

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7017 Sycamore Ave., Takoma Park	Meeting Date:	7/10/2024
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	7/3/2024
Applicant:	Rolf Reichle & Amy Schwenkmeyer Brian McCarthy, Architect	Public Notice:	6/26/2024
Review:	Preliminary Consultation	Staff:	Dan Bruechert
Proposal:	Alterations to front porch, partial demolition and new construction of rear deck		

RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: 1921

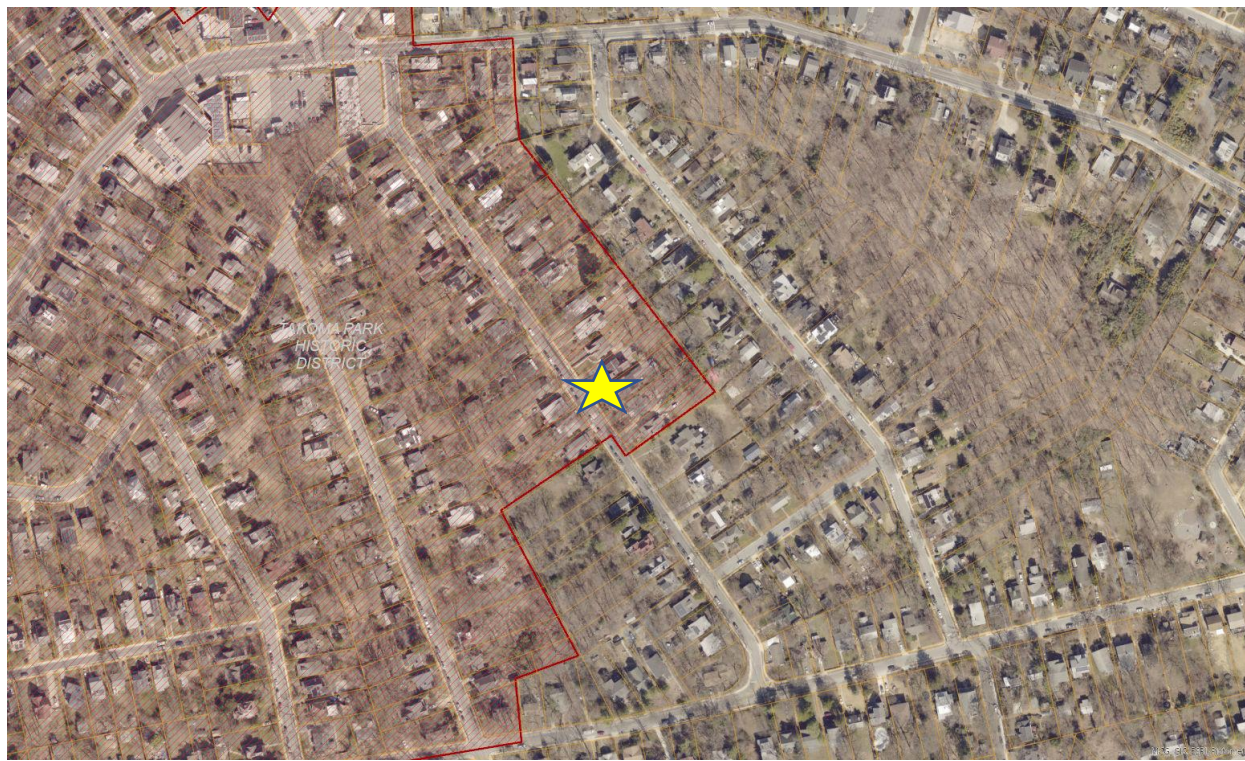


Figure 1: The subject property is near the eastern edge of the Takoma Park Historic District.

PROPOSAL

The applicant proposes to partially demolish the front porch, construct an expanded front porch, and install a new deck to the rear.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*, and the *Adopted Policy for the Appropriateness of Substitute materials for Porch and Deck Flooring (Policy No. 24-01)*.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the

replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis.

- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be

compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Adopted Policy for the Appropriateness of Substitute materials for Porch and Deck Flooring (Policy No. 24-01

2. Historic districts are comprised of groups of cohesive historic resources that collectively contribute to the county's historic, architectural, archaeological, or cultural values. Resources in many districts are categorized as 'Outstanding,' 'Contributing,' or 'Non-Contributing' and the treatment of these resources varies based on their categorization.
4. Contributing Resources – These are significant for their contribution to the district as a whole and prioritize retaining the architectural style, overall volume, and size. Porch floors on 'Contributing' resources may be a compatible substitute material (discussed below), provided the material matches the building's historic character and construction methods. Historic rear porches for 'Contributing' resources may be constructed using a compatible substitute material. Non-historic porches and decks on 'Contributing' resources that are not visible from the public right-of-way may be constructed using substitute materials.
6. Compatible substitute materials for replacement porch flooring/decking – On buildings where a substitute material is acceptable under this policy, the material must satisfy the following criteria:
 - It must match the dimensions and installation method (i.e.) of the existing material or a historically appropriate porch flooring, (e.g., boards must run perpendicular to the house for porches);
 - It must be millable;
 - It can be painted without voiding the product warranty; or,
 - Has a uniform appearance consistent with painted wood;
 - It has a minimal (or no) stamped or embossed texture on the surface; and,
 - It has a finished edge that appears as a cut solid board.

STAFF DISCUSSION

The subject property is a one-and-a-half-story side gable Craftsman covered in aluminum siding, with a porch in the right front corner of the house. At the street, there is a tall stone retaining wall that rises significantly from the street grade. That rise in grade limits the visibility of the subject property from the public right-of-way. The applicant proposes work in two areas: 1) partially demolishing the existing front porch and constructing an enlarged front porch, and 2) removing the existing rear deck and installing a new deck in its place.

Front Porch Demolition and Construction

The existing front porch is in the right-front corner of the house and projects approximately 4' (four feet) in front of the front wall plane. The porch is supported by masonry piers, with aluminum-wrapped columns, and low brick walls with sections of vinyl siding between the brick column bases. The existing concrete stairs are steeper than what is allowed under the existing code. There are several cracks through

the brick walls and concrete floor. As originally constructed, the porch extended further to the rear, however, a previous owner captured much of the rear to create an entry foyer. The applicant proposes to partially demolish the front porch and construct an enlarged porch in its place. The applicant proposes to construct wood, code-compliant, front stairs.

Staff finds the existing front porch has been modified from its historic appearance. Additionally, based on Staff's observations at a site visit and the information in the application, Staff finds the structural failures are so severe that the porch has deteriorated beyond reasonable repair. Staff would recommend the HPC approve a HAWP for the partial demolition of the front porch under 24A-8(b)(2), (4), and (d).

In place of the existing front porch, the applicant proposes to construct an enlarged front porch. The new porch will project an additional 1' 6" (one foot, six inches) to the right (east) and 3' (three feet) towards the street (south) and will maintain many of the design elements of the existing front porch including tapered columns supported by brick bases and exposed roof rafter tails. The new front stairs are proposed for the middle of the front porch, but then will make a 45° (forty-five degree) turn toward the left (west). Materials for the porch include brick piers, Boral columns, a wood railing, wood stairs with Aeratis risers and treads, and Aeratis decking. The stair stringers will be Trex.

Staff finds the size and overall design of the new porch is consistent with the overall architectural style and character of the existing house and surrounding district. Staff finds that it is more common to have a solid wall on the porches of Craftsman houses rather than the proposed wood railing and baluster, but notes there are Craftsman houses on the same block as the subject property with a wood railing and baluster.

The existing front stairs are too steep to comply with the existing building code. Additionally, the brick used to construct the cheek walls does not match the brick used on the foundation and column bases, which suggests to Staff that these stairs are not historic. The applicant proposes to demolish the existing stairs and the brick cheek walls. Staff finds the demolition of these elements will not significantly alter the character of the house or the surrounding district and supports their removal under 24A-8(b)(4) and (d).

Staff has outstanding questions as to the compatibility of the run of the new front stairs (see *Figures 2 and 3*, below). Because of the location of the existing concrete path and the slope of the lot, the applicant proposes to have the stairs turn approximately 45° (forty-five degrees) to the left (west). This turn in the stairs will allow the new stairs to satisfy the code and align with the existing front walk. However, Staff finds that this type of stair run is not typical of historic Craftsman architecture and obscures much of the front porch. Staff requests feedback from the HPC regarding the appropriateness of this design.

Staff's initial alternative is to have the stairs exit the porch from the left, along the house's front wall, and make a 90° (ninety-degree) turn towards the street (south). The stairs could either have a brick cheek wall or could have a lattice between the posts. Staff recognizes this would cover an existing basement window however, the basement floor plan does not indicate that access to this window is required to satisfy egress requirements.

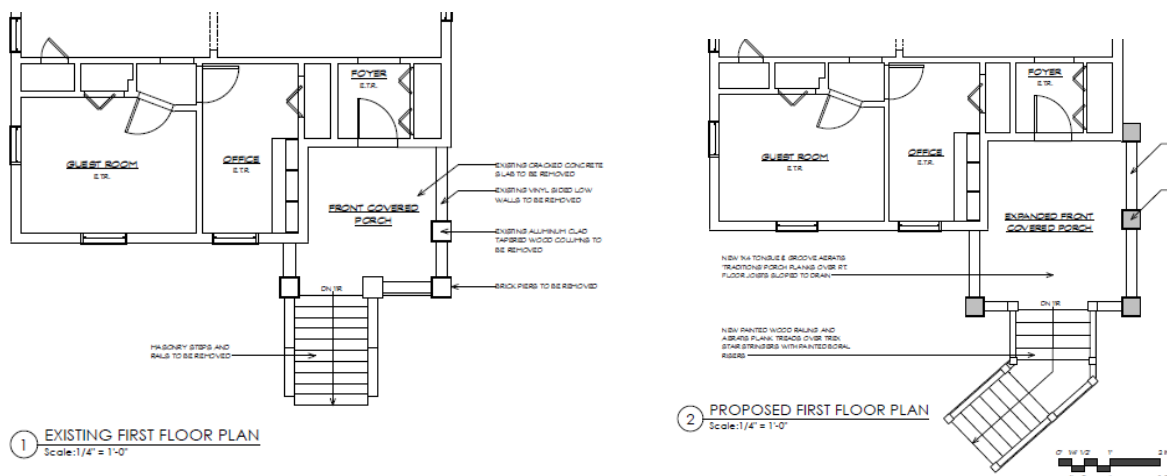


Figure 2: Existing (left) and proposed (right) front porch configuration.

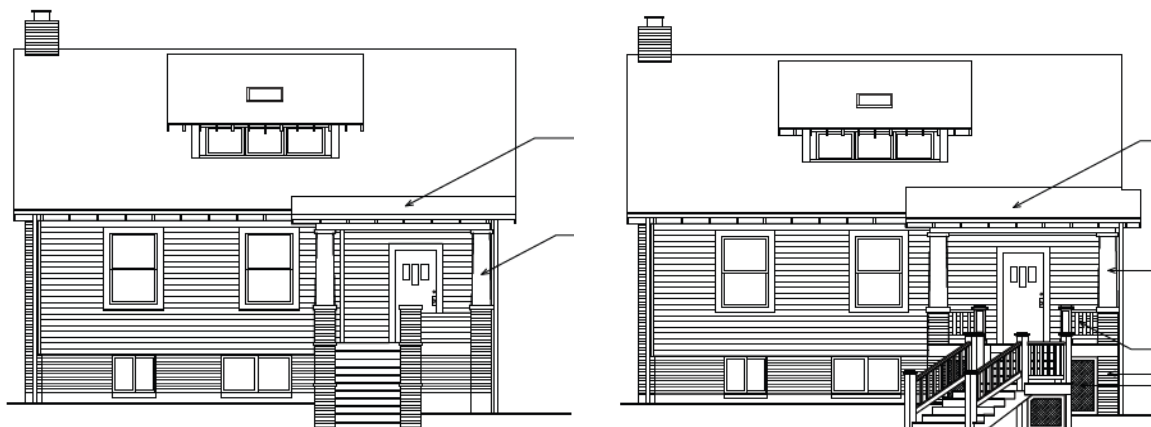


Figure 3: Existing (left) and proposed (right) front elevation showing the existing and proposed front stairs.

Staff finds most of the materials are appropriate with the historic resource and the surrounding district. The brick piers, wood railing, and architectural shingles are all compatible with the character of the house and Staff would recommend the HPC approve their use under 24A-8(b)(1), (2), and (d), and Standard 2. As far as the Aeratis flooring and stair treads, Staff refers the HPC to the recently adopted *Policy for the Appropriateness of Substitute Materials for Porch and Deck Flooring*. As a new porch on a ‘Contributing’ resource, the porch flooring may use a compatible substitute material. The proposed Aeratis flooring is milled to be installed as a tongue-and-groove floor; and is a material that is both mill-able and paintable. Additionally, Staff finds the tread on Aeratis is minimal and is used to provide some anti-slip protection. Staff supports the proposed Aeratis flooring as a compatible substitute material under 24A(8)(d); Standard 2, 9, and 10; the *Design Guidelines*; and *Policy 24-01*.

Two additional substitute materials are proposed. The applicant proposes to install Boral columns and Boral stair risers; and a Trex fascia over the stair stringers. The proposed columns will be tapered to match the appearance of the aluminum-wrapped ones; however, the applicant did not provide documentation for the condition of the material of the existing columns. While Staff’s preference is for the new columns to be wood, the HPC may find that this is an instance where a substitute material would be acceptable under the design guidelines. The proposed Boral-wrapped columns would have a smooth surface that has to be painted to maintain its warranty. The drawback to this material is that the columns would not feel as solid as wood. The applicant also proposes to use Boral for the stair risers. Staff finds this application of the material, if evaluated under *Policy 24-01*, is appropriate. The material is mill-able, paintable, and has no

embossed faux grain. Staff would recommend the HPC approve the Boral risers. Finally, the applicant proposes to install Trex fascia over the stair stringers. Staff does not find that Trex is appropriate in this application. While Staff would consider an alternative substitute material, the Trex is not paintable (painting can void the product warranty because it can trap moisture) and has a deep embossed wood grain. Staff recommends the applicant identify an alternative material for this application. If the applicant would like the HPC to consider the Trex fascia, Staff recommends the applicant provide a material sample with the HAWP application.

Staff requests feedback from the HPC regarding:

- The appropriateness of the proposed wood railing and baluster on the proposed front porch;
- The appropriateness of the stair run proposed and;
 - The desirability of Staff's alternative;
- Does the HPC concur with Staff's finding that the proposed Aeratis porch flooring is appropriate?
- Does the HPC find that a substitute material is appropriate for the columns and stair risers?
- Does the HPC concur with Staff's finding that the proposed Trex fascia is inappropriate to cover the stair stringers?

Rear Deck

The existing rear deck is constructed using pressure treated wood with a wood railing and stairs. The existing stairs date to 1993, when they were submitted as part of the HAWP approval that included the rear addition.¹ The applicant proposes to demolish the existing rear deck and construct a slightly larger deck. The new deck will have a pressure treated wood structure and have Trex flooring and a Trex railing.

Staff finds the existing deck is not historic and is not visible from the public right-of-way and its demolition should be approved as a matter of course. Staff finds the size and location of the new deck to be appropriate as it will not overwhelm the existing house. *Policy 24-01* allows for significant latitude in selecting materials for non-historic rear decks that are not at all visible from the public right-of-way. Whereas replacing historic rear porches and decks allows a "compatible substitute material," replacing non-historic rear decks (not at all visible from the public right-of-way) allows a "substitute material." Staff finds that though Trex is not 'compatible,' its approval could be justified under *Policy 24-01* and the *Design Guideline* that states, "Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course;" and 24A-8(d). However, Trex is not typically considered of high enough quality to be used in the historic districts where the quality of building materials, constructability, and material assemblage has typically been discussed as an issue, even if the material is not at all visible. Staff has traditionally guided applicants away from using this material, even in locations such as this one.

Staff requests the HPC's guidance regarding Trex in this application in this proposed location.

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.

+ The approved 1993 HAWP is available here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640006/Box046/37-3-93S_Takoma%20Park%20Historic%20District_7017%20Sycamore%20Avenue_06-23-1993.pdf.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT: Rolf Reichle
Name: Amy Schwenkmeyer
Address: 7017 Sycamore Avenue
Daytime Phone: 202.538.2297

rhreichle@gmail.com
E-mail: amyschwenkmeyer@gmail.com
City: Takoma Park Zip: 20912
Tax Account No.: 13-01076983

AGENT/CONTACT (if applicable):

Name: Brian McCarthy
Bennett Frank McCarthy Architects
Address: 1400 Spring Street, Suite 320
Daytime Phone: 301.602.0115

E-mail: brian@bfmarch.com
City: Silver Spring Zip: 20910
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 7017 Sycamore Ave

Is the Property Located within an Historic District? Yes/District Name Takoma Park
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ 6/19/2024 _____
Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address Rolf Reichle & Amy Schwenkmeyer 7017 Sycamore Ave. Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address Brian McCarthy Bennett Frank McCarthy Architects, Inc. 1400 Spring St, #320 Silver Spring, MD 20910</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>David Band & Susan Klein 7101 Sycamore Avenue Takoma Park, MD 20912</p>	<p>Samuel Allen & Rebecca Shaeffer 7015 Sycamore Avenue Takoma Park, MD 20912</p>
<p>David Blockstein & Debra Prybyla 7016 Sycamore Avenue Takoma Park, MD 20912</p>	<p>Evelyn Archer Thornton & Stuart Pfeuffer 7100 Sycamore Avenue Takoma Park, MD 20912</p>
<p>7016 Woodland Avenue Takoma Park, MD 20912</p>	<p>7014 Woodland Avenue, Takoma Park MD 20912 7014 Sycamore Avenue, Takoma Park MD 20912</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

See attached Memorandum, addendum A.

Description of Work Proposed: Please give an overview of the work to be undertaken:

See attached Memorandum, addendum B.

BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

Memorandum

18 June 2024

To: Historic Preservation Commission (HPC)
Maryland-National Capital Park & Planning Commission
c/o Department of Permitting Services, Montgomery County

From: Brian McCarthy

Re: Historic Area Work Permit #1075104 for
7017 Sycamore Avenue, Takoma Park Historic District
Written Description of Project

Addendum a.

The house is a 1½-story wood frame bungalow in the Takoma Park Historic District, sited on a residential street with mature trees. A prominent, high stone wall and wide stone steps dominate the front of the property along Sycamore Avenue. The site above and behind the wall is relatively level. The house was built in 1923 and is registered as a Contributing Resource. The gable roof features a modest front shed dormer. All roofs are covered with laminated fiberglass composition “asphalt” shingles. Original wood trim, exposed rafters tails, and eave brackets remain but all the wood frame walls and dormers were clad in vinyl siding by a prior owner.

There is a modest covered front porch with masonry piers, aluminum-clad tapered wood columns, and concrete steps to grade. In lieu of a traditional wood railing system with balusters the front porch features low walls between the columns and stepped brick walls flanking the steps. The porch projects approximately four feet beyond the front of the house but the majority of the porch is recessed into the front right corner. The original porch was larger, but a previous owner converted the rear half of the recessed portion to interior space to create an entry foyer and coat closet.

A one-story addition and pressure treated wood deck were built in the rear in the early 1990’s and the addition was also clad in vinyl siding. The property was subdivided by a previous owner and a relatively new, traditionally-styled house was built on the resulting lot to the west/left. The current owners updated the house in 2014 by expanding the rear shed dormer under HAWP #673546.

Addendum b.

The front porch and rear wood deck are both in poor shape and in need of replacement. As demonstrated in the accompanying photographs, all the porch’s major masonry elements – the brick foundation, the concrete floor, and the concrete steps - are cracked and settling. And the pressure treated (P.T.) wood deck in the back is near the end of its useful life. The owners would like to replace both. In the case of the deck the goal would be to replace the structure in kind, though in a

slightly altered configuration, and use Trex floor planks and railing systems in lieu of PT wood. The deck is not visible from the public right-of-way.

For the front porch the owners propose to retain the aesthetic of the brick piers and tapered wood columns but use Aeratis brand flooring over wood framing for the steps and floor. The resulting crawlspace under the porch would be enclosed by painted lattice panels. The railing system would be painted wood rather than the existing vinyl clad low walls. The new entry steps will be angled to address the current, curved concrete lead walk.

While rebuilding the porch the owners propose to enlarge the porch to recover the space lost to the foyer. This would involve extending the porch about 1.5 ft to the side and a little under 3 ft toward the street. The latter increment will increase the spacing between the front right and rear columns to match the current spacing between the rear column and the wall of the foyer. The forward extension will necessitate rebuilding the shed roof that covers the porch to maintain the current eave height. As the photos demonstrate, the porch roof slope is rather shallow and given the home's elevated perch above Sycamore Avenue the porch roof has little impact on the façade. The proposed roof will be similarly inconspicuous.

The restored/rebuilt porch will be architecturally consistent with the character of the existing house as well as other bungalows in the community. New elements will faithfully echo the paint grade detailing and deep overhangs.

Work Item 1: Front Porch

Description of Current Condition:
There is a modest covered front porch with masonry piers, aluminum-clad tapered wood columns, and concrete steps to grade. In lieu of a traditional wood railing system with balusters the front porch features low walls between the columns and stepped brick walls flanking the steps. The porch projects approximately four feet beyond the front of the house but the majority of the porch is recessed into the front right corner.
The front porch is in poor shape and in need of replacement. As demonstrated in the photographs, all the porch's major masonry elements – the brick

Proposed Work:
For the front porch the owners propose to retain the aesthetic of the brick piers and tapered wood columns but use Aeratis brand flooring over wood framing for the steps and floor. The resulting crawlspace under the porch would be enclosed by painted lattice panels. The railing system would be painted wood rather than the existing vinyl clad low walls. The new entry steps will be angled to address the current, curved concrete lead walk.
While rebuilding the porch the owners propose to enlarge the porch to recover the space lost to the foyer, detailed in the memorandum. This would involve extending the porch about 1.5 ft to the side and a little under 3 ft toward the street. The latter increment will increase the spacing between the front right and

Work Item 2: Rear Deck

Description of Current Condition:
A pressure treated wood deck, built in the rear in the early 1990's is now in poor shape and in need of replacement.

Proposed Work:
The goal is to replace the structure in kind, though in a slightly altered configuration, and use Trex floor planks and railing systems in lieu of PT wood. The deck is not visible from the public right-of-way.

Work Item 3: _____

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Reichle-Schwenkmeyer Porch

7017 Sycamore Ave, Takoma Park, Maryland 20912 Project #2418

PROJECT DESCRIPTION

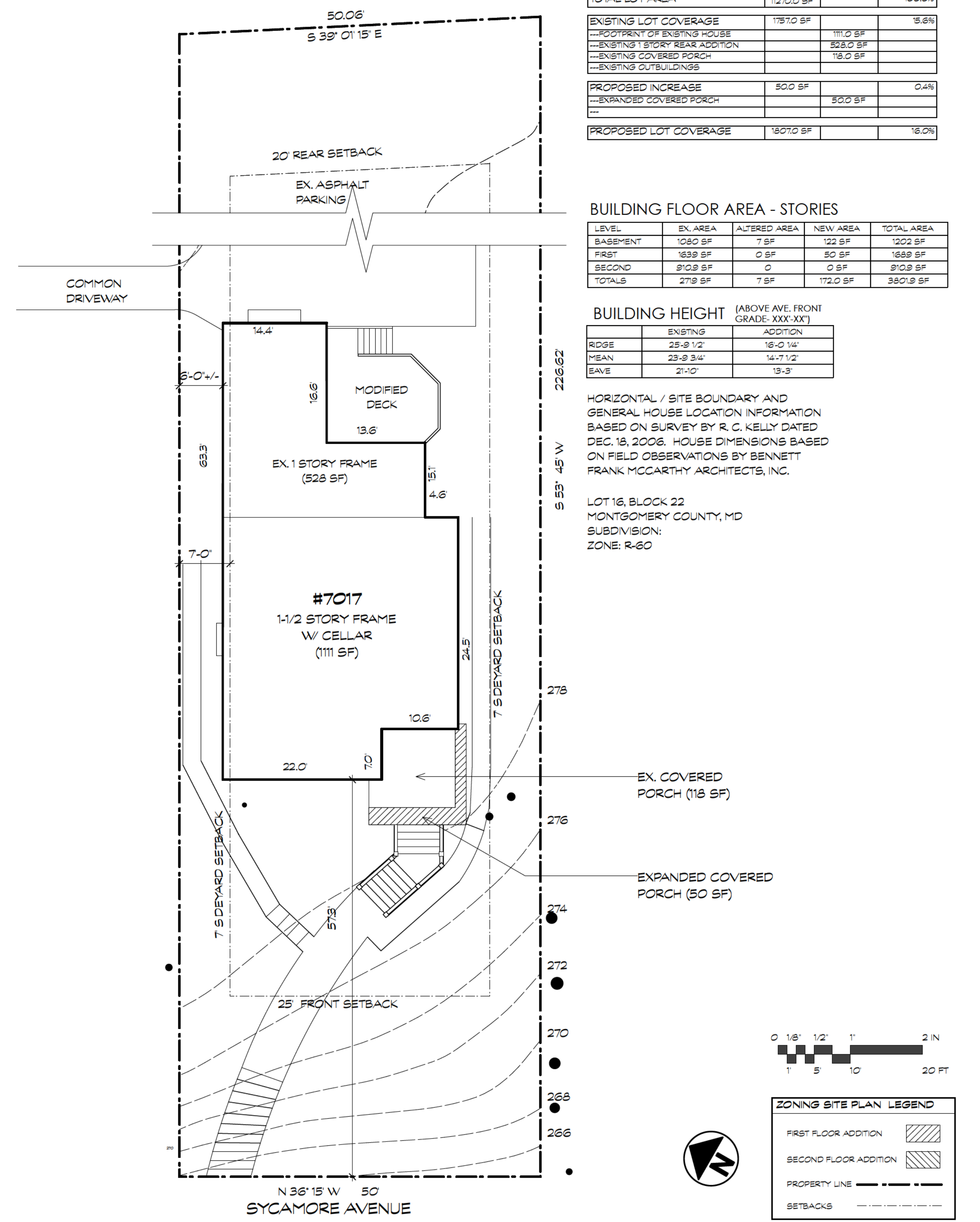
RESTORE / EXPAND FRONT PORCH AND REAR DECK

BENNETT FRANK MCCARTHY
architects, inc.
 1400 Spring Street, Suite 320
 Silver Spring, Maryland 20910-2755
 www.bfmarch.com
 (301) 585-2222

SPECIFICATIONS

ZONING SITE PLAN

Scale: 1" = 10'-0"



SITE PLAN SUMMARY- LOT COVERAGE

EXISTING LOT COVERAGE	EXISTING LOT AREA	EXISTING LOT COVERAGE (%)
EXISTING LOT COVERAGE	11270.0 SF	100.0%
FOOTPRINT OF EXISTING HOUSE	1797.0 SF	15.6%
EXISTING 1 STORY REAR ADDITION	111.0 SF	1.0%
EXISTING COVERED PORCH	322.0 SF	2.9%
EXISTING OUTBUILDINGS	18.0 SF	0.2%
PROPOSED INCREASE	50.0 SF	0.4%
EXPANDED COVERED PORCH	50.0 SF	0.4%
PROPOSED LOT COVERAGE	18070 SF	16.0%

BUILDING FLOOR AREA - STORIES

LEVEL	EX. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
BASEMENT	1080 SF	7 SF	122 SF	1202 SF
FIRST	1639 SF	0 SF	50 SF	1689 SF
SECOND	910 SF	0	0 SF	910 SF
TOTALS	2799 SF	7 SF	172.0 SF	3807.9 SF

BUILDING HEIGHT (ABOVE AVE. FRONT GRADE-XXX'.XX")

	EXISTING	ADDITION
RDGE	25'-9 1/2"	16'-0 1/4"
MEAN	23'-9 3/4"	14'-7 1/2"
EAVE	21'-10"	13'-3"

HORIZONTAL / SITE BOUNDARY AND GENERAL HOUSE LOCATION INFORMATION BASED ON SURVEY BY R. C. KELLY DATED DEC. 18, 2006. HOUSE DIMENSIONS BASED ON FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 16, BLOCK 22
 MONTGOMERY COUNTY, MD
 SUBDIVISION:
 ZONE: R-60

OWNER

Roll Reichle & Amy Schwenkmeyer
 7017 Sycamore Ave
 Takoma Park, Maryland 20912

RR: (202) 538-2297
 AA: (202) 538-2298

STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc
 8555 16th St, Suite 200
 Silver Spring, Maryland 20910

(301) 565-0543

MECHANICAL CONSULTANT

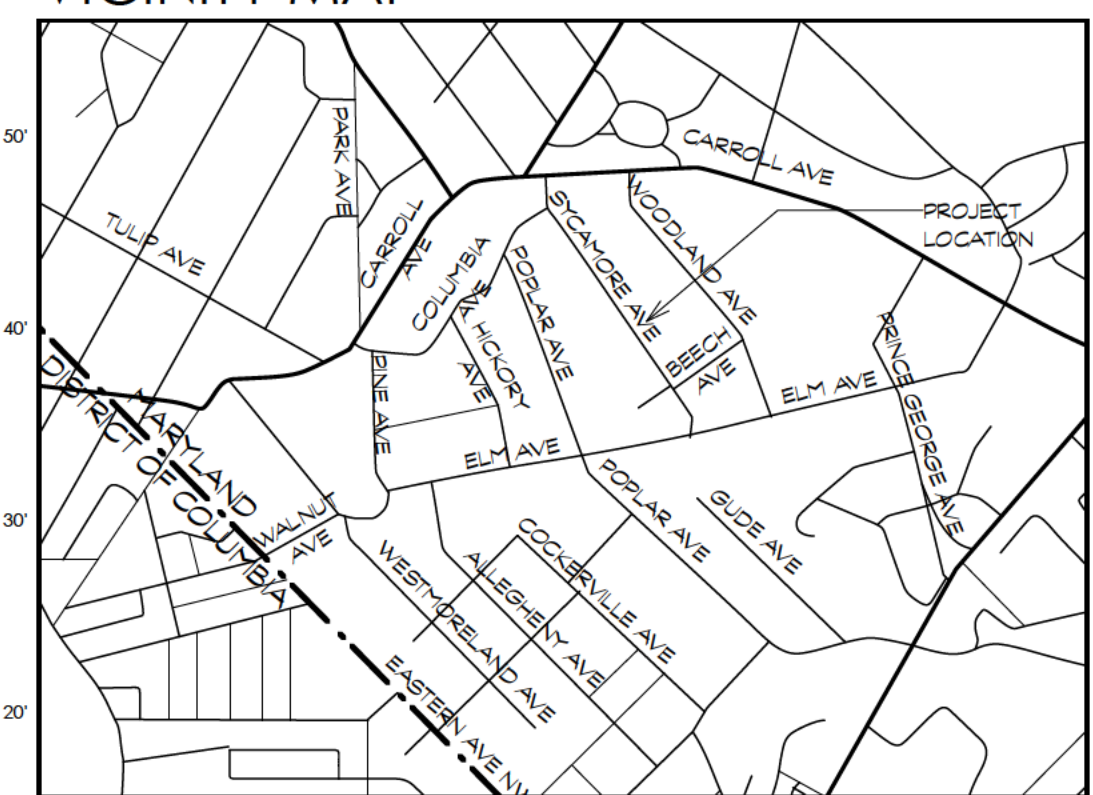
Gallant Mechanical
 13001 Cleveland Drive
 Rockville, Maryland 20850

(240) 750-4988

DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	A100	EXISTING & PROPOSED CELLAR PLAN
	A101	EXISTING & PROPOSED FIRST FLOOR PLAN
	A102	EXISTING & PROPOSED SECOND FLOOR PLAN
	A200	EXISTING & PROPOSED ELEVATIONS
	A201	EXISTING & PROPOSED ELEVATIONS

VICINITY MAP



DATE	ISSUE
6/18/2024	PROGRESS

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ABBREVIATIONS	
AND	EQ EQUAL
AT	ETR EXISTING TO REMAIN
ABOVE FINISHED FLOOR	EX EXISTING
APARTMENT	FF FINISH FLOOR
BLDG BUILDING	FN FINISH
BSMT BASEMENT	FLR FLOOR
CJ CONTROL JOINT	GA GAUGE
CAB CABINET	GWB GYPSUM WALL BOARD
CL CENTER LINE	HB HOSE BB
CLS CEILING	HC HOLLOW CORE
CLR CLEAR	HT HEIGHT
CMU CONCRETE MASONRY UNIT	HDWR HARDWARE
COND CONDITION	JB JUNCTION BOX
CONC CONCRETE	LB POUND
CONT CONTINUOUS	LEW LOAD BEARING WALL
D DRYER	EQ EQUAL
DIAMETER	ETR EXISTING TO REMAIN
DIM DIMENSION	EX EXISTING
DN DOWN	FF FINISH FLOOR
DR DOOR	FN FINISH
DS DOWNSPOUT	FLR FLOOR
GA GAUGE	GA GAUGE
MINIMUM	GWB GYPSUM WALL BOARD
DTL DETAIL	HB HOSE BB
DW DISHWASHER	HC HOLLOW CORE
DWG DRAWING	HT HEIGHT
DRWS DRAWING	HDWR HARDWARE
EXTERIOR INSULATION	JB JUNCTION BOX
FINISHING SYSTEM	LB POUND
ELEV. ELEVATION	LEW LOAD BEARING WALL
ELEC ELECTRICAL	EQ EQUAL
EXP EXPANSION	ETR EXISTING TO REMAIN
EG EQUAL	EX EXISTING
EXISTING TO REMAIN	FF FINISH FLOOR
MARB MARBLE	FN FINISH
LUMBER	FLR FLOOR
PLYWOOD	GA GAUGE
PLAM PLASTIC LAMINATE	GWB GYPSUM WALL BOARD
PT PRESSURE TREATED	HB HOSE BB
R RISER	HC HOLLOW CORE
REF REFRIGERATOR	HT HEIGHT
RO ROUGH OPENING	HDWR HARDWARE
REQ REQUIRED	JB JUNCTION BOX
RM ROOM	LB POUND
SC SOLID CORE	LEW LOAD BEARING WALL
SHR SHOWER	EQ EQUAL
SHT SHEET	ETR EXISTING TO REMAIN
SIM SIMILAR	EX EXISTING
SPEC SPECIFICATION	FF FINISH FLOOR
SPRK SPRINKLER	FN FINISH
STL STEEL	FLR FLOOR
TBD TO BE DETERMINED	GA GAUGE
TEMP TEMPER	GWB GYPSUM WALL BOARD
TONGUE AND GROOVE	HB HOSE BB
TOP OF SLAB	HC HOLLOW CORE
TYP TYPICAL	HT HEIGHT
UNLESS NOTED OTHERWISE	HDWR HARDWARE
VF VERIFY IN FIELD	JB JUNCTION BOX
W WASHER	LB POUND
W WITH	LEW LOAD BEARING WALL
WC TOILET / WATER CLOSET	EQ EQUAL
WD WOOD	ETR EXISTING TO REMAIN
W/O WITHOUT	EX EXISTING
WWM WELDED WIRE MESH	FF FINISH FLOOR

SYMBOLS	
	CENTERLINE
	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)
	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)
	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)
	ELEVATION CALL-OUT: DRAWING NUMBER SHEET REFERENCE
	ELEVATION CALL-OUT: VIEW DIRECTION SHEET REFERENCE
	ELEVATION CALL-OUT: DRAWING NUMBER SHEET REFERENCE
	ELEVATION MARKER: ELEVATION BENCHMARK SPOT LOCATION
	SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
	SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION

PROJECT DATA	
JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	5B - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

CERTIFICATION	
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.	
LICENSE #:	
EXPIRATION DATE:	

Reichle #2418

WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WITH BRICK VENEER

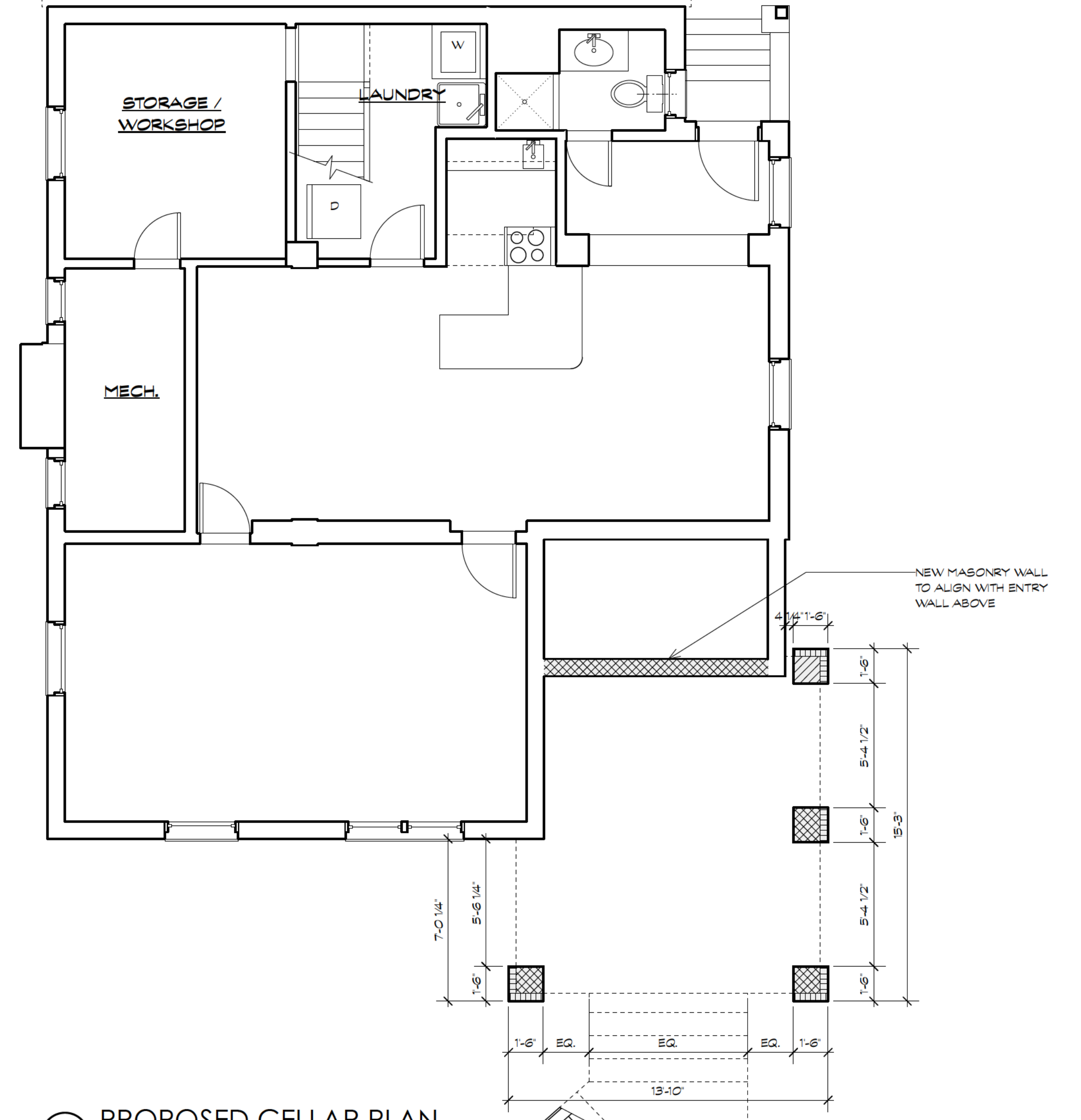
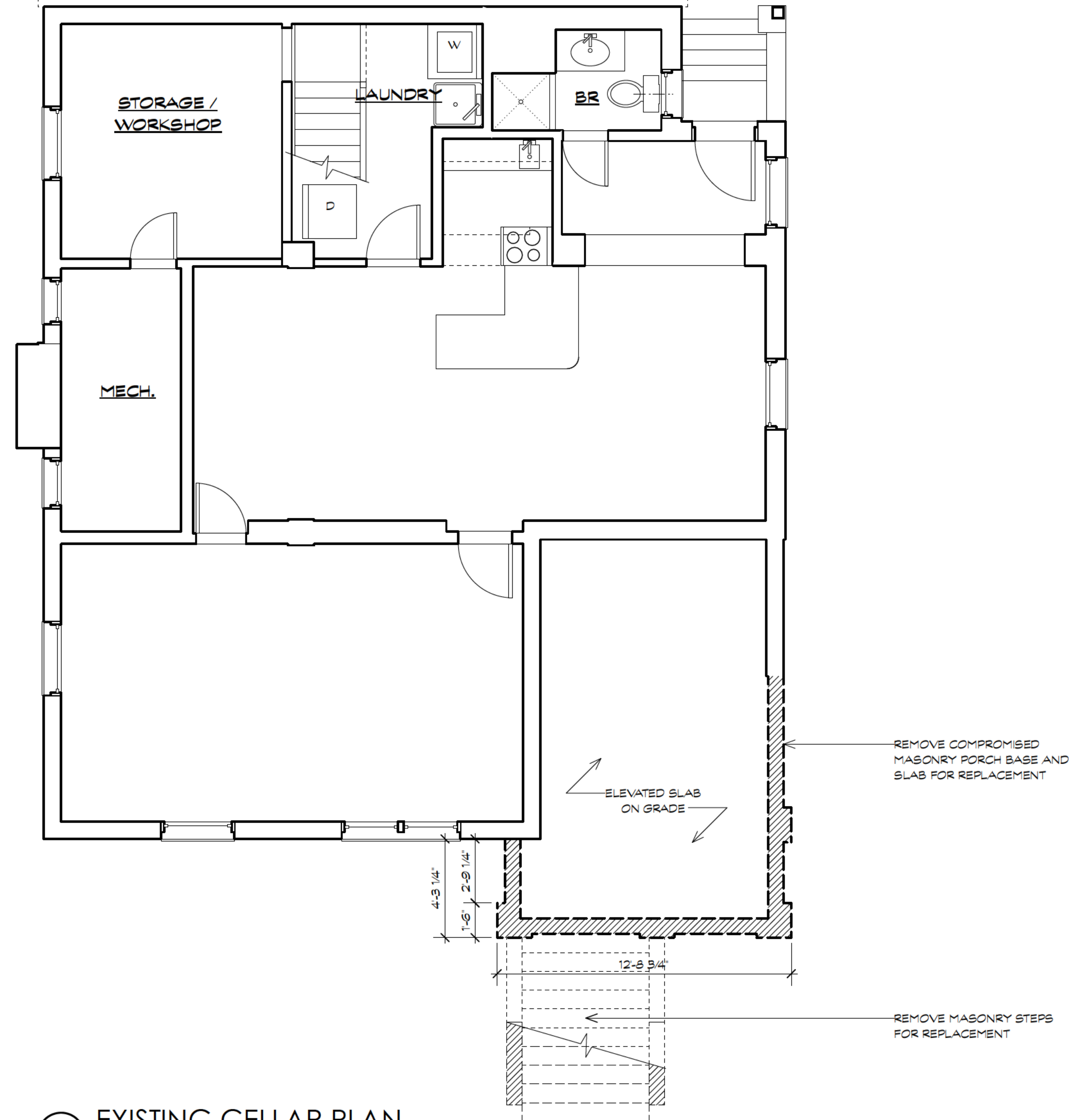
- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
 - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O.)
 - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O.)

DATE	ISSUE - REMARKS
mm/dd/2023	Issue Name

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

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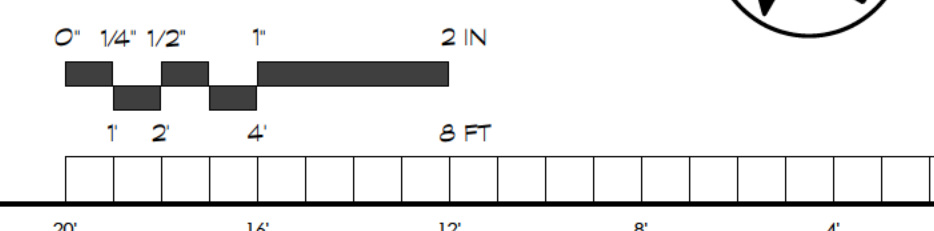
Reichle-Schwenkmeyer Porch
7017 Sycamore Ave, Takoma Park, Maryland 20912
#2418

SCHEMATIC

18 JUNE 2024

EXISTING & PROPOSED CELLAR PLAN

A100



DATE	ISSUE - REMARKS
mm/dd/2023	Issue Name

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LICENSE #: _____ EXPIRATION DATE: _____

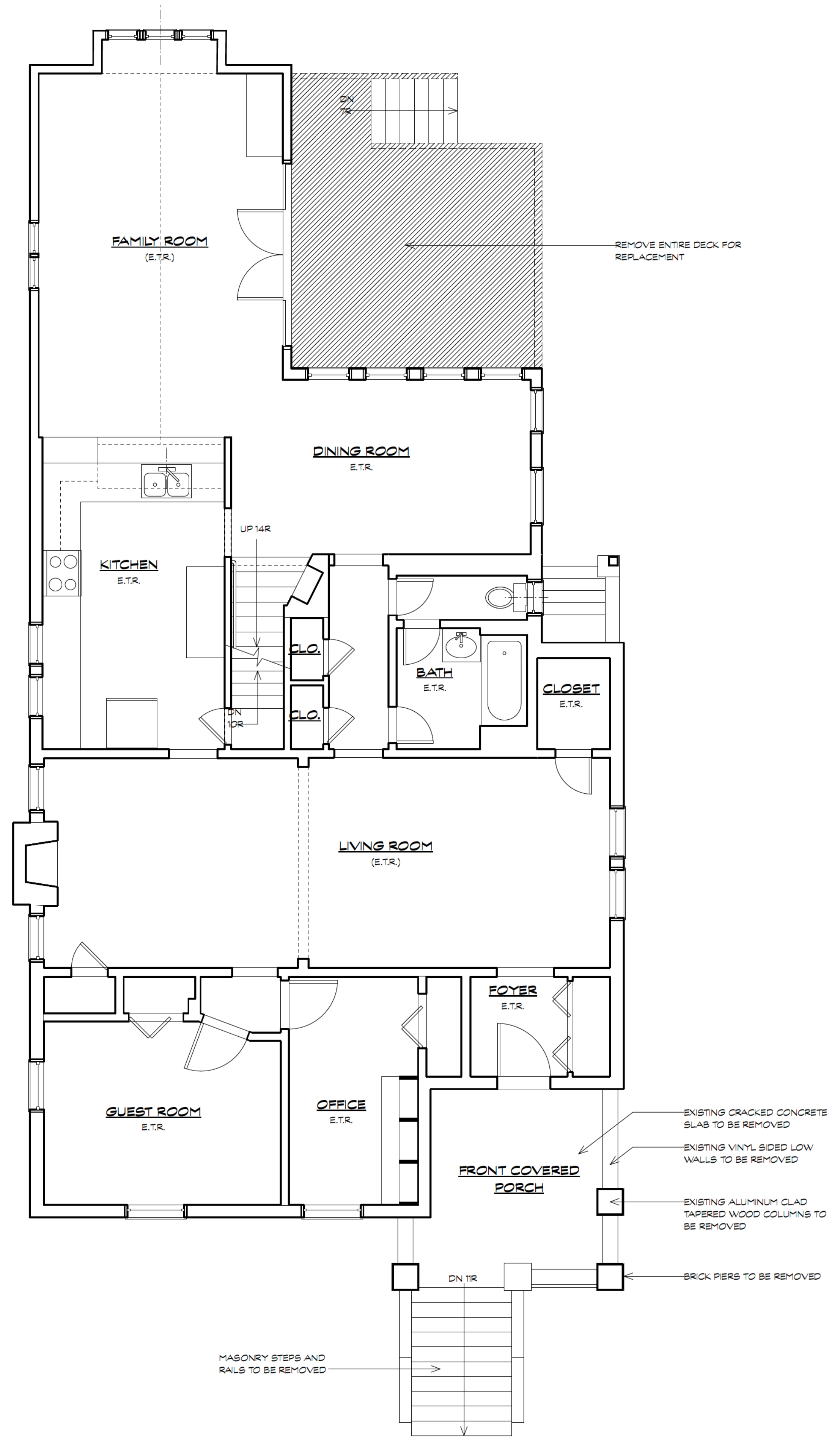
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WALL LEGEND

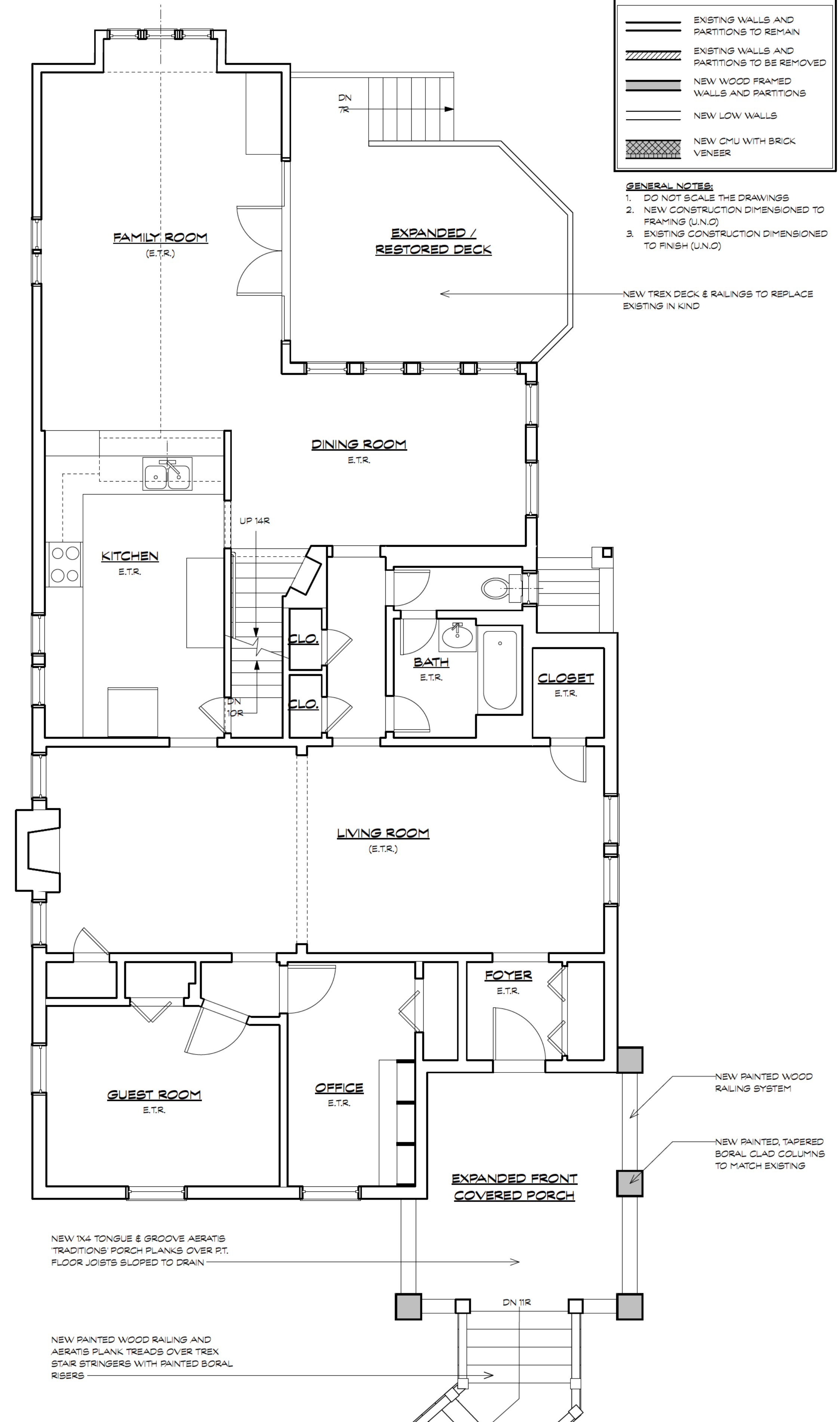
- EXISTING WALLS AND PARTITIONS TO REMAIN
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW WOOD FRAMED WALLS AND PARTITIONS
- NEW LOW WALLS
- NEW CMU WITH BRICK VENEER

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS
- NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
- EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)



1 EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

0' 1/4" 1/2" 1' 2' 4' 8 FT

Reichle-Schwenkmeyer Porch
7017 Sycamore Ave, Takoma Park, Maryland 20912
#2418

SCHEMATIC

18 JUNE 2024

EXISTING & PROPOSED FIRST FLOOR PLAN
A101

WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WITH BRICK VENEER

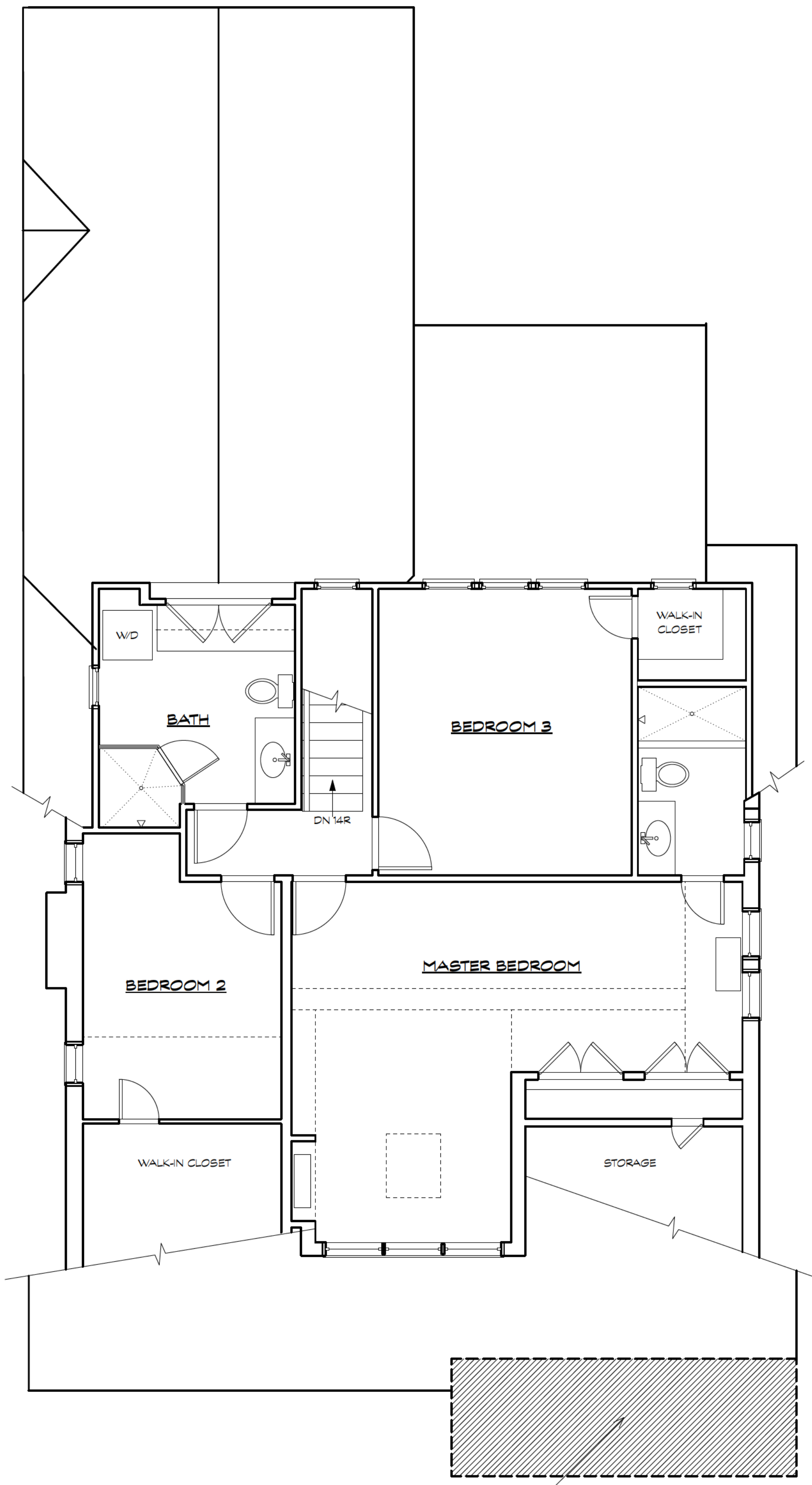
- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
 - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O.)
 - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O.)

DATE	ISSUE - REMARKS
mm/dd/2023	Issue Name

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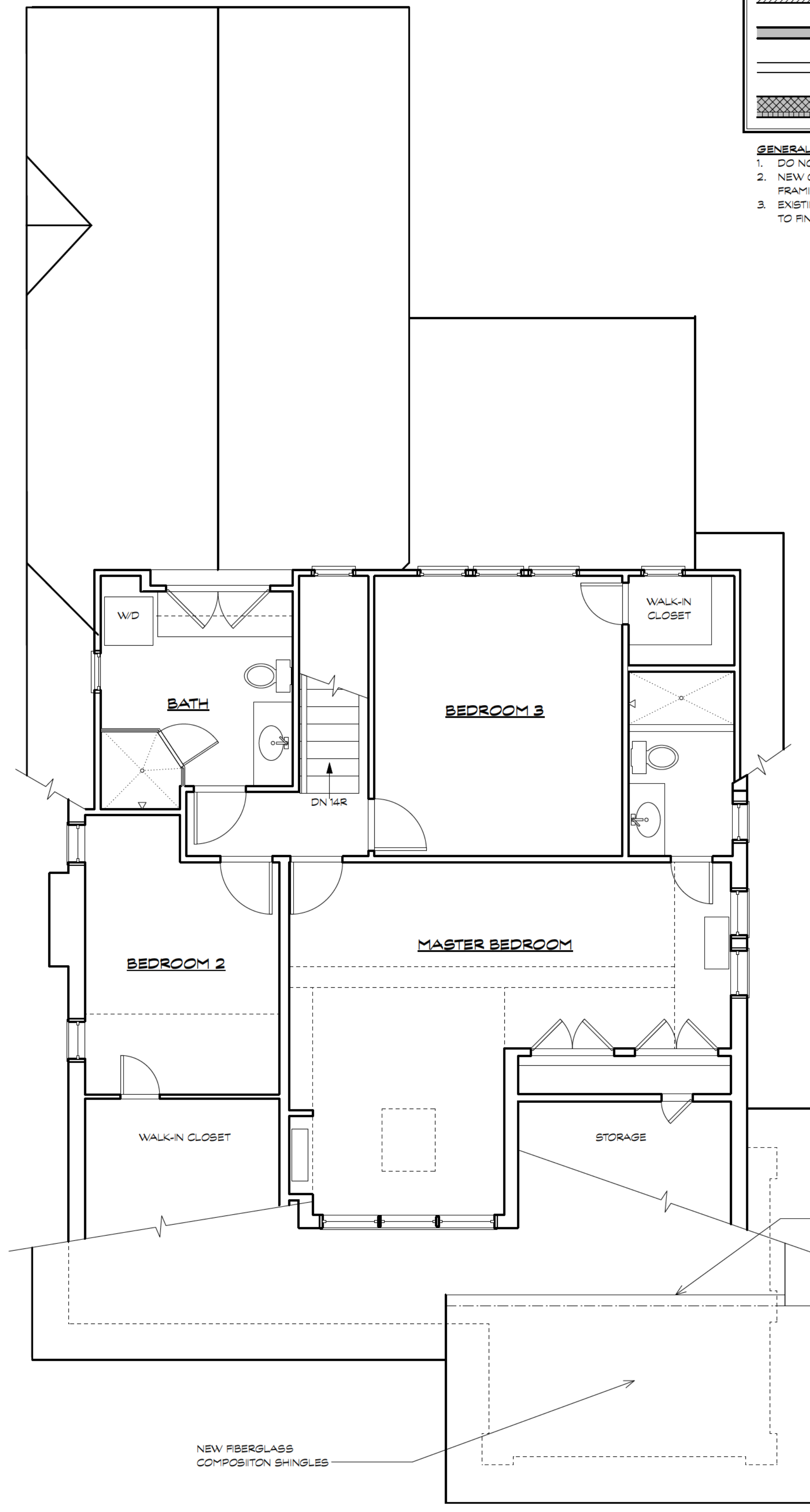
LICENSE #: _____ EXPIRATION DATE: _____

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1 EXISTING SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

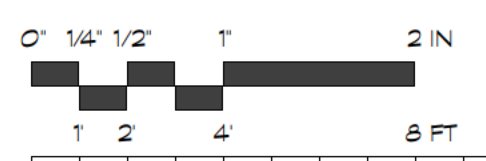
REMOVE EXISTING LOW SLOPE SHED ROOF OVER ROOF



2 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

NEW FIBERGLASS COMPOSITION SHINGLES

FLASH JOINT BETWEEN NEW AND EXISTING ROOFS



Reichle-Schwenkmeyer Porch
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#2418

EXISTING & PROPOSED SECOND FLOOR PLAN
A102

SCHEMATIC

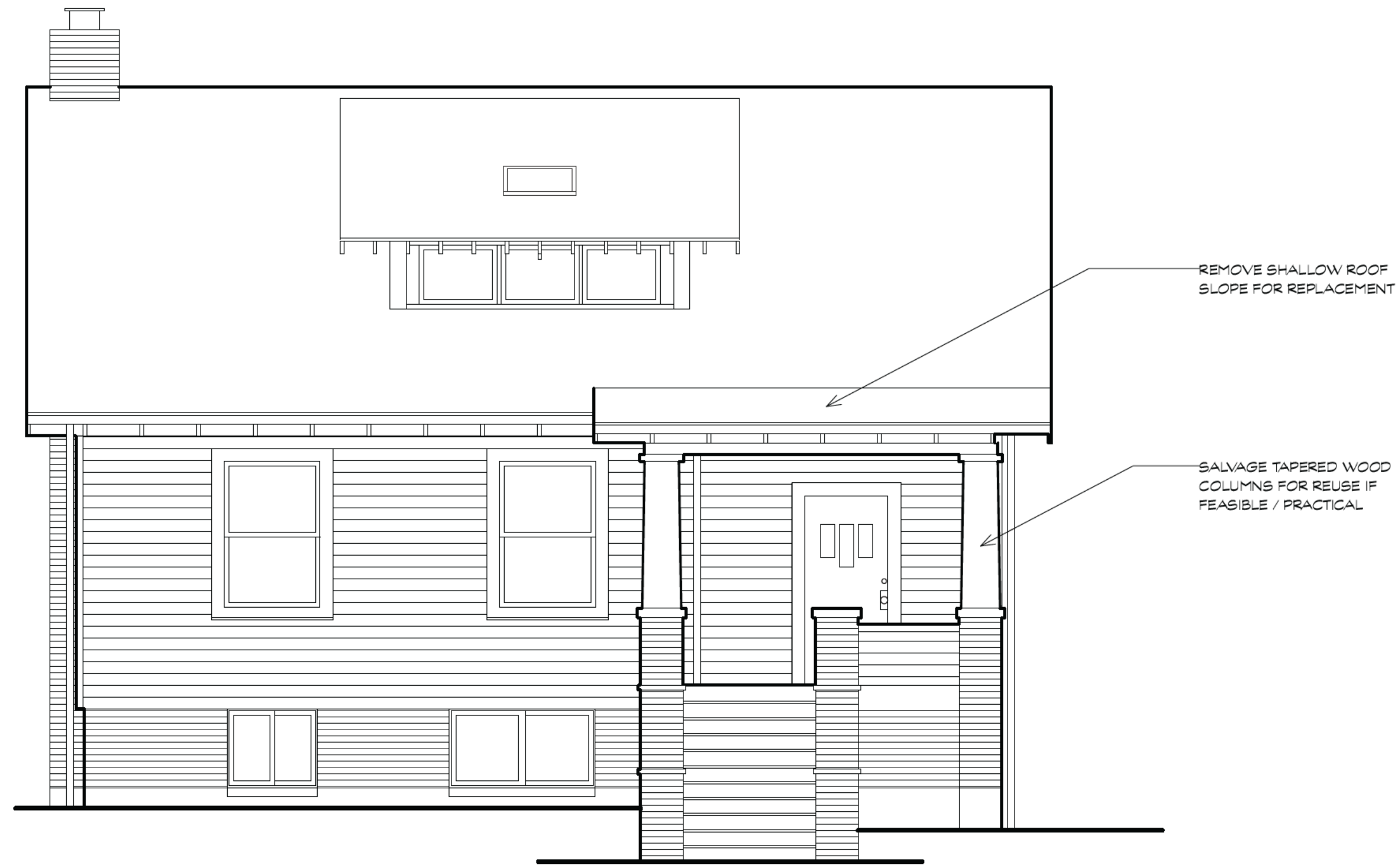
18 JUNE 2024

DATE	ISSUE - REMARKS
mm/dd/yyyy	Issue Name

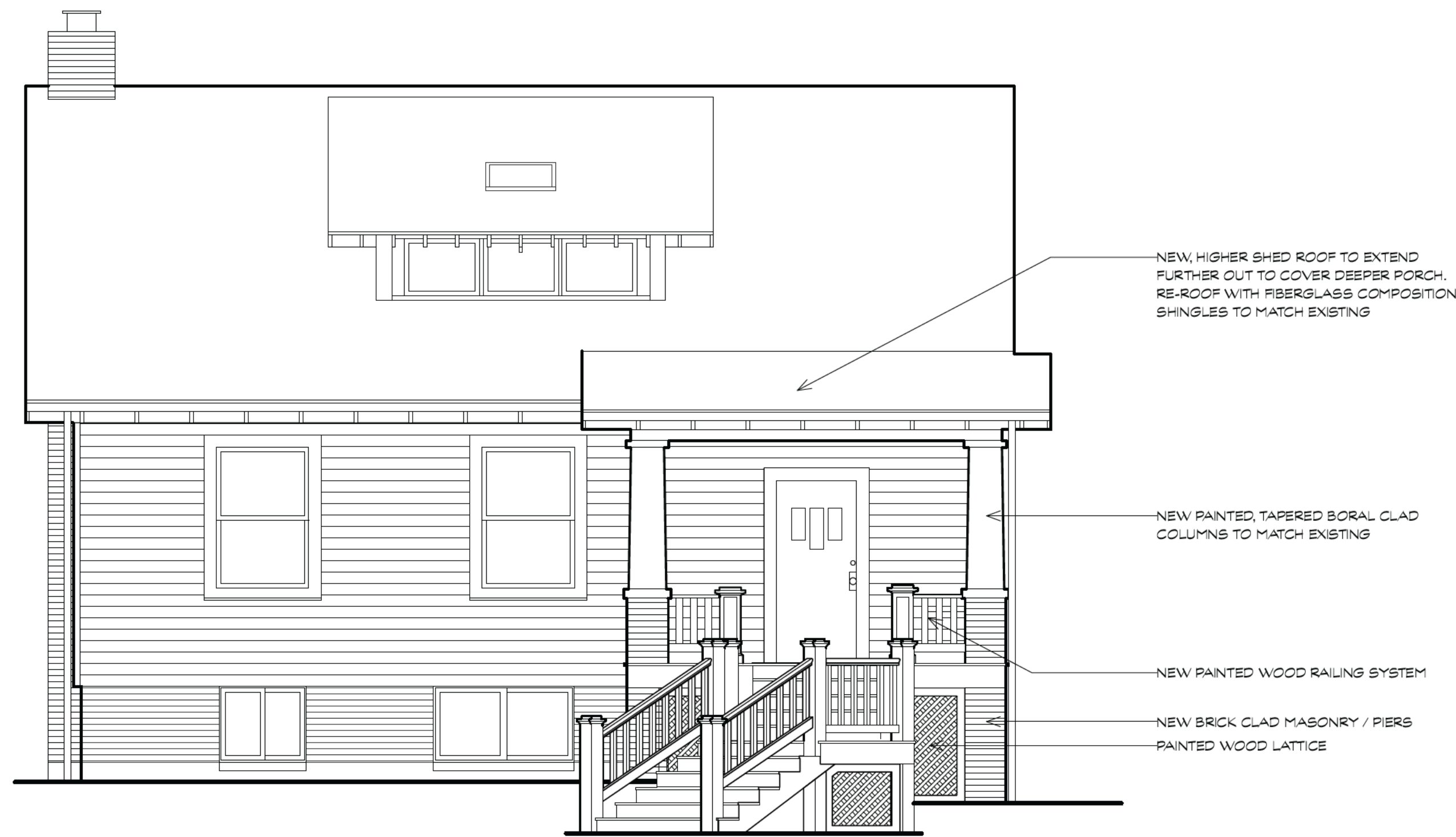
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

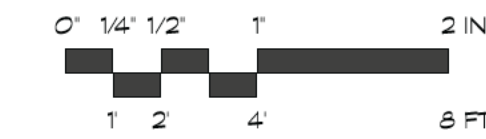
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1 EXISTING FRONT (WEST) ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED FRONT (WEST) ELEVATION
Scale: 1/4" = 1'-0"



Reichle-Schwenkmeyer Porch
7017 Sycamore Ave, Takoma Park, Maryland 20912
#2418

SCHEMATIC

18 JUNE 2024

ELEVATIONS

A200

DATE	ISSUE - REMARKS
mm/dd/2023	Issue Name

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

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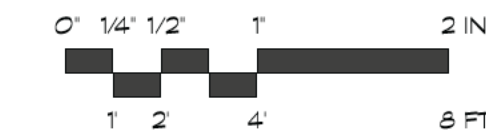
① EXISTING SIDE (SOUTH) ELEVATION
Scale: 1/4" = 1'-0"

WOOD BRACKET TO MATCH EXISTING
FLY RAFTERS AND EXPOSED RAFTER TAILS TO MATCH EXISTING



NEW TREX DECK & RAILINGS TO REPLACE EXISTING IN KIND.

② PROPOSED SIDE (SOUTH) ELEVATION
Scale: 1/4" = 1'-0"



Reichle-Schwenkmeyer Porch
7017 Sycamore Ave, Takoma Park, Maryland 20912
#2418

SCHEMATIC

18 JUNE 2024

ELEVATIONS

A201

Existing Property Condition Photographs (duplicate as needed)



Detail: 7017 SYCAMORE AVE. FRONT



Detail: 7017 SYCAMORE AVE. FRONT PORCH

Existing Property Condition Photographs (duplicate as needed)



Detail: 7017 SYCAMORE AVE. FRONT PORCH CLOSE-UP

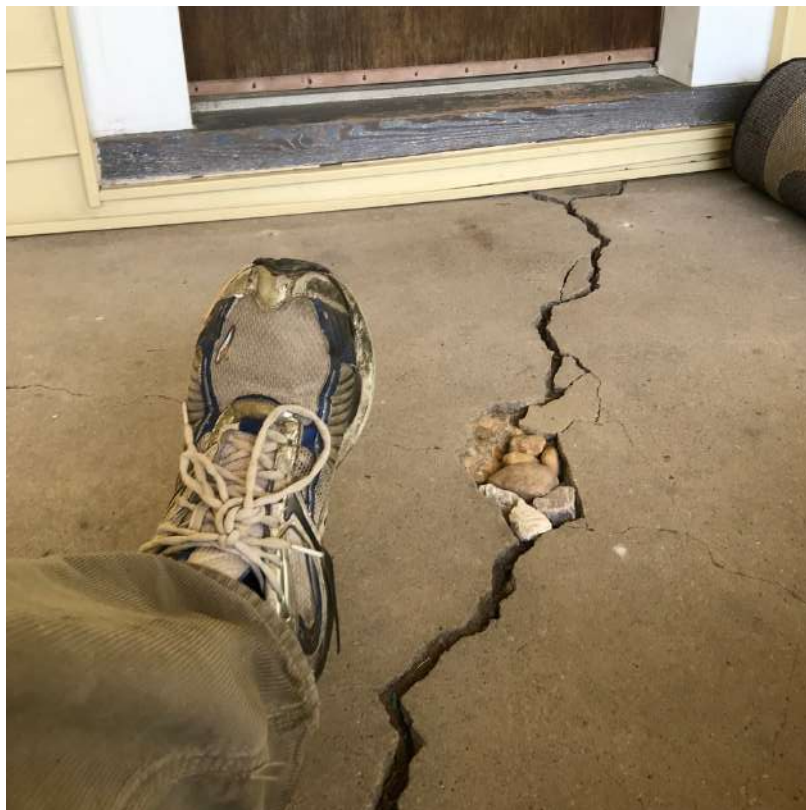


Detail: 7017 SYCAMORE AVE. PORCH FOUNDATION CRACKS

Existing Property Condition Photographs (duplicate as needed)



Detail: 7017 SYCAMORE AVE. CRACKED PORCH SLAB



Detail: 7017 SYCAMORE AVE. CRACKED PORCH SLAB

Existing Property Condition Photographs (duplicate as needed)



Detail: 7017 SYCAMORE AVE. CRACKED PORCH SLAB

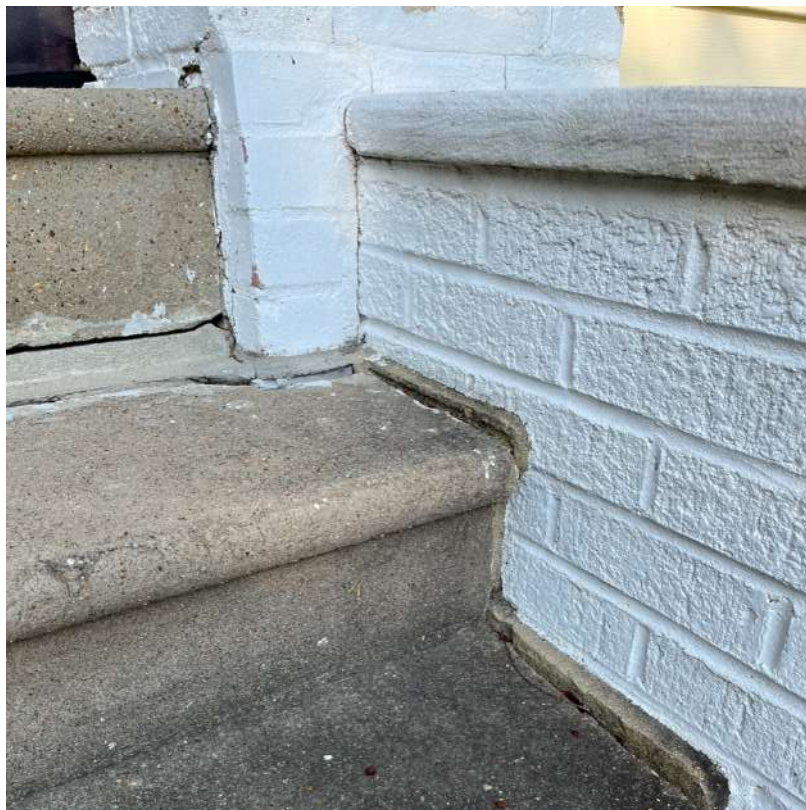


Detail: 7017 SYCAMORE AVE. FOUNDATION

Existing Property Condition Photographs (duplicate as needed)



Detail: 7017 SYCAMORE AVE. CONCRETE STEPS



Detail: 7017 SYCAMORE AVE. CONCRETE STEPS

Existing Property Condition Photographs (duplicate as needed)



Detail: 7017 SYCAMORE AVE. SOUTH-REAR DECK



Detail: 7017 SYCAMORE AVE. SOUTH-REAR DECK CLOSE-UP

Existing Property Condition Photographs (duplicate as needed)



Detail: 7017 SYCAMORE AVE. REAR APPROACH



Detail: 7017 SYCAMORE AVE. NORTH-WEST APPROACH

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7101 SYCAMORE AVE.



Detail: CONTEXT: 7015 SYCAMORE AVE.

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7100 SYCAMORE AVE.



Detail: CONTEXT: 7016 SYCAMORE AVE.

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7014 SYCAMORE AVE.