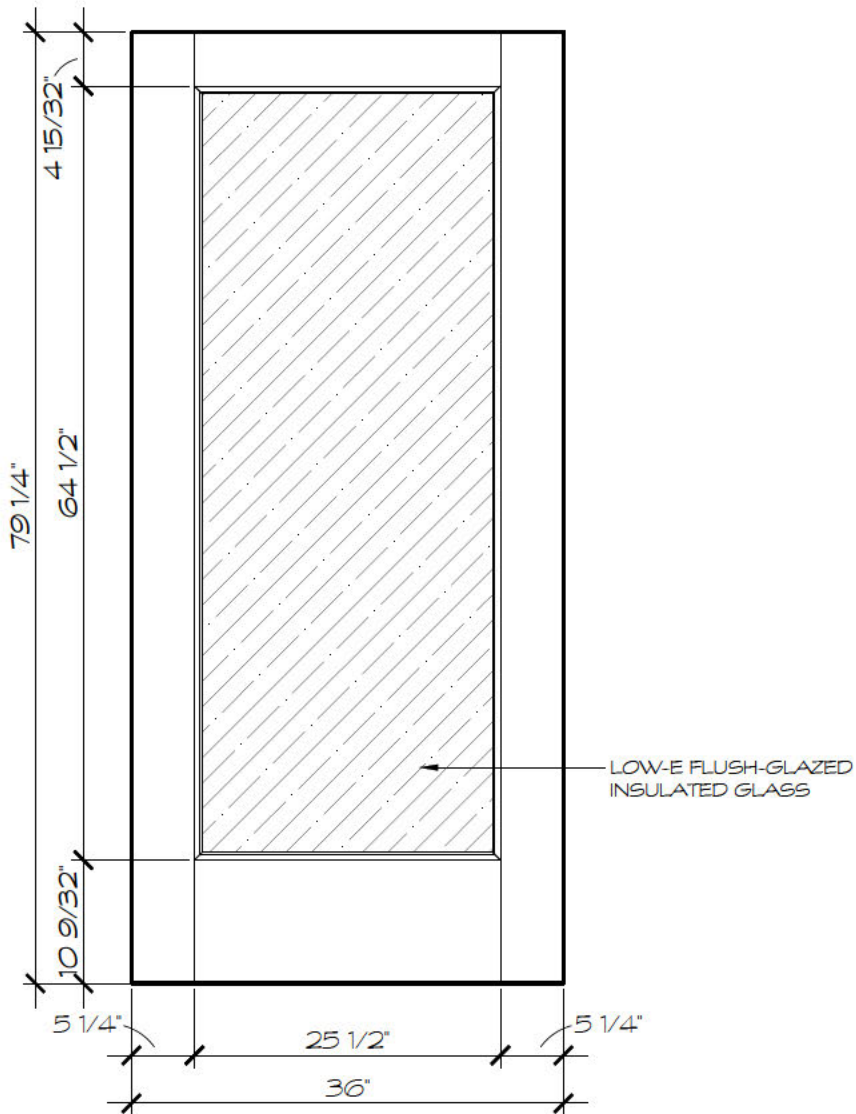
**Configuration Options** [Hide](#)

Ext Smooth Star Single Door 36" x 80" S2000-LE (Clear), 6 9/16" FrameSaver, Left Hand Outswing, Black Nickel NRP Hinges, Bronze Finish w Dark Cap Composite Outswing Sill, Bronze Compression Weatherstripping, Double Lock Bore 2-3/8" Backset Bore, Strike Prep

**Rough Opening:** 38 1/2" x 81 5/8"  
**Total Unit:** 37 5/8" x 81 1/8" (Includes Exterior Casing)

**Unit Summary** [Hide](#)

Item	Description	Quantity
		25



**DOOR DETAIL**

SCALE: 3/4" = 1'-0"

S2000-LE

**NOTE:**

DRAWING DEPICTED AS VIEWED FROM EXTERIOR  
 STICKING IS NOT INCLUDED IN STILE & RAIL DIMENSIONS  
 DRAWINGS ARE FOR GENERAL REFERENCE ONLY AND  
 MAY NOT BE BUILT TO THE EXACT DETAIL SHOWN

DOOR: S2000



PROPOSED DOOR UNIT FOR  
**REEB MILLWORK CORP.**  
 1000 MALONEY CIRCLE  
 BETHLEHEM, PENNSYLVANIA 18015  
 JOB:

DWG. #S2000-3068

DATE: 5/31/2023

DRAWN: K. CECI

1000 MALONEY CIRCLE  
 BETHLEHEM, PA 18015  
 OFFICE: 610-867-6160  
 WEB: WWW.REEB.COM



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## Next Dimension Signature Direct Set & Radius

### Features and Benefits

- Thick, multi-chambered extrusions add strength and decrease air infiltration
- Air spaces in chambers provide for superior energy efficiency
- 3-1/4" frame width; integral, rigid, punched nail fin for easy installation
- Fusion-welded frame for strong, leak proof construction
- Integral weep system for sleek appearance; no flaps, sponges or

### Sizes

Available in hundreds of custom sizes and shapes

### Glazing

- Windsor Glazing System provides double pane insulated glass; Clear, Low E 366 glass standard; tinted, textured, obscure and laminated glass available
- Custom and special glass types available
- Super Spacer® technology provides excellent thermal performance and sound absorption\*
- Hot melt butyl secondary seal creates a moisture and gas barrier for improved durability and longevity

### Colors

- Available in standard white or clay, with seven additional exterior colors to choose from
- Interior black available on black laminated

### Performance Ratings

For current performance ratings, visit our website at [windsorwindows.com](http://windsorwindows.com) and click on "Professional Information" in the menu bar



\*Certain sizes, shapes or glazings may be alternate IGU system

\*\*See Next Dimension warranty for more details



# Next Dimension Signature Casement & Awning

## Features and Benefits

- Thick, multi-chambered extrusions add strength and decrease air infiltration
- Air spaces in chambers provide for superior energy efficiency
- 3-1/4" frame width; integral, rigid, pre-punched nail fin for easy installation
- Fusion-welded frame and sash for strong, leakproof construction
- Integral weep system for sleek appearance; no flaps, sponges or screens
- Easy-to-remove full screen with unique plunger-type engagement

## Sizes

Available in hundreds of standard and custom sizes

## Glazing

- Windsor Glazing System provides 3/4" double pane insulated glass; Cardinal® LoE 366 glass standard; tinted, tempered, obscure and laminated glass available
- Custom and special glass types available
- Super Spacer® technology provides excellent thermal performance and sound absorption\*
- Hot melt butyl secondary seal creates a moisture and gas barrier for improved durability and longevity

## Colors

- Available in standard white or clay, with seven additional painted exterior colors to choose from
- Interior black available on black painted exterior units

## Grilles

- 3/4" Profiled Inner Grille
- 5/8" and 7/8" Putty WDL

## Hardware

Encore folding nesting crank and cover by Truth® available in white, clay or black

## Warranty

Lifetime Limited Warranty\*\* 10-year warranty on glass

## Performance Ratings

For current performance ratings, visit our website at [windsorwindows.com](http://windsorwindows.com) and click on "Professional Information" in the menu bar



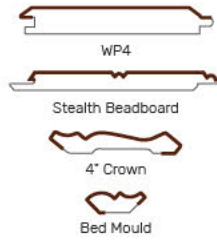
\*Certain sizes, shapes or glazings may be alternate IG system

\*\*See Next Dimension warranty for more details



### Canvas Series

Profile	Actual Size	16'	18'
WP4	3/4" x 5 1/2"	•	•
Stealth Bead	1/2" x 6"	•	•
4" Crown	9/16" x 3 5/8"	•	•
Bed Mould	9/16" x 1 3/4"	•	•



### VERSAWRAP

Nominal	Actual Inside	Actual Outside
4 x 4 x 8'6"	3 3/4" x 3 3/4" x 8'6"	4 3/4" x 4 3/4" x 8'6"
4 x 4 x 10'	3 3/4" x 3 3/4" x 10'	4 3/4" x 4 3/4" x 10'
6 x 6 x 8'6"	5 3/4" x 5 3/4" x 8'6"	6 3/4" x 6 3/4" x 8'6"
6 x 6 x 10'	5 3/4" x 5 3/4" x 10'	6 3/4" x 6 3/4" x 10'
8 x 8 x 8'6"	8 1/2" x 8 1/2" x 8'6"	9 1/2" x 9 1/2" x 8'6"
8 x 8 x 10'	8 1/2" x 8 1/2" x 10'	9 1/2" x 9 1/2" x 10'
12 x 12 x 12'	9 3/4" x 9 3/4" x 12'	11 1/4" x 11 1/4" x 12'

- Special 10" Classic wraps available (minimum quantities apply)
- All 4", 6" and 8" VERSAWRAPs are made from actual 1/2" thick VERSATEX; 12" wraps are made from actual 3/4" thick VERSATEX
- Raised Panel wraps available in all 6" x 6" and 8" x 8" profiles
- Raised Panels start 16 1/2" from bottom with a railing gap from 30 3/4" to 30 1/2"; Clearance above top panel measures 8 3/4"
- Painting of Raised Panel wraps is recommended for best aesthetic results and to prevent dirt accumulation where panels are milled into product



### Tapered VERSAWRAP

Actual	5'	6'
12" base - 8" cap	•	•
16" base - 12" cap	•	•

- Fastening angles and 3 1/2" decorative accent wrap pieces are included for the cap and base of each Tapered column



### Accent Wrap

Nominal	Actual Inside Dimension
4 x 4 x 10	4 3/4" x 4 3/4" x 10"
6 x 6 x 10	6 3/4" x 6 3/4" x 10"
8 x 8 x 10	9 1/2" x 9 1/2" x 10"
4 x 4 x 10'	4 3/4" x 4 3/4" x 10'

- Nominal 10 x 10 x 10' Accent Wraps are available in "UNIT" quantities
- Add 1" to inside dimensions to calculate outside measurements



### WHY VERSATEX?

Innovative, practical solutions for a sustainable future.

VERSATEX Building Products are manufactured from cellular PVC, which is impervious to insects and moisture and capable of below-grade installation. Our product formula ensures VERSATEX maintains its bright white color and is dense enough to use the same cutting tools & fasteners one would with a traditional product. These factors and more create an ideal solution for moisture-sensitive areas, including those along coastal zones or regions affected by salt and high humidity.

Warping, fading, cupping, or splitting is now a thing of the past – just a building product with high aesthetic value backed by an industry-best, lifetime, fully transferable, non-prorated warranty.

A big "thank you" to the builders whose craftsmanship is featured in this brochure.



A product of VERSATEX Building Products,  
400 Steel Street | Aliquippa, PA 15001  
724.857.1111 | versatex.com

11404 05/22

Product images are for illustration purposes and can be changed at any time without notice.



### SOFFIT SYSTEM

Actual	18' Vented	18' Solid
1/2" x 12"	•	•
1/2" x 16"	•	•
1/2" x 24"	•	•

- Custom lengths available in "Smartpack" quantities
- Available in smooth finish only

Product	Nominal	Actual	18' Smooth	18' Timber Ridge
Notched Fascia	1 x 8	3/4" x 7 1/4"	•	•
Frieze Board	5/4 x 6	1" x 5 1/2"	•	•

- Custom lengths and widths available in "Smartpack" quantities



# PRESSURE TREATED DECKING BOARDS

Knock the ugly off your backyard. Step up to high-quality YellaWood® brand products.

There's nothing quite like the natural beauty of a wood deck. And there's nothing quite like YellaWood® brand products—the best available protection against rot, fungal decay and termite attack. When it comes to sheer variety of deck boards, from thickness and width to grade, and specialty treatment, we have more options than you can shake a 2x6 at.

[Read Less ^](#)

Pressure treated decking can be used for various parts of the overall project, such as:

- Deck substructure
- Hand Rails
- Balusters
- Spindles
- Posts
- Stairs and runners
- Trim

There's no better way to extend the living space of your home beyond those pesky walls than by building a wood deck. What's more, few other home improvement projects provide as much ROI as a wood deck.

Find inspiration, building tips, and ideas for your next project.

[DOWNLOAD THE BOOK](#)

[Find a Dealer](#)

[FIND A DEALER NEAR YOU](#)

## BENEFITS

- Proven long-term protection against rot, fungal decay, and termite attack
- Lighter, more natural appearance
- Broad offering of grades, sizes, and treatments
- Budget-friendly
- May be placed in direct contact with aluminum building products
- Lifetime limited warranty

## AVAILABILITY

- Thicknesses: 5/4" and 2"
- Widths: 4" and 6"
- Grades: Standard, Premium (5/4"); #1, #2 Prime, #2 (2"), C&BTR
- Lengths: 8'-24'
- Profiles: Bullnose, Radius Milled Edges, Square Edges
- Specialty Treatments: Water Repellent, KDAT

*Product availability varies by region.*

## RESOURCES



[Sealing, Painting & Staining](#)



[Care & Maintenance](#)



[Fastener Information](#)

# BERGER GUTTER

## K-STYLE GUTTER



### MATERIALS:

Aluminum - Painted,  
Aluminum - Mill Finish,  
Copper,  
Steel - Galvanized,  
Steel - Painted Galvanized  
Steel - Paint Grip

### STYLES:

Hemback,  
Hi-Back (45°),  
Apron (90°),  
Straight Back

### LENGTHS:

10', 16', 20', 21', 26', 30', 32'  
(also available in non-  
standard lengths)

### THICKNESS:

Aluminum - .024, .027, .032  
Copper - 16oz, 20oz  
Steel - 24ga, 26ga, 28ga

## HALF ROUND GUTTER



### MATERIALS:

Aluminum - Painted,  
Aluminum - Mill Finish,  
Copper,  
Copper - FreedomGray™,  
Steel - Galvanized,  
Steel - Paint Grip

### STYLES:

Single Bead,  
Single Bead w/ 1" Flange,  
Double Bead,  
Reverse Bead

### LENGTHS:

10', 16', 20', 21', 26', 30', 32'  
(also available in non-  
standard lengths)

### THICKNESS:

Aluminum - .024, .027, .032  
Copper - 16oz, 20oz  
Steel - 24ga, 26ga, 28ga



# DOWNSPOUTS



## PLAIN ROUND DOWNSPOUT

### MATERIALS:

Aluminum - Painted, Aluminum - Mill Finish, Copper,  
Copper - Freedom Gray™, Steel - Galvanized,  
Steel - Paint Grip, Steel - Galvalume, Steel - Stainless

### LENGTHS:

10'

### THICKNESSES:

Aluminum - .019, .024  
Copper - 16oz, 20oz  
Steel - 24ga, 26ga, 28ga, 30ga



## ROUND CORRUGATED DOWNSPOUT

### MATERIALS:

Aluminum - Painted, Aluminum - Mill Finish, Copper,  
Copper - Freedom Gray™, Steel - Galvanized,  
Steel - Paint Grip, Steel - Stainless

### LENGTHS:

10'

### THICKNESSES:

Aluminum - .019, .024  
Copper - 16oz, 20oz  
Steel - 24ga, 26ga, 28ga, 30ga



## PLAIN SQUARE DOWNSPOUT

### MATERIALS:

Copper

### LENGTHS:

10'

### THICKNESSES:

16oz



## SQUARE CORRUGATED DOWNSPOUT

### MATERIALS:

Aluminum - Painted, Aluminum - Mill Finish, Copper,  
Steel - Galvanized, Steel - Paint Grip,  
Steel - Painted Galvanized

### LENGTHS:

10'

### THICKNESSES:

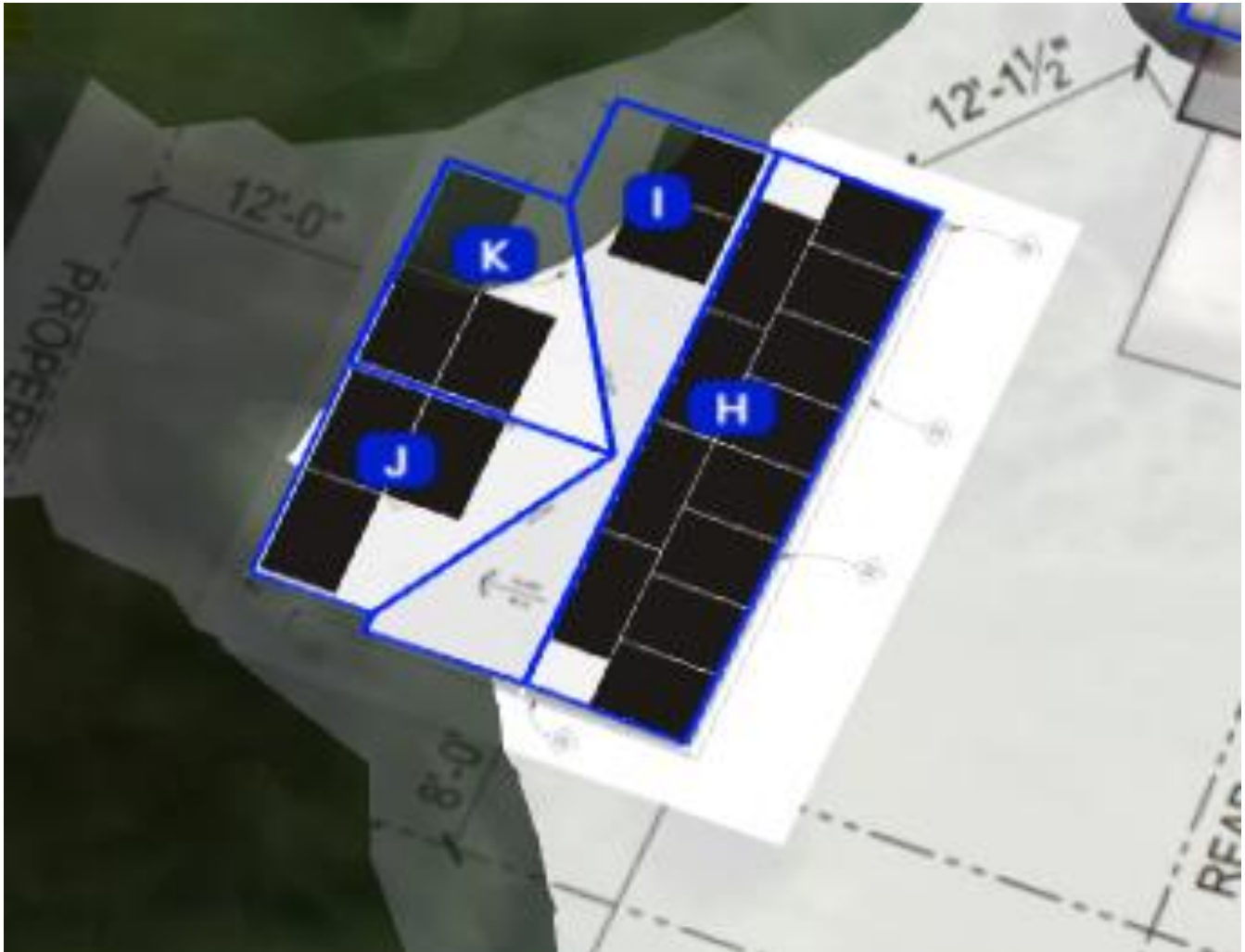
Aluminum - .016, .019, .024  
Copper - 16oz, 20oz  
Steel - 24ga, 26ga, 28ga



Solar Energy Services, Inc.

# *Solar Design and Proposal*

*A Customized Solution*



Maya Residence

DC



# PRODUCTION FACTORS

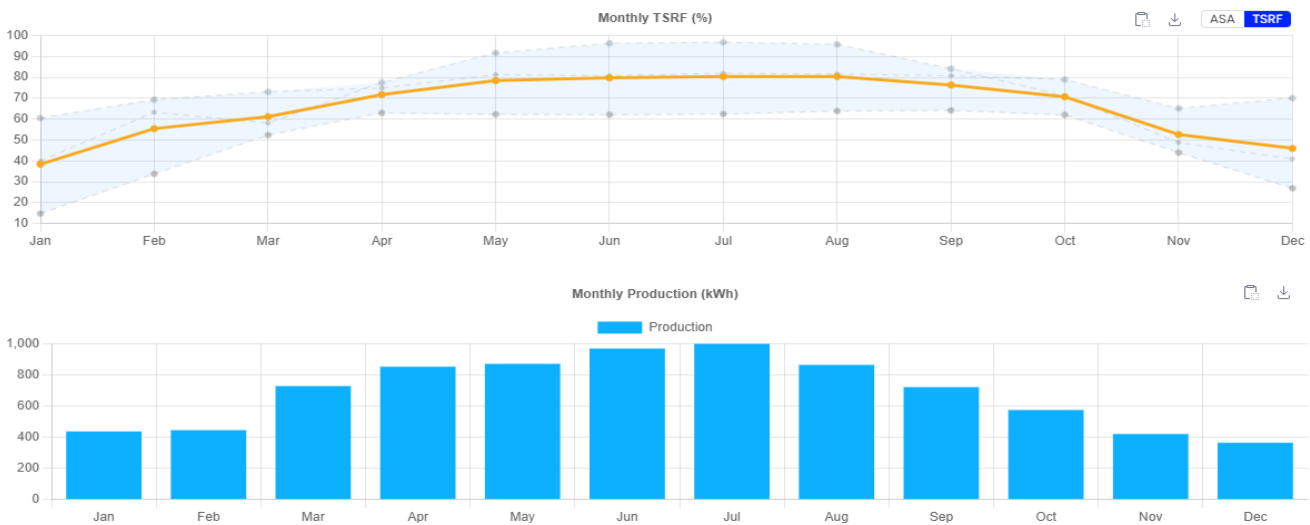
Maya Residence  
5808 Surrey St  
Chevy Chase, MD 20815

[mavaweil@compuserve.com](mailto:mavaweil@compuserve.com)

Lisa Walsh  
1514 Jabez Run, #103  
Millersville, MD 21108  
443-253-6941  
[lisa@solarsaves.net](mailto:lisa@solarsaves.net)

System Size (kW DC)	8.500
Estimated Solar (Year 1, kWh AC)	8,242
Estimated Energy Offset - <i>estimate only no historical usage</i>	33%

Below Is The Estimated Year 1 Production of Solar Energy (kWh AC) By This System:



\*The above numbers are estimated production & offset values only and *are not any form of guaranteed production numbers post-installation* .

*Sunshine's A Wastin'*

MHIC #93756  
NABCEP Certified Installers



Solar Energy Services, Inc.

# SOLAR SUMMARY

System Size (kW DC)	8.500
Estimated Solar (Year 1, kWh AC)	8,242
Estimated Energy Offset - <i>estimate only no historical usage</i>	33%

<b>Investment &amp; Warranty</b>	<b>Technical Overview</b>
----------------------------------	---------------------------

Purchase Price	\$ 29,228.00	Solar Modules	20
Federal Tax Credit (30%)	\$ 8,768.40	Panel Type	Q-Cells Q.Tron 425 Watt Panels
MEA Grant (Only in Maryland)	\$ -	# of Inverters	20
Est. County Credit (Where Applicable)*	\$ -	Inverter 1	Enphase IQ8M Microinverters
Storage Credit (Estimated)*	\$ -	Inverter 2	Enphase IQ Combiner 5 - Cellular
<b>Net Cost After Incentives</b>	<b>\$ 20,459.60</b>	Inverter 3	-
Workmanship Warranty (SES)	<b>10 yrs</b>	Battery	-
Solar Panel Warranty	<b>25 yrs</b>	Est. Yr 1 Solar (kWh)	8,242
Inverter Warranty	<b>25 yrs</b>	Electric Usage Offset	33%

<b>Utility Information</b>	<b>Return on Investment</b>
----------------------------	-----------------------------

Utility Company	Pepco	Util.Savings (25 Yr)	\$45,629.64
Avg. Annual Elec. Usage (kWh)	25,000	SREC Income (Est.)	\$40,717.87
Assumed Yearly Utility Increase	3%	Lifetime ROI	422%

Estim. Utility Savings over 25 yrs: \$45,629.64

Portion of project covered by incentives: 30.0%

*Sunshine's A Wastin'*

# SOLAR PROPOSAL

We propose to furnish and install the following solar system items (components):

TYPE	QUANTITY	PRODUCT NAME
System Size (kW)	8.500	Grid-Tied Residential Solar Energy System
Racking	1	SnapNrack UltraRail Roof Mount System (Black)
Panels	20	Q-Cells Q.Tron 425 Watt Panels
Carport	1	10 panel Solar Carport
Inverter #1	20	Enphase IQ8M Microinverters
Inverter #2	1	Enphase IQ Combiner 5 - Cellular
Inverter #3	-	-
Ext Warranty	-	-
EV Charger Add-on	-	-
Back-Up Interface	-	-
Battery	-	-
Critter Guard	1	Array Edge Screen
Trenching	-	-
System Monitoring	1	Includes Real-Time System Monitoring

## OTHER CONDITIONS:

- All additional wiring, disconnects, circuit breakers, permits, inspections and equipment are included by SES to create a fully-commissioned system.
- System shall be designed and installed to meet the requirements of state and county code and grant requirements.
- All trenching and associated conduit/wire run is EXCLUDED and subject to site visit**

**Purchase Price** valid until: **6/29/2024** **\$29,228.00**

\*A 3.5% fee added for all cards Estimated monthly finance payment ---> -

## PAYMENT TERMS AND PROJECT TIMELINE

- Payment terms: if not being financed, payment terms are 30% due upon sign-off, 40% due upon start of work by SES, and the final 30% due upon completion of the installation by Solar Energy Services, Inc.; if financed, payment schedule to be provided by the finance company.
- Work to start approximately 12-14 weeks from the latter of either contract signature or receipt of down payment and SES installation will be substantially complete within two (2) weeks of the start
- I have been offered the option to install the **Critter Guard Pest Barrier** (array screen) add-on for my

**PRESENTED BY: SOLAR ENERGY SERVICES, INC. | MHIC LICENSE # 93756**

Homeowner/Authorized Agent 1 Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Homeowner/Authorized Agent 2 Signature \_\_\_\_\_ Date \_\_\_\_\_  
 SES Signature (Owner/Manager) \_\_\_\_\_ Date \_\_\_\_\_



Solar Energy Services, Inc.

# PROJECT PAYMENT SCHEDULE

System Size (kW DC)	8.500
Estimated Solar (Year 1, kWh AC)	8,242
Estimated Energy Offset	33%
Estimated Project ROI	422%

**Below is the Payment Schedule for This Project:**

<b>PAYMENT #1: DEPOSIT</b> 30%	<b>\$8,768.40</b>
<b>PAYMENT #2: START OF WORK</b> 40%	<b>\$11,691.20</b>
<b>PAYMENT #3: COMPLETION OF INSTALL</b> 30%	<b>\$8,768.40</b>
<b>TOTAL PROJECT PRICE (COMBINED PAYMENTS)</b>	<b>\$29,228.00</b>

Longest-running solar service department in the region!  
 Angie's List Super Service Award Winners 2017-2023!  
 2021 Winner of *Best of Annapolis* & *Best of Eastern Shore*

*Sunshine's A Wastin'*



Solar Energy Services, Inc.

# SYSTEM MONITORING

System Size (kW DC)	8.500
Estimated Solar (Year 1, kWh AC)	8,242
Estimated Energy Offset	33%

Track system production and consumption, control EV charging, and manage battery levels, ALL in one app—a powerful and intelligent companion to the Enphase Energy System.

## ENPHASE APP



Get data from each solar panel by day, month, year, or enter a custom range.



Know your energy system vitals in real-time.



View your energy production and consumption over time.



Seamlessly disconnect your home from the utility grid at the tap of a button.



Choose which appliances to back up and prioritize in the event of an outage.



Contact customer support and troubleshoot your system directly in the Enphase App.



Get alerts about extreme weather events so you can prepare the home to stay powered during an outage.



Sell surplus electricity back to your utility provider for cash or credit on your bill.\*



Smart settings automatically optimize backup power, energy savings, or both.

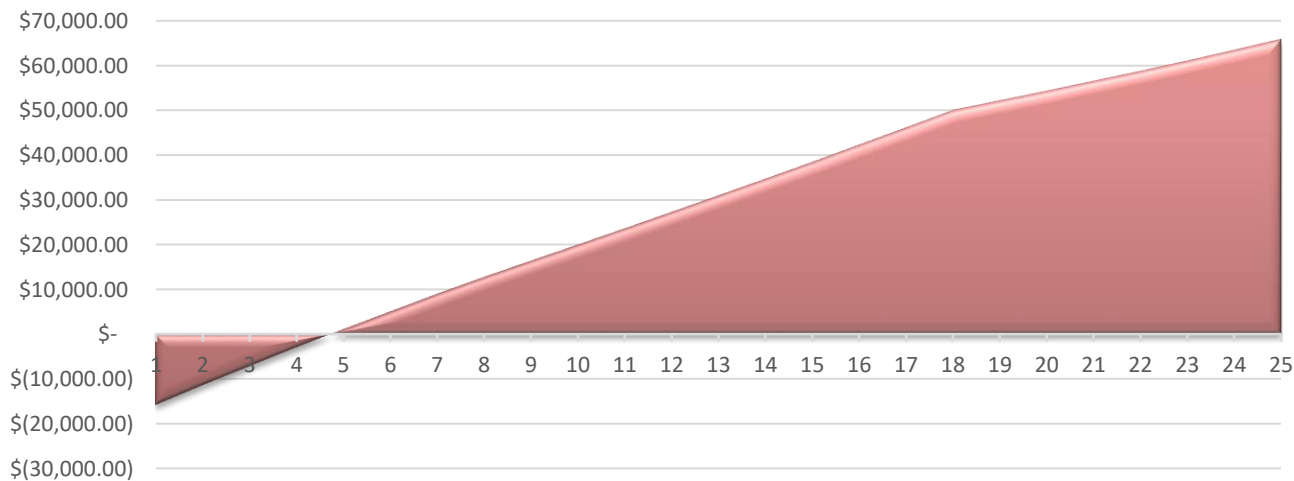


ENPHASE.

# ROI CALCULATIONS (excluding Energy Storage)

Year	Solar Production (kWh)	Cost per KWH (3% Inflation)	Utility Savings	Estimated SREC Value	Estimated Annual SREC Income	Total Savings	Cash Flow
1	8242	\$ 0.16000	\$ 1,319	\$ 408	\$ 3,195	\$ 13,282	\$ (15,946)
2	8211	\$ 0.16480	\$ 1,353	\$ 391	\$ 3,050	\$ 4,403	\$ (11,543)
3	8180	\$ 0.16974	\$ 1,388	\$ 374	\$ 2,906	\$ 4,295	\$ (7,248)
4	8149	\$ 0.17484	\$ 1,425	\$ 357	\$ 2,764	\$ 4,188	\$ (3,060)
5	8118	\$ 0.18008	\$ 1,462	\$ 340	\$ 2,622	\$ 4,084	\$ 1,024
6	8087	\$ 0.18548	\$ 1,500	\$ 323	\$ 2,481	\$ 3,981	\$ 5,005
7	8056	\$ 0.19105	\$ 1,539	\$ 306	\$ 2,342	\$ 3,881	\$ 8,886
8	8025	\$ 0.19678	\$ 1,579	\$ 289	\$ 2,203	\$ 3,782	\$ 12,668
9	7994	\$ 0.20268	\$ 1,620	\$ 272	\$ 2,066	\$ 3,686	\$ 16,354
10	7962	\$ 0.20876	\$ 1,662	\$ 255	\$ 1,929	\$ 3,591	\$ 19,945
11	7931	\$ 0.21503	\$ 1,705	\$ 255	\$ 1,921	\$ 3,627	\$ 23,572
12	7900	\$ 0.22148	\$ 1,750	\$ 255	\$ 1,914	\$ 3,664	\$ 27,236
13	7869	\$ 0.22812	\$ 1,795	\$ 255	\$ 1,906	\$ 3,702	\$ 30,937
14	7838	\$ 0.23497	\$ 1,842	\$ 255	\$ 1,899	\$ 3,741	\$ 34,678
15	7807	\$ 0.24201	\$ 1,889	\$ 255	\$ 1,891	\$ 3,781	\$ 38,459
16	7776	\$ 0.24927	\$ 1,938	\$ 255	\$ 1,884	\$ 3,822	\$ 42,281
17	7745	\$ 0.25675	\$ 1,989	\$ 255	\$ 1,876	\$ 3,865	\$ 46,146
18	7714	\$ 0.26446	\$ 2,040	\$ 255	\$ 1,869	\$ 3,909	\$ 50,054
19	7683	\$ 0.27239	\$ 2,093	\$ -	\$ -	\$ 2,093	\$ 52,147
20	7652	\$ 0.28056	\$ 2,147	\$ -	\$ -	\$ 2,147	\$ 54,294
21	7621	\$ 0.28898	\$ 2,202	\$ -	\$ -	\$ 2,202	\$ 56,496
22	7590	\$ 0.29765	\$ 2,259	\$ -	\$ -	\$ 2,259	\$ 58,755
23	7559	\$ 0.30658	\$ 2,317	\$ -	\$ -	\$ 2,317	\$ 61,073
24	7528	\$ 0.31577	\$ 2,377	\$ -	\$ -	\$ 2,377	\$ 63,450
25	7497	\$ 0.32525	\$ 2,438	\$ -	\$ -	\$ 2,438	\$ 65,888

## BREAK-EVEN





**GENERAL CONDITIONS**  
**Solar PV systems**  
**(Unless otherwise specified)**  
Revised 1/8/24

The term "Owner" refers to any, and all, parties who have ownership of the property. The term "THE CONTRACTOR" refers to Solar Energy Services Inc.

**1. GENERAL** - This contract constitutes the entire understanding of the parties and no other understanding, collateral or otherwise, shall be binding unless in writing and signed by both parties. Any additional work not specified under this contract must be requested through the office and will be addressed by an addendum (Change Order) signed by the Owner. Addenda may delay completion date and are payable 100% upon signing, unless stated otherwise.

This contract is binding upon heirs, executors, administrators, successors and assigns of the Owner. Any cost incurred in the collection of payments under this contract, including reasonable attorneys' fees, shall be reimbursed to THE CONTRACTOR by the Owner.

This contract may be withdrawn by THE CONTRACTOR unless signed by the Owner and received with the first payment, by THE CONTRACTOR. The Owner may cancel this contract at any time prior to midnight of the fifth business day after the date of this agreement, without penalty.

THE CONTRACTOR shall not be liable for damages resulting from, or for, any delay or inability to perform due to strikes, fire, pandemic, acts of God, other natural causes (including weather conditions), acts of public authorities or enemies, availability of materials, or any other causes beyond the control of THE CONTRACTOR.

Asbestos removal/disposal and/or encapsulation has not been included/anticipated unless specifically stated. THE CONTRACTOR has made no investigation to determine whether there is radon gas, lead and/or any other environmental pollutants or health hazards in the home or affecting the premises. THE CONTRACTOR disclaims any representation or warranty as to the presence or lack of radon, lead, and/or any hazardous environmental or health condition, or as to the effect of radon, lead, and/or any such condition on the premises or residence, before or after completion of all work done pursuant to this contract. This contract is incumbent upon the Owner's verification that the proposed construction in

no way violates any restrictive covenants, and that any violation shall be the Owner's sole responsibility.

The Owner understands that before and after photographs of solar system may be taken by THE CONTRACTOR for its documentation and marketing use. Should any other use be desired, it is agreed that the photos will not be used without prior consent of the Owner.

The Owner understands that it is his/her responsibility to review his/her homeowner's insurance policy in relation to this contract. Materials and/or equipment become the responsibility of the Owner once installed on the premises.

**2. PERMITS** - THE CONTRACTOR shall obtain and pay for permits, as necessary, for the execution of the work. This contract is subject to issuance of such permits and other required approvals by local building inspectors based on the contract. We assume no additional work will be required of THE CONTRACTOR due to pre-existing code violations or structural deficiencies. Survey and/or zoning variance, if required, will be provided, and paid for, by the Owner. The Owner is responsible for closing of any unrelated open permits to the extent that such open permits impede the CONTRACTOR in procuring the necessary permits for the work under this contract.

**3. ACCESS / SITE** - Owner shall grant free access to work areas for THE CONTRACTOR and agrees to keep driveway clear and available for movement of materials and vehicles. THE CONTRACTOR shall not be held responsible for non-negligent damage to driveways, walks, and lawns, shrubs or vegetation that may be caused by normal movement of workers or materials. Should access be required via neighbor's property, Owner shall secure permission. If a parking ban is in effect in Owner's area, Owner is to provide parking permits for workmen. The Owner agrees that no subcontractors, or other workmen, hired by him/her, shall work on the job site for the duration of this contract, unless agreed to by THE CONTRACTOR in writing. Owner is to provide a bathroom facility. If requested, Owner is to provide a key to be placed in a lock box (provided by THE CONTRACTOR) on the premises during construction. Owner understands that THE CONTRACTOR will display a job sign prior to, during, and up to 4 weeks after construction.

**4. PROTECTION** - THE CONTRACTOR will provide dust protection as practical. Owner agrees to remove and

protect all personal property from area(s) to be affected prior to commencement. Movement and/or protection of personal belongings by THE CONTRACTOR personnel, if required, will be charged on a time & materials basis. Care will be taken, but THE CONTRACTOR will not be responsible for damage or loss, if any.

**5. STRUCTURAL WORK** - THE CONTRACTOR assumes the existing structure is in good condition and will not require work except as noted. Structural enhancements have not been anticipated and/or included unless specifically stated. THE CONTRACTOR may elect to retain a structural engineer if concealed or unusual conditions are found during construction or required by local jurisdiction. If so, Owners will be notified of their obligation for the cost of the engineer and any additional work through a contract addendum.

**6. SOLAR GRANTS & TAX INCENTIVES** – Periodically solar grant/incentive availability may change. THE CONTRACTOR will use best available grant & incentive information. CONTRACTOR is not a tax advisor and shall not be liable for Owner's State, Federal, or Local income or property tax obligations. Owner is responsible for obtaining tax advice from their own tax professional.

**7. CONCEALED CONDITIONS** – THE CONTRACTOR assumes the existing floors, stairs, and roofs to be structurally sound, and to conceal no structural damage/problems. In the case of ground mounted systems, THE CONTRACTOR assumes no excessive rock formations underground. THE CONTRACTOR will contact Utility providers (Miss Utility) to insure safe areas for excavation. If Miss Utility markings for buried electrical utilities are within 6 feet of areas requiring excavation, OWNER will be responsible for utilizing a qualified contractor to expose the utilities for safe digging by CONTRACTOR.

**8. ELECTRICAL** - Unless specifically noted, any changes to upgrade the existing electric service and/or panel, to make adequate for additional wiring, has not been included in this contract. Further, associated utility company charges, if required, are to be arranged and paid for by the Owner. Unless specified otherwise, utility interconnection application fee is to be paid by THE CONTRACTOR.

**9. PLUMBING/HVAC** – Any changes to upgrade the existing plumbing, systems and/or service to make adequate has not been included in this contract. Existing fixtures, pipes, drains, septic systems, wells, vents, and equipment which are not contracted for relocation or

reworking are to remain. Utility company charges, if required, are to be arranged and paid for by the Owner.

**10a. MATERIALS** – Materials are to be as specified in the contract. THE CONTRACTOR assumes all materials specified are available as stock items. If a specified material is not available, THE CONTRACTOR may substitute a similar stock item. Custom run items are not anticipated or included in this contract unless specifically noted. THE CONTRACTOR assumes any Owner-provided items will be on-site and in working condition prior to the start of work. Additional costs to reschedule, rework or reinstall owner provided items will be billed to the Owner at T&M rates. PV panels have differences in color from panel to panel and cell to cell within a panel. These are cosmetic only and do not affect performance. Variations in color are not a defect but a natural consequence of manufacturing. Contractor shall not replace panels due to differences in color either within a panel or from panel to panel.

**10b. MATERIALS** – In 2017 the solar module industry became subject to new tariffs on imports, that were implemented on a declining annual schedule. The industry absorbed these tariffs and incorporated them into pricing. The industry continues to come under pressure for potential new supplemental import tariffs, potentially impacting pricing and availability of all solar modules, regardless of origin. Additionally, accusations of forced labor at one or more firms at the top of the solar module supply chain have the potential to impact supply and pricing of all solar modules, regardless of their source. These disruptions can create near term panel supply shortages for some products impacting sales commitments from manufacturers and distributors as well as associated delivery dates. SES commits to promptly order any panels that are not currently in SES stock to fulfill this contract. If the cost of that product changes, the customer will be notified promptly and given the option to cancel the agreement within 24 hours of such notice. If a cost change occurs due to this any of the above conditions, SES commits to increase the Customer's price by the additional incremental cost only, with no additional margin applied for profit on the incremental increase.

**11. PAINTING** – Painting is not included in this contract and is the sole responsibility of the Owner. Owner to provide paint, if necessary, for any patching touch up only. Contractor assumes no responsibility for color match or spot patches.

**12. CLEAN-UP** – THE CONTRACTOR will haul all

construction debris caused by construction. Upon completion, THE CONTRACTOR will leave job in a "broom clean" condition and offer opportunity for Owner to verify cleanup. All material removed during alterations shall be disposed of by THE CONTRACTOR, except those items designated by the Owner in writing prior to commencement of construction.

**13. SUBSTANTIAL COMPLETION** – "Substantial Completion" as defined by this document, is the time when all components are in place and system is operational. This specifically excludes utility interconnect or county inspections as these items are beyond the control of THE CONTRACTOR. Any deficiencies found by county/city inspectors will be corrected within five (5) working days of notification.

**14. GROUND-MOUNTED SOLAR SYSTEMS** – In the case where a ground-mounted solar system is being provided, all applicable conditions in this document will apply. Owner may apply a pest protection solution offered by THE CONTRACTOR to protect wiring, etc. within the ground-mounted array; THE CONTRACTOR is ultimately not liable for the any damage done to the array in any form by wildlife, humans, or otherwise, once the system is fully-installed and a Completion Certificate is signed by the Owner.

**15. PEST PROTECTION** – CONTRACTOR's Critter Guard solution is only intended to act as a *barrier to penetration* by rodents, birds, squirrels, and all other wildlife and is *not a guaranteed protection of any kind* that ensures components of your SES-installed solar system will never be damaged by wildlife. Therefore, THE CONTRACTOR will not cover the cost of any remediation or damage caused by animals, should such an event occur.

**16. WARRANTY** – THE CONTRACTOR warrants that all solar energy systems installed pursuant to this contract shall be of workman like quality and shall be in accordance with all local and national codes. Provided the Owner is in full compliance with this contract and its payment provisions, THE CONTRACTOR shall remedy any solar installation defects including leaks at attachment points and penetrations to roof, excluding normal wear and tear, due to defects in materials and workmanship which appear within a period of ten (10) years from the date of substantial completion. *Materials* include: conductor wiring, ethernet wiring, conduit, junction boxes, breakers, disconnects, combiners, hardware, sealants, roof flashings, racking, mounts, and fasteners.

**17. SEVERABILITY** – Any provisions of this Agreement

which are prohibited or unenforceable in any jurisdiction shall, as to such jurisdiction, be ineffective to the extent of such prohibition or unenforceability without invalidating the remaining provisions hereof, and any such prohibition or unenforceability in any jurisdiction shall not invalidate or render unenforceable such provision in any other jurisdiction.

**18. CONSEQUENTIAL DAMAGES** – Neither party to this Agreement shall be liable to the other party for special, indirect or consequential damages under any provision of this Agreement or for any special, indirect or consequential damages arising out of any act or failure to act hereunder.

**19. MANUFACTURER WARRANTY LABOR** - With respect to equipment, the warranty furnished by the manufacturer will be the only warranty on equipment and will be provided to the Owner by THE CONTRACTOR. Labor associated with repairing or replacing equipment under warranty will be covered by CONTRACTOR only to the extent that it is reimbursable by the equipment manufacturer, with the exception of the first 24 months of said warranty, where CONTRACTOR will absorb any and all labor costs not reimbursed by the manufacturer.

This contract excludes any other warranty, expressed or implied, or any force majeure items not identified above.

# NOTICE of RIGHT TO RESCISSION

Notice to the client required by Federal and State law:

You have entered into a transaction on this date \_\_\_\_\_, which may result in a lien, mortgage, or other security interest on your home. You have a legal right under Federal law to cancel this transaction, if you desire to do so, without any penalty or obligation within three (3) business days from the above date or any later date on which all material disclosures required under the Truth in Lending Act have been given to you. Under Maryland State law, you have up to five (5) business days to cancel and up to seven (7) business days to cancel if you are over age 65. If you so cancel the transaction, any lien, mortgage, or other security interest on your home arising from this transaction is automatically void. You are also entitled to receive a refund of any down payment or other consideration if you cancel. If you decide to cancel this transaction, you may do so by notifying:

**SOLAR ENERGY SERVICES, INC.**  
1514 Jabez Run, #103  
Millersville, MD 21108  
410-923-6090

By mail or telegram sent not later than midnight of 5<sup>th</sup> business day (or 7<sup>th</sup> business day if over age 65)

You may also use any other form of written notice identifying the transaction if it is delivered to the above address not later than that time. This notice may be used for that purpose by dating and signing below.

-----  
I/we hereby CANCEL this transaction.

_____	_____
Owner 1 Signature	Date
_____	_____
Owner 2 Signature	Date

-----  
EFFECT OF RESCISSION. When a client exercises his/her right to rescind this contract, he/she is not liable for any finance or other charge, and any security interest becomes void upon such rescission. Within twenty (20) days after receipt of a notice of rescission, the creditor shall return to the client any money or property given as earnest money, down payment, or otherwise, and shall take any action necessary or appropriate to reflect the termination of any security interest created under the transaction. If the creditor has delivered any property to the client, the client may retain possession of it. Upon the performance of the creditor's obligations under this section, the client shall tender the property to the creditor, except that if return of the property in kind would be impracticable or inequitable, the client shall tender its reasonable value. Tender shall be made at the location of the property or at the residence of the client, at the option of the client. If the creditor does not take possession of the property within twenty (20) days after the tender by the client, ownership of the property vests in the client without obligation on his part to pay for it.

Receipt is herewith acknowledged of the foregoing notice, the undersigned clients having received copies thereof, this on the date of signature below:

_____	_____
Owner 1 Signature	Date
_____	_____
Owner 2 Signature	Date

## Regulation Z Disclosure

*The First Monthly payment on the loan is due approximately 90 days after installation. The calculation of the monthly payments for the first 18 months following installation (which includes the first 16 payments) (the "Initial Period") assumes that you will pay down the loan during the Initial Period by 30%. If you make aggregate principal payments in such amount during the Initial Period, your monthly payments following the Initial Period will remain the same as during the Initial Period. If during the Initial Period you elect to pay principal in any amount that is less than 30% of your loan amount, your monthly payment beginning upon conclusion of the Initial Period and throughout the rest of the term of the loan will be increased to amortize the full principal loan balance (which would be greater than the originally assumed amount) over a period which is effectively 18 months shorter. Conversely if you pay down greater than 30% of the principal balance during the Initial Period, your monthly payments following the conclusion of the Initial Period will be reduced to reflect the payment of a lesser principal balance than originally assumed for the balance of the term. Please carefully review the details of your loan, including the payment amounts provided in your loan agreement.*

### Note on Tax Incentives

Tax credits are an estimated amount. As the purchaser and owner of a solar photovoltaic system, you may qualify for certain federal, state, local or other rebates, tax credits or incentives (collectively, "Incentives"). If you have any questions as to whether and when you qualify for any Incentives and the amount of such Incentives, please consult and discuss with your personal tax or financial advisor. Sunlight and SolarEnergy Services, Inc. make no representation, warranty or guaranty as to the availability or amount of such Incentives.

Receipt is herewith acknowledged of the foregoing notice, the  
Undersigned clients having received copies thereof, on this date:

Date: \_\_\_\_\_

\_\_\_\_\_  
Client

\_\_\_\_\_  
Client

# Q.TRON BLK M-G2+ SERIES



PRELIMINARY

410 - 430 Wp | 108 Cells  
22.4% Maximum Module Efficiency

MODEL Q.TRON BLK M-G2+



## High performance Qcells N-type solar cells

Q.ANTUM NEO Technology with optimized module layout boosts module efficiency up to 22.4%.



## A reliable investment

Inclusive 25-year product warranty and 25-year linear performance warranty<sup>1</sup>.



## Enduring high performance

Long-term yield security with Anti LeTID Technology, Anti PID Technology<sup>2</sup>, Hot-Spot Protect.



## Extreme weather rating

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (3600 Pa).



## Innovative all-weather technology

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



## The most thorough testing programme in the industry

Qcells is the first solar module manufacturer to pass the most comprehensive quality programme in the industry: The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.

<sup>1</sup> See data sheet on rear for further information.

<sup>2</sup> APT test conditions according to IEC/TS 62804-1:2015, method A (-1500 V, 96 h)

### The ideal solution for:



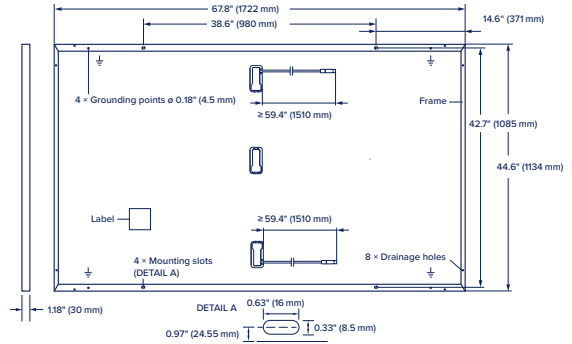
Rooftop arrays on residential buildings



# Q.TRON BLK M-G2+ SERIES

## Mechanical Specification

Format	67.8 in × 44.6 in × 1.18 in (including frame) (1722 mm × 1134 mm × 30 mm)
Weight	47.2 lbs (21.4 kg)
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodised aluminium
Cell	6 × 18 monocrystalline Q.ANTUM NEO solar half cells
Junction box	2.09-3.98 in × 1.26-2.36 in × 0.59-0.71 in (53-101 mm × 32-60 mm × 15-18 mm), Protection class IP67, with bypass diodes
Cable	4 mm <sup>2</sup> Solar cable; (+) ≥ 59.4 in (1510 mm), (-) ≥ 59.4 in (1510 mm)
Connector	Stäubli MC4; IP68

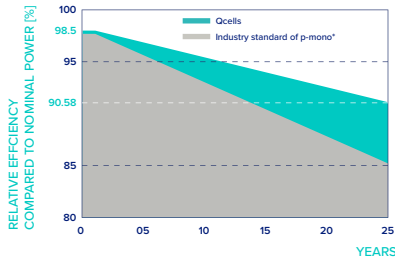


## Electrical Characteristics

POWER CLASS			410	415	420	425	430
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC <sup>1</sup> (POWER TOLERANCE +5W/-0W)							
Minimum	Power at MPP <sup>1</sup>	$P_{MPP}$ [W]	410	415	420	425	430
	Short Circuit Current <sup>1</sup>	$I_{SC}$ [A]	13.39	13.42	13.46	13.49	13.53
	Open Circuit Voltage <sup>1</sup>	$V_{OC}$ [V]	38.58	38.61	38.64	38.67	38.70
	Current at MPP	$I_{MPP}$ [A]	12.68	12.75	12.82	12.88	12.95
	Voltage at MPP	$V_{MPP}$ [V]	32.32	32.55	32.77	32.98	33.20
	Efficiency <sup>1</sup>	$\eta$ [%]	≥ 21.4	≥ 21.6	≥ 21.9	≥ 22.2	≥ 22.4
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT <sup>2</sup>							
Minimum	Power at MPP	$P_{MPP}$ [W]	310.0	313.8	317.6	321.4	325.2
	Short Circuit Current	$I_{SC}$ [A]	10.79	10.82	10.84	10.87	10.90
	Open Circuit Voltage	$V_{OC}$ [V]	36.61	36.63	36.66	36.69	36.71
	Current at MPP	$I_{MPP}$ [A]	9.97	10.03	10.09	10.15	10.21
	Voltage at MPP	$V_{MPP}$ [V]	31.09	31.29	31.48	31.66	31.85

<sup>1</sup>Measurement tolerances  $P_{MPP} \pm 3\%$ ;  $I_{SC}$ ;  $V_{OC} \pm 5\%$  at STC: 1000 W/m<sup>2</sup>, 25 ± 2°C, AM 1.5 according to IEC 60904-3 • <sup>2</sup>800 W/m<sup>2</sup>, NMOT, spectrum AM 1.5

## Qcells PERFORMANCE WARRANTY

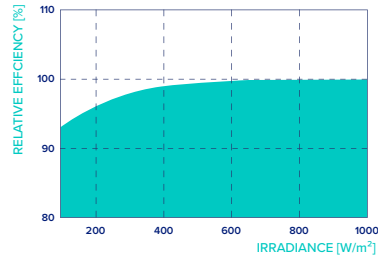


At least 98.5% of nominal power during first year. Thereafter max. 0.33% degradation per year. At least 95.53% of nominal power up to 10 years. At least 90.58% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Qcells sales organisation of your respective country.

<sup>\*</sup>Standard terms of guarantee for the 5 PV companies with the highest production capacity in 2021 (February 2021)

## PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25°C, 1000 W/m<sup>2</sup>).

## TEMPERATURE COEFFICIENTS

Temperature Coefficient of $I_{SC}$	$\alpha$ [%/K]	+0.04	Temperature Coefficient of $V_{OC}$	$\beta$ [%/K]	-0.24
Temperature Coefficient of $P_{MPP}$	$\gamma$ [%/K]	-0.30	Nominal Module Operating Temperature	NMOT [°F]	109 ± 5.4 (43 ± 3°C)

## Properties for System Design

Maximum System Voltage	$V_{SYS}$ [V]	1000 (IEC)/1000 (UL)	PV module classification	Class II
Maximum Series Fuse Rating	[A DC]	20	Fire Rating based on ANSI/UL 61730	C / TYPE 2
Max. Design Load, Push/Pull <sup>3</sup>	[lbs/ft <sup>2</sup> ]	75 (3600 Pa)/50 (2400 Pa)	Permitted Module Temperature on Continuous Duty	-40°F up to +185°F (-40°C up to +85°C)
Max. Test Load, Push/Pull <sup>3</sup>	[lbs/ft <sup>2</sup> ]	113 (5400 Pa)/75 (3600 Pa)		

<sup>3</sup> See Installation Manual

## Qualifications and Certificates

Quality Controlled PV - TÜV Rheinland; IEC 61215:2016; IEC 61730:2016. This data sheet complies with DIN EN 50380.



Qcells pursues minimizing paper output in consideration of the global environment.

Note: Installation instructions must be followed. Contact our technical service for further information on approved installation of this product. Hanwha Q CELLS America Inc. 400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL +1 949 748 59 96 | EMAIL hqc-inquiry@qcells.com | WEB www.qcells.com



# IQ8 and IQ8+ Microinverters

Our newest IQ8 Microinverters are the industry’s first microgrid-forming, software defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has superfast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the IQ Battery, IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL listed as PV Rapid Shutdown Equipment and conform with various regulations, when installed according to manufacturer’s instructions.

### Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

### High productivity and reliability

- Produce power even when the grid is down\*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

### Microgrid-forming

- Complies with the latest advanced grid support\*\*
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SA) and IEEE 1547:2018 (UL 1741-SB)

**Note:**

IQ8 Microinverters cannot be mixed together with previous generations of Enphase microinverters (IQ7 Series, IQ6 Series, etc) in the same system.

\*Only when installed with IQ System Controller 2, meets UL 1741.  
 \*\*IQ8 and IQ8Plus support split-phase, 240V installations only.



# IQ8 and IQ8+ Microinverters

INPUT DATA (DC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Commonly used module pairings <sup>1</sup>	W	235 – 350	235 – 440
Module compatibility		60-cell / 120 half-cell	54-cell / 108 half-cell, 60-cell / 120 half-cell, 66-cell / 132 half-cell and 72-cell / 144 half-cell
MPPT voltage range	V	27 – 37	27 – 45
Operating range	V	16 – 48	16 – 58
Min. / Max. start voltage	V	22 / 48	22 / 58
Max. input DC voltage	V	50	60
Max. continuous input DC current	A	10	12
Max. input DC short-circuit current	A		25
Max. module I <sub>sc</sub>	A		20
Oversvoltage class DC port			II
DC port backfeed current	mA		0
PV array configuration		1 x 1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA (AC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Peak output power	VA	245	300
Max. continuous output power	VA	240	290
Nominal (L-L) voltage / range <sup>2</sup>	V	240 / 211 – 264	
Max. continuous output current	A	1.0	1.21
Nominal frequency	Hz	60	
Extended frequency range	Hz	47 – 68	
AC short circuit fault current over 3 cycles	Arms	2	
Max. units per 20 A (L-L) branch circuit <sup>3</sup>		16	13
Total harmonic distortion		<5%	
Oversvoltage class AC port		III	
AC port backfeed current	mA	30	
Power factor setting		1.0	
Grid-tied power factor (adjustable)		0.85 leading – 0.85 lagging	
Peak efficiency	%	97.7	
CEC weighted efficiency	%	97	
Night-time power consumption	mW	60	
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (H x W x D)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
Certifications		CA Rule 21 (UL 1741-SA), UL 62109-1, IEEE 1547:2018 (UL 1741-SB), FCC Part 15 Class B, ICES-0003 Class B, CAN / CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shutdown Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.	

(1) Pairing PV modules with wattage above the limit may result in additional clipping losses. See the compatibility calculator at <https://link.enphase.com/module-compatibility>. (2) Nominal voltage range can be extended beyond nominal if required by the utility. (3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

## Enphase IQ Envoy

The **Enphase IQ Envoy™** communications gateway delivers solar production and energy consumption data to Enphase Enlighten™ monitoring and analysis software for comprehensive, remote maintenance and management of the Enphase IQ System.

With integrated revenue grade production metering and optional consumption monitoring, Envoy IQ is the platform for total energy management and integrates with the Enphase Ensemble™ and the Enphase IQ Battery™.



### Smart

- Enables web-based monitoring and control
- Bidirectional communications for remote upgrades
- Supports power export limiting and zeroexport applications

### Simple

- Easy system configuration using Enphase Installer Toolkit™ mobile app
- Flexible networking with Wi-Fi, Ethernet, or cellular

### Reliable

- Designed for installation indoors or outdoors
- Five-year warranty



To learn more about Enphase offerings, visit [enphase.com](https://enphase.com)

# Enphase IQ Envoy

## MODEL NUMBERS

Enphase IQ Envoy™ ENV-IQ-AM1-240	Enphase IQ Envoy communications gateway with integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and optional consumption monitoring (+/- 2.5%). Includes one 200A continuous rated production CT (current transformer).
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## ACCESORIES (Order Separately)

Enphase Mobile Connect™ CELLMODEM-M1 (4G based LTE-M/5-year data plan) CELLMODEM-M1-B (4G-based LTE-M1/5-year data plan)	Plug and play industrial grade cellular modem with data plan for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.)
Consumption Monitoring CT CT-200-SPLIT	Split-core consumption CTs enable whole home metering.
Ensemble Communications Kit COMMS-KIT-01	Installed at the IQ Envoy. For communications with Enphase Encharge™ storage and Enphase Enpower™ smart switch. Includes USB cable for connection to IQ Envoy or Enphase IQ Combiner™ and allows wireless communication with Encharge and Enpower.

## POWER REQUIREMENTS

Power requirements	120/240 VAC split-phase. Max 20 A overcurrent protection required.
Typical Power Consumption	5W

## CAPACITY

Number of microinverters polled	Up to 600
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## MECHANICAL DATA

Dimensions (WxHxD)	21.3 x 12.6 x 4.5 cm (8.4" x 5" x 1.8")
Weight	17.6 oz (498 g)
Ambient temperature range	-40° to 65° C (-40° to 149° F) -40° to 46° C (-40° to 115° F) if installed in an enclosure
Environmental rating	IP30. For installation indoors or in an NRTL-certified, NEMA type 3R enclosure.
Altitude	To 2000 meters (6,560 feet)
Production CT	- Limited to 200A of continuous current / 250A OCPD – 72kW AC - Internal aperture measures 19.36mm to support 250MCM THWN conductors (max) - UL2808 certified for revenue grade metering
Consumption CT	- For electrical services to 250A with parallel runs up to 500A - Internal aperture measures 0.84" x 0.96" (21.33mm x 24.38mm) to support 3/0 THWN conductor - UL2808 certified, for use at service entrance for services up to 250Vac

## INTERNET CONNECTION OPTIONS

Integrated Wi-Fi	802.11b/g/n
Ethernet	802.3, Cat5E (or Cat 6) UTP Ethernet cable (not included)
Mobile	CELLMODEM-M1 (4G) or CELLMODEM-M1-B (4G). Not included. Note that an Enphase Mobile Connect cellular modem is required for all Ensemble installations.

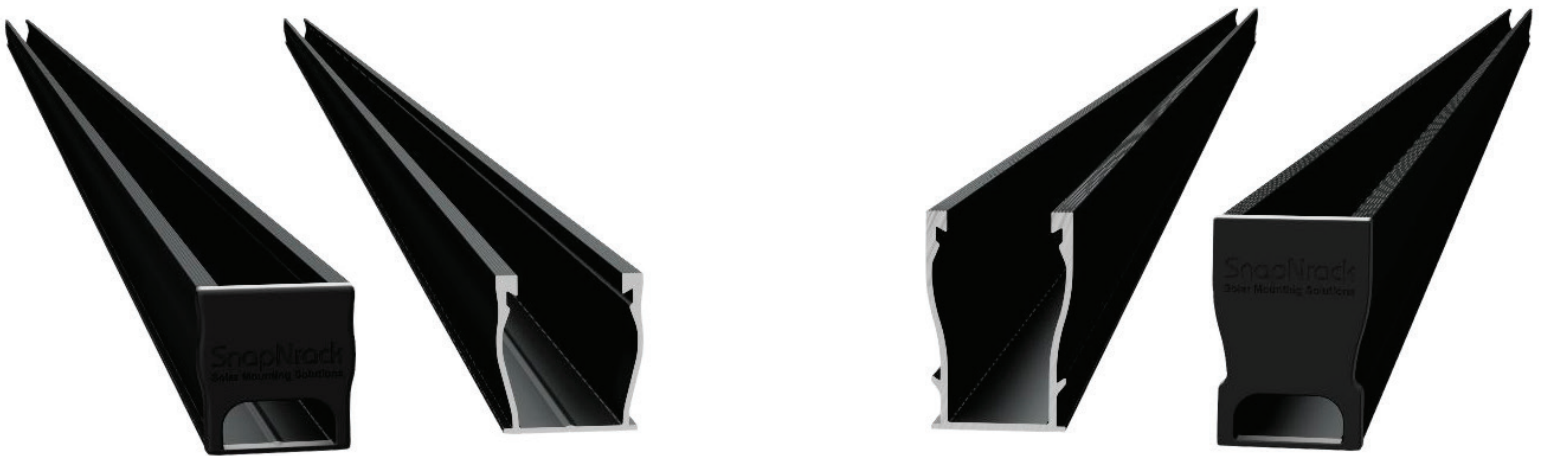
## COMPLIANCE

Compliance	UL 61010-1 CAN/CSA C22.2 No. 61010-1 47 CFR, Part 15, Class B, ICES 003 IEC/EN 61010-1:2010, EN50065-1, EN61000-4-5, EN61000-6-1, EN61000-6-2 Metering: ANSI C12.20 accuracy class 0.5 (PV production only)
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To learn more about Enphase offerings, visit [enphase.com](http://enphase.com)



# Ultra Rail



## The Ultimate Value in Rooftop Solar



Industry leading Wire Management Solutions



Mounts available for all roof types



Single Tool Installation



All SnapNrack Module Clamps & Accessories are compatible with both rail profiles

## Start Installing Ultra Rail Today

**RESOURCES**  
**DESIGN**  
**WHERE TO BUY**

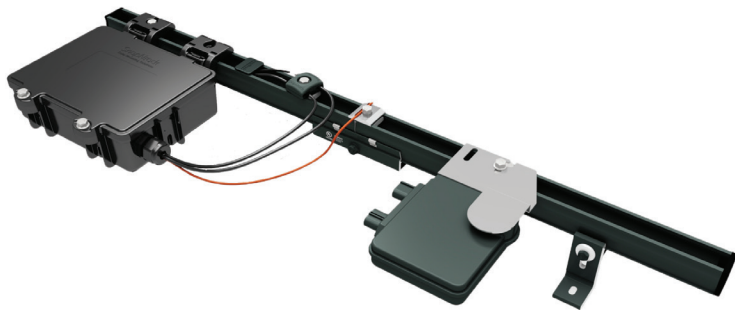
[snapnrack.com/resources](https://snapnrack.com/resources)  
[snapnrack.com/configurator](https://snapnrack.com/configurator)  
[snapnrack.com/where-to-buy](https://snapnrack.com/where-to-buy)

# SnapNrack Ultra Rail System

A sleek, straightforward rail solution for mounting solar modules on all roof types. Ultra Rail features two rail profiles; UR-40 is a lightweight rail profile that is suitable for most geographic regions and maintains all the great features of SnapNrack rail, while UR-60 is a heavier duty rail profile that provides a larger rail channel and increased span capabilities. Both are compatible with all existing mounts, module clamps, and accessories for ease of install.

## The Entire System is a Snap to Install

- New Ultra Rail Mounts include snap-in brackets for attaching rail
- Compatible with all the SnapNrack Mid Clamps and End Clamps customers love
- Universal End Clamps and snap-in End Caps provide a clean look to the array edge



## Unparallelled Wire Management

- Open rail channel provides room for running wires resulting in a long-lasting quality install
- Industry best wire management offering includes Junction Boxes, Universal Wire Clamps, MLPE Attachment Kits, and Conduit Clamps
- System is fully bonded and listed to UL 2703 Standard

## Heavy Duty UR-60 Rail

- UR-60 rail profile provides increased span capabilities for high wind speeds and snow loads
- Taller, stronger rail profile includes profile-specific rail splice and end cap
- All existing mounts, module clamps, and accessories are retained for the same great install experience



# Quality. Innovative. Superior.

SnapNrack Solar Mounting Solutions are engineered to optimize material use and labor resources and improve overall installation quality and safety.

## Series 100 Array Edge Screen

SnapNrack Series 100 Array Edge Screen is an innovative way to guard against critters and debris build up under new and existing solar arrays without damaging arrays or reducing production. The array edge screen installation is a tool-less process with an open wire frame that allows for air flow, ensuring modules remain cool. The screen is composed of a PVC-coated galvanized steel 1/2" mesh and the clip is powder coated, galvanized spring steel.



### Features Include



Snap in  
Hardware

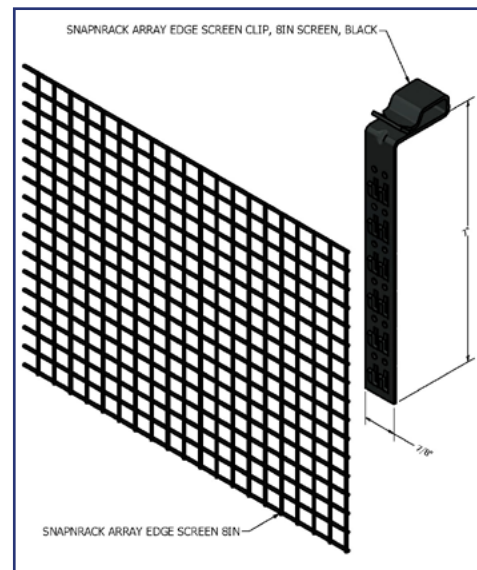
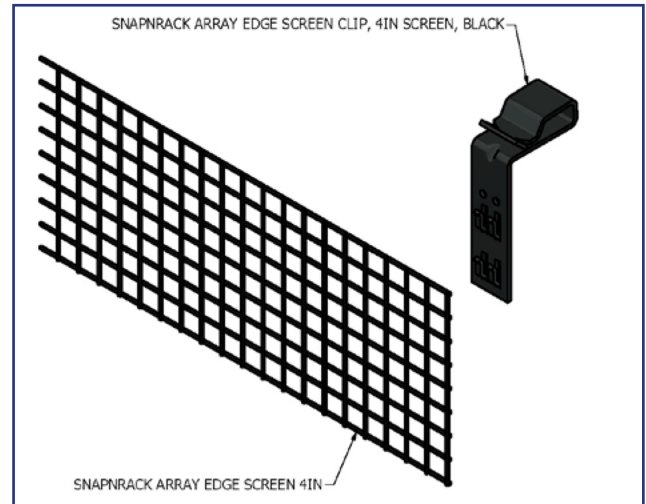
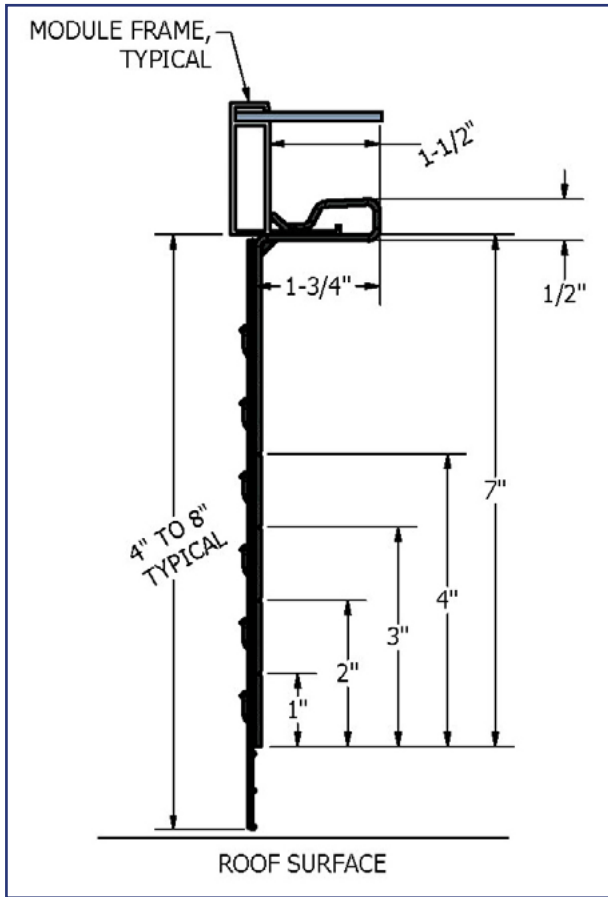


Tool-less  
Installation

## Array Edge Screen Clip Dimensions    Array Edge Screen Dimensions

232-03993 | 232-03994

015-11176



### ARRAY EDGE SCREEN TECHNICAL DATA

#### Materials

- Screen - PVC-coated
- Clip - Powder coated

#### Material Finish

- Screen - Galvanized steel 1/2" mesh
- Clip - Galvanized spring steel

# **2014 HAWP Application Materials**



## Memo

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Date: **August 27<sup>th</sup>, 2014**

Project: **4807 Dorset Ave., Chevy Chase MD**

Re: **Preliminary HAWP Review 2 – Montgomery Co. Historic Preservation Commission**

Based on the Historic Preservation Commission comments from our first preliminary HAWP review meeting on 7/23/2014, we have made the following updates. These changes are reflected in the attached package:

1. Two-Story Addition/ Reconstruction of Dormer
  - a. The roof line has been lowered to reduce its overall height, and has been aligned with the reconstructed dormer.
  - b. The material of the proposed addition has been updated from stucco to vertical wood siding.
  - c. A study of the window mullions resulted in reducing the horizontal divisions from 3 to 2, creating a more vertical expression relating to the existing windows.
  - d. The north elevation has been changed from one linear window to 4 square windows, in kind to the square windows shown on the west elevation. Windows on the first level have been removed to allow for storage on the interior space.
  - e. Roof material to be traditional standing seam metal.
2. Terrace
  - a. In order to maintain the existing pine tree adjacent to the fireplace on the south elevation, the concrete terrace in conflict has been removed.
  - b. The extent of the terrace on the west end has been reduced to allow the addition to read as an extrusion of the existing living room through the major massing of the existing house.
  - c. The new terrace has been moved to begin behind the existing stone piers.
  - d. At the rear elevation of the addition, stairs have been incorporated to provide access to the rear yard.
  - e. A metal cable railing has been added along the perimeter of the new terrace.
3. Rear porch
  - a. The design intent is to retain the stone piers, and reconstruct this area as needed.
  - b. A study of the window mullions resulted in reducing the horizontal divisions from 3 to 2, creating a more vertical expression relating to the existing windows.
  - c. The screening below the porch has been altered from previous submission.

## Meeting Notes

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Date: July 23<sup>rd</sup>, 2014

Project: 4807 Dorset Ave., Chevy Chase MD

Re: Preliminary HAWP Review – Montgomery Co. Historic Preservation Commission

Attendees: MCHP Commission & Staff, Maya Weil, David Haresign, Adam Greene

1. Staff Presentation by Scott Whipple and Commission questions
  - a. Site/ Location of Project
  - b. Two-Story Addition
    - i. Visibility from the public way
  - c. Terrace
    - i. Extents of terrace
    - ii. Interaction with tree
    - iii. Materiality
  - d. Alterations to north (rear) porch structure and windows
    - i. Suggestion on retaining stone piers
    - ii. Condition of porch and decision to save or rebuild
    - iii. Visibility from Cumberland
2. BHA Presentation by David Haresign and Commission questions
  - a. Site/ Location
    - i. Visibility not an issue
  - b. Two-Story Addition
    - i. Materiality- stucco may compete with stone; consider alternate such as vertical siding
    - ii. Window proportion on north elevation
    - iii. Roof line and height; consider flat roof, pushing down to align with dormer height.
    - iv. Roof material; consider appropriateness of standing seam and color in attempt to avoid reading heavy
  - c. Terrace
    - i. Interaction with tree; pull terrace back in order to keep tree
    - ii. Pull new terrace back from the face back to the pier
  - d. Alterations to north (rear) porch structure and windows
    - i. Visibility from the street
    - ii. Reconstruction needed? Make sense to retain log posts?
3. Commission Ending Comments
  - a. Arkin
    - i. Work is not visible from street and therefore of secondary importance
    - ii. Negative on stucco; suggest a different and more compatible material
    - iii. Negative on “funny windows,” suggests revisiting
  - b. Firestone
    - i. Height of addition roof as it interfaces with existing main roof
    - ii. Concern on roof materiality
  - c. Legg
    - i. Roof line height
    - ii. Reconstruction of log porch unfortunate but not feasible. It’s condition suggests reconstruction is the appropriate approach.

- d. Heiler
  - i. Commend on pulling in dormer
  - ii. Roof material should be considered as to not appear heavy
  - iii. Need to forget restoring logs due to condition
- e. Barnes
  - i. Roof height and material
  - ii. No issue with porch, should retain piers
  - iii. No issue with material or extents of terrace
- f. Coratola
  - i. Massing out of scale on south elevation
  - ii. Commend on dormer move
  - iii. Addition material- lap siding or more glass
  - iv. No opposition to contemporary approach
  - v. OK with standing seam roof
  - vi. Consider tree at terrace; OK with material choice
  - vii. In lieu of storefront system, consider heavy timber?
  - viii. Suggests more vertical window proportions
- g. Kirwan
  - i. Wood siding material instead of stucco
  - ii. Pull concrete terrace behind existing pier to honor existing terrace
- h. Summary
  - i. Material choices
  - ii. Porch structure
  - iii. Roof material, color
  - iv. Scale of new roof
  - v. Window mullion study
- 4. Recap with Maya Weil, Scott Whipple after meeting
  - a. Deliverables for next meeting to include 3D model, site section from Dorset Ave.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: agreene@bonstra.com Contact Person: Adam Greene
Daytime Phone No.: 202-588-9373 x.15
Tax Account No.: 00537256
Name of Property Owner: Maya Weil Daytime Phone No.: 703-409-3832
Address: 4807 Dorset Ave, Chevy Chase MD 20815
Contractor: N/A Phone No.:
Contractor Registration No.:
Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 4807 Street: Dorset Ave.
Town/City: Chevy Chase Nearest Cross Street: MD
Lot: 36 Block: 2 Subdivision: 0044
Liber: 15135 Folio: 0061 Parcel: N/A

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Well (complete Section 4) Other:
1B. Construction cost estimate: \$
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/ easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached.

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached.

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2. **SITE PLAN** See attached.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS** See attached.

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS** See attached. Included in elevation drawings.

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** See following.

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** See attached.

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS** See following.

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

4807 Dorset Avenue – Proposed Scope of Work

September 23, 2014

**Description of existing structure(s) and environmental setting, including their historical features and significance.**

The home is located just west of the intersection of Surrey Street and Dorset Avenue in the Town of Somerset. Access to the property is through a public right-of-way drive from Surrey Street, and is surrounded by property's that have frontage on both Surrey Street and Dorset Avenue. The property was developed in 1918 by Dr. Sidney Jaffe, who constructed a "Siberian cedar-log home" along with several other structures. The interior of the cabin was subsequently remodeled in the 1930's, and the entire exterior was clad in stone (*Bethesda: A Social History*). Prior to the 1930's alterations, the property was featured in the March 1926 volume of American Builder Magazine. A 1985 renovation added a 2-story (kitchen and master bedroom) addition to the north side of the building as well as altered the west elevation, adding a dormer and 2 porches accessible from the first level. The existing rear porch was also modified to enclose the space with plexi-glass attempting to condition the space.

**General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district.**

2 STORY ADDITION ON WEST ELEVATION OF HOUSE, EXTENSION OF FRONT TERRACE, RECONSTRUCTING NORTH PORCH, REFURBISHMENT OF EXISTING WINDOWS, GENERAL INTERIOR RENOVATION.

The proposed renovation is intended to increase the livable space for the home owner while maintaining the existing character of the site. The west elevation is the preferred location for this added space because it will replace work completed in 1985 that does not respect the original design. Our intention is to pull back the 1985 dormer from the north and south elevations of the main house to give prominence to the original roof-line. In this portion of work we would reconstruct the original roof line that has been removed on the northwest side of the building. This side addition would also replace the 2 porches at this location that were constructed in 1985. The proposed addition is to be perceived as an extension of the living room on the east portion of the house, respecting the larger "square" massing where the rest of the house program exists. A deep setback from the street (approximately 225 feet) creates a visual buffer to the property. This new construction will increase the lot occupancy on the 3 lots comprising Ms. Weil's yard (46,446 SF) from 5.6 percent to 7.2 percent.

The design also includes extending the front terrace westward to the extent of the new addition. Visually, this will allow the addition and existing structure to read as a cohesive unit and will create outdoor space. The materiality of the terrace extension would differ from the original stone terrace to differentiate what is new from what is original to honor the historic resource.

Further, we propose to improve both the functional and visual condition of the rear log porch by rebuilding it so that it can become a habitable and conditioned space. Our intent is to create a respectful intervention of large windows to enclose the space similar to the new portion of work on the south elevation.

The proposed renovation/ addition will affect one tree on the south elevation. This tree is a 12” diameter shade tree in poor condition that does not contribute positively to the historic resource. Our intention is to plant a tree on the property to replace the tree we intend to remove. It is our belief that this tree will not survive the construction process due to its proximity to the building.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>Maya Weil          4807 Dorset Ave          Chevy Chase MD 20815</p>	<p><b>Owner's Agent's mailing address</b></p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Maya Weil          4807 Dorset Ave          Chevy Chase MD 20815</p>	<p>Jody and Rodd Macklin          4817 Dorset Ave          Chevy Chase MD 20815</p>
<p>Patricia and Robert Gage          4805 Dorset Ave          Chevy Chase MD 20815</p>	<p>Dabney and James Goold          5812 Surrey St          Chevy Chase MD 20815</p>
<p>Leslie and Phyllis Wiesenfelder          4812 Cumberland Ave          Chevy Chase MD 20815</p>	<p>David Brown          4814 Cumberland Ave          Chevy Chase MD 20815</p>



**Adjacent and confronting Property Owners mailing addresses**

Megan Spellacy and Perry Urken 4816 Cumberland Ave Chevy Chase MD 20815	Jay Klug and Jamie Hechinger 4816 Dorset Ave Chevy Chase MD 20815
Nancy Galler 5712 Surrey St Chevy Chase MD 20815	

**Existing Property Condition Photographs** (duplicate as needed)



Existing South elevation. Addition to occur on left side of image (West elevation)  
Detail: along with extension of front patio along entire elevation.



Existing West elevation. Addition to occur at this location. Dormer at second level  
Detail: to be reduced and original roof line at this elevation to be reconstructed.

**Existing Property Condition Photographs** (duplicate as needed)



Existing North elevation. Rear porch in poor condition; plexi-glass to be replaced  
Detail: with insulated glazing and structure to be replaced with new posts to support roof.



Existing East elevation. Terrace to be extended to south (not pictured);  
Detail: rear porch glazing to be replaced (see previous image).

**Existing Property Condition Photographs** (duplicate as needed)



Existing North elevation. Rear porch in poor condition; plexi-glass to be replaced  
Detail: with insulated glazing and structure to be replaced with new posts to support roof.



Existing North elevation. Rear porch in poor condition; plexi-glass to be replaced  
Detail: with insulated glazing and structure to be replaced with new posts to support roof.

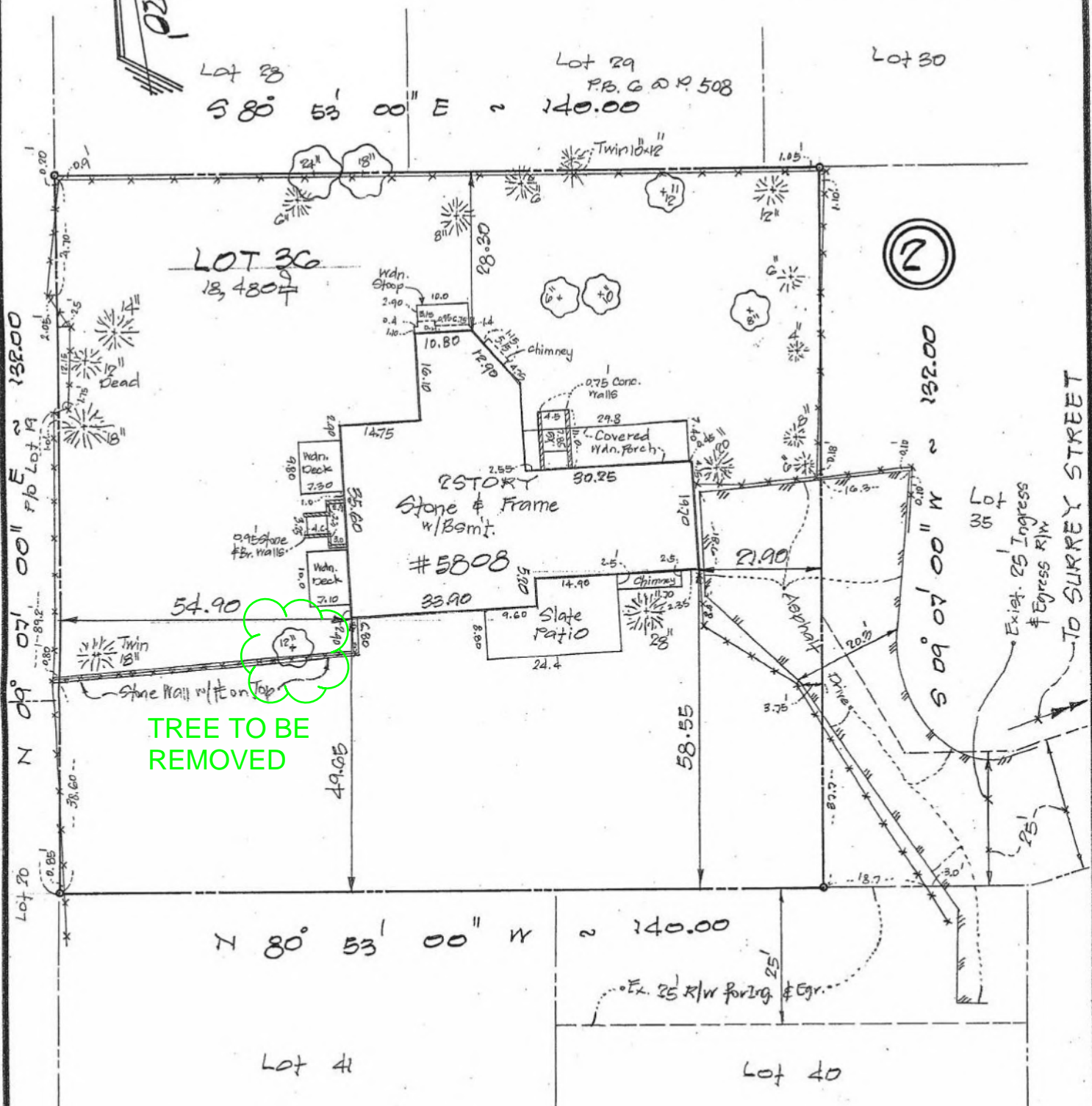
# TREE SURVEY

## HOUSE LOCATION SURVEY AND LOCATION OF TREES AROUND HOUSE

### LOT 36, BLOCK "2" SOMERSET HEIGHTS

PLAT BOOK 109 @ PLAT 12655  
7<sup>TH</sup> ELECTION DISTRICT  
MONTGOMERY COUNTY, MD.

SCALE: 1" = 20'



TREE TO BE REMOVED

The property shown hereon is not within Zone A-Special Flood Hazard Area per F.E.M.A. Flood Insurance Rate Maps.

+ = Shade Trees  
\* = Evergreen Trees

#### SURVEYOR'S CERTIFICATES:

I hereby certify that the position of the existing improvements on the above described property has been carefully established by a transit - tape survey and that unless otherwise shown, there are no visible encroachments.  
DATE: 30<sup>th</sup> May 2014 W.L.

I hereby certify that I have carefully surveyed the property as shown by this plat and iron pipe are in place as shown.  
DATE:

NOTE: House location surveys do not include setting Iron Pipes on property corners.

NO TITLE REPORT FURNISHED  
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.



#### W. L. MEEKINS, INC.

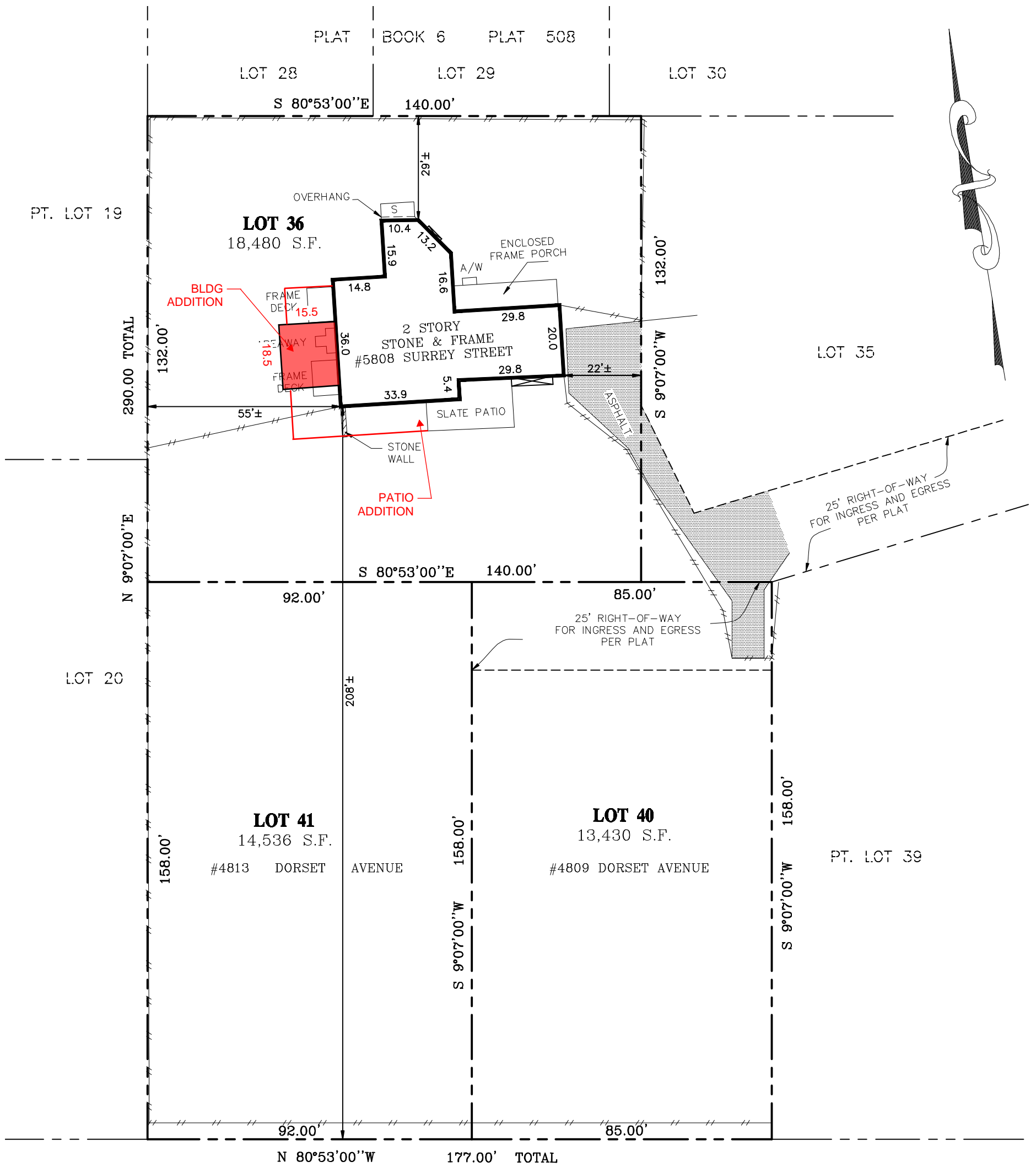
3101 RITCHIE ROAD  
FORESTVILLE, MD 20747  
TEL: 301-736-6387 / 7115  
email: meekins.meekins@verizon.net  
web: www.meekins.net  
REGISTRATIONS  
MD # 2134 & # 10833

DCLS # 900860

# BUILDING PLAT

## CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.



## DORSET AVENUE

### Notes:


1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 feet. Fences, if shown, have been located by approximate methods.
2. Property Address: 5808 Surrey Street. Lot 36  
4809 Dorset Street. Lot 40  
4813 Dorset Street. Lot 41
3. Improvements shown hereon per location drawing dated 7/8/97

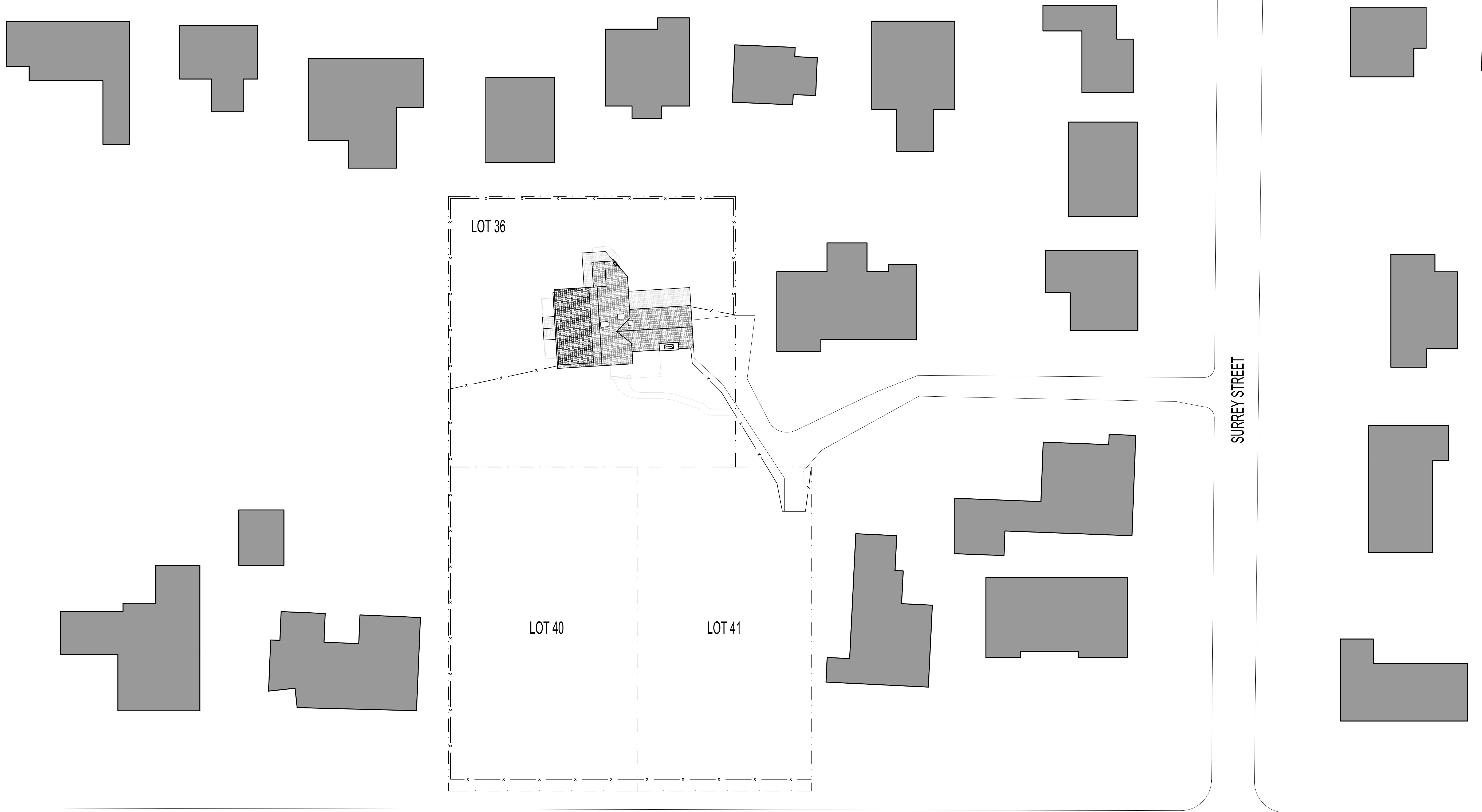
4. The information shown hereon was prepared without the benefit of a title report and may not reflect all easement rights of ways or encumbrance.
5. Zoning: properties are zoned R-60.

Zoning information is taken from typical R-60 zoning charts and are subject to verification from Montgomery County zoning authorities, and the Town of Somerset.  
Front: 25 ft. or E.B.L. whichever is greater.  
Side: Total 18 ft. one side 8 ft.  
Rear: 20 ft.

### LOCATION DRAWING LOTS 36, 40 AND 41 SOMERSET HEIGHTS

MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE		REFERENCES			SNIDER & ASSOCIATES LAND SURVEYORS		
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN".		PLAT BK.	109		DATE OF LOCATIONS	SCALE:	1" = 30'
		PLAT NO.	12655		HOUSE LOCATION:	7-8-97	DRAWN BY:
MARYLAND PROFESSIONAL LAND SURVEYOR REG. NO. 21229 EXPIRES: 01-19-2013		LIBER		PROPERTY CORNERS:	JOB NO.:	97-188470	



MAYA WEIL  
4807 DORSET AVE.  
CHEVY CHASE, MD 20815

WEIL RESIDENCE  
4807 DORSET AVE.  
CHEVY CHASE, MD 20815

REVISIONS

1	MONTGOMERY CO. HAMP	07/02/14
2	MONTGOMERY CO. HAMP	08/27/14

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CHECKED BY:	DR

1  
AES1.01  
1" = 25'-0"



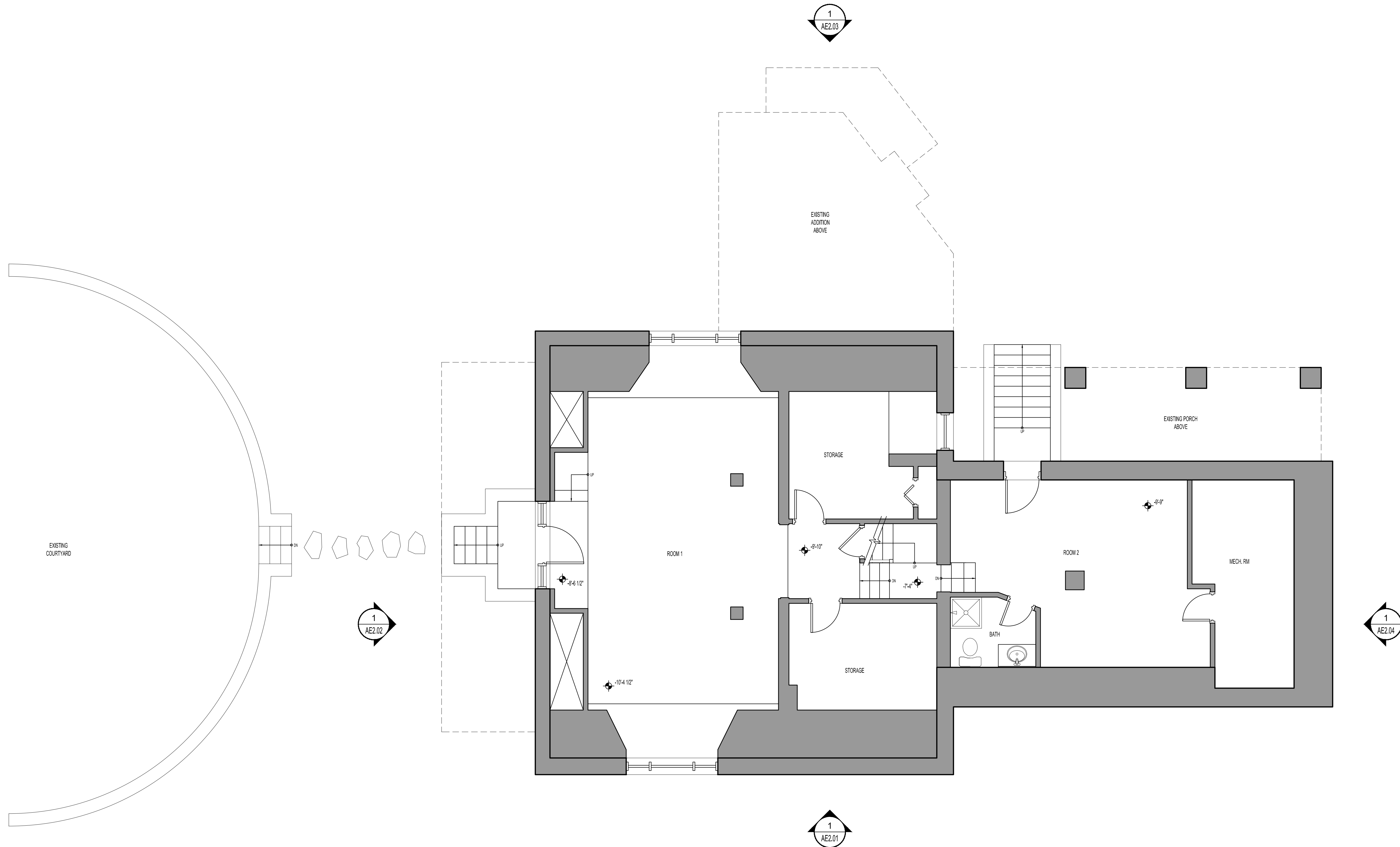
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EXISTING SITE PLAN

AES1.01



1  
AE1.01  
EXISTING BASEMENT FLOOR PLAN  
1/4" = 1'-0"



MAYA WEIL  
4807 DORSET AVE.  
CHEVY CHASE, MD 20815

**WEIL RESIDENCE**  
4807 DORSET AVE.  
CHEVY CHASE, MD 20815

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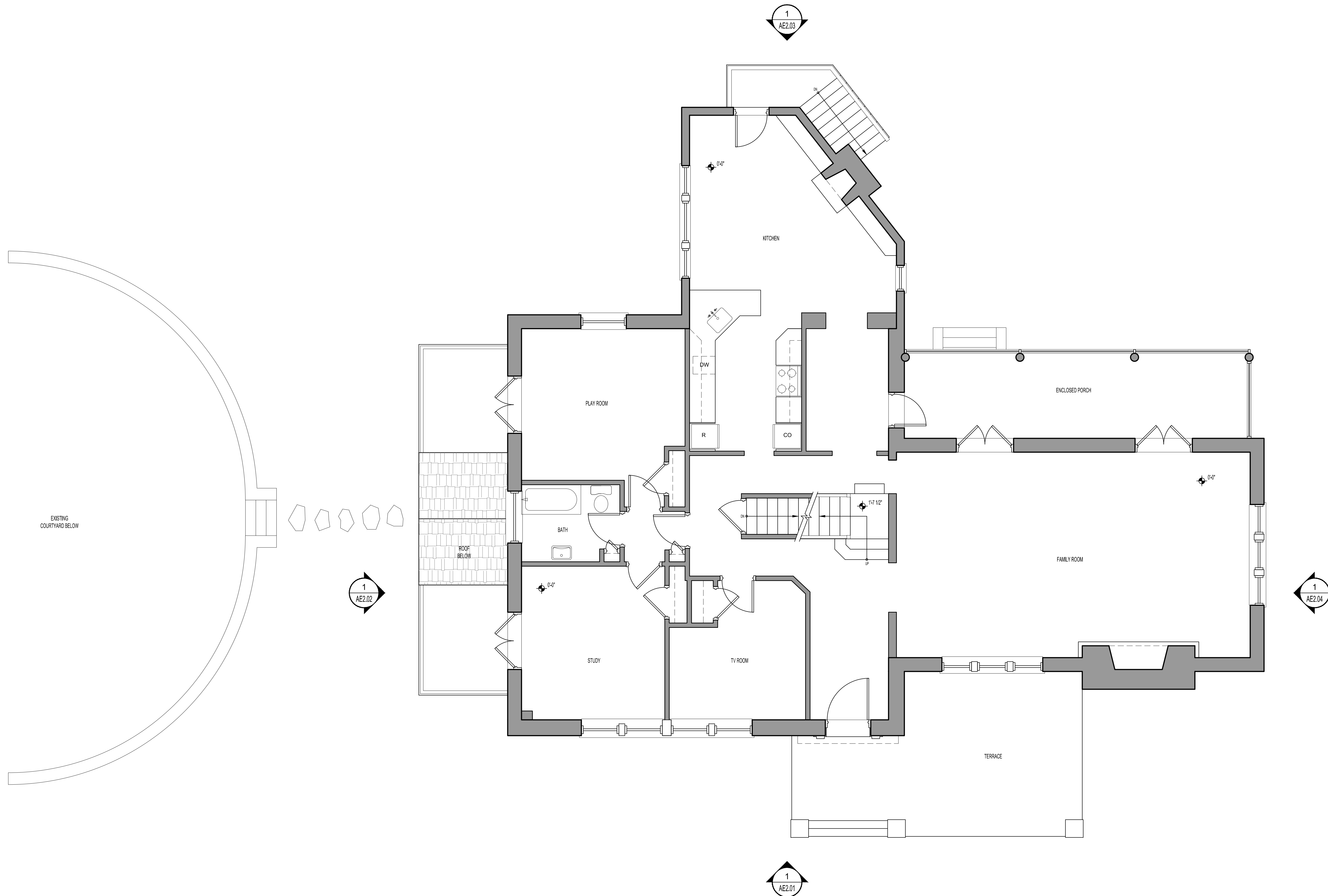
EXIST. BASEMENT FLOOR PLAN

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AE1.01





1  
A1.02  
EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



MAYA WEIL  
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**WEIL RESIDENCE**  
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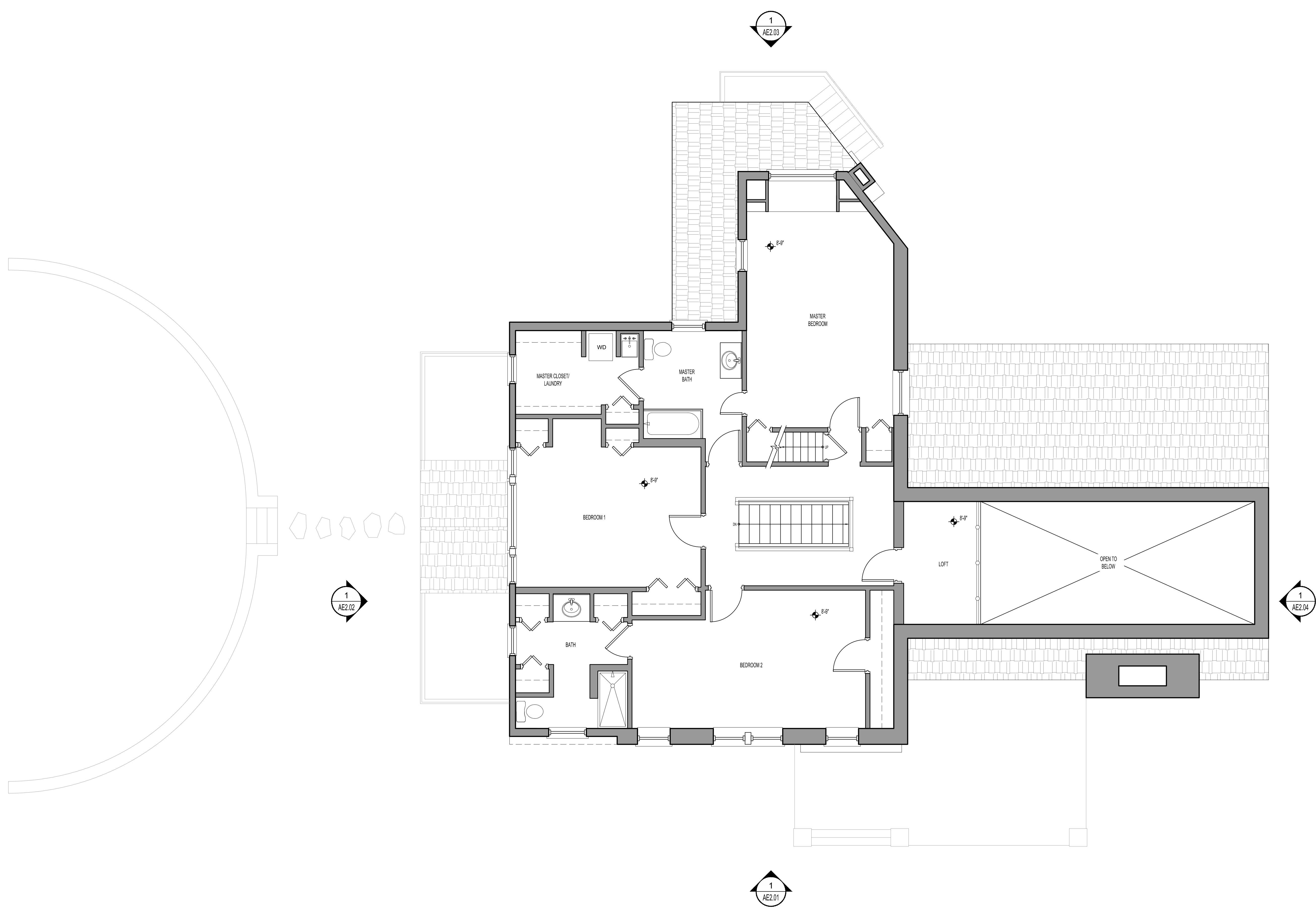
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EXIST. FIRST FLOOR PLAN

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**AE1.02**



1  
AE1.03 EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"

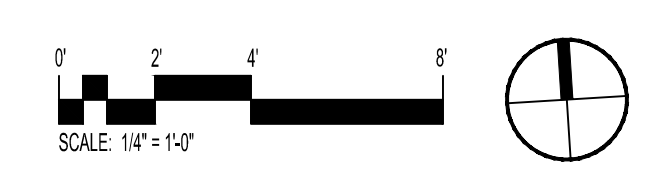
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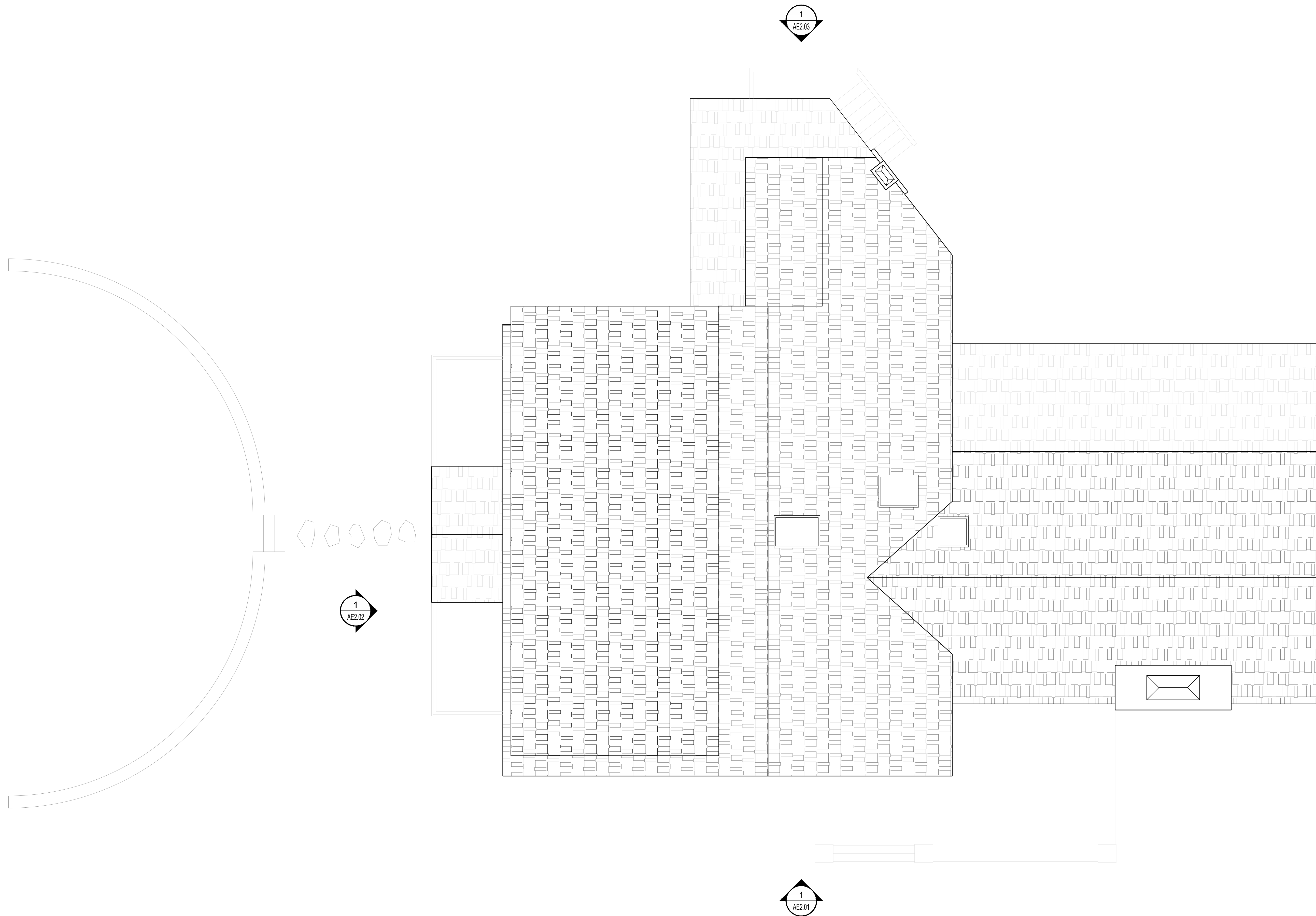
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EXIST. SECOND FLOOR PLAN

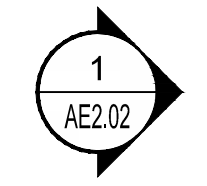
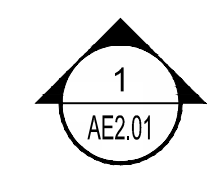
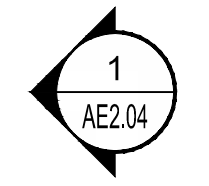
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AE1.03



1  
AE1.04  
EXISTING ROOF PLAN  
1/4" = 1'-0"



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CHEVY CHASE, MD 20815

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EXISTING ROOF PLAN

**AE1.04**



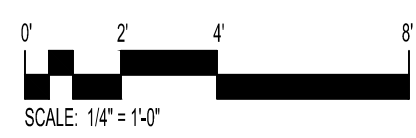
1 EXIST. SOUTH ELEVATION  
 AE2.01 1/4" = 1'-0"

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1 EXIST. WEST ELEVATION  
 AE2.02 1/4" = 1'-0"

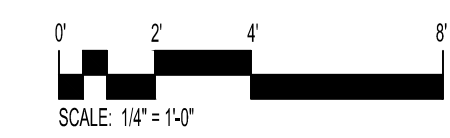
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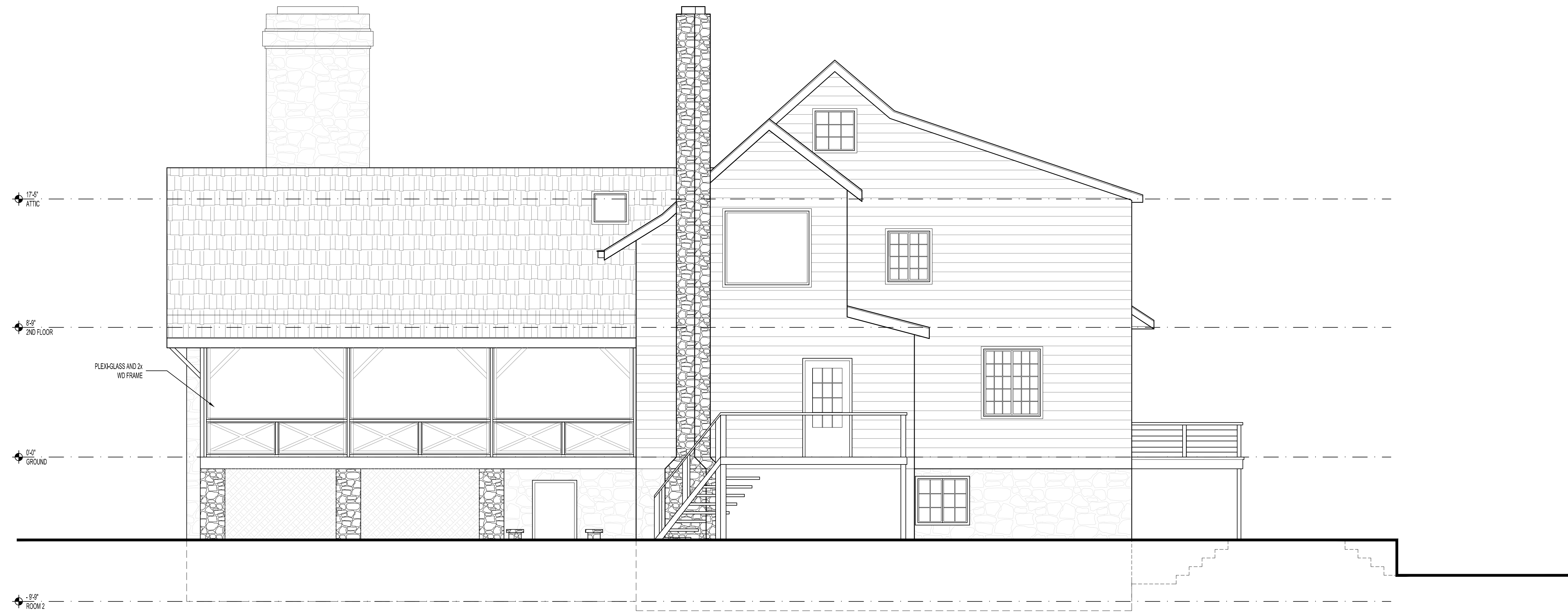
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EXIST. WEST ELEVATION

AE2.02



1 EXIST. NORTH ELEVATION  
 AE2.03 1/4" = 1'-0"

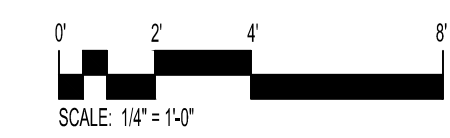
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AE2.03



1 EXIST. EAST ELEVATION  
 AE2.04 1/4" = 1'-0"

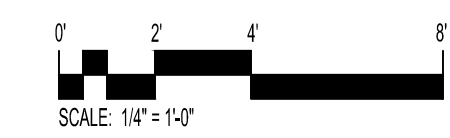
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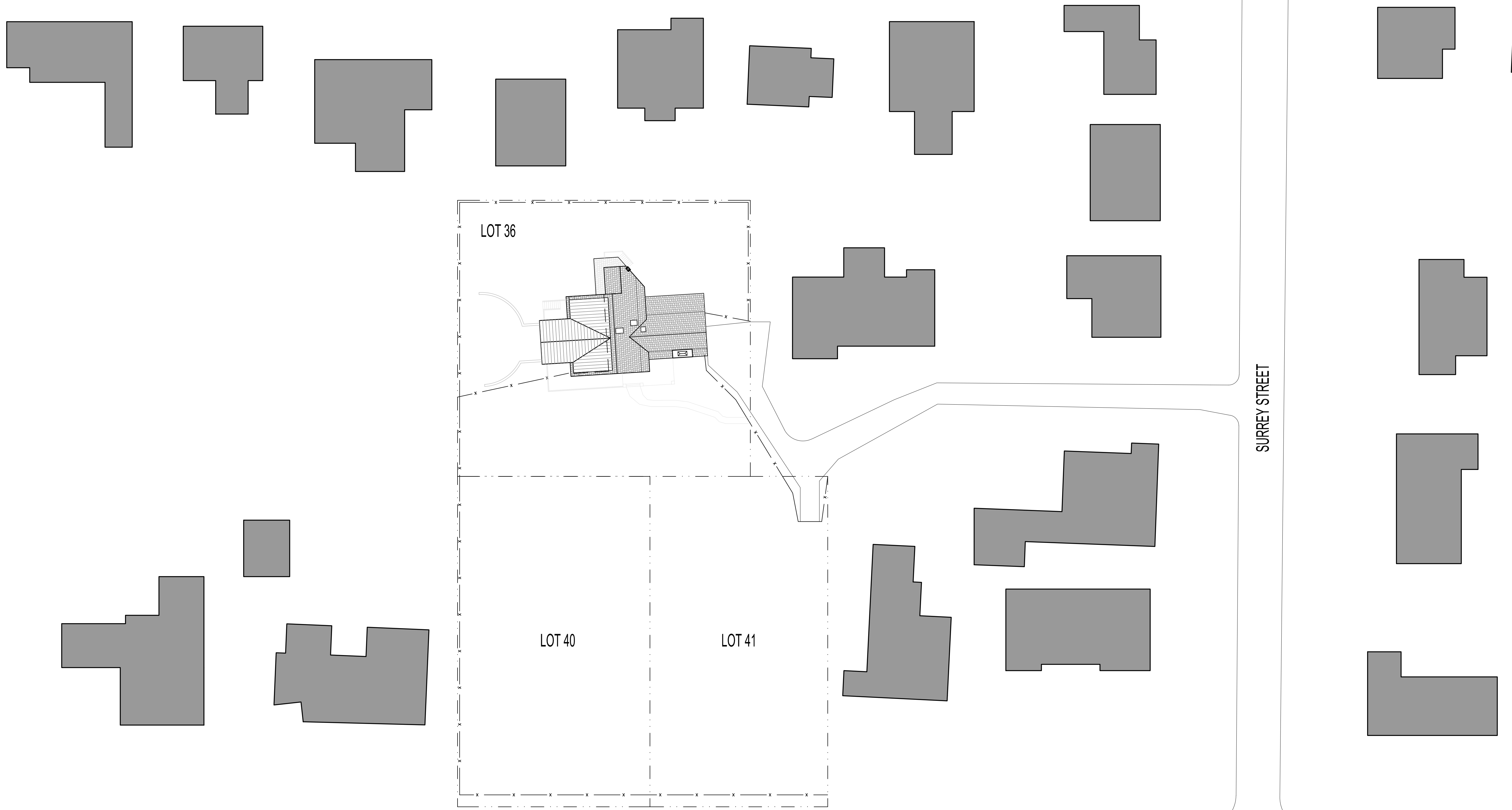
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EXIST. EAST ELEVATION

AE2.04



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1 PROPOSED SITE PLAN  
AS1.01 1" = 25'-0"



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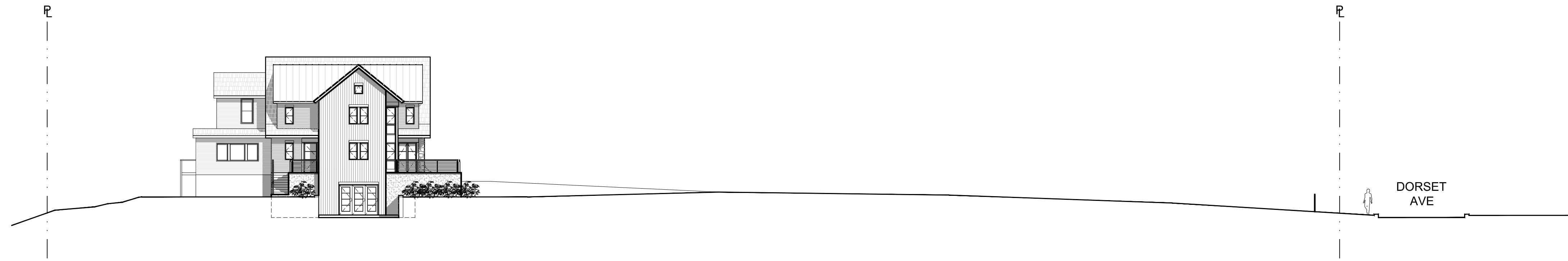
PROPOSED SITE PLAN

AS1.01





2 PROPOSED SITE SECTION - EAST ELEVATION  
AS1.02 1" = 16'-0"



1 PROPOSED SITE SECTION - WEST ELEVATION  
AS1.02 1" = 16'-0"

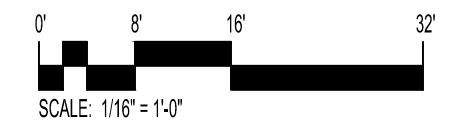
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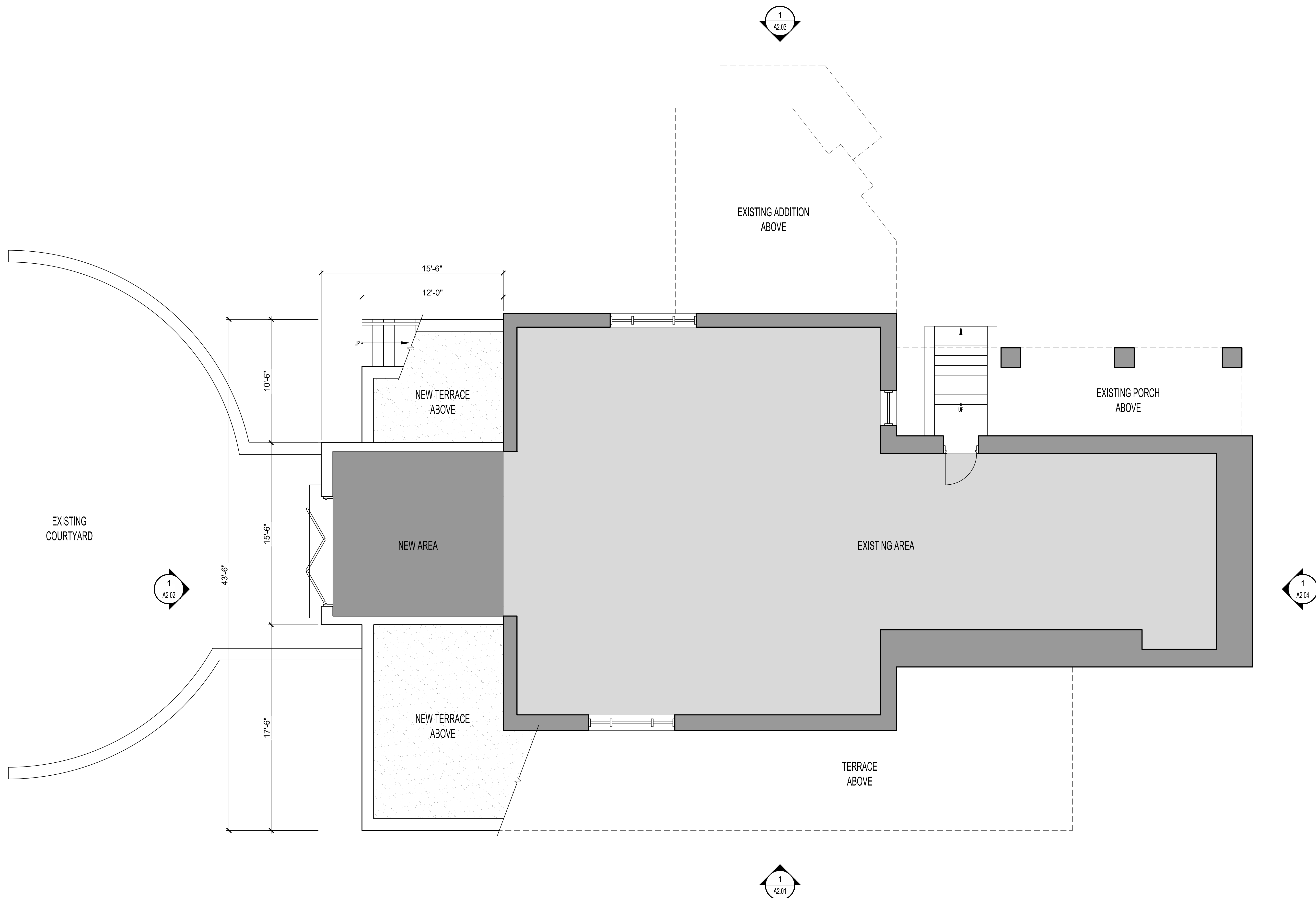
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ARCHITECTS

PROPOSED SITE SECTIONS

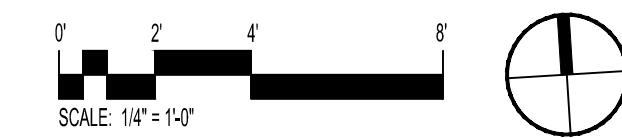
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AS1.02



1  
A1.01  
BASEMENT FLOOR PLAN  
1/4" = 1'-0"



MAYA WEIL  
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CHEVY CHASE, MD 20815

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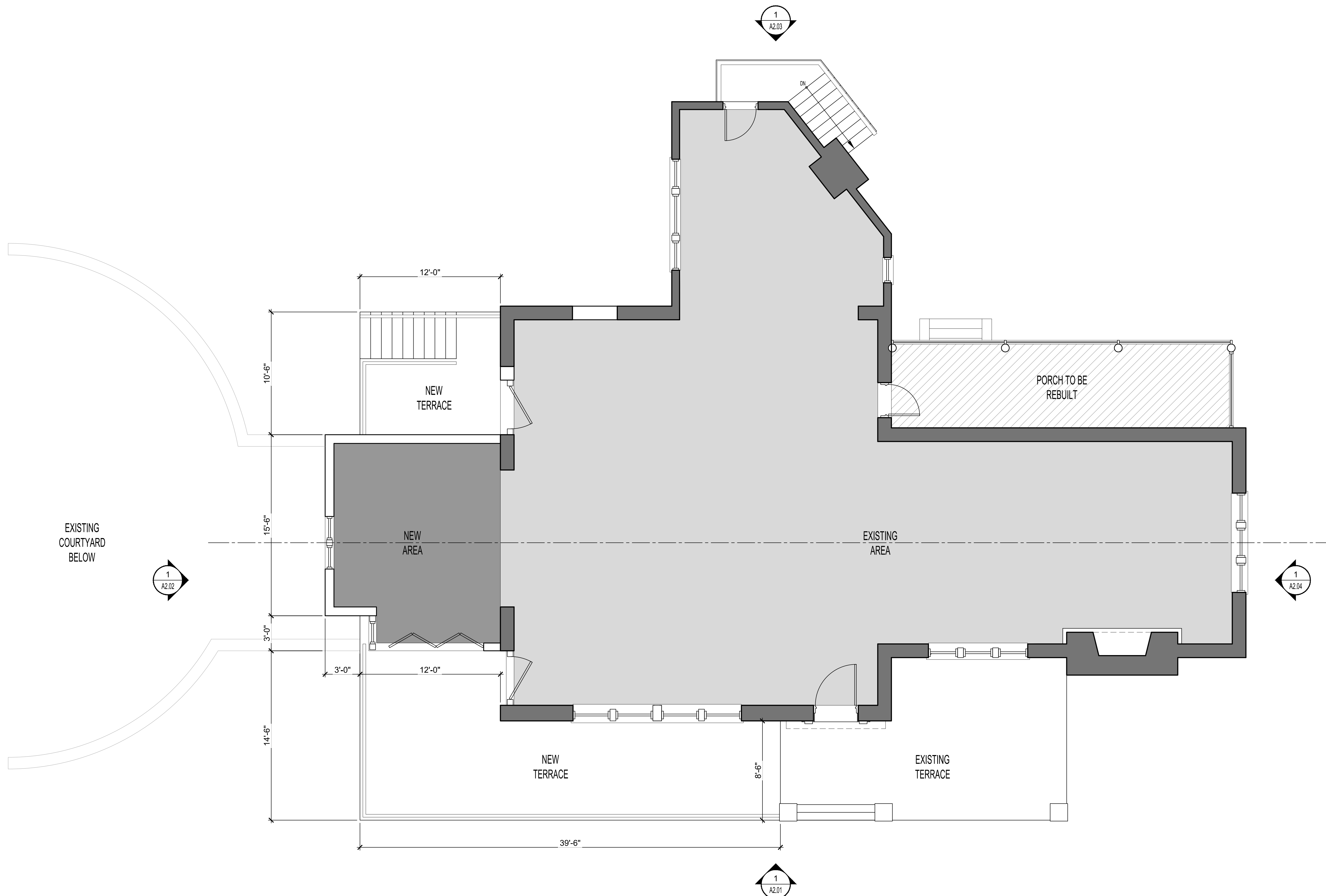
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BASEMENT FLOOR PLAN

A1.01



1  
A1.02  
FIRST FLOOR PLAN  
1/4" = 1'-0"



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4807 DORSET AVE.  
CHEVY CHASE, MD 20815

**WEIL RESIDENCE**  
4807 DORSET AVE.  
CHEVY CHASE, MD 20815

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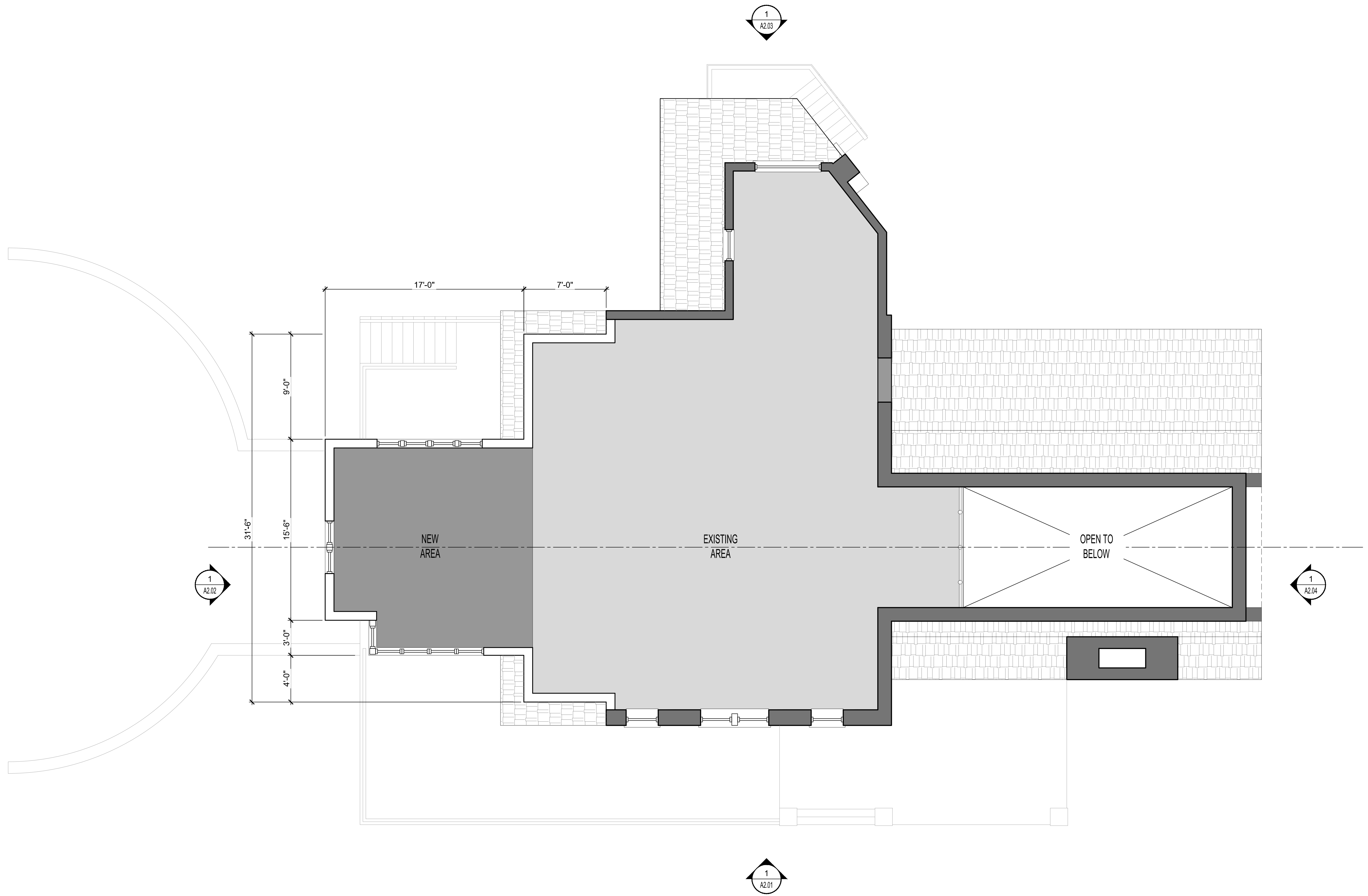
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FIRST FLOOR PLAN

A1.02



1  
A1.03 SECOND FLOOR PLAN  
1/4" = 1'-0"



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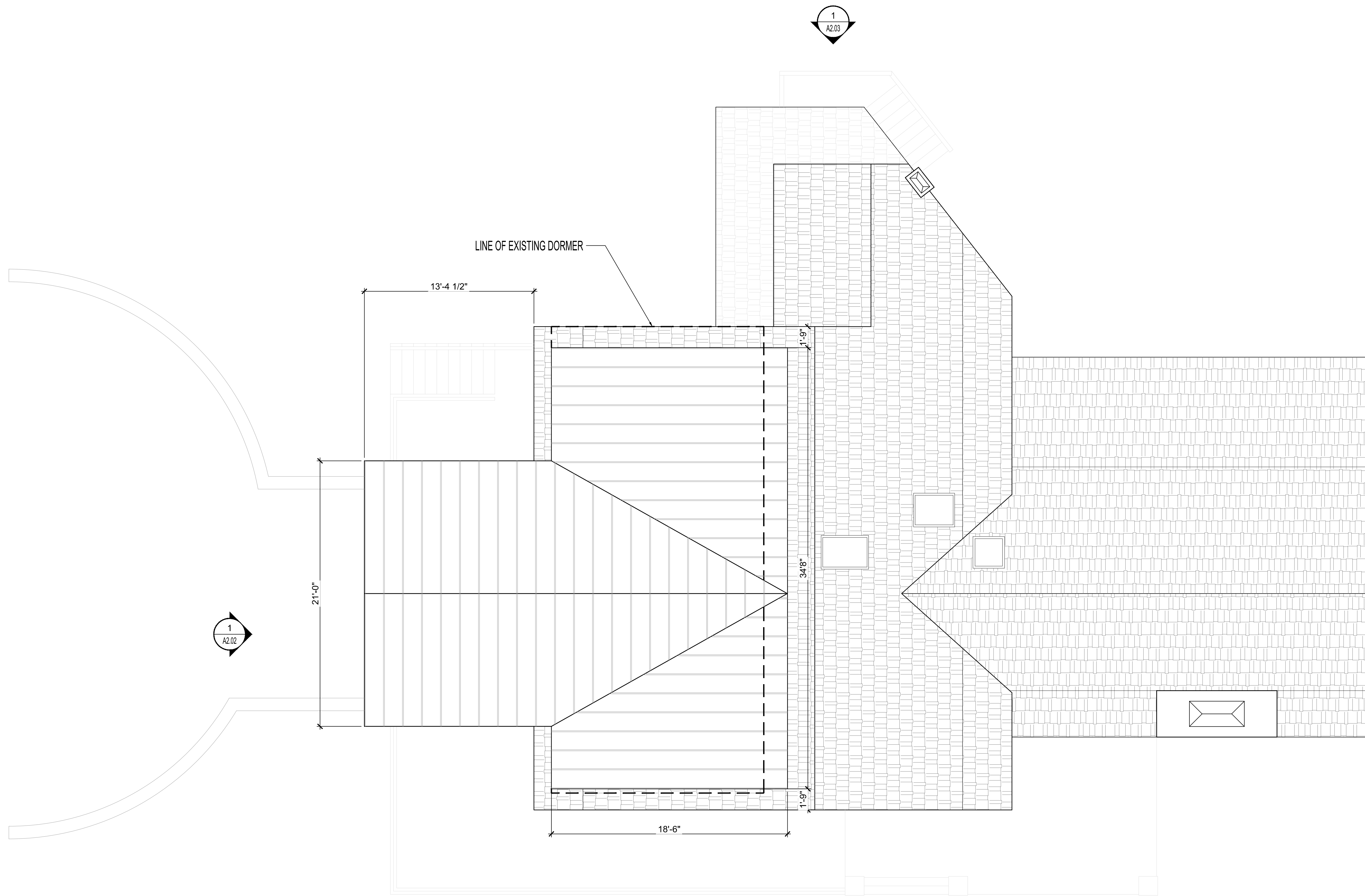
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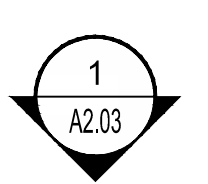
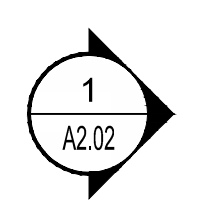
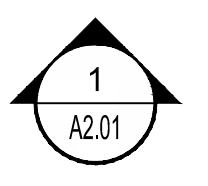
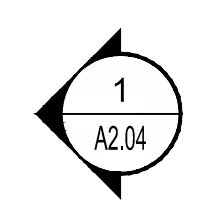
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SECOND FLOOR PLAN

A1.03



1  
A1.04  
ROOF PLAN  
1/4" = 1'-0"



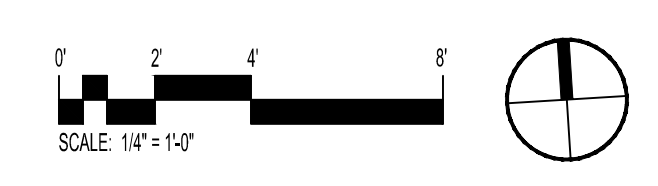
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ROOF PLAN

A1.04



STANDING SEAM METAL ROOF



WOOD SIDING, PTD



VERTICAL WOOD SIDING



METAL PANEL AND GLAZING



CONCRETE TERRACE WALL



1 SOUTH ELEVATION  
A2.01  
1/4" = 1'-0"

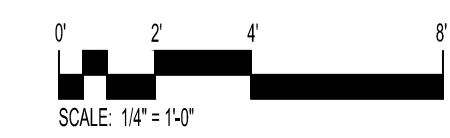
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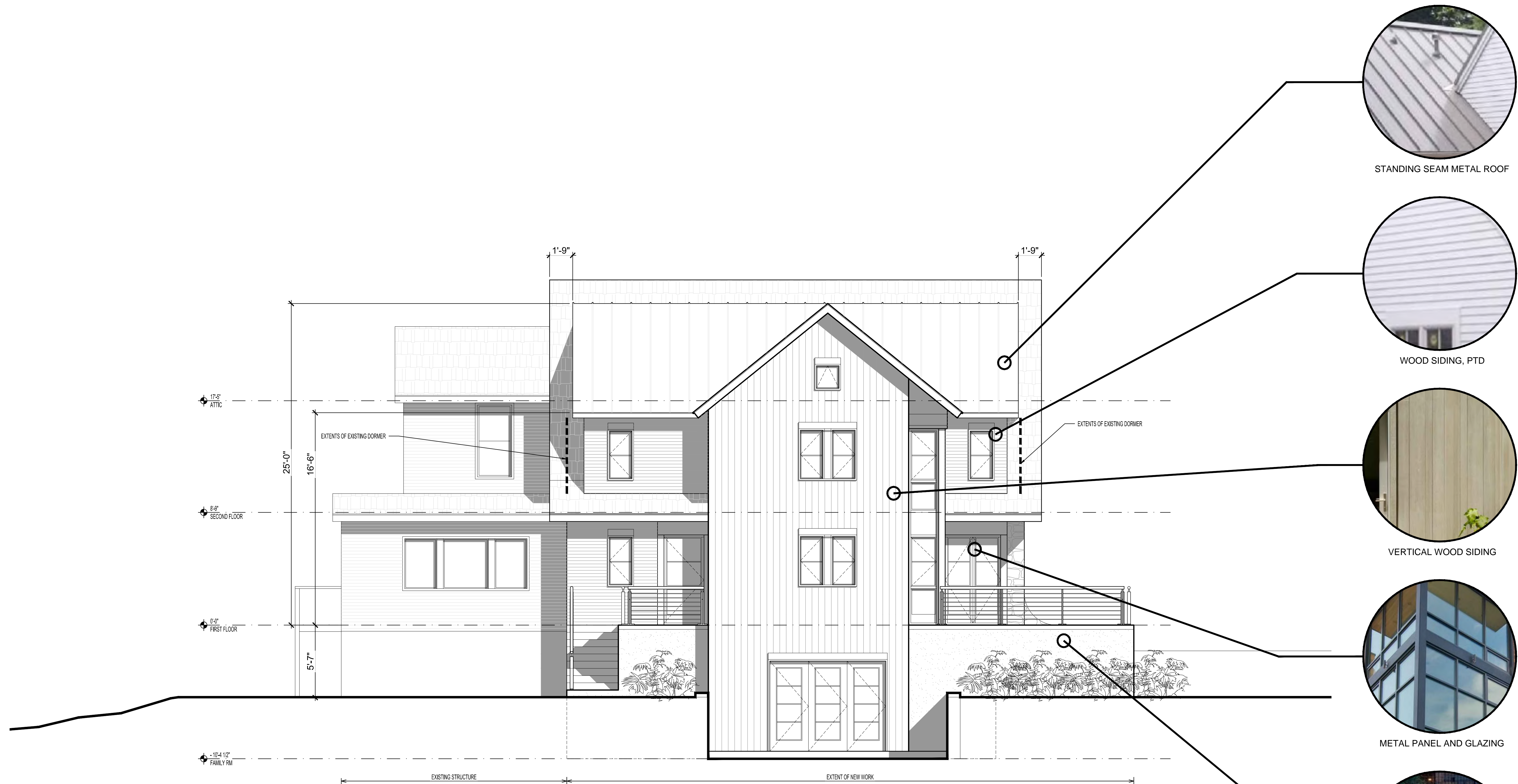
Bonstra Harsign  
ARCHITECTS

SOUTH ELEVATION

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A2.01



1 WEST ELEVATION  
A2.02 1/4" = 1'-0"



STANDING SEAM METAL ROOF



WOOD SIDING, PTD



VERTICAL WOOD SIDING



METAL PANEL AND GLAZING



CONCRETE TERRACE WALL

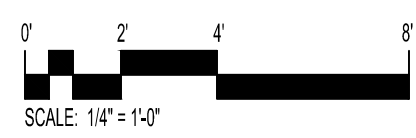
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WEST ELEVATION

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A2.02



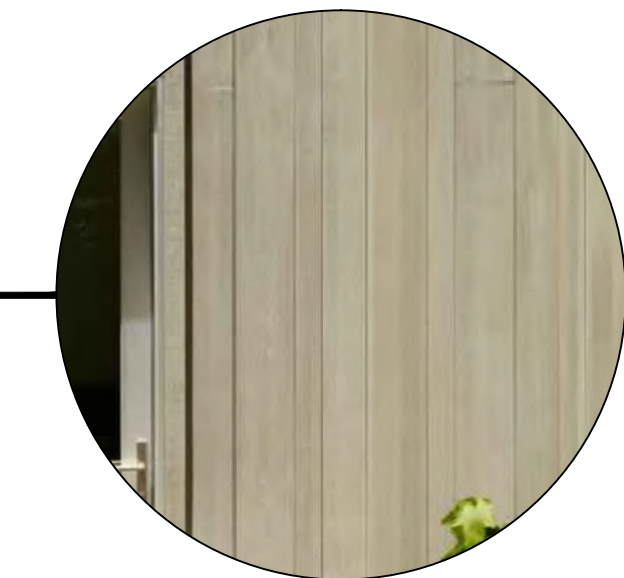
METAL PANEL AND GLAZING



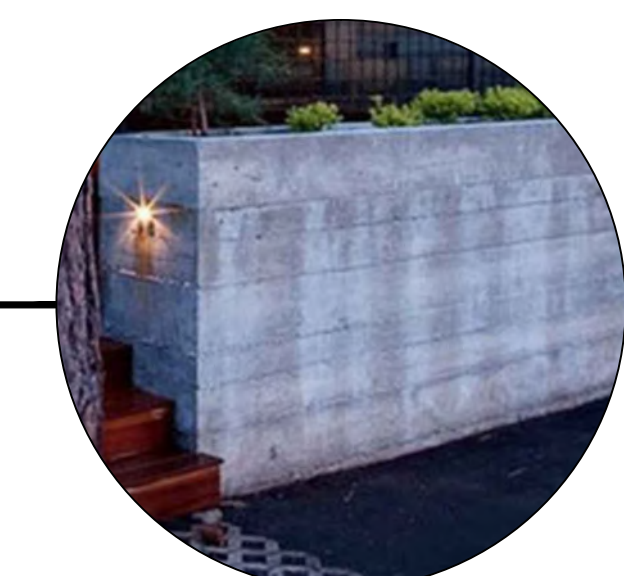
STANDING SEAM METAL ROOF



WOOD SIDING, PTD



VERTICAL WOOD SIDING



CONCRETE TERRACE WALL

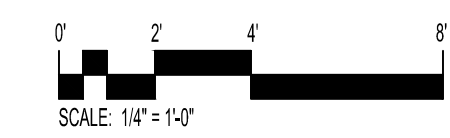
1 NORTH ELEVATION  
A2.03 1/4" = 1'-0"

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ARCHITECTS

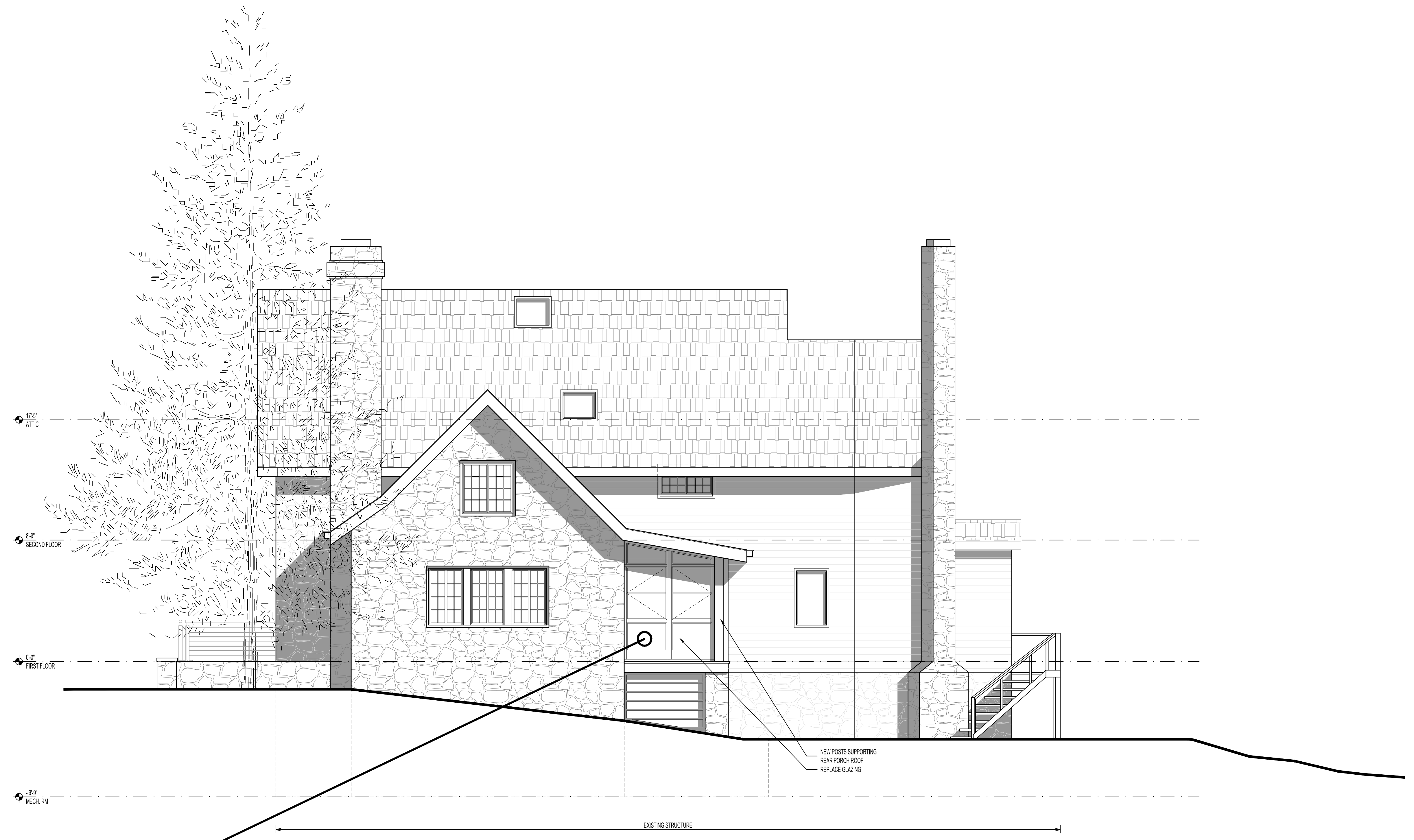
NORTH ELEVATION

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A2.03





1 EAST ELEVATION  
A2.04 1/4" = 1'-0"

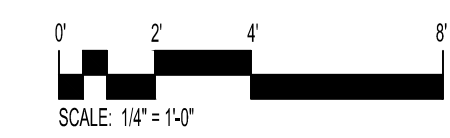


METAL PANEL AND GLAZING

REVISIONS

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**Bonstra Harsign**  
ARCHITECTS

EAST ELEVATION

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A2.04





