

*Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	13 Montgomery Avenue, Takoma Park	<b>Meeting Date:</b>	6/26/2024
<b>Resource:</b>	Non-Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	6/18/2024
<b>Applicant:</b>	James Ogorzalek (Eric Saul, architect)	<b>Public Notice:</b>	6/12/2024
<b>Review:</b>	Preliminary Consultation	<b>Tax Credit:</b>	No
		<b>Staff:</b>	Chris Berger

**Permit Number:** 1072012

**PROPOSAL:** Partial demolition and construction of new two-story addition, and other alterations.

---

**STAFF RECOMMENDATION**

Staff recommends that the applicant make any changes recommended by the Historic Preservation Commission (HPC) and return for a Historic Area Work Permit (HAWP).



*Figure 1: A yellow star indicates the location of the subject property at 13 Montgomery Avenue. The red line and hashing indicates the Takoma Park Historic District.*

## ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Noncontributing Resource within the Takoma Park Historic District  
STYLE: Colonial Revival  
DATE: circa 1959

The two-story rectangular building measures 1,204 square feet and it located on a 0.16-acre lot that slopes down away from the street. The walk-out basement is covered with parging; the first floor is brick clad, and the second floor is covered in vinyl. The front-oriented gable roof is covered with architectural-grade shingles. Fenestration includes a fiberglass paneled door with fan light paired and a storm door at the front entrance; a paneled door with large light on the rear elevation; a door with a large light at the rear elevation; a frame door with awnings on the rear elevation; 1/1 sash aluminum windows; one-light fixed vinyl windows; and one-light awning windows.

On the rear elevation, a wood stair extends up a flight to reach the door at the back entrance. There also are two other entrance doors at the foundation level on the back accessible from the door deck that extend the length of the elevation.

A wood-frame shed is located in the southeast corner of the property.



*Figure 2: The front and left-side elevations.*



*Figure 3: The rear and right-side elevations.*

## **PROPOSAL**

The applicant proposes to demolish the rear elevation and deck; construct additions in the rear; construct a one-story front porch; and complete other alterations to the existing building (*Figures 4-8*).

### ***Demolition and New Construction in the Rear Yard***

The applicant proposes to demolish the rear wall and wood deck in the rear yard and construct a rear addition consisting of three sections: a two-story section covered with a gable roof that measures 864 square feet; a one-story addition that measures 108.6 square feet; and a one-story screened porch that measures 180 square feet. The two-story addition will be flush with the wall on the right-side elevation; the one-story addition will extend 1 feet, 3.5 inches, from the left-side elevation. The one- and two-story additions will also have basements with parged concrete block while the screened porch will be elevated on posts. The two-story addition will have a 6/12 gable roof and the screened porch will have 8/12 gable roof. The one-story addition will have a shed roof. All roofs will be covered with asphalt shingles. Stairs will access the screened porch and a door that enters into the addition. The stairways will have composite railing. The additions will be constructed of Hardie siding; asphalt shingle roofs; PVC trim; Azek rake board; aluminum gutters; and vinyl windows.

### ***Construct Front Porch***

The applicant proposes to construct a one-story front porch measuring 187.8 square feet. The porch will be three bays wide and feature a shed roof covered with asphalt shingles. The porch floor and railing will be composite; the infill material at the ends will be Hardie; the rakeboard will be Azek; the gutter will be aluminum; and the squared columns will be wrapped in PVC.

### ***Alterations to the Existing Building***

The applicant proposes to replace the vinyl siding with horizontal Hardie siding with a 7-inch reveal; replace the trim with 4-inch PVC; and replace the fascia with PVC. The roof and gutters will also be replaced in kind. This work does not require a HAWP as long as it matches the existing.

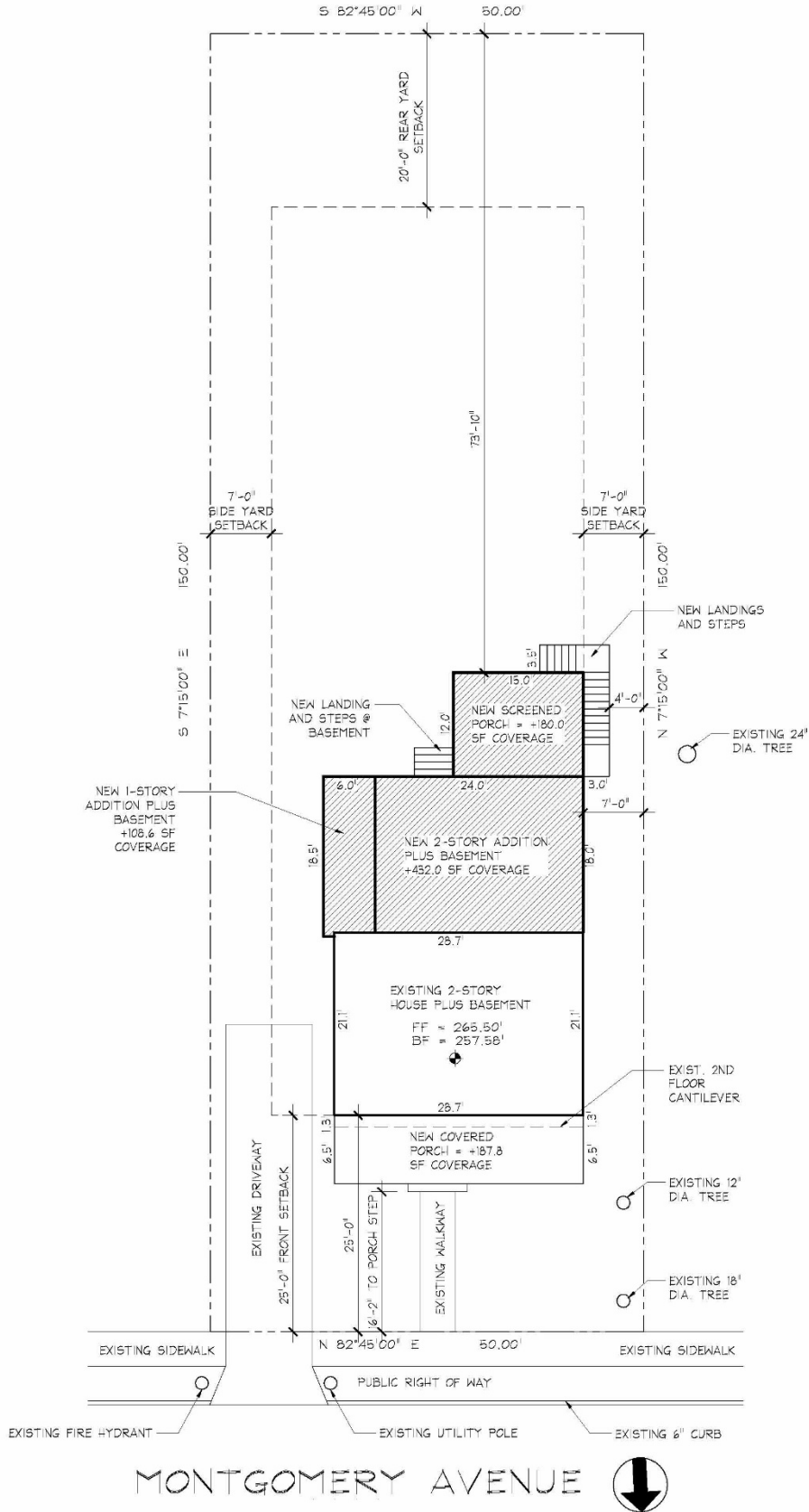


Figure 4: The proposed site plan.



Figure 5: The existing, left, and proposed front elevation.

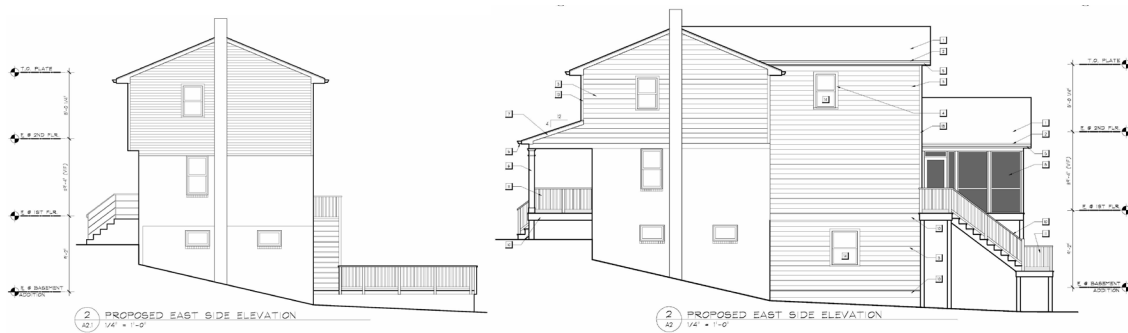
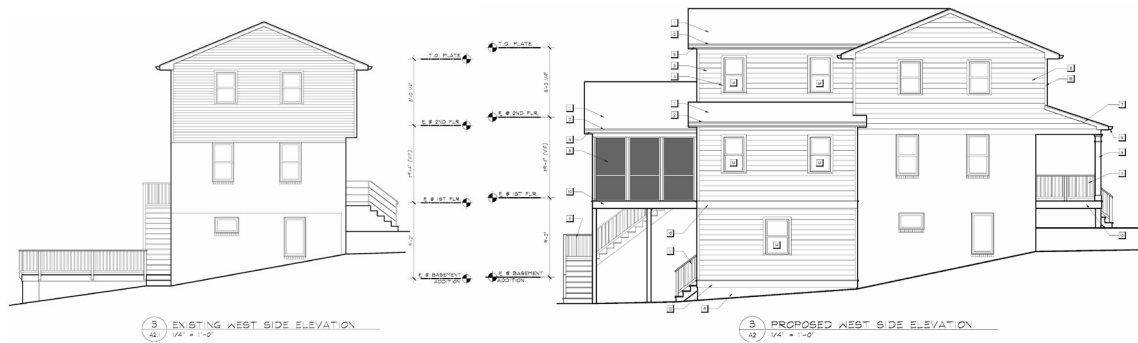


Figure 6: The existing, left, and proposed right-side (east) elevation.



Figure 7: The existing, left, and proposed rear elevation.



**Figure 8: The existing, left, and proposed left-side (west) elevation.**

**APPLICABLE GUIDELINES**

The Historic Preservation Office and HPC consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

***Takoma Park Historic District Guidelines***

There are two broad planning and design concepts that apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The subject property falls under the category of Non-Contributing/Out-of-Period Resources, defined as either having little or no architectural and historical significance to the historic district or was constructed outside of the district’s primary periods of historical importance. The design guidelines state that these types of resources should receive the most lenient level of design review and should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing that affect the surrounding streetscape and/or landscape and could impair the character of the historic district.

***Montgomery County Code Chapter 24A-8***

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior’s Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

***Demolition and New Construction in the Rear Yard***

To applicant proposes to demolish the wood deck in the rear year and build a two-story addition; a one-story addition; and a screened porch.

According to the *Guidelines*, additions to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff is supportive of the demolition of the deck and construction of the new addition because the work will not affect the existing streetscape, landscape, and building patterns and will not impair the character of the historic district.

Staff recommends the rear addition be inset at least 6 inches on either side in keeping with the HPC’s guidance for rear additions, including for Non-Contributing Resources in the Takoma Park Historic District. Additional windows should be added to the right-side (east) elevation to break up the massing. The roof pitch of the existing roof should be included on the drawings, and staff recommends the pitch matches the proposed cross-gable roof on the addition. Staff accepts the proposed 1/1 and casement vinyl windows because they will be on the rear and side elevations, but encourages the applicant consider

wood, aluminum clad-wood, fiberglass, or composite instead to be better in-keeping with the high-quality materials found in the Takoma Park Historic District. Staff is open to the PVC trim but would like more information to understand if it is millable and paintable. Staff tentatively supports all other proposed materials, including the fiber cement siding, asphalt shingles, Azek rake board, aluminum gutters, and composition railing and decking, and seeks specifications for all features in the HAWP application. If a new HVAC pad is necessary, it is to be included on the site plan.

### ***Construct Front Porch***

The applicant proposes to add a one-story front porch measuring 187.8 square feet to extend the length of the building. Staff notes that the setback requirement for buildings in the R-60 Zone is [25 feet](#), but [Sec. 59-B-3.1](#) allows up to a 9-foot projection for porches; the proposed porch will project 7.8 feet, according to [Figure 4](#).

According to the *Guidelines*, additions to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.”

Staff finds the front porch will be compatible in character to the historic district where front porches of a similar location, design, and size are prevalent. Staff also is open to the PVC wrapped columns but seeks the specifications to better understand the proposed material. Staff supports the composite decking as long as the applicant selects decking that meets the HPC’s recently adopted Policy No. 24-01, so specifications must be provided for the HAWP. Staff also seeks specifications on the proposed composite railing.

### ***Alterations to the Existing Building***

The applicant proposes replacement of the vinyl siding with Hardie; replacement of the trim with PVC; and replacement of the fascia with PVC.

According to the *Guidelines*, alterations to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.”

Staff supports all the proposed changes to the existing building, including replacement of the vinyl siding with Hardie; replacement of the trim with PVC; and replacement of the fascia with PVC.

### ***Items to Include in HAWP Application***

Staff recommends the following items be included in the HAWP application:

- Add the keynotes to each proposed elevation and label each numbered item on the drawing.
- Add the pitch of the existing roof to the drawings.
- Label the type of asphalt shingle roof (three-tab or architectural) on the existing house.
- Inset the rear addition at least 6 inches on either side.



- Label the materials on the existing elevations.
- Door and window schedule.
- Show the HVAC pad location on the site plan.
- Label the material of the proposed porch piers; porch stairs treads and risers; rear door; rear stairways; and screened porch posts.
- Draw and label the downspouts.
- Specification sheets for all building features, including the doors, windows, siding, soffit, trim, roofing, porch columns, railing, decking, lighting, and gutters and downspouts.
- Include a copy of Tree Impact Assessment and Protection Plan. If any trees require removal, include those in the HAWP application.

**STAFF RECOMMENDATION**

Staff recommends that the applicant make the changes suggested by the HPC and return for a HAWP with the requested information.

***Staff Requested Feedback***

- Appropriateness of the siting of the rear addition and its lack of inset.
- Appropriateness of the size, scale, and massing of the rear additions.
- Appropriateness of the materials proposed for the additions (vinyl windows, PVC trim, Hardie siding, asphalt shingles, aluminum gutters, Azek rake board, and composition railing and decking).
- Appropriateness of the size, scale, and massing of the front porch.
- Appropriateness of the materials proposed for the front porch (PVC wrapped columns, asphalt shingles, Hardie siding, Azek rakeboard, and composite railing and decking).
- Appropriateness of the material alterations proposed for the existing building (Hardie siding, PVC trim, and PVC fascia).



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

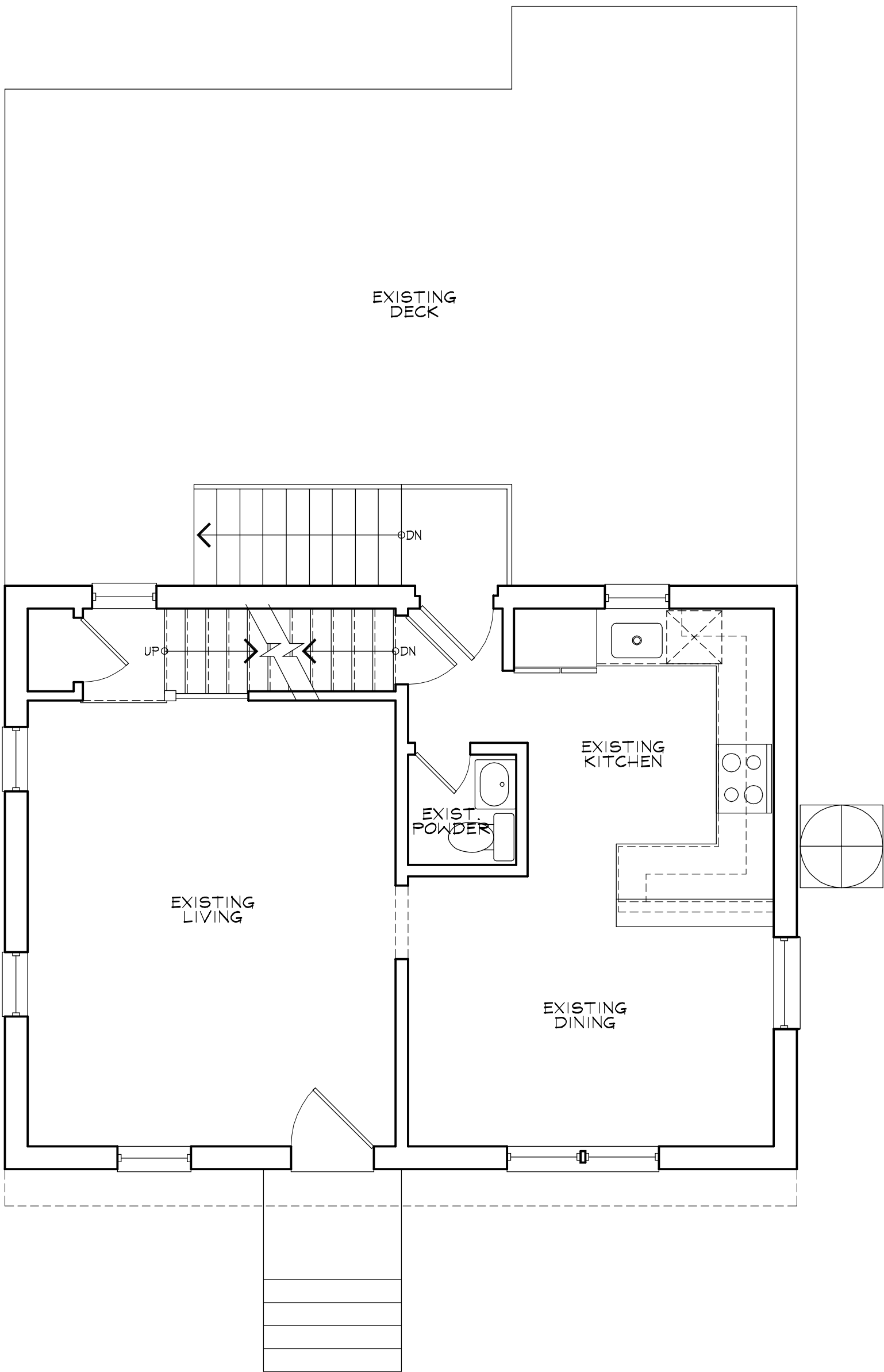
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

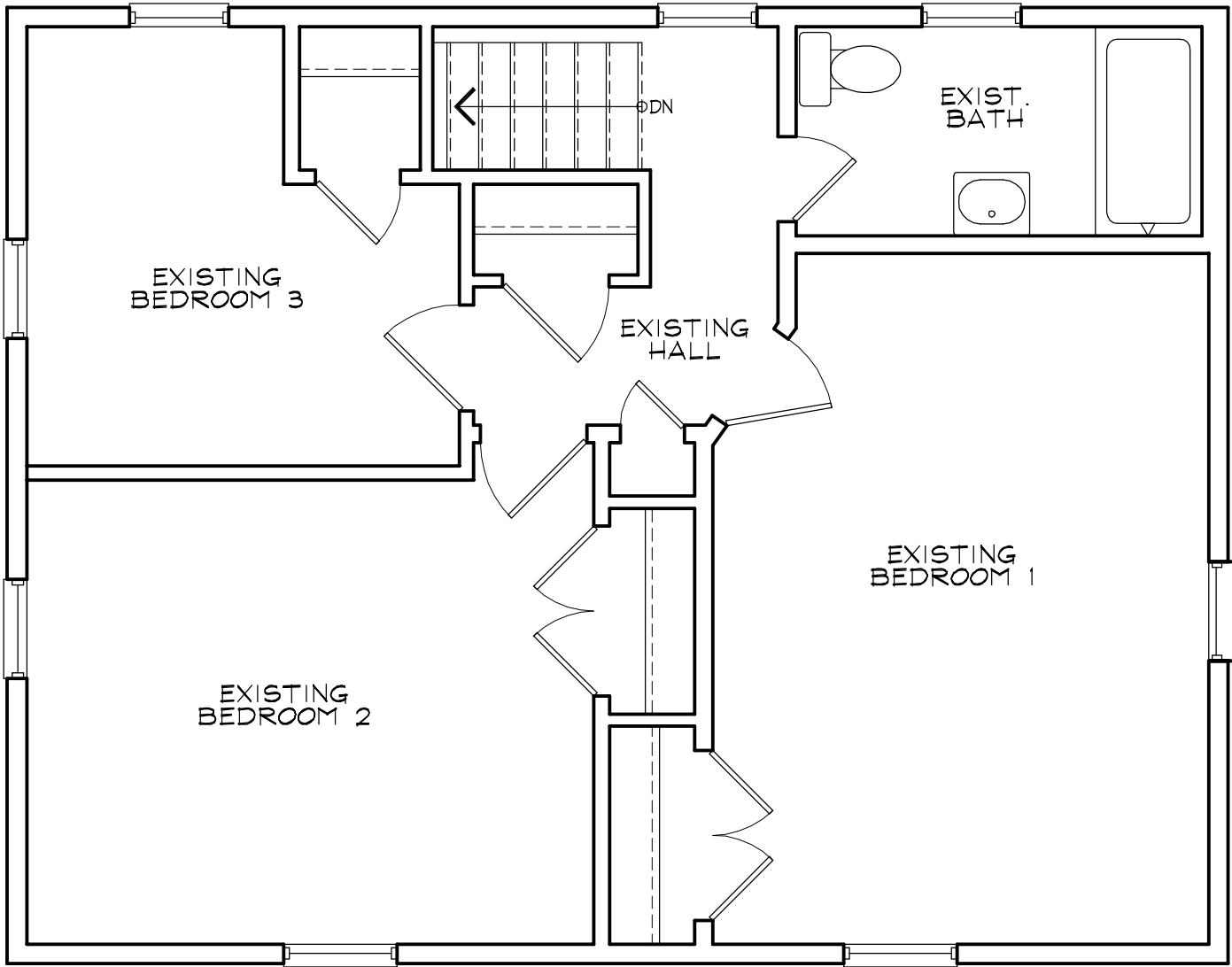
# ELEVATION KEYNOTES:

- 1 30 YR. ASPHALT SHINGLE ROOFING - MATCH EXISTING
- 2 1X6 PVC FASCIA BD - PT'D
- 3 NEW HARDIE SIDING W/ 7" EXPOSURE - PT'D
- 4 NEW 5/4X4 AZEK WINDOW TRIM ON TOP/SIDES WITH 2" HISTORIC SILL - PT'D
- 5 PREFINISHED ALUM. GUTTER - MATCH EXIST.
- 6 7.5" SQ. PVC COLUMN WRAP
- 7 1X6 AZEK RAKE BOARD
- 8 INSECT SCREENING WITH 36" HIGH RAILING ON INSIDE
- 9 NEW PARGED AND PAINTED CMU FOUNDATION WALL
- 10 5/4X10 PVC TRIM BAND WITH 5/4X2 DRIP CAP
- 11 NEW 36" HIGH COMPOSITE RAILING - SEE DETAILS
- 12 NEW COMPOSITE DECK/BALCONY - SEE DETAIL
- 13 4" PVC CORNER BOARD
- 14 NEW VINYL WINDOWS



2 EXISTING/DEMO FIRST FLOOR PLAN  
 AI 1/4" = 1'-0"

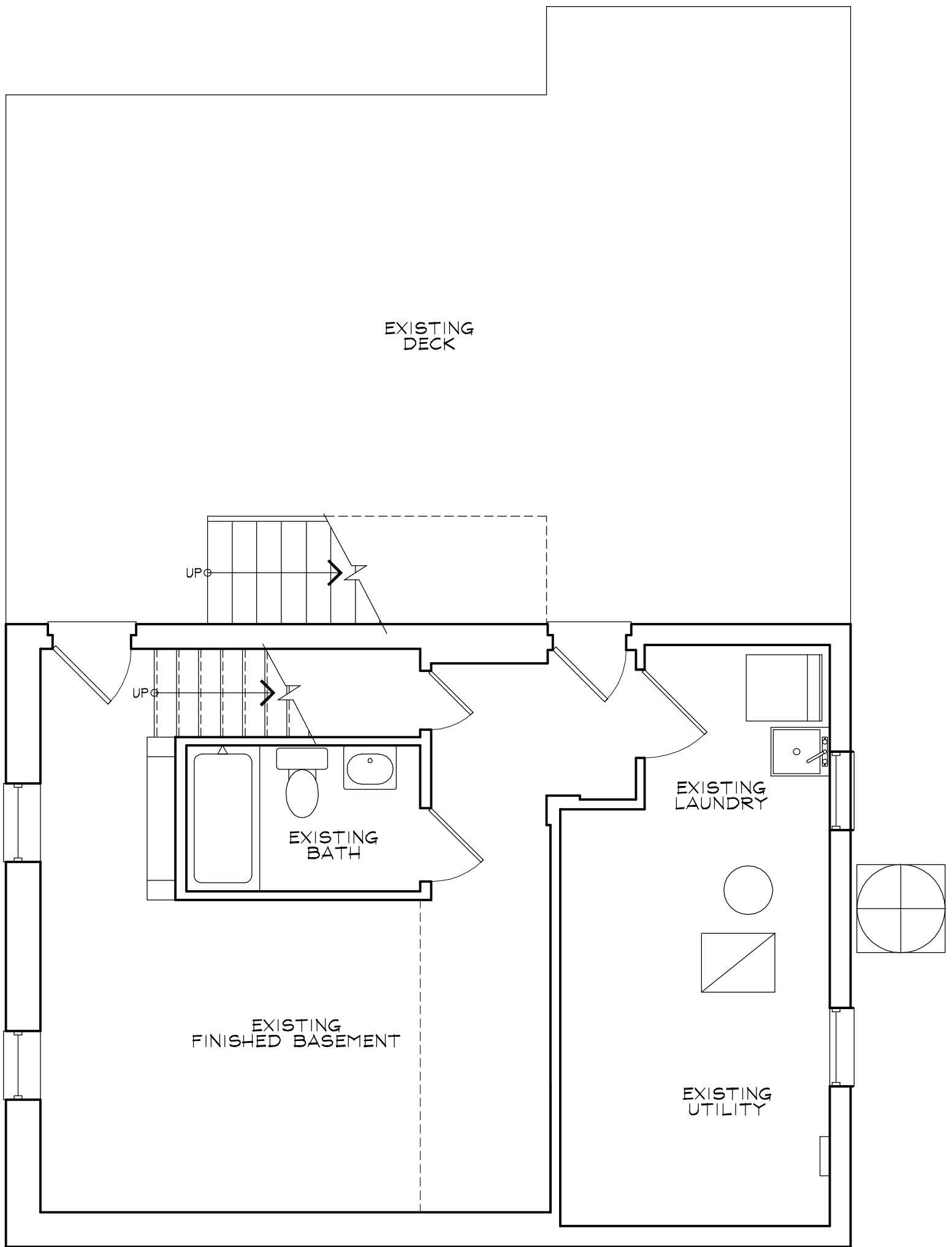




3  
A1

EXISTING/DEMO SECOND FLOOR PLAN

1/4" = 1'-0"



1  
A1

EXISTING/DEMO BASEMENT PLAN  
1/4" = 1'-0"



2
 PROPOSED EAST SIDE ELEVATION  
 A2.1 1/4" = 1'-0"



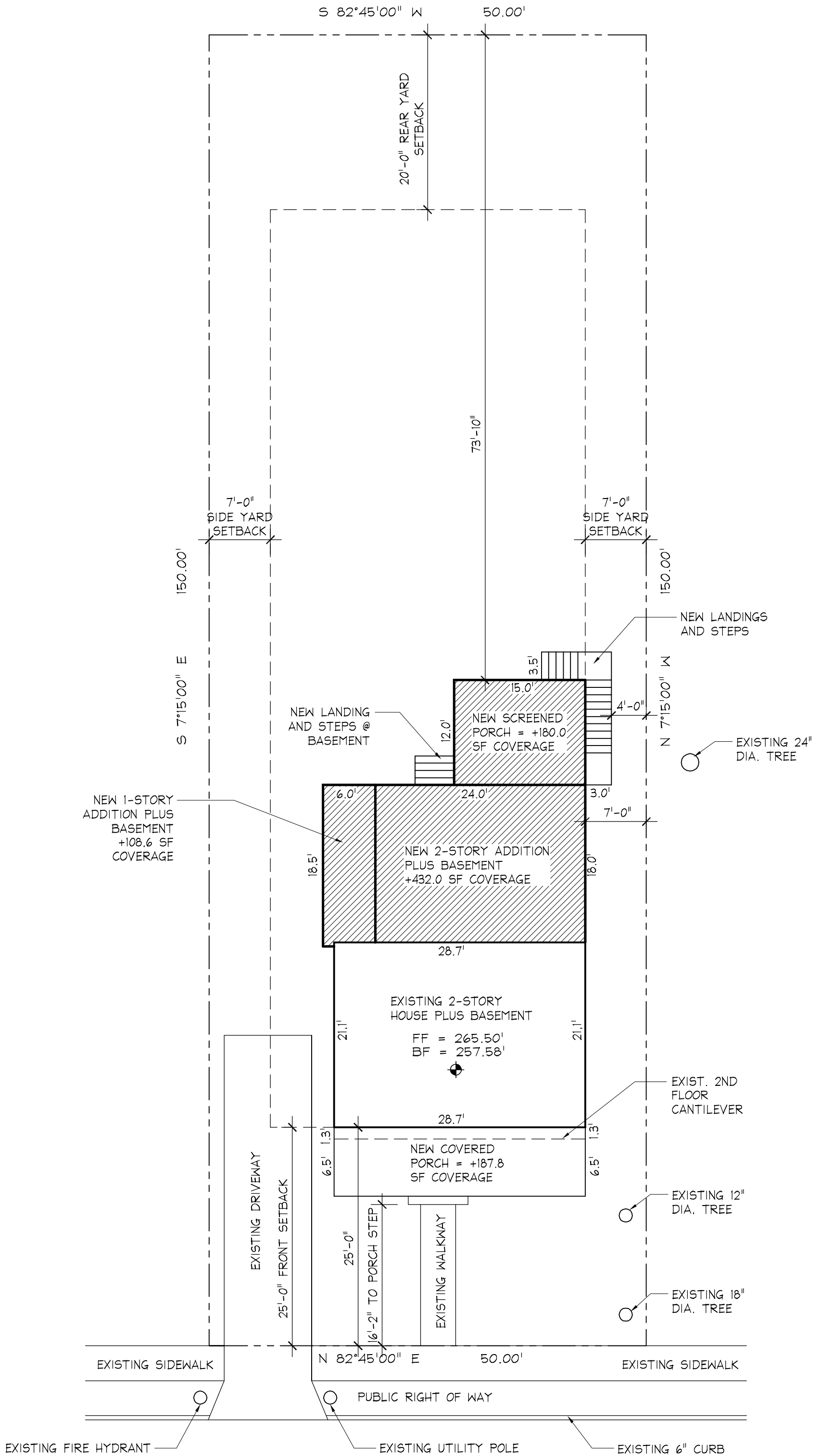
1 EXISTING FRONT ELEVATION  
 A2.1  $\frac{1}{4}" = 1'-0"$



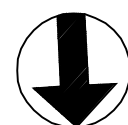
4
 EXISTING REAR ELEVATION  
 A2.1 1/4" = 1'-0"



3
 EXISTING WEST SIDE ELEVATION  
 A2.1  $1/4" = 1'-0"$



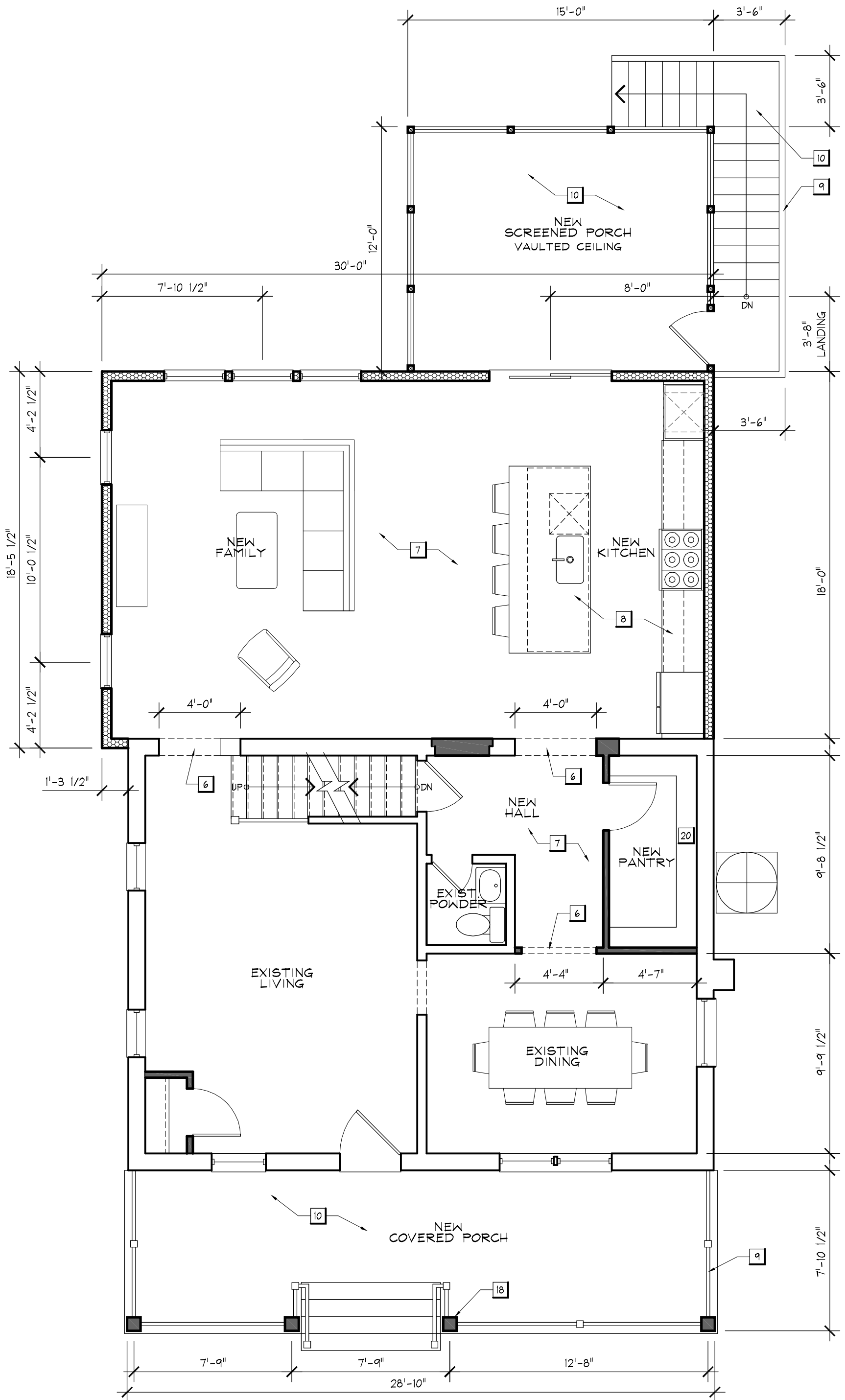
MONTGOMERY AVENUE



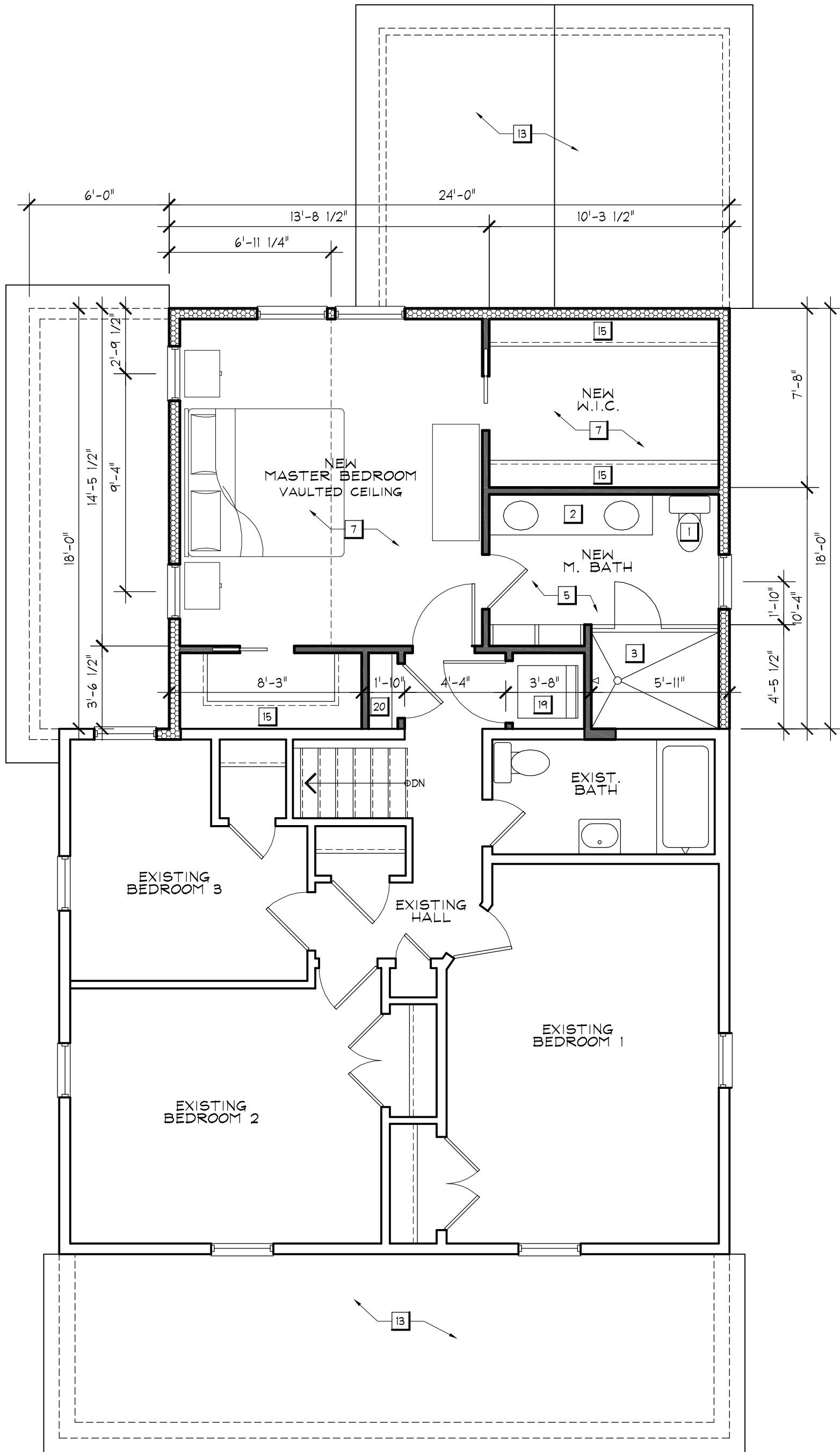
# FLOOR PLAN KEYNOTES:

- 1 NEW TOILET
- 2 NEW 84" VANITY SINK
- 3 NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE
- 4 NEW 30" VANITY
- 5 NEW TILE FLOORING - SELECTED BY OWNER
- 6 NEW CASED OPENING
- 7 NEW HARDWOOD FLOORING TO MATCH EXISTING
- 8 NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- 9 NEW 36" HIGH COMPOSITE DECK GUARDRAIL
- 10 COMPOSITE DECKING BOARDS
- 11 5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE
- 12 DOWNSPOUT - MATCH EXISTING HOUSE
- 13 NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - COLOR SELECTED BY OWNER
- 14 NEW BUILT-IN
- 15 CUSTOM CLOSET ORGANIZING
- 16 NEW RIDGE VENT
- 17 NEW 6X6 PT POST (TYP.)
- 18 NEW 7.5" PVC COLUMN WRAP (6X6 PT POST INSIDE)
- 19 STACKABLE WASHER/DRYER UNIT
- 20 CLOSET/PANTRY SHELVING TO BE DESIGNED OR SELECTED BY OWNER
- 21 NEW PEDESTAL SINK





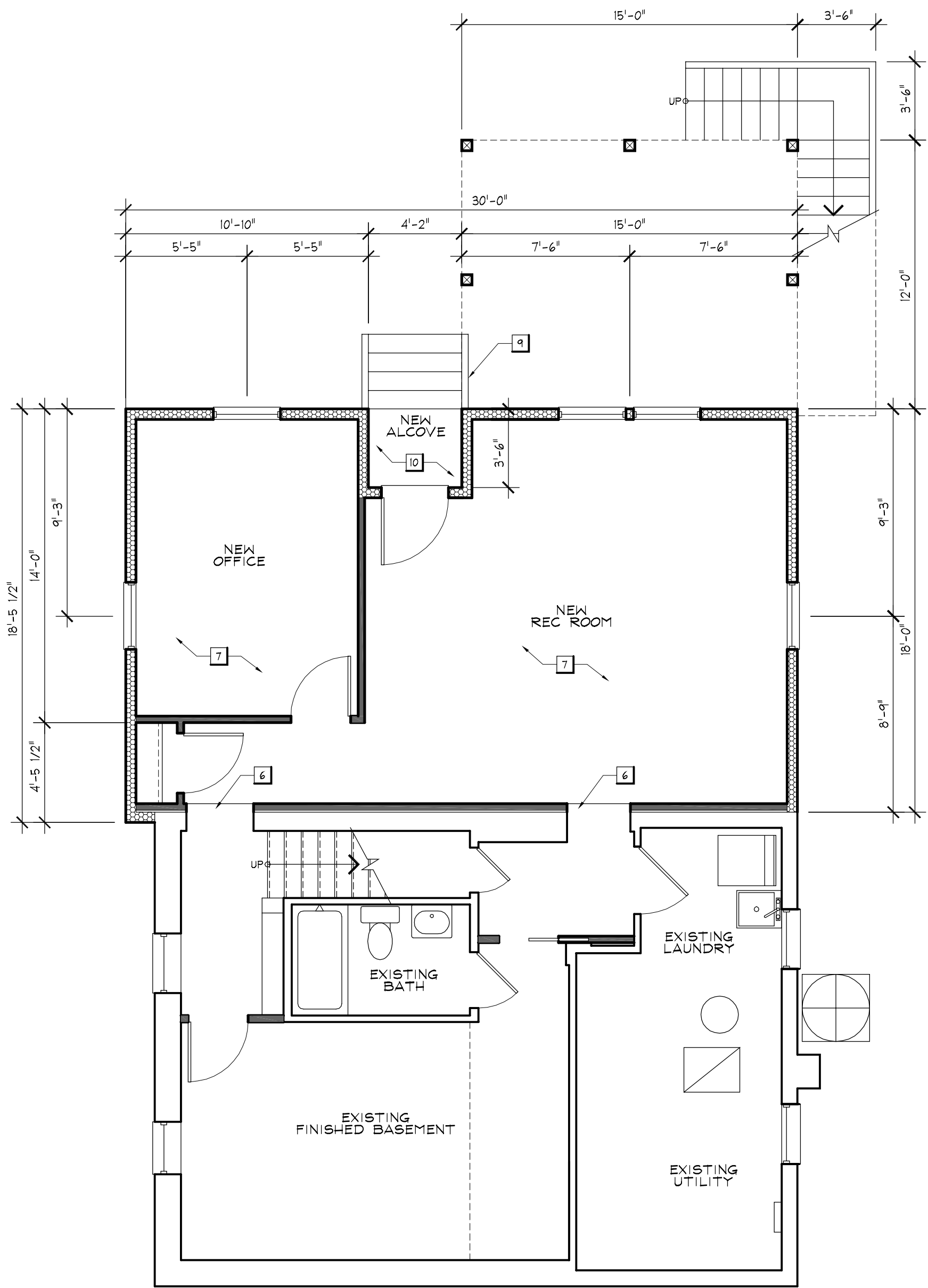
**2** PROPOSED FIRST FLOOR PLAN  
 A1.1 1/4" = 1'-0"



1  
A1.2

PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



1  
A1.1

PROPOSED BASEMENT PLAN

1/4" = 1'-0"



2 PROPOSED EAST SIDE ELEVATION  
 A2 1/4" = 1'-0"



1
PROPOSED FRONT ELEVATION  
A2
1/4" = 1'-0"



4 PROPOSED REAR ELEVATION  
 A2 1/4" = 1'-0"



3 PROPOSED WEST SIDE ELEVATION  
 A2 1/4" = 1'-0"







ring







