

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	200 Market Street, Brookeville	Meeting Date:	6/12/2024
Resource:	Spatial Resource Brookeville Historic District	Report Date:	6/5/2024
Applicant:	Claire E. Fuller	Public Notice:	5/29/2024
Review:	Preliminary Consultation	Tax Credit:	No
Permit Number:	1070413	Staff:	Chris Berger
PROPOSAL:	Demolition and new deck construction.		

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC’s comments; receive any necessary approvals from the Town of Brookeville; and return with an Historic Area Work Permit.

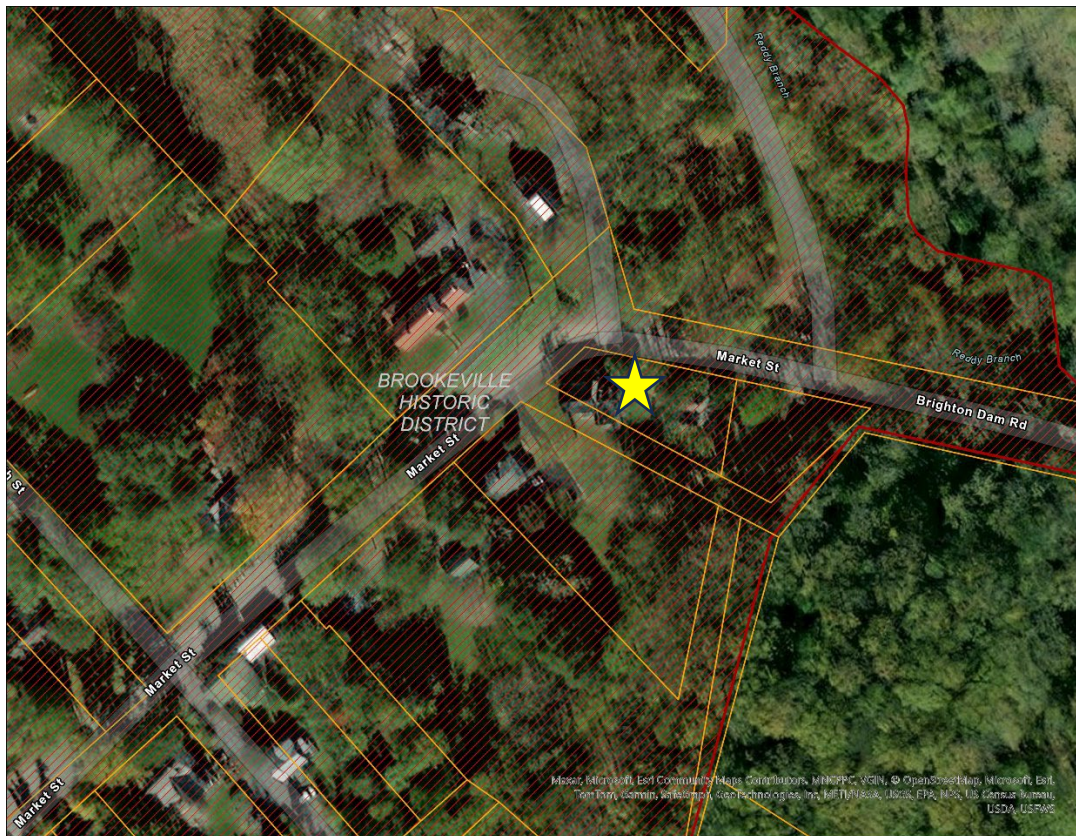


Figure 1: The subject property at 200 Market Street is indicated with a yellow star. The red cross hatch indicates the Brookeville Historic District boundaries.

PROPERTY DESCRIPTION

SIGNIFICANCE: Spatial Resource within the Brookeville Historic District
 STYLE: Vernacular
 DATE: 2004

The irregularly shaped lot is on the south side of Market Street. The roadway arcs along the property as it transitions to Brighton Dam Road. The lot measures 0.18 of an acre and slopes down from west to east.

The property was designated as a Spatial Resource when the Historic District was created. (Spatial Resources denote vacant and/or unimproved properties within the District.) In 2004, the HPC approved construction of a new 2.5-story, L-shaped residence measures 2,465 square feet. The existing dwelling is located approximately 15 feet from Market Street and adjacent to an unnamed alley as shown on *Figure 2*. The building was constructed with two sections: a 2.5-story gabled section that is three bays wide with a full-width front porch and a two-bay wide cross-gabled section standing 1.5-stories tall with two dormers that is set back from Market Street. The walls are covered with Hardiplank lap siding, and the gable and hip roofs are covered with standing-seam metal.



Figure 2: The unnamed alley is colored in blue. A gold star indicates the subject property.

The rear elevation of the three-bay wide section includes a covered porch off the first floor. A deck is located on the porch roof accessible from the second floor. Two decks also are located at the rear elevation of the two-bay wide section, one at each floor.

The yard includes a gravel driveway and parking pad and wood-framed shed with gable roof.



Figure 3: These real estate listing photo shows the front and rear elevations of the residence at 200 Market Street.

BACKGROUND

The HPC has approved the following HAWPs at the property:

- HAWP #23-65-03C on March 11, 2003, for the construction of the existing residence on what was then an empty lot.¹
- HAWP #23-65-04D on April 21, 2004, for construction of the first floor rear deck.²
- HAWP #23-65-04E on April 21, 2004, for a tree removal, patio repair, and shed repair.³
- HAWP #23-65-06B on October 25, 2006, for the construction of the existing shed.⁴

¹ The file for HAWP #23-65-03C can be reviewed here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box081/23-65-03C_Brookeville%20Historic%20District_Lot%2037%20Market%20Street_03-12-2003.pdf

² The file for HAWP #23-65-04D can be reviewed here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box081/23-65-04D_Brookeville%20Historic%20District_200-B%20Market%20Street_04-22-2004.pdf

³ The file for HAWP #23-65-04E can be reviewed here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box081/23-65-04E_Brookeville%20Historic%20District_200%20Market%20Street_04-22-2004.pdf

⁴ The file for HAWP #23-65-06B can be reviewed here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box081/23-65-06B_Brookeville%20Historic%20District_200%20Market%20Street_10-26-2006.pdf



Figure 4: The approved plans for HAWP #23/65-04D when the rear deck was added.

PROPOSAL

The applicant seeks to expand the existing deck and porch, which measures 15 feet, 5.5 inches-by 7 feet, 5 inches, and deck, which measures 8-by-12 feet, on the first floor of the rear elevations to create a new, 490-square-foot deck that integrates the existing porch and deck (*Figures 5-7*). Like the existing deck, the expanded deck will be built of a pressure-treated wood frame. The two stone piers that support the existing porch will remain. The deck stairs, railing, caps, and trim will be made of PVC. The deck floor is proposed to be covered by Trex.

The deck will extend to the west to the side property line where an unimproved 18-foot wide alley extends between the subject property and 202 Market Street. The deck will be approximately 35 feet from the property line with 198 Market Street to the east.

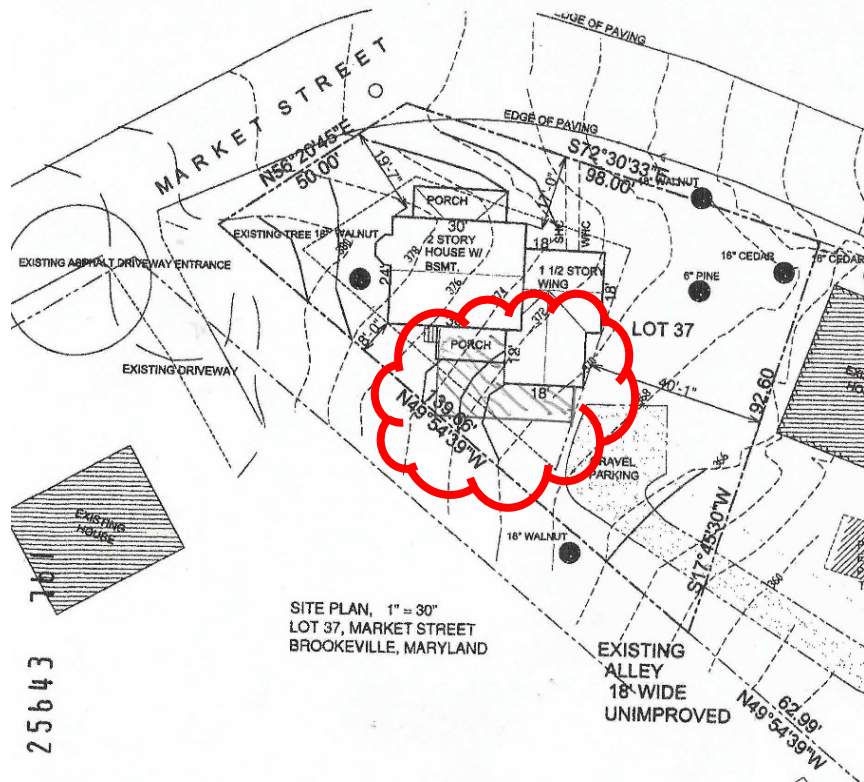


Figure 5: The proposed expanded deck is clouded in this site plan provided by the applicant.

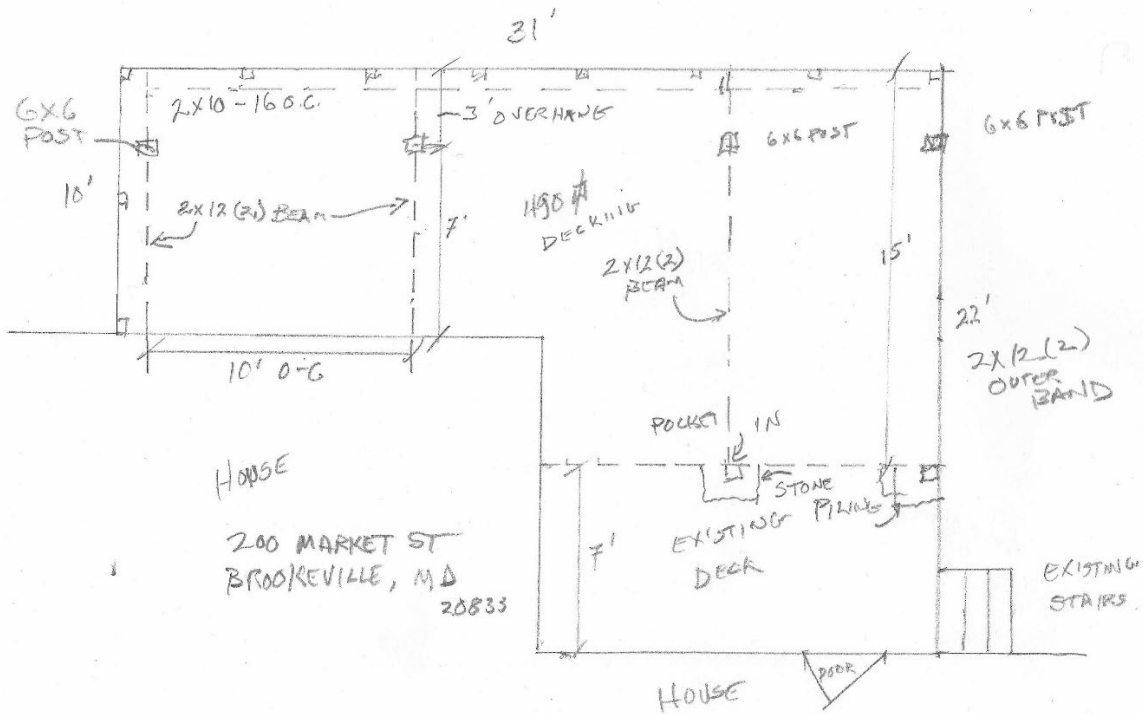


Figure 6: The proposed floor plan for the expanded deck.

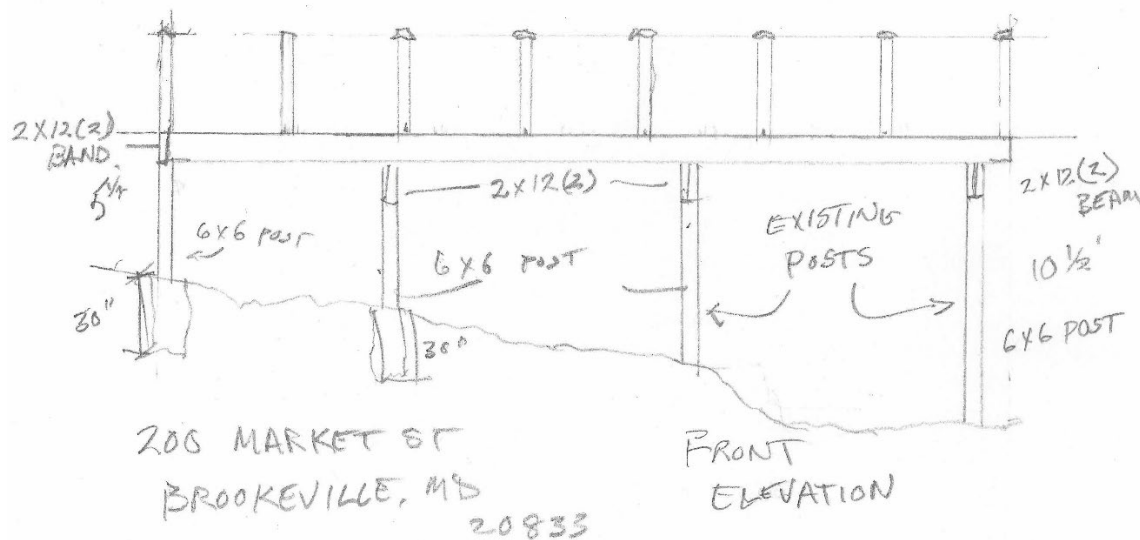


Figure 7: The drawing for the proposed deck expansion.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Brookeville Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Brookeville Historic District Master Plan Amendment (*Amendment*), Town of Brookeville Zoning Ordinance (*Ordinance*), Montgomery County Code Chapter 24A-8 (*Chapter 24A-8*), and the Secretary of the Interior’s Standards for Rehabilitation (*Standards*). The pertinent information in these documents is outlined below.

Town of Brookeville Zoning Ordinance

Article III. Residential Zone

Section 10-301.(c)(3):

Setbacks:

A. Main buildings:

- i. Side yard – Eight (8) feet.
- ii. Front yard – Fifteen (15) feet.
- iii. Rear yard – Forty (40) feet.

Article VI.

Miscellaneous Provisions Section 10-601.

Extensions and Projections Bay windows, entrances, chimneys, eaves, steps, stoops, terraces, patios, porches, vestibules and any similar extensions of a main or accessory building may extend into any existing or approved front or side or rear yard upon approval by the Planning Commission and its finding that such extension will not have an adverse impact on adjacent properties.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* read are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports merging of the existing porch and deck to create the single deck, but recommends the size, location, and materials of the deck be revised.

The current porch measures 114 square feet, and the current deck measures 96 square feet, so at 490 square feet, the single deck will be nearly double in size than the current features. Moreover, the deck will be prominently visible from the right of way (*Figure 8*). Though the residence is only 20 years old, it is part of the Brookeville Historic District, and any alteration must be compatible to the character of the district. Large decks are not readily visible from the right of way in the district, so staff recommends the deck be reduced in size to limit its visibility.



Figure 8: This Google Street View photo from November 2022 shows the rear porch and deck, clouded in red, visible from the Market Street right of way.

The deck also must either meet the Town of Brookeville's setback requirements or receive approval from the Brookeville's Planning Commission before the HPC can review the HAWP for the deck. The *Ordinance* requires side yard setbacks of 8 feet, but the deck appears to extend to the side property line leaving no set back. In addition, the rear yard setback is to be 40 feet, but the proposed deck will be approximately 35 feet from that property line.

Staff does not support the proposed Trex decking and instead seeks a paintable wood or composite flooring that is more compatible to the character of the historic district. The proposed decking would need to meet all requirements for porch flooring should the HPC approve Policy No. 24-01 for the Appropriateness of Substitute materials for Porch and Deck Flooring by the time the HPC reviews the HAWP. Staff would only support the proposed PVC trim and railing if it is solid core. High quality building materials are the norm in Brookeville with new construction; this has been demonstrated by the high level of attention to detail and materiality in this newly constructed house.

Items to Include in HAWP Application

Staff recommends the following items be included in the HAWP application:

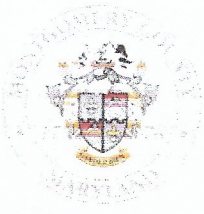
- A rear elevation drawing that shows the proposed deck.
- Specifications for the new construction, including the decking, balustrade, trim, and rail caps.
- The side and rear set back measurements for the deck drawn on the site plan.
- Approval from the Brookeville Planning Commission, if necessary.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments; receive any necessary approvals from the Town of Brookeville; and return with an Historic Area Work Permit.

Staff Requested HPC Feedback

- Appropriateness of the deck's location.
- Appropriateness of the deck's design.
- Appropriateness of the deck's materials.
- Any other comments.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Claire E Fuller
Address: 200 Market Street
Daytime Phone: 301-335-2012

E-mail: cegreen@gmail.com
City: Brookeville Zip: 20833
Tax Account No.: 08-00732157

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? X Yes/District Name Brookeville
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 200 Street: Market Street
Town/City: Brookeville Nearest Cross Street: High Street
Lot: 37 Block: _____ Subdivision: _____ Parcel: 391

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

5/13/2024
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

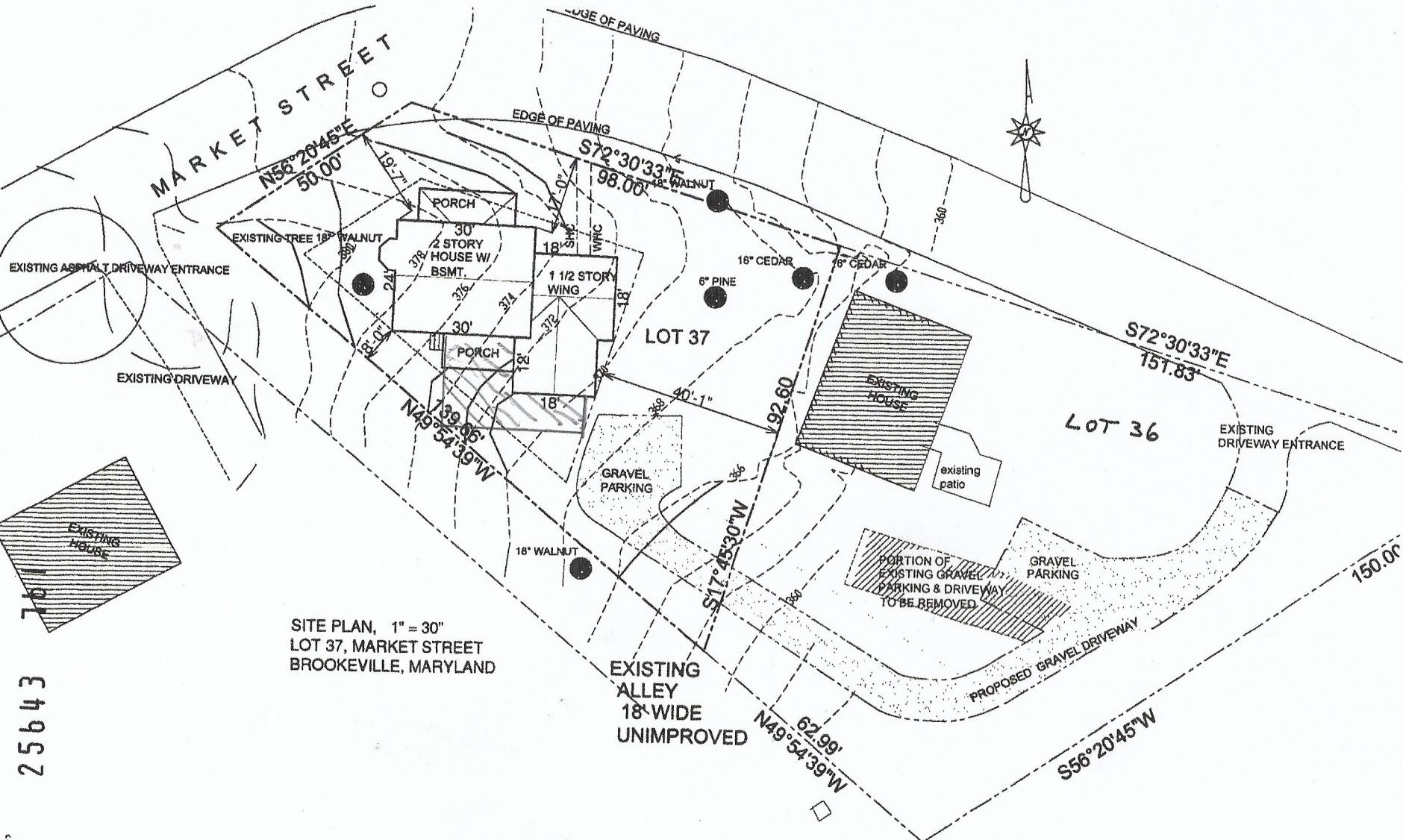
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

SCHEDULE "B"

25643



SITE PLAN, 1" = 30"
 LOT 37, MARKET STREET
 BROOKEVILLE, MARYLAND

SITE PLAN

1" = 30'

1
CS

MARKET STREET

N56°20'45"E
50.00'

EDGE OF PAVING

S72°30'33"E
98.00'

18" WALNUT

EXISTING ASPHALT DRIVEWAY ENTRANCE

EXISTING TREE 18" WALNUT

PORCH

30'
2 STORY
HOUSE W/
BSMT.

1 1/2 STORY
WING

6" PINE

LOT 37

EXISTING DRIVEWAY

PORCH

DECK

N49°54'39"W
39.06'

40'-1"

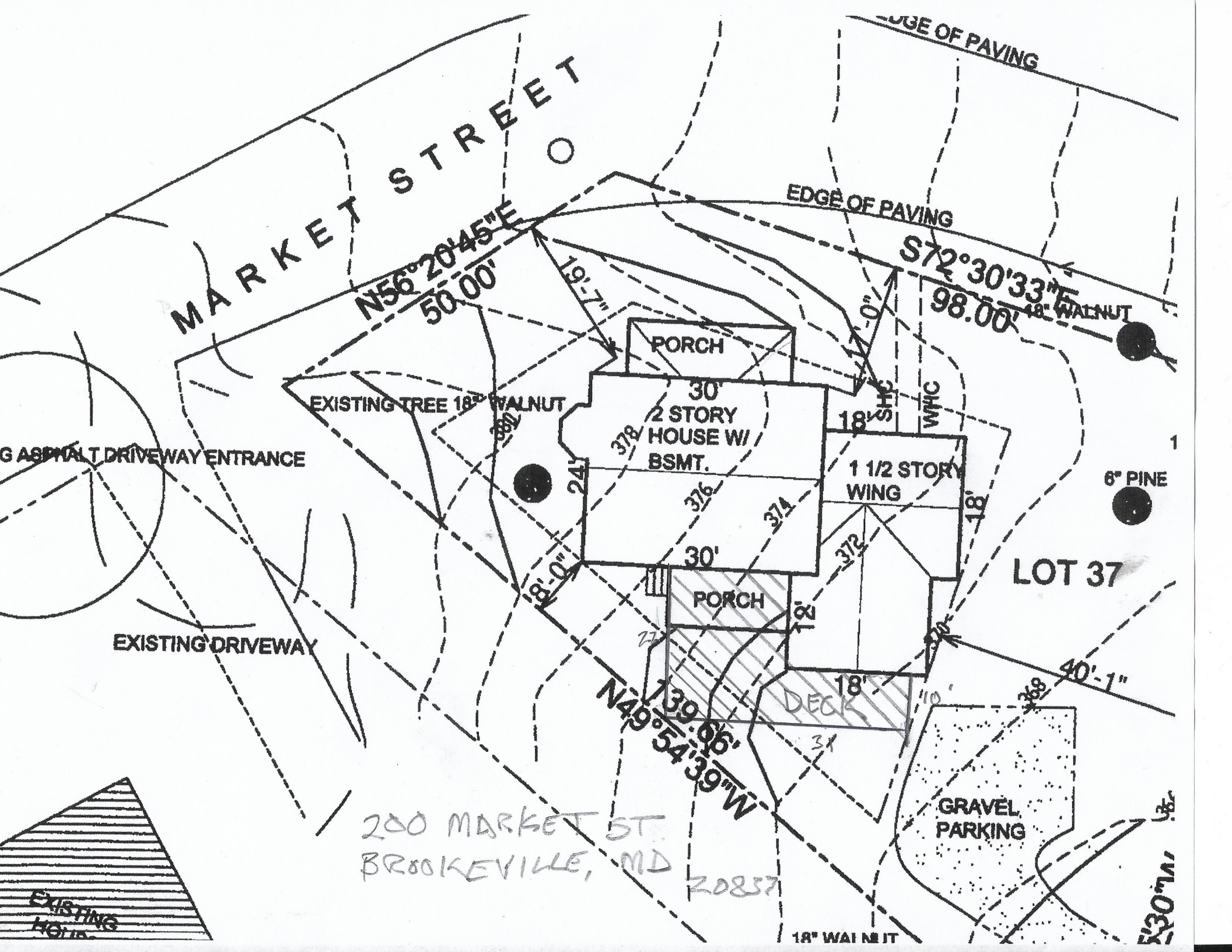
200 MARKET ST.
BROOKVILLE, MD
20857

GRAVEL
PARKING

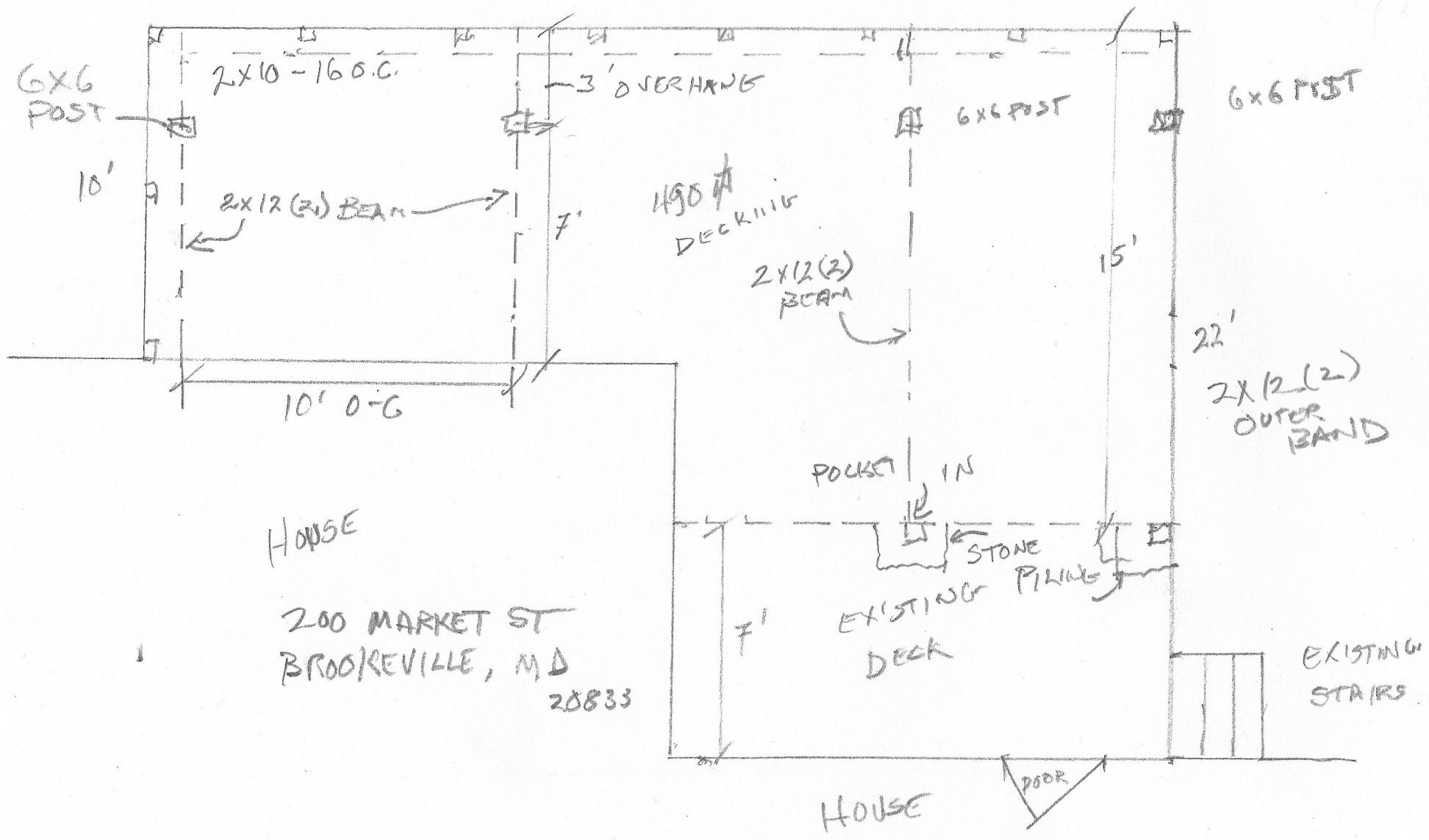
EXISTING
HOLE

18" WALNUT

S30°7'W
98.2'



31'



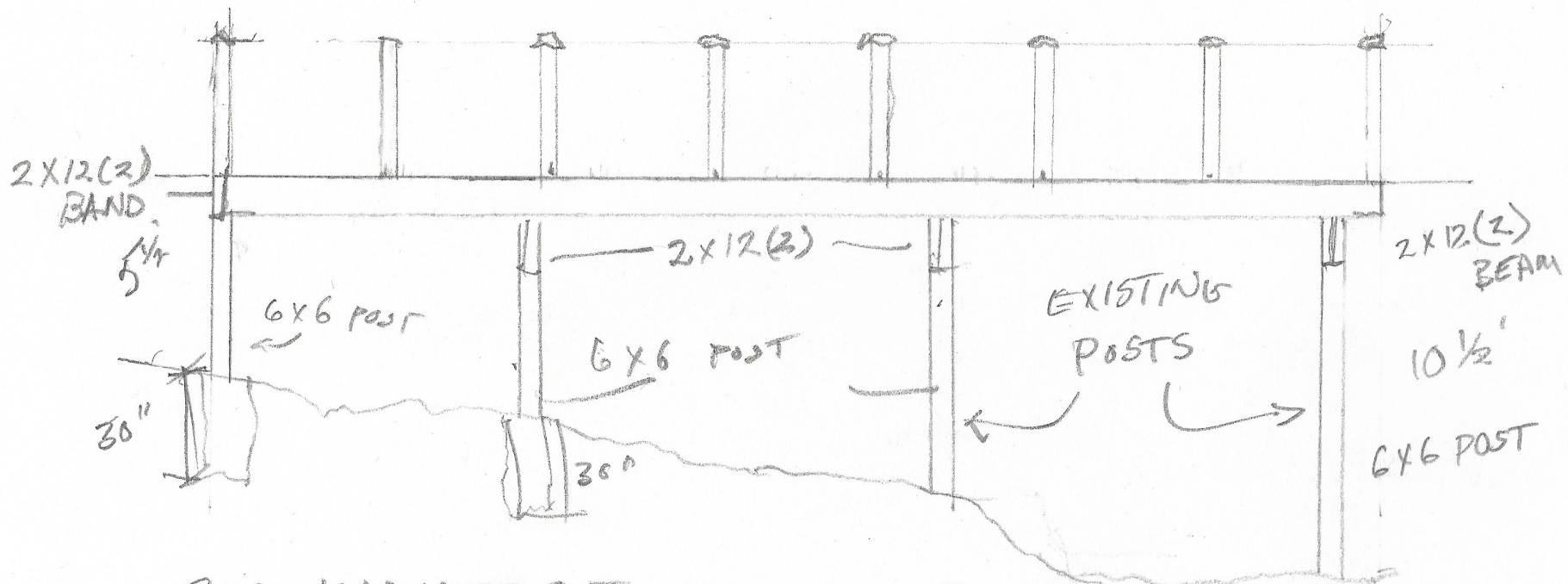
HOUSE

200 MARKET ST
BROOKVILLE, MD
20833

HOUSE

DOOR

EXISTING STAIRS



208 MARKET ST
 BROOKEVILLE, MD
 20833

FRONT
 ELEVATION

Materials for Deck-200 MARKET STREET

Trex Enhance 1x6-20 Foggy Wharf
Enhance Naturals - Grooved

Trex Enhance 1x6-16 Foggy Wharf
Enhance Naturals - Non Grooved

1X12-18'VTX PVC TRIM BOARD

INTEX 10'HAMPTON FLAT CAP WHITE 7 7 EACH
RAIL KIT

INTEX STAIR HARDWARE

INTEX 6'HAMPTON FLAT CAP RAIL

NEW INTEX TRIM SKIRT 5"WHT

INTEX PLAIN FLAT POST CAP

INTEX NEW 5"X48" SLEEVE WHITE.

TREX UNIVERSAL CLIPS 500SQFT

TREX HIDEAWAY START/STOP CLIP

1X8-18' VTX PVC TRIM BOARD

2 x 12 CCA PRESSURE TREATED FRAMING LUMBER

6 x 6 CCA PRESSURE TREATED POSTS

2 x 10 CCA PRESSURE TREATED JOISTS

HANGER HARDWARE AND POST CLIPS

GALVANIZED NAILS (12 & 16 PENNY)



