

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10549 St. Paul St., Kensington	Meeting Date:	6/26/2024
Resource:	Primary One Resource Kensington Historic District	Report Date:	6/18/2024
Applicant:	Peter & Ally Magee	Public Notice:	6/12/2024
Review:	Preliminary Consultation	Staff:	Dan Bruechert
PROPOSAL:	Partial Demolition, Construction of Dormers, and New Rear Addition		

STAFF RECOMMENDATION

Staff recommends the applicant make any changes recommended by the HPC and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary One Resource within the Kensington Historic District
STYLE: Colonial Revival/Queen Anne/Shingle
DATE: 1888

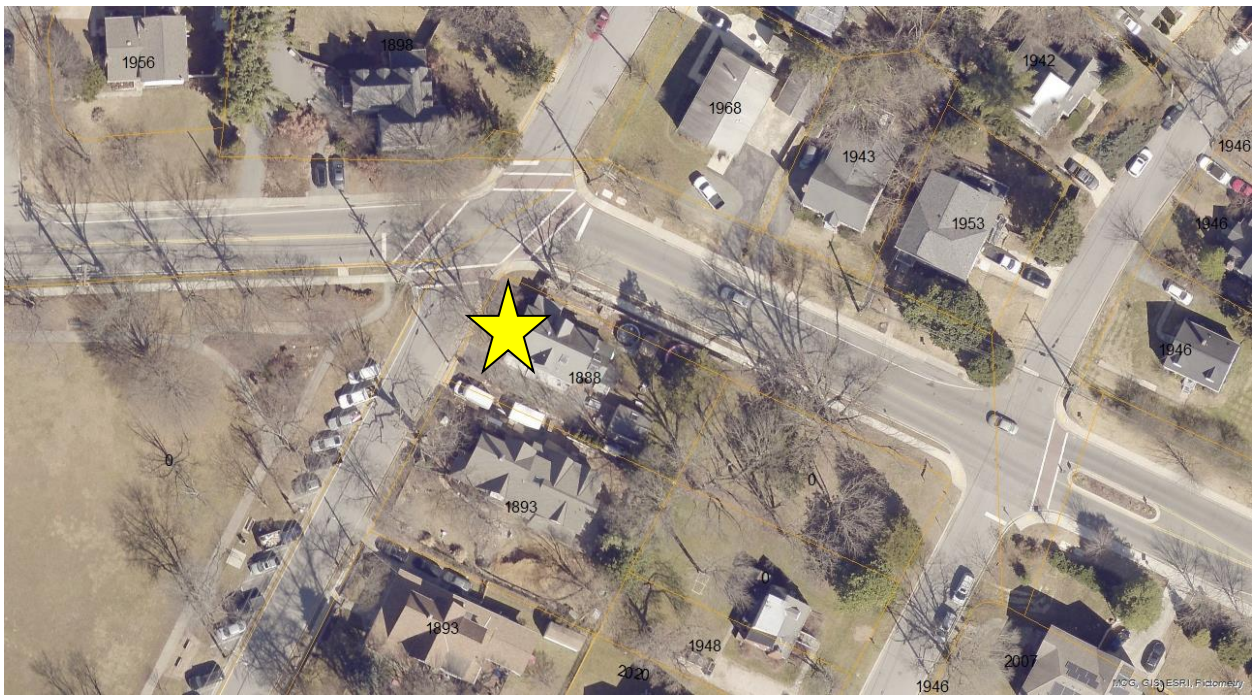


Figure 1: The subject property is located at the corner of St. Paul St. and Plyers Mill Rd.

PROPOSAL

The applicant proposes a house remodel that includes selective demolition, enlarging the dormers, and constructing a one-and-a-half story rear addition.

APPLICABLE GUIDELINES

Kensington Historic District Guidelines

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

The district is architecturally significant as a collection of late 19th and early 20th century houses that exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property, a Primary Resource, was originally constructed as a church in 1885. A recently completed National Register evaluation found the following:

“The dwelling was originally constructed as the St Paul’s Methodist Church, which was the first church established in the Kensington community. Several devout Methodists who moved to Knowles Station in the 1880s organized the church. Two of these Methodists were William H. Wheatley and Dr. R.B. Detrick. In 1884, Wheatley began organizing services in his barn on his farm along Wheaton Road. In 1885, the Rock Creek parish authorized the formation of an official church. The original trustees were William Wheatley, F.M. Fawcett, Benjamin Duvall, Dr. R.B. Detrick, and George Duvall. Wheatley provided the land for the church at the corner of Plyers Mill Road and Wheaton Road in a part of what became Wheatley’s Subdivision. A vernacular one-and-a-half story church was erected on the lot. The church was an austere designed building that lacked ornamentation. The only notable features were a bell tower and a one-story vestibule at the front of the building. The church was dedicated in May 1886. Church membership grew so large in just three years that in 1889 a new Methodist church was erected at the corner of Fawcett Street and Mitchel Street on property donated by Dr. Detrick. Christ Church Parish of the Episcopal Church acquired the church building and held services there until 1922. After 1922, the property was sold with the church building and it was converted into a house. Several families occupied the house over the years, including Alfred Ray in the 1920s, and Harry Hinton, who worked as an auto mechanic and lived in the house during the 1930s.¹

Most of the church’s original features have been removed, including the bell tower and vestibule following its adaptive re-use as a dwelling. The original gable-front massing embodied in the church remains intact. The one-and-a-half story, front-gabled vernacular dwelling is set on the original stone foundation and is clad with wood German lap siding. The roof is clad with asphalt shingles and contains gabled dormers with paired three-light wood windows on its north and south sides. Fenestration consists of regularly arranged one-over-one, wood-sash, double-hung windows. The east (front) elevation has a one-story gabled porch with wood post supports. The main entrance consists of double-leaf, wood-frame, glass doors accessible from the porch. A six-light wood window is located in the gabled end above the porch. The north elevation also contains a hipped roof porch with wood post supports and a single-lead wood door located under the porch. A one-and-a-half story gabled and shed-roof addition extends from the east (rear) of the dwelling.”

The applicants propose to demolish the existing rear addition, construct expanded dormers, and construct a new rear addition. The applicants seek the HPC’s feedback to further refine the design and return for a HAWP.

¹ Kensington Historical Society Index Card for 10549 St Paul Street



Figure 2: The existing stockade fence engages the northwest porch column.

Proposed Demolition

At the rear of the house, there is a one-story, rear gable addition. The addition’s siding matches the house, but the addition has a brick foundation, whereas the historic building has a stone foundation. There is a small rear porch off the back of the addition.

Staff finds the addition is not historic and is not shown on either the 1924 or 1933 Sanborn Fire Insurance Maps. Staff finds demolishing the existing addition will not impact the historic character of the house or surrounding district and recommends the HPC approve the addition demolition when the HPC receives a HAWP.

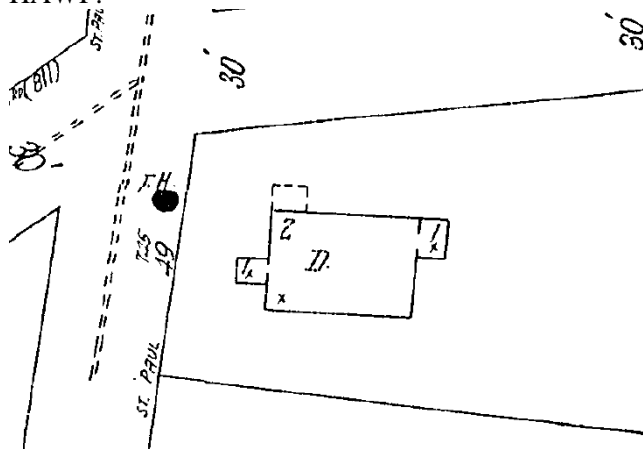


Figure 3: The subject property is shown in the 1933 Sanborn Fire Insurance Map, with a rear addition in a different location.

Dormer Expansion

On both the left and right roof slopes, there is a gable dormer with a pair of casement windows under the gable. The date of the dormers is unknown, however, they do not appear to date from the period of construction and were likely added when the church building was converted to residential use. The

applicant proposes to demolish the existing dormers and construct expanded dormers on both the left and right roof slopes. The new dormers have two gables with a shed roof section between them. Two six-light casement windows will be installed under each gable; with a single six-light casement window in the center. The proposed siding will be fiber cement siding that will approximate the reveal of the historic wood siding. The roofing material will match the existing. No material was identified for the proposed windows.



Figure 4: Proposed dormer on the right (south) roof slope.

Staff finds the proposed materials are appropriate for additions and new construction to buildings in the Kensington Historic District. Staff also finds either a wood or aluminum-clad wood windows would be appropriate in this location.

Staff finds the size of the proposed dormers is large and will effectively triple the square footage of dormers covering the existing roof. As designed, the dormers will overwhelm the remaining historic character of the building. The dormers appropriately engage the historic roof well below the ridgebeam, and they are set back appropriately from the façade. One strategy to lessen the mass of the dormers would be to explore a different form, such as a shed dormer without the gable ends punctuating the roof. Staff would welcome additional strategies and discussion from the HPC.

Staff requests feedback from the HPC on:

- The appropriateness of the dormer size;
- The appropriateness of the dormer design; and
- Any recommended revision to the dormers before submitting a HAWP.

Rear Addition

In the location of the existing area addition, the applicant proposes to construct a new one-and-a-half-story rear gable addition. The addition measures 16' × 22' (sixteen feet deep by twenty-two feet wide), inset one foot from the historic wall planes on each side, and will be covered in fiber cement siding that will match the exterior of the dormers. The rear-facing gable roof has a shed dormer on each roof slope and will be covered with a metal roof. The windows in the addition's first floor are six-over-one sash, while the upper floor has six-light casement windows. Finally, the applicant proposes to construct a small porch with side-loading stairs. The porch and steps will be constructed out of pressure-treated wood.

Staff finds the proposed rear addition will not overwhelm the size and scale of the historic building. The

one foot inset and lower roof are sufficient to ensure the addition is subservient to the historic construction. Staff finds the fiber cement siding is appropriate for new construction and additions in the Kensington Historic District. As with the dormers, Staff finds that either wood or aluminum-clad wood windows would be compatible with the character of the district. Staff remains unconvinced that the metal roof is appropriate. There are few examples of metal roofs within the Kensington Historic District. Consulting the *Vision of Kensington*, there is an accounting for roof form, but not an analysis of roof material. However, Staff also recognizes the metal roof is on a modest-sized addition that will have less visual impact on the character of the district and acknowledges that the material difference would help to differentiate the new construction from the historic.

Staff requests feedback from the HPC regarding:

- The appropriateness of the proposed addition's size and placement;
- The appropriateness of a metal roof on the addition; and
- Any additional comments on the addition's design or materials.

STAFF RECOMMENDATION

Staff the applicant to make any revisions recommended by the HPC and return for a HAWP.

FOR STAFF ONLY:
HAWP# 1073068
DATE ASSIGNED _____



APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Pete Magee & Ally Tranchina
Address: 10549 St. Paul Street
Daytime Phone: _____

E-mail: _____
City: Kensington Zip: 20895
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: MCDStudio LLC cc:Matt Mcdonald
Address: 4948 St. Elmo Ave. Suite 300
Daytime Phone: _____

E-mail: matt@mcdstudio.com
City: Bethesda Zip: 20814
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? X Yes/District Name Kensington Historic District
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10549 Street: St. Paul Street
Town/City: Kensington Nearest Cross Street: Plyers Mill Road
Lot: P1 Block: _____ Subdivision: 0015 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

DocuSigned by: Matthew McDonald _____ Date 6/4/2024
Sig _____ orized agent Date 8

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address 10549 St. Paul Street Kensington, MD 20895	Owner's Agent's mailing address MCD STUDIO, LLC 4948 ST. ELMO SUITE 300 BETHESDA, MD 20814
Adjacent and confronting Property Owners mailing addresses	
10547 St. Paul Street Kensington, MD 20895	10546 Wheatley Street Kensington, MD 20895
10601 St. Paul Street Kensington, MD 20895	10600 St. Paul Street Kensington, MD 20895
3710 Mitchell Road Kensington MD 20895	3421 Plyers Mill Road Kensimngton, MD 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

See Addendum 1 for property description

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed project is an interior renovation and addition to include the following; expand the existing dormers at the side elevations, remove the non-historic addition at the rear facade and build a new one-and-a-half story with gabled roof addition and gabled roof porch at the rear facade. The existing structure has already been impacted by the existing rear addition. The proposed addition will be one-and-a-half stories with dormers, wood frame structure and weatherboard siding with corner trim. The gabled roof and shed dormer roof are currently proposed to be painted metal. New fenestration will be compatible with the existing. The rear addition gabled roof will be lower in elevation than the existing roof.

The expanded dormers at the side facades will be a double gable with shed roof to connect. The Dormer roofs will be asphalt shingles to resemble the existing. New fenestration will be compatible with the existing.

Work Item 1: <u>Expand side gable dormers</u>	
Description of Current Condition: The existing dormers. They are small in footprint for the second floor living space.	Proposed Work: Expand single dormers into two gabled dormers with shed roof to connect to create more livable space with code compliant head height clearances.

Work Item 2: <u>Removal of rear addition</u>	
Description of Current Condition: The existing rear addition. It is not part of the original historic structure	Proposed Work: The rear addition will be removed as part of the scope of work

Work Item 3: <u>Rear addition</u>	
Description of Current Condition: NA	Proposed Work: The proposed one-and-a-half story rear addition with side shed dormers will create space for a family room and primary suite.

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

The site, located at 10549 St. Paul Street, is a property within the boundaries of the Kensington Historic District. Per the Kensington Historical Society the original structure built c. 1885 was the site of St. Paul's Methodist Church and the first church building in Kensington. When the congregation outgrew the building it was sold to Christ Episcopal church in 1899. They also outgrew the space and the property was sold as a private residence in 1924.

The church was austere designed and lacked ornamentation. The one-and-a-half story front-gabled vernacular dwelling is set on its original stone foundation and is clad with German lap siding. The roof is clad with asphalt shingles and contains single gabled dormers on the north and south sides. Fenestration consists of regularly arranged six-over-one, wood sash, double hung windows which are replacement windows. The dormers have paired six-light windows. The front elevation has a six-light window above the front porch. The east(front) elevation has a one-story gabled porch with wood post supports. The main entrance consists of a double-leaf doors.

When it was remodeled as a private residence the Gothic style arched lead glass windows and a cupola were removed. The Stick style front gabled porch is an original feature which still remains. There is a one-and-a-half gabled and shed-roof addition at the rear facade that is non-historic.



① Front Left View - Northwest



② Rear Right View - Northeast

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4948 St. Elmo Ave, Suite 304
Bethesda, MD 20814
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www.mcdstudio.com

Proposed Exteriors

Magee-Tranchina Residence

Scale:
Drawing Issue Date: 14

4/18/2024



① Front Right View - Southwest



② Rear Left View - Southeast

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Proposed Exteriors

Magee-Tranchina Residence

Scale:
Drawing Issue Date: 15

4/18/2024



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Existing Exterior - Front View

Magee-Tranchina Residence

Scale:
Drawing Issue Date: 16

4/18/2024



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Existing Exterior - Front Left View

Magee-Tranchina Residence

Scale:
Drawing Issue Date: 17

4/18/2024



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Existing Exterior - Front Right View

Magee-Tranchina Residence

Scale:
Drawing Issue Date: 18

4/18/2024



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Exterior Exterior - Rear Left View

Magee-Tranchina Residence

Scale:
Drawing Issue Date: 19

4/18/2024



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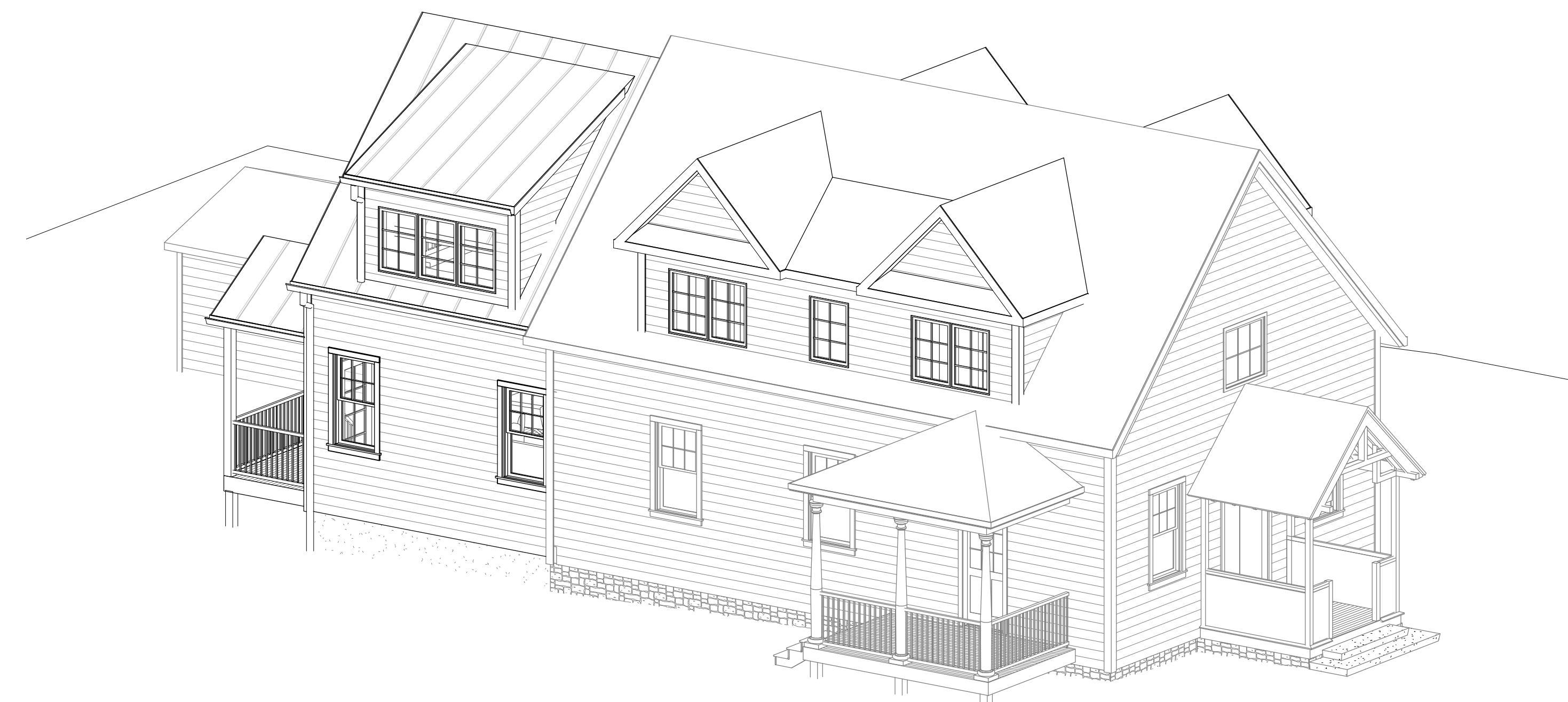
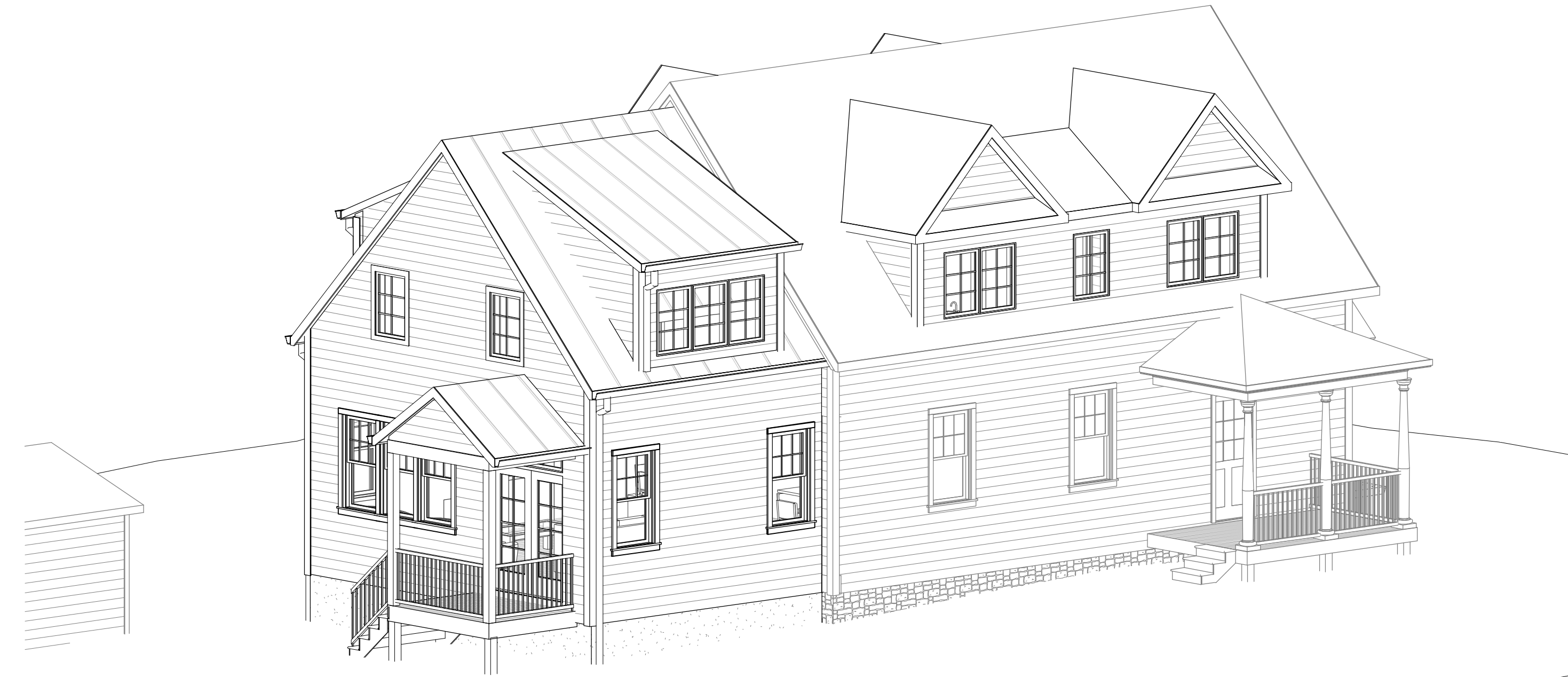
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Existing Exterior - Rear View

Magee-Tranchina Residence

Scale:
Drawing Issue Date: 20

4/18/2024



MONTGOMERY COUNTY DIGITAL STAMP AREA

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2018 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS & ORDINANCES.
2. ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
3. ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE ARCHITECT. ANY WORK DONE WITHOUT NOTIFICATION OF THE ARCHITECT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
4. WHEN MULTIPLE SPECIFICATIONS ARE GIVEN, CONTRACTOR SHOULD ASSUME MORE EXPENSIVE OPTION FOR PRICING PURPOSES AND NOTIFY ARCHITECT.
5. ANY SUBSTITUTIONS IN MATERIALS, FINISHES OR FIXTURES FROM THE SPECIFICATIONS OF THE DRAWINGS SHALL BE SUBMITTED IN WRITING DURING THE BID PROCESS FOR OWNER AND ARCHITECT APPROVAL.
6. DRAWINGS ARE TO BE READ AND NEVER SCALED.
7. PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
8. THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH & DEBRIS.
9. ALL METAL FLASHING INSTALLATIONS PER SMACNA.
10. FOLLOW INDUSTRY GUIDELINES & REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
11. ONE YEAR WARRANTY SHALL BEGIN AT SUBSTANTIAL COMPLETION.
12. FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
13. THE CONTRACTORS SHALL BE REQUIRED TO MAKE PROPER AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
14. CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.

DRAWING LIST

SHEET TITLE	SHEET NUM.
Cover Sheet	A000
Site Plans	A001
Existing Plans	A100
Existing Elevations	A101
Proposed Plans	A200
Proposed Elevations	A201
Elevations	A300

CONTACT INFORMATION

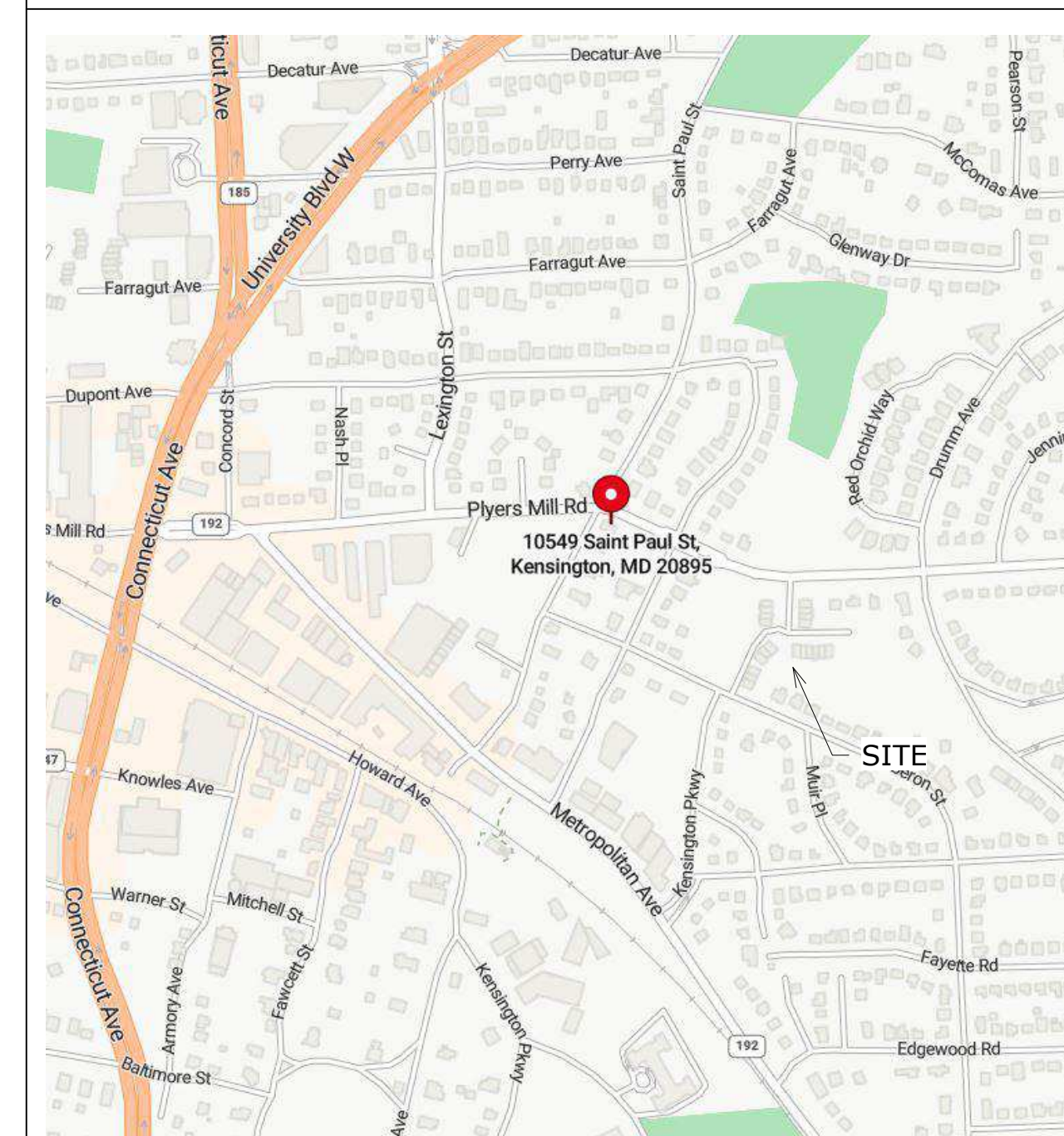
OWNER:

PETE MAGEE AND ALLY TRANCHINA
10549 ST. PAUL STREET
KENSINGTON, MD 20895

ARCHITECT:

MCD STUDIO, LLC
4948 ST. ELMO AVENUE, SUITE 304
BETHESDA, MD 20814
CONTACT: MATT MCDONALD
PHONE: 301-215-7277

LOCATION MAP



SCOPE OF WORK

- MAIN LEVEL:**
- FAMILY ROOM AT REAR ADDITION
 - RENOVATE KITCHEN
 - RELOCATE LAUNDRY AND BATHROOM
- SECOND LEVEL:**
- PRIMARY BEDROOM AT REAR ADDITION
 - CREATE DORMERS AND RENOVATE EXISTING SECOND FLOOR TO PROVIDE 3 BEDROOMS, HALL BATH AND PRIMARY BATH
- EXTERIOR:**
- PORCH AT REAR FACADE

APPLICABLE CODES

- IRC 2018 W/ LOCAL AMENDMENTS
- NFPA-101 / 2015 W/ LOCAL AMENDMENTS
- NFPA NATIONAL ELECTRICAL CODE / 2014 W/ LOCAL AMENDMENTS
- INTERNATIONAL MECHANICAL CODE / 2018 W/ LOCAL AMENDMENTS
- INTERNATIONAL PLUMBING CODE / 2018 W/ LOCAL AMENDMENTS
- IECC 2018 W/ LOCAL AMENDMENTS

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Magee-Tranchina Residence
10549 St. Paul Street
Kensington, MD 20895

Project Number: 23-055
Client Name: Pete Magee & Ally Tranchina
Project Status:
 As Built Conditions
 Preliminary Design
 Design Development
 Permit Submission
 Construction Documents
 Construction Administration
 Historic
 Drawing Issue Date: 6/04/2024
 Client Approval:
 Signature: _____
 Date: _____

Revision Schedule		
No.	Description	Date

Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name:

Cover Sheet

Sheet Number:
A000

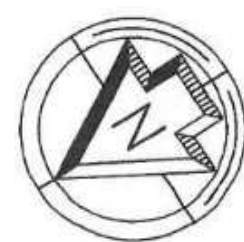
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 6000 Executive Blvd, Suite 100 | North Bethesda, MD 20852



PROPERTY ADDRESS: 10549 ST. PAUL STREET KENSINGTON, MARYLAND 20895 SURVEY NUMBER: MD1607.1087

FIELD WORK DATE: 7/13/2016 REVISION HISTORY: (REV.1 8/16/2016) (REV.1 7/20/2016)

16071087
 LOCATION DRAWING
 LOT CHURCH LOT AND THE WEST 25' OF LOT 1
 WHEATLEY'S SUBDIVISION,
 MONTGOMERY COUNTY, MARYLAND
 07-18-2016 SCALE 1"=30'



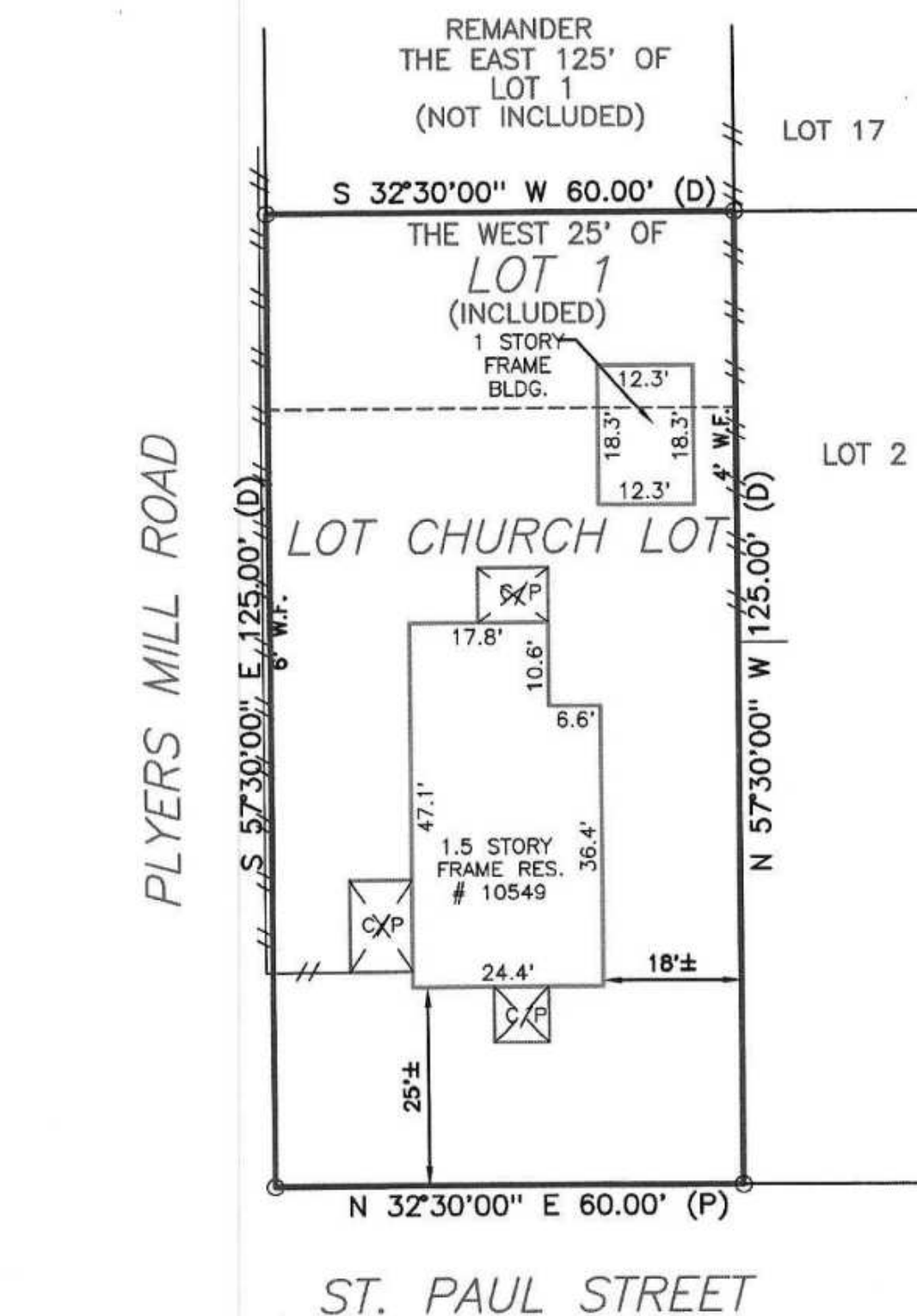
BASED ON A FIELD INSPECTION OF THE SUBJECT PROPERTY, A LACK OF AND/OR CONFLICTING MONUMENTATION WAS FOUND. LOCATION OF IMPROVEMENTS AS SHOWN ARE BASED ON APPARENT OCCUPATION LINES AND ARE NOT TO BE RELIED UPON. TO DETERMINE THE EXACT LOCATION OF SHOWN IMPROVEMENTS A BOUNDARY SURVEY IS REQUIRED.

PLEASE NOTE

This House Location Drawing is for informational purposes only. Per Maryland State Code it may not be relied upon to determine property boundaries and may not be used for building permits or construction.



William P. Reid
 EXPIRES 1-15-2017



GRAPHIC SCALE (In Feet)
 1 inch = 30' ft.
 ACCURACY=3/4"

POINTS OF INTEREST:
 NONE VISIBLE.

CLIENT NUMBER: 180162ROCP DATE: 7/20/2016

BUYER: Jose Ramirez and Stephanie Ramirez,

SELLER: NATIONSTAR MORTGAGE LLC

CERTIFIED TO:
 JOSE RAMIREZ AND STEPHANIE RAMIREZ, RGS TITLE, LLC; FIRST AMERICAN TITLE INSURANCE COMPANY

A LICENSEE EITHER PERSONALLY PREPARED THIS DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT.

James Reid
 www.jamesreid.inf.com
 james.reid@inf.com
 c: 443.472.8587
 o: 301.424.0900

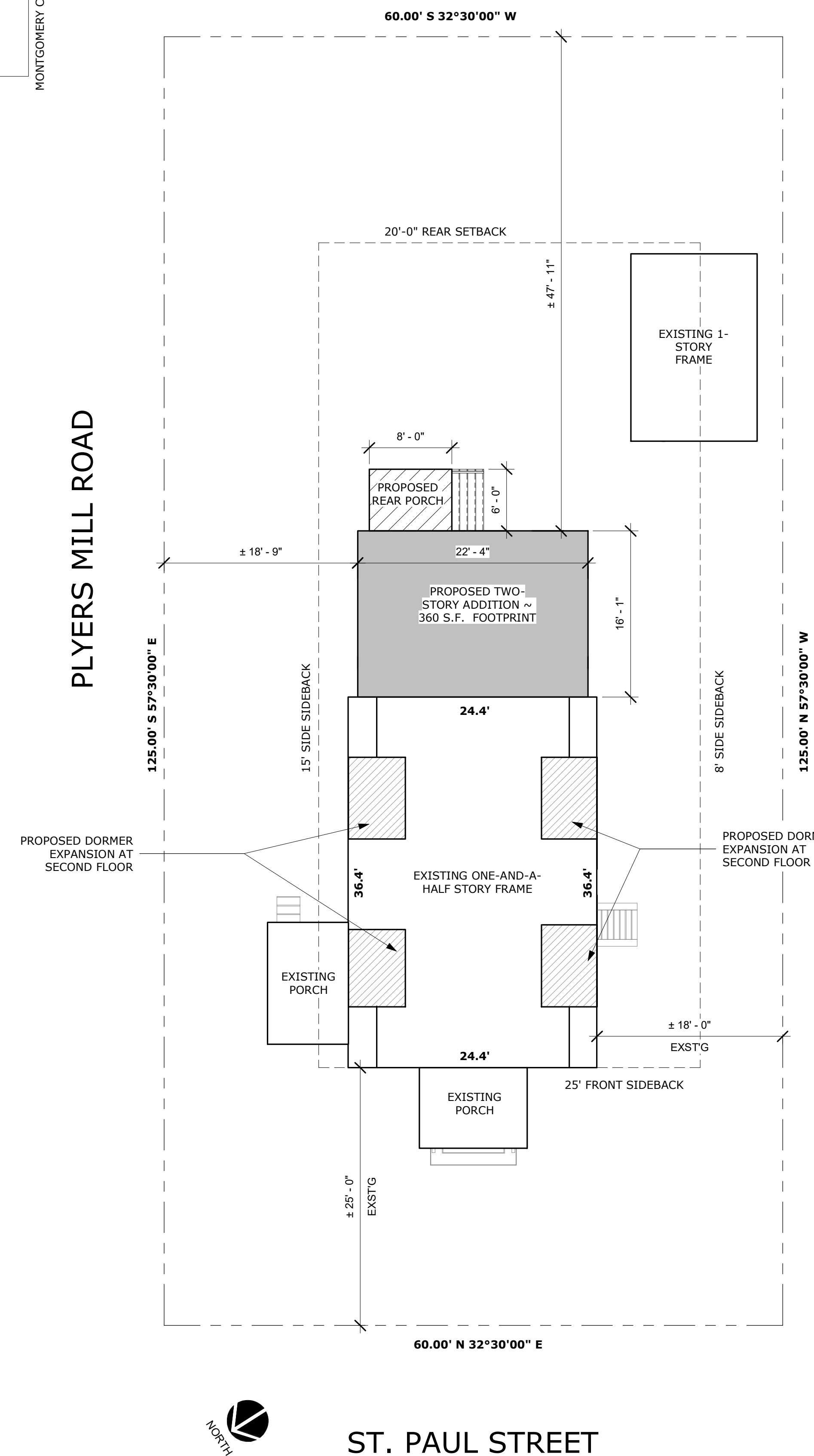
EXACTA
 MARYLAND SURVEYORS
 P 443.692.6523 • F 443.692.6524 • 16800 Bald Eagle School Rd. • Brandywine, MD 20613

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

1 Existing Plat
 3/64" = 1'-0"

MONTGOMERY COUNTY DIGITAL STAMP AREA

PLYERS MILL ROAD



ST. PAUL STREET

2 Proposed Site Plan
 1/8" = 1'-0"

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Magee-Tranchina Residence

10549 St. Paul Street
 Kensington, MD 20895

Project Number: 23-055

Client Name:
 Pete Magee & Ally Tranchina

Project Status:
 As Built Conditions
 Preliminary Design
 Design Development
 Permit Submission
 Construction Documents
 Construction Administration
 Historic

Drawing Issue Date: 6/04/2024

Client Approval:
 Signature: _____
 Date: _____

Revision Schedule		
No.	Description	Date

Drawn by: AP
 Checked by: MM
 Scale: As indicated
 Sheet Name:

Site Plans

Sheet Number:

A001

MCD STUDIO LLC DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

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Revision Schedule

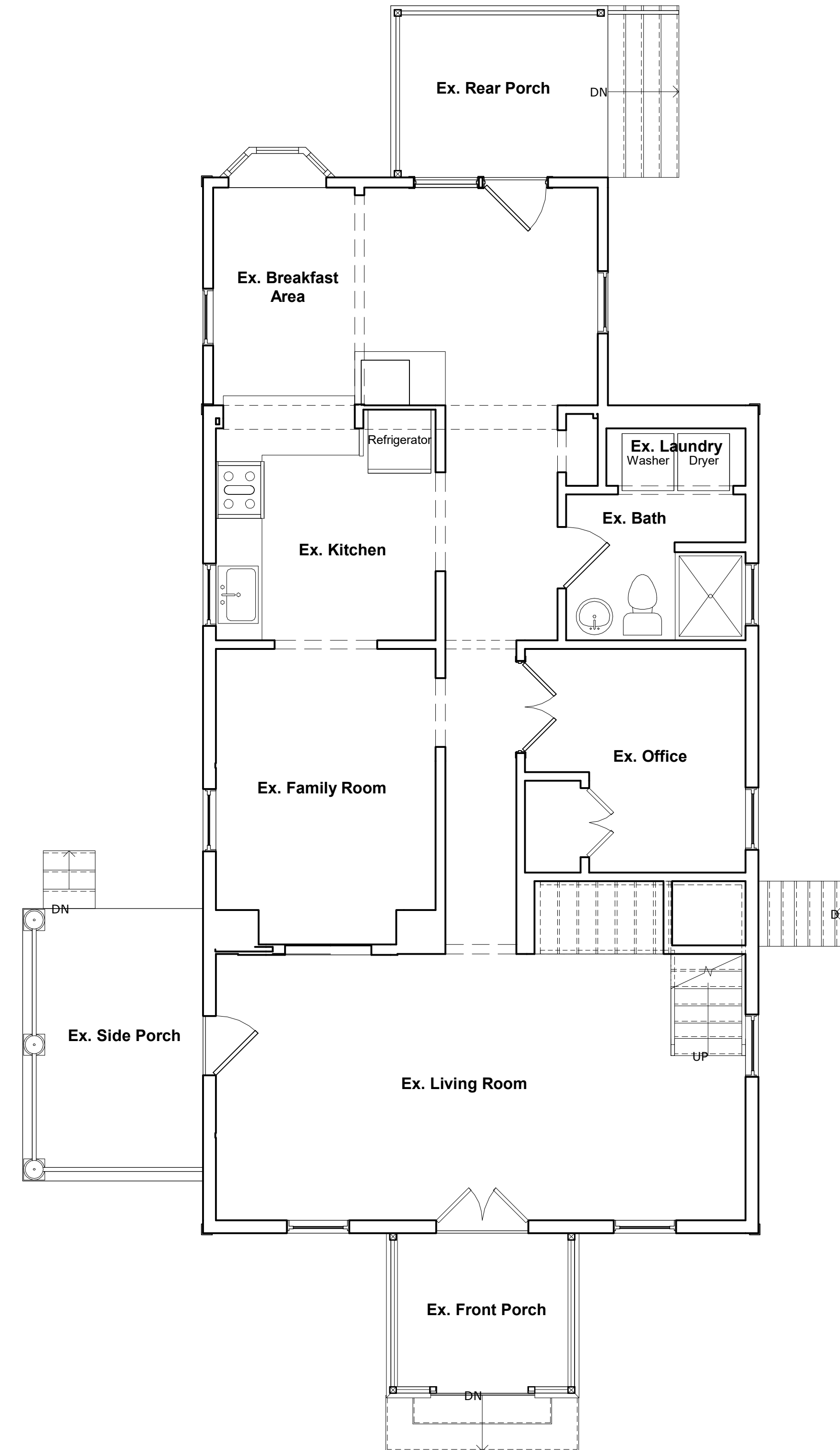
No.	Description	Date

Drawn by: AP
 Checked by: MM
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 Sheet Name:

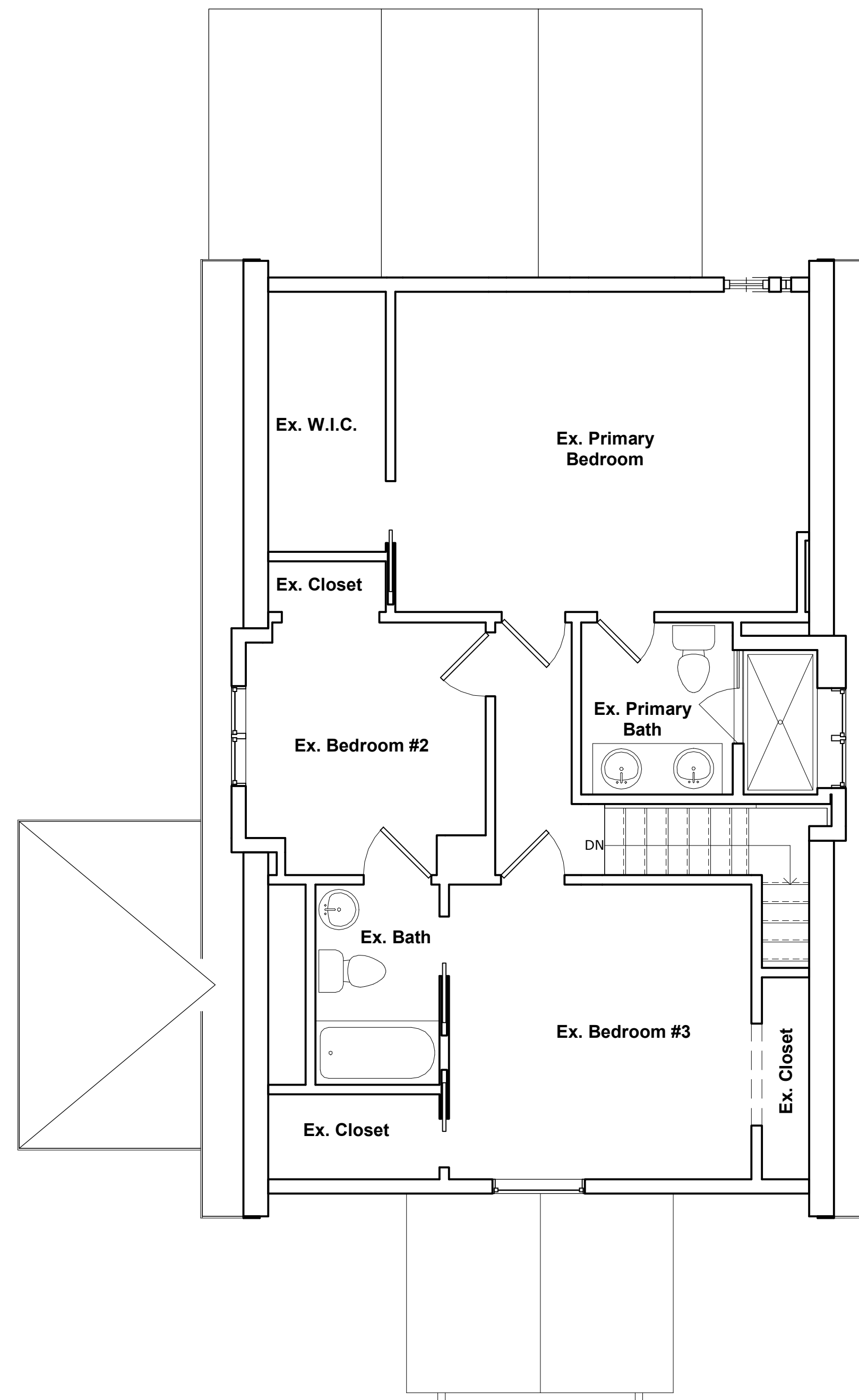
Existing Plans

Sheet Number:

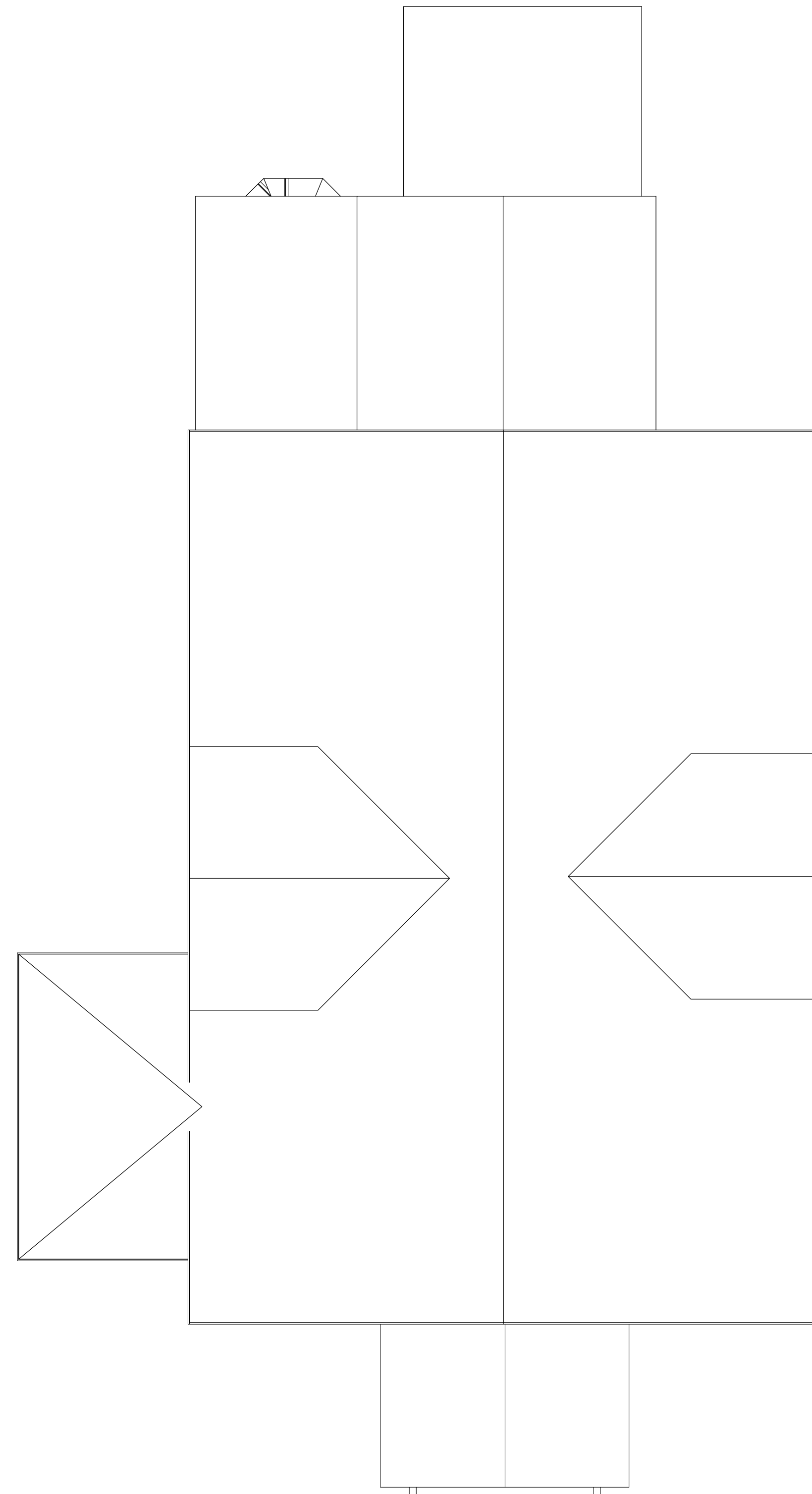
A100



① Existing First Floor Plan
1/4" = 1'-0"



② Existing Second Floor Plan
1/4" = 1'-0"



③ Existing Roof Plan
1/4" = 1'-0"



④ Existing Right Elevation
1/4" = 1'-0"



③ Existing Rear Elevation
1/4" = 1'-0"



② Existing Left Elevation
1/4" = 1'-0"



① Existing Front Elevation
1/4" = 1'-0"

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**Magee-Tranchina
Residence**
10549 St. Paul Street
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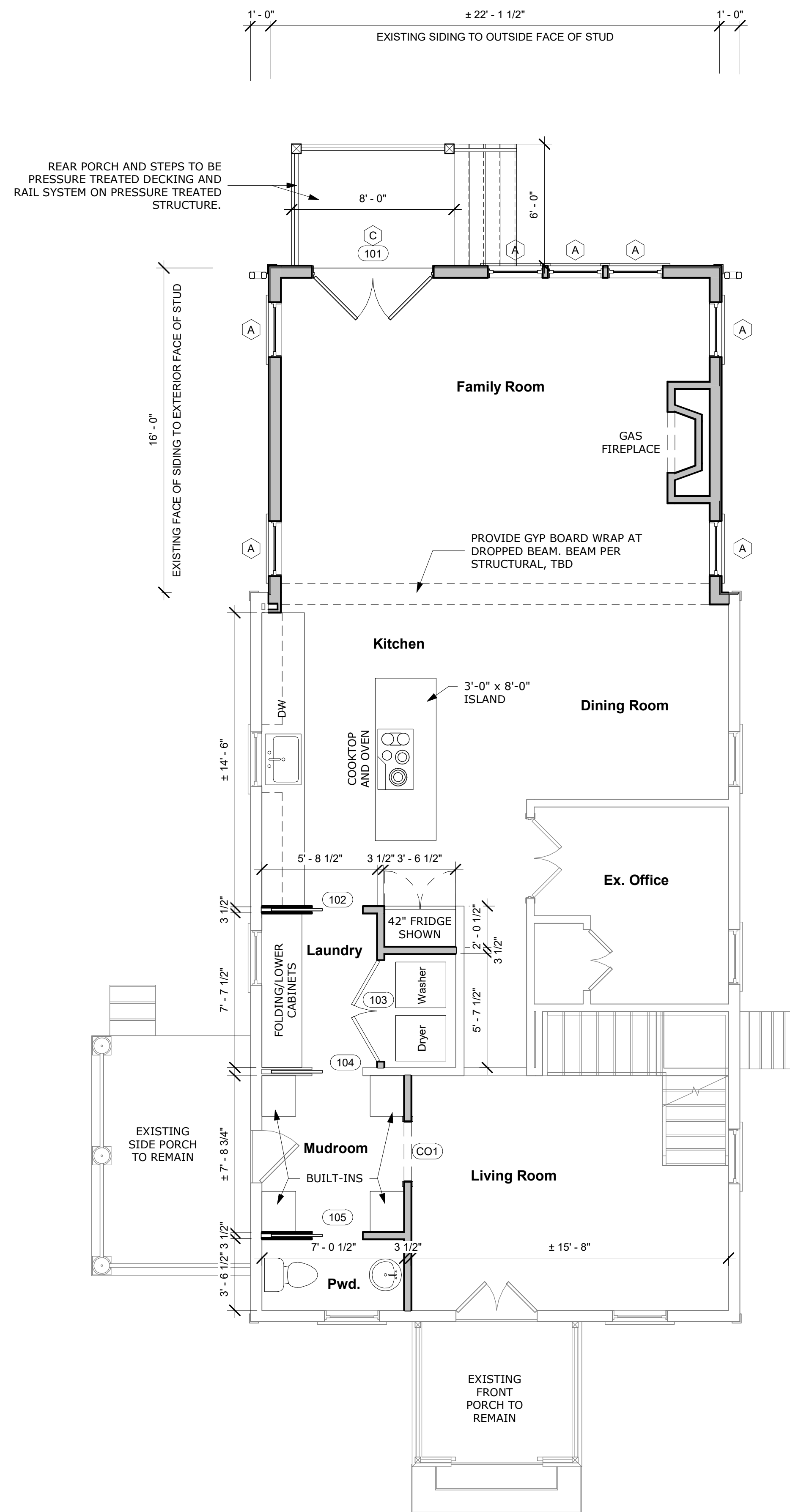
Revision Schedule		
No.	Description	Date

Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name:

Existing Elevations

Sheet Number:

A101



1 Proposed First Floor Plan
1/4" = 1'-0"

GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.
2. ALL INTERIOR WALLS SHALL BE NOM. 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES, U.N.O.
3. ALL EXTERIOR WALLS SHALL BE NOM. 2X6 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON INTERIOR SIDE, R-21 MIN. BATT INSULATION WITHIN STUD CAVITIES AND 7/16" OSB ON EXTERIOR SIDE, U.N.O.
4. ALL BATHROOMS WITHOUT WINDOWS SHALL BE VENTED TO THE OUTSIDE.
5. GLASS DOORS, SIDE GLASS PANELS, TUB AND SHOWER ENCLOSURES AND OTHER GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLAZED PER CURRENT BUILDING CODES.
6. CLOTHES DRYER VENT SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS AND SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN WALLS OR CEILING.
7. THE MAXIMUM LENGTH OF A 4" DIAMETER EXHAUST VENT SHALL NOT EXCEED 25' FROM THE DRYER TO THE WALL OR ROOF TERMINATION. A REDUCTION OF 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND SHALL APPLY.
8. REVIEW ALL DROPPED BEAM HEIGHTS WITH ARCHITECT PRIOR TO FINAL CLOSE-IN.

GENERAL FIRST FLOOR NOTES

1. FINISH FLOOR MATERIAL TO BE HARDWOOD TO MATCH EXISTING.
2. PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
3. CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER.
4. BASE MOLDING AND CROWN MOLDING TO MATCH EXISTING. FINAL SELECTION TBD BY OWNER.
5. WINDOW AND DOOR TRIM TO MATCH EXISTING.
6. GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
7. GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.

DOOR SCHEDULE NOTES

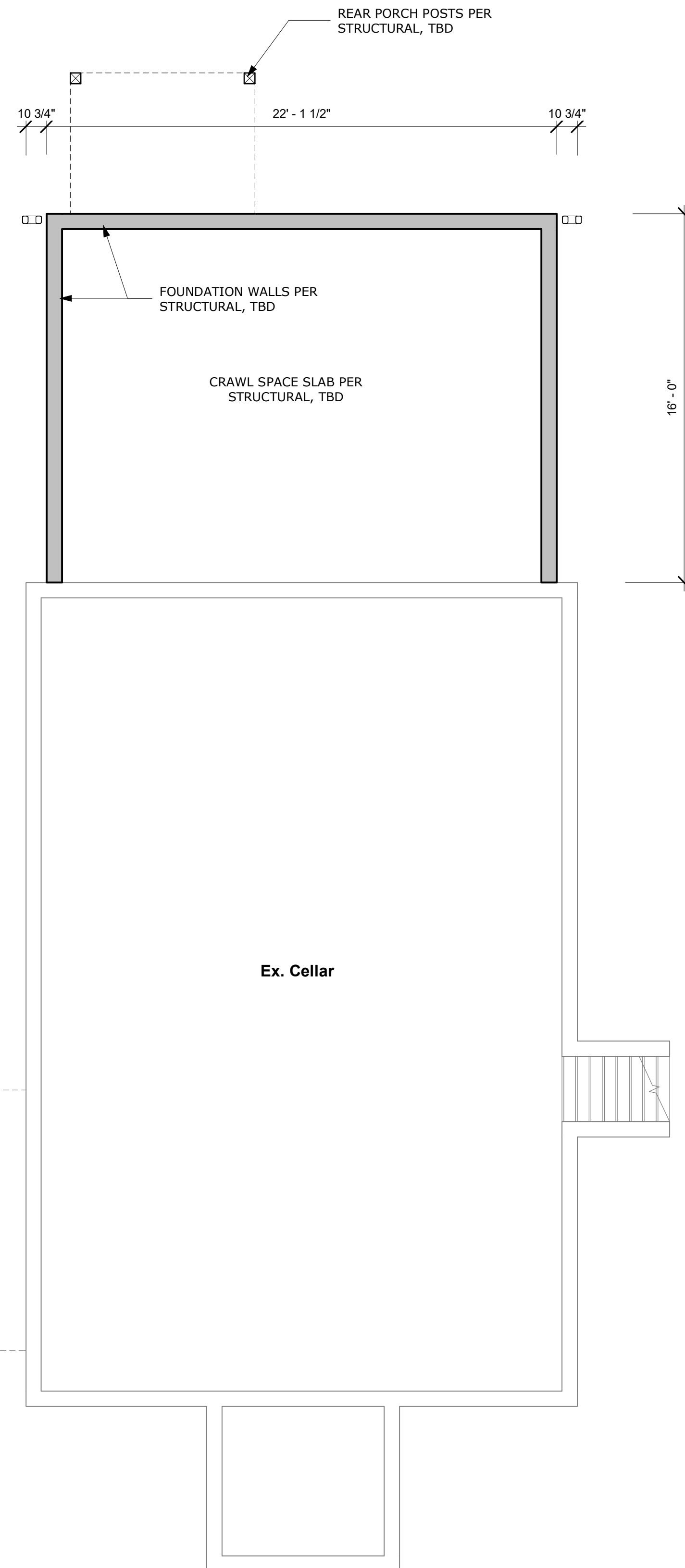
1. DOORS WITH GLAZING ARE TO BE MINIMUM DOUBLE PANE INSULATED GLASS, LOW-E, ENERGY EFFICIENT WINDOWS; MAX. U-FACTOR = 0.32; MAX. SHGC = 0.40.
2. GLASS DOORS, SIDE GLASS PANELS, TUB AND SHOWER ENCLOSURES AND OTHER GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLAZED PER CURRENT BUILDING CODES.
3. DOOR STYLE TBD BY OWNER.
4. DOOR HARDWARE TBD BY OWNER.

New Door Schedule

Door Number	Width	Height	Description	Comments
101	6'-0"	6'-8"	EXTERIOR DOUBLE FRENCH DOOR	
102	2'-6"	6'-8"	SINGLE POCKET DOOR	
103	5'-0"	6'-8"	INTERIOR DOUBLE DOOR	
104	2'-6"	6'-8"	SINGLE POCKET DOOR	
105	2'-6"	6'-8"	SINGLE POCKET DOOR	
201	2'-6"	6'-8"	INTERIOR DOOR	
202	4'-0"	6'-8"	INTERIOR DOUBLE DOOR	
203	2'-6"	6'-8"	INTERIOR DOOR	
204	2'-4"	6'-8"	INTERIOR DOOR	
205	2'-4"	6'-8"	INTERIOR DOOR	
206	2'-6"	6'-8"	INTERIOR DOOR	
207	2'-6"	6'-8"	INTERIOR DOOR	
208	2'-4"	6'-8"	INTERIOR DOOR	
209	4'-0"	6'-8"	INTERIOR DOUBLE DOOR	
210	2'-4"	6'-8"	INTERIOR DOOR	
211	2'-4"	6'-8"	INTERIOR DOOR	
CO1	3'-0"	6'-8"	CASED OPENING	
CO2	2'-6"	6'-8"	CASED OPENING	

Total: 18

MONTGOMERY COUNTY DIGITAL STAMP AREA



2 Proposed Basement Plan
1/4" = 1'-0"

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Magee-Tranchina Residence

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Project Number: 23-055

Client Name: Pete Magee & Ally Tranchina

- Project Status:
- As Built Conditions
 - Preliminary Design
 - Design Development
 - Permit Submission
 - Construction Documents
 - Construction Administration
 - Historic

Drawing Issue Date: 6/04/2024

Client Approval:

Signature: _____

Date: _____

Revision Schedule

No.	Description	Date

Drawn by: AP

Checked by: MM

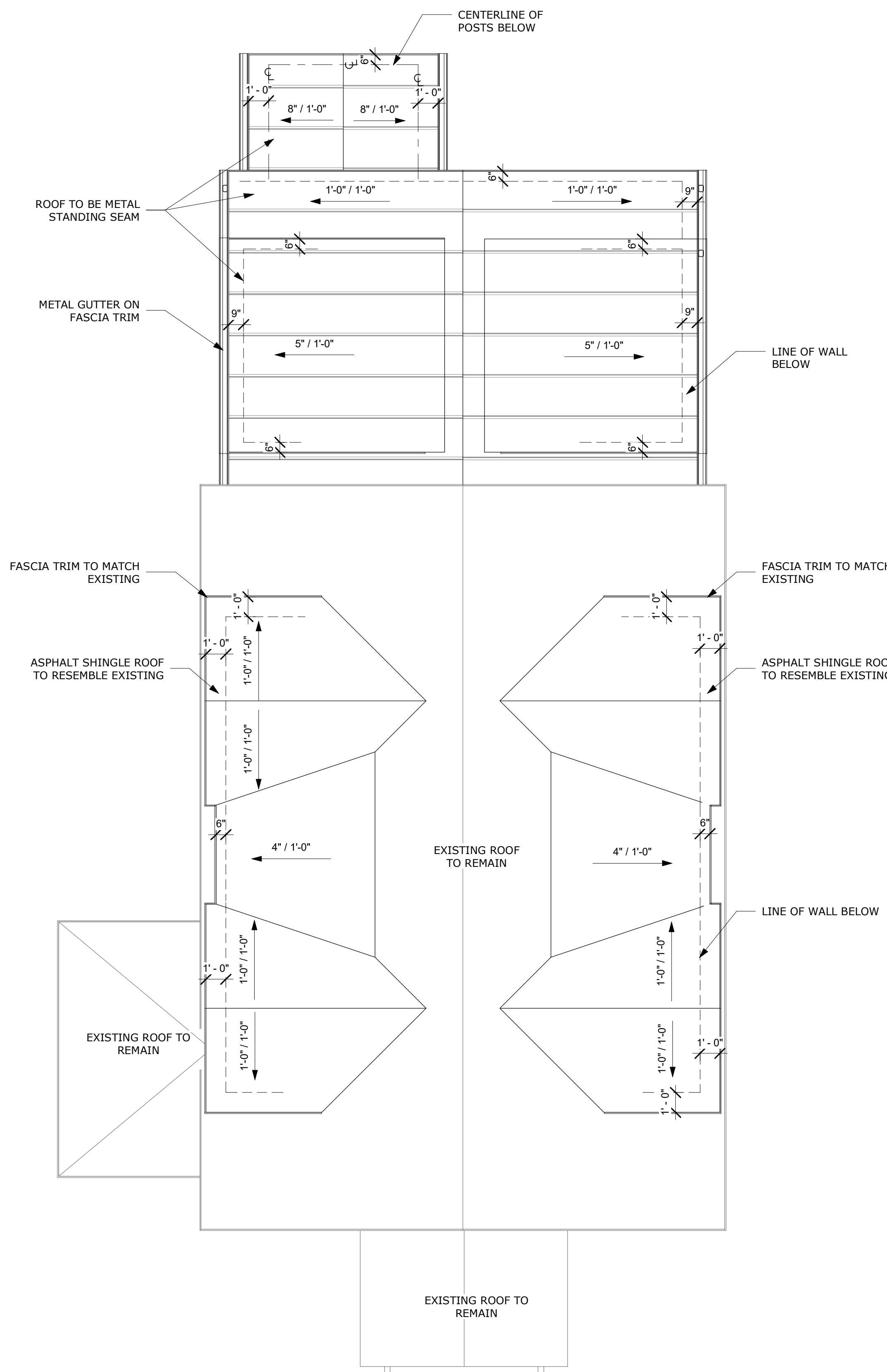
Scale: 1/4" = 1'-0"

Sheet Name:

Proposed Plans

Sheet Number:

A200



2 Proposed Roof Plan
1/4" = 1'-0"

GENERAL SECOND FLOOR NOTES

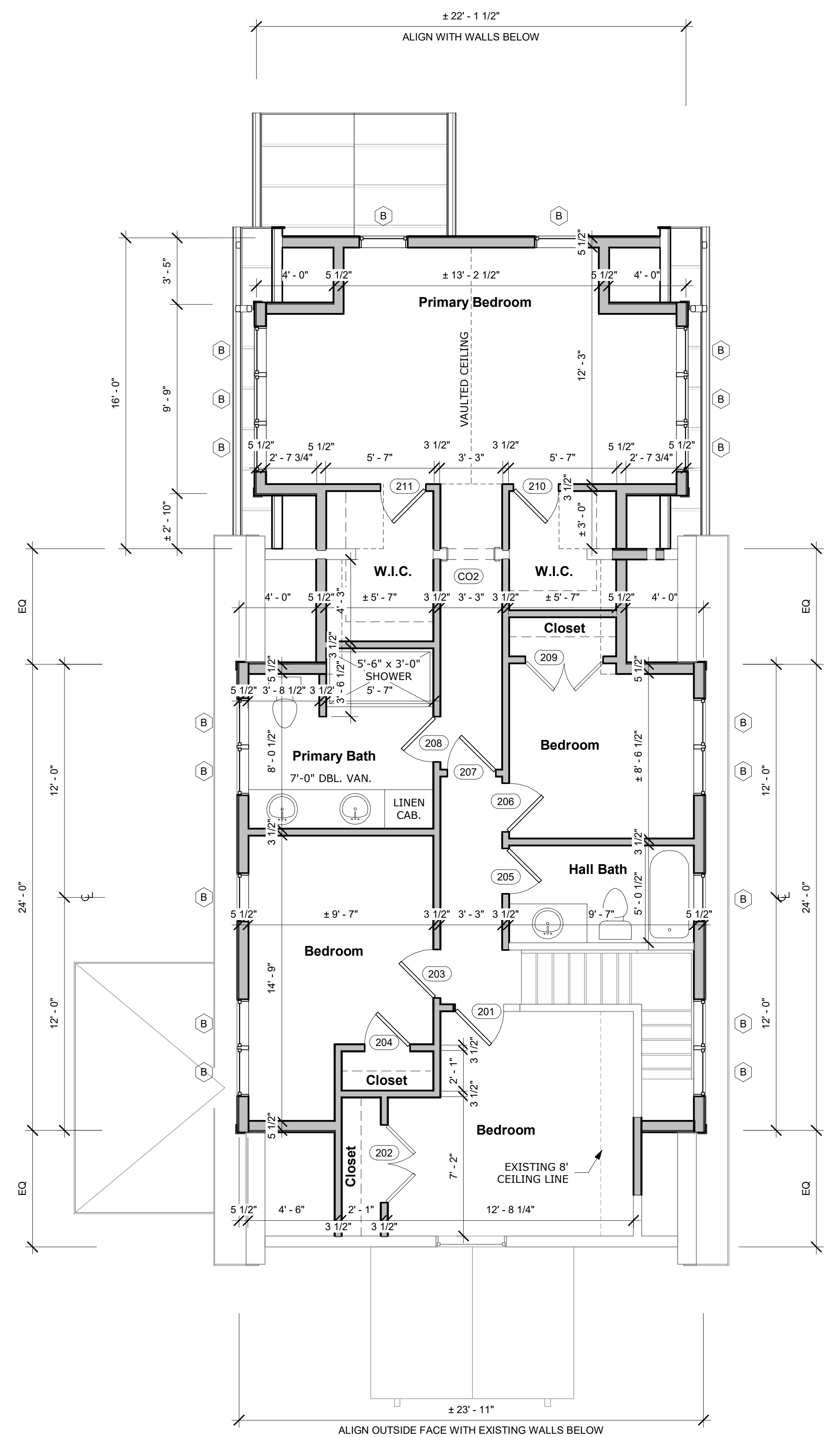
1. FINISH FLOOR MATERIAL TO BE HARDWOOD. TILE IN BATHROOMS.
2. PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
3. CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER
4. BASE MOLDING AND CROWN MOLDING TO MATCH EXISTING. FINAL SELECTION TBD BY OWNER.
5. WINDOW AND DOOR TRIM TO MATCH EXISTING.
6. GENERAL CABINERY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
7. GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.

GENERAL ROOF NOTES

1. ALL GUTTERS AND LEADERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
2. PROVIDE ROOF VENTING IF REQUIRED BASED ON TYPE OF INSULATION USED.
3. IN AREAS OF OVERFRAMING, SHEATHING SHALL BE INTERRUPTED FOR CONTINUITY OF ATTIC VENTING.
4. CHIMNEY'S SHALL EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF BUILDINGS WITHIN 10'-0" AND A MINIMUM OF 3'-0" ABOVE THE HIGHEST POINT WHICH THE CHIMNEY PASSES THROUGH THE ROOF.
5. APPLY ICE AND WATER SHIELD AT ALL EAVES, RIDGES AND VALLEYS.
6. ROOF MATERIAL AS NOTED ON PLANS AND ELEVATIONS.

DS INDICATES PROPOSED DOWNSPOUT LOCATION. SIZE & LOCATION OF DOWNSPOUTS AND GUTTERS TO BE VERIFIED BY INSTALLER.

MONTGOMERY COUNTY DIGITAL STAMP AREA



1 Proposed Second Floor Plan
1/4" = 1'-0"

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 Client Approval:
 Signature: _____
 Date: _____

Revision Schedule		
No.	Description	Date

Drawn by: AP
Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name:

Proposed Plans

Sheet Number:

A201

P:\23-055 Magee-Tranchina\Revit\SD\Magee-Tranchina_HAWP.rvt

GENERAL WINDOW NOTES

- GIVEN WINDOW SIZES SHOWN ARE GENERAL SIZES, MATCH BUILT OPENINGS TO SELECTED MANUFACTURER'S STANDARD SIZES UNLESS NOTED OTHERWISE.
- SAFETY GLAZING TO BE USED IN ALL WINDOWS AS NEEDED IN ACCORDANCE WITH 2018 IRC CHAPTER 3.
- WINDOWS LISTED AS EGRESS WINDOWS TO COMPLY WITH REQUIREMENTS OF 2018 IRC CHAPTER 3. CONFIRM WITH MANUFACTURER PRIOR TO ORDERING AS EACH MANUFACTURER'S SIZING AND SPECIFICATIONS MAY DIFFER SLIGHTLY.
- GENERAL WINDOW MUNTIN PATTERN IS SHOWN. CONFIRM SPECIFIC PATTERN WITH OWNERS PRIOR TO ORDERING.
- WINDOWS ARE TO BE MINIMUM DOUBLE PANE INSULATED GLASS, LOW-E, ENERGY EFFICIENT WINDOWS; MAX. U-FACTOR = 0.32; MAX. SHGC = 0.40.
- SKYLIGHTS ARE TO HAVE A MAX. U-FACTOR = 0.55; MAX. SHGC = 0.40.
- ALL WINDOWS AND DOORS TO HAVE HEAD AND SILL FLASHING, AND END DAMS WHERE APPLICABLE PER SMACNA.
- WINDOWS NOT SPECIFICALLY NOTED OR LISTED ARE EXISTING TO REMAIN
- CONTRACTOR TO CONFIRM WINDOW ORDER WITH OWNERS AND ARCHITECTS PRIOR TO ORDERING - CONTRACTOR ASSUMES ALL RESPONSIBILITY IF NO ARCHITECT REVIEW OCCURS

Window Schedule					
Type Mark	Count	Rough Opening		Description	Comments
		Width	Height		
A	7	2' - 8"	5' - 0"		
B	18	2' - 6"	3' - 6"		EGRESS WINDOW. CONTRACTOR TO VERIFY SIZE MEETS CODE REQUIREMENTS PRIOR TO ORDERING
C	1	6' - 0"	1' - 0"		
Total: 26					

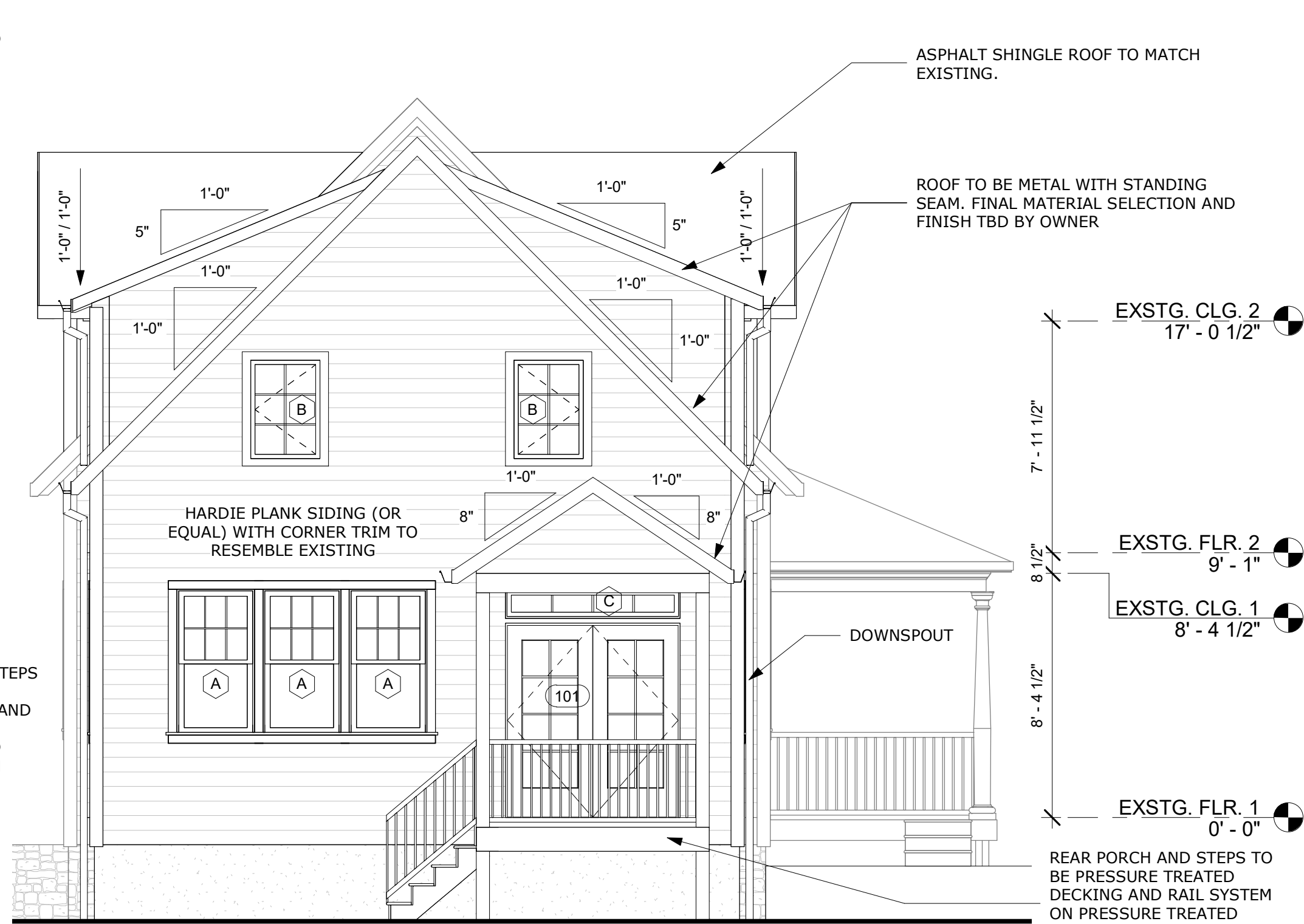
MONTGOMERY COUNTY DIGITAL STAMP AREA

GENERAL ELEVATION NOTES

- SEE ROOF PLAN FOR ROOF VENTING NOTES.
- SEE ROOF PLAN FOR ROOF FINISH AND INSTALLATION NOTES.
- ALL GUTTERS AND DOWNSPOUTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. SEE ROOF PLAN FOR LOCATIONS AND ADDITIONAL INFORMATION.
- ROOF FLASHING PER SMACNA
- ALL EXTERIOR TRIM AND FASCIA AS NOTED ON ELEVATIONS.
- EXTERIOR WINDOW AND DOOR TRIM TO MATCH EXISTING.
- ALL WINDOWS AND DOORS TO HAVE HEAD AND SILL FLASHING, AND END DAMS WHERE APPLICABLE PER SMACNA.
- EXTERIOR CLADDING AS NOTED ON ELEVATIONS.
- CHIMNEY'S SHALL EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF BUILDINGS WITHIN 10'-0" AND A MINIMUM OF 3'-0" ABOVE THE HIGHEST POINT WHICH THE CHIMNEY PASSES THROUGH THE ROOF.
- PATCH AND REPAIR ALL EXISTING EXTERIOR FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION.



4 Proposed Right Elevation
1/4" = 1'-0"



3 Proposed Rear Elevation
1/4" = 1'-0"



2 Proposed Left Elevation
1/4" = 1'-0"



1 Proposed Front Elevation
1/4" = 1'-0"

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Checked by: MM
Scale: 1/4" = 1'-0"
Sheet Name: Elevations

Sheet Number: **A300**

P:\23-055 Magee-Tranchina\Revit\SD\Magee-Tranchina_HAWP.rvt