

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	15911 Redland Road, Derwood	Meeting Date:	6/26/2024
Resource:	Master Plan Site #22/03-003A <i>Derwood Store and Post Office</i>	Report Date:	6/18/2024
Applicant:	CLW Real Estate Group (Lawrence Smith, Agent)	Public Notice:	6/12/2024
Review:	Preliminary Consultation	Staff:	Dan Bruechert
Proposal:	Siding and Window Replacement, and Porch Rehabilitation		

STAFF RECOMMENDATION

Staff recommends the applicant make the revisions recommended by the HPC, submit any requested documentation, and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Master Plan Site #22/03-003A; *Derwood Store and Post Office*
DATE: c.1904

Excerpt from the historic site designation report is below:

Clarence and Elizabeth Hoskinson built the Derwood Store ca. 1904 as a general merchandise store to serve their small manufacturing town and incorporated a post office in the building in 1905.

The Derwood Store and Post Office reflects the county's heritage and development over time. It is associated with the growth of railroad communities along the Metropolitan Subdivision of the Baltimore & Ohio Railroad; the inclusion of post offices within general merchandise stores; the commercial and social importance of general merchandise stores in rural communities; and Derwood's early twentieth-century manufacturing history. The Store and Post Office also reflects the significant legacy of Derwood's three female postmasters, who served for a total of 17 years and whose contributions to the community are not reflected in other sites.

The store is architecturally significant as a representative example of a typical turn of the twentieth-century general store: the two-story, front-gable form and porch are character-defining features of rural general stores. The original wood siding remains intact, though covered by a layer of asbestos shingles, and the store is embellished with a stamped tin shingle roof. The Derwood Store and Post Office is the oldest remaining commercial building within historic Derwood, where other commercial buildings associated with the area's manufacturing history were destroyed by a fire in the mid-twentieth century.

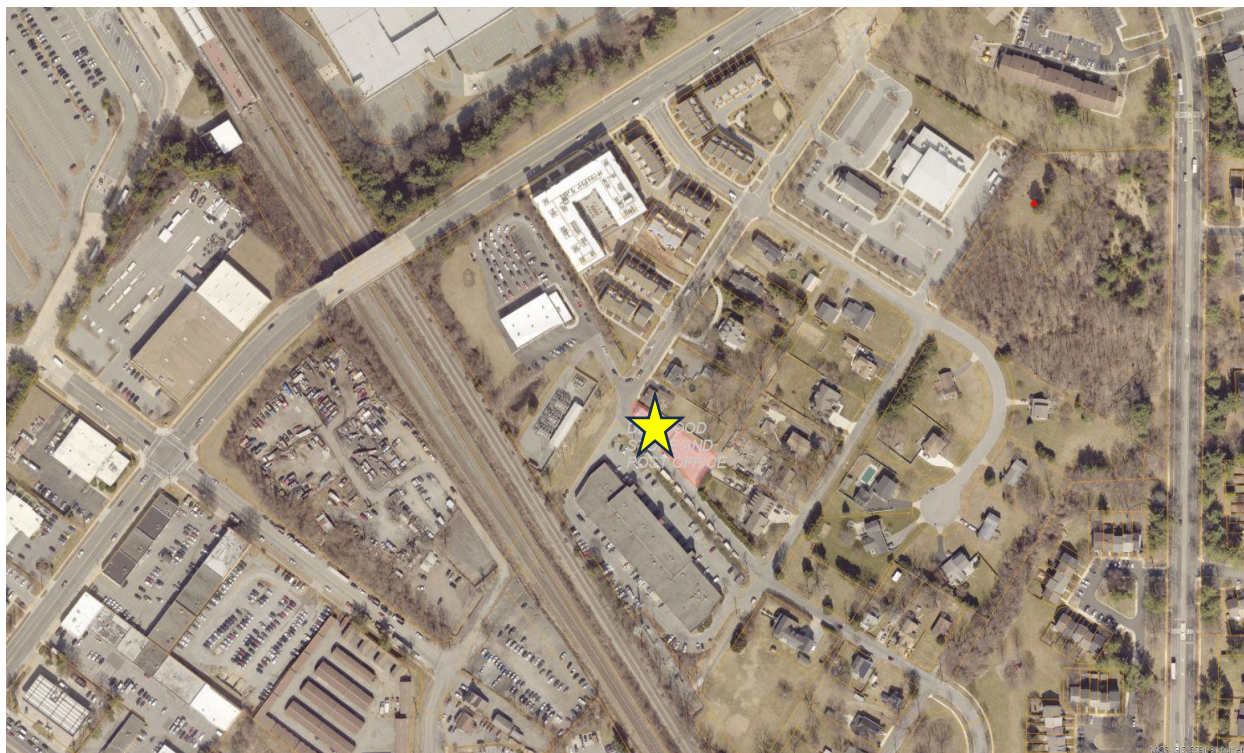


Figure 1: The Derwood Store and Post Office is located at the corner of Redland Rd. and Chieftain Ave.

BACKGROUND

On November 16, 2022, the HPC held a preliminary consultation to discuss the comprehensive rehabilitation of the subject property including the construction of a three-story addition, hardscape alterations, and site regrading.¹

The HPC identified its preferred addition option and provided additional feedback on appropriate siding for the addition, recommendations for the front porch treatment, and removing the doors at the basement level.

PROPOSAL

The applicant is proposing to install new siding and windows and rehabilitate the front porch.

APPLICABLE GUIDELINES

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code ("Chapter 24A"), *the Secretary of the Interior's Standards for Rehabilitation (Standards)*, and pertinent guidance in applicable master plans. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

¹ The Staff Report and application for the Preliminary Consultation is available here: <https://montgomeryplanning.org/wp-content/uploads/2022/11/III.A.-15911-Redland-Road-Derwood-Preliminary-Consultation.pdf> and the recording of the hearing is available here: http://mncppc.granicus.com/MediaPlayer.php?publish_id=8644ed9f-66b7-11ed-95a3-0050569183fa.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site, the Commission’s focus in reviewing the proposal should be the *Secretary of the Interior's Standards for Rehabilitation*. The *Standards* are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

This Preliminary Consultation is for consideration of the following items:

- Installing new siding;
- Installing new windows in the historic Store and Post Office building; and
- Rehabilitating the front porch.

New Siding

The applicant removed the non-historic asbestos shingle siding and installed a ZIP rain screen and now seeks HPC approval to install 6” (six inch) cypress German Dutch Lap siding. Some remaining historic wood siding remains on the second floor of the north elevation, under the front gable.

Staff finds the appearance of the proposed siding is generally consistent with the character of historic wood siding. Trim pieces, including the corner boards, will be milled cypress. Staff finds the proposed exterior siding treatment is appropriate and further finds this work is restorative and does not require a HAWP before proceeding with the proposed siding and trim. Staff notes this work is eligible for the county’s Historic Preservation Tax Credit.

Window Installation

The historic building has no windows. Photographs from the 1980s show a combination of large two-over-two and smaller six-over-six sash windows.



Figure 2: File photo (c.1980) showing the window placement and window type.

The applicant proposes to install the windows into the historic openings (but will eliminate the basement doors) that match this appearance. All of the windows proposed are Jeld Wen Sitrine, wood double-hung sash windows. Jeld Wen's Simulated Divided Lites have "grilles that are permanently attached to both the interior and exterior glass... metal bars placed between the panes of insulating glass." Staff requested the applicant to provide profiles for the grilles with the HAWP materials. The two windows on the ground floor will be non-operable and will have drywall behind the windows to block any view of the first-floor residential unit. The applicant proposes to enlarge two window openings on the basement level of the east elevation to satisfy egress requirements.

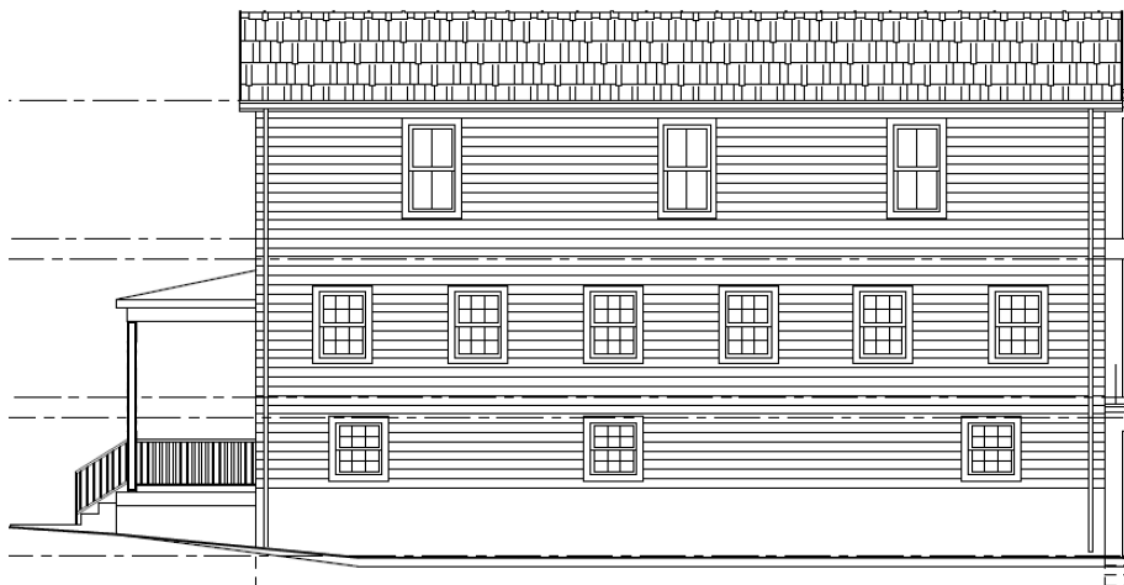


Figure 3: Proposed west elevation.

When the Derwood Store and Post Office was converted to residential use, three doors were added on the ground floor of the west elevation. In the discussion with the HPC at the 2022 Preliminary Consultation, the HPC agreed that these "dummy doors" could be eliminated. The new plans reflect the removal of these doors.

Staff requests the applicant to clarify what is identified in the submitted drawings as the ‘West Elevation’ (Staff believes the drawings are mislabeled and should be identified as the East elevation), because the arrangement of the window openings does not appear to be consistent with the floorplans submitted in the previous Preliminary Consultation. Staff requests the applicant submit an accurate drawing of the west elevation with the HAWP application.

Staff finds the proposed wood windows are appropriate. Typically, individually listed Master Plan sites are required to replace damaged, deteriorated, or lost historic features with matching materials; in this case wood for wood. In most instances, the HPC has allowed simulated divided light windows, finding the visual difference is negligible. Staff further finds the window configuration is consistent with the building’s documented history.

Staff has two concerns regarding the east elevation. First, Staff is unsure whether the proposal is intended to be illustrative or if the proposal has been revised from the version presented in 2022. Staff does not find the revised fenestration proposed (see *Figure 5*, below) to be appropriate and recommends the applicant proceed with the earlier proposal. Because floor plans were not presented with this submission, Staff cannot provide more analysis than to say the paired sash windows are incompatible with the 1904 vernacular architecture and need to be revised.

Staff’s second concern on the east elevation is the applicant’s proposal to enlarge the two basement window openings on the east elevation to satisfy egress requirements to be appropriate. Staff finds retaining the window opening size and installing a casement window in these openings would be preferable to enlarging the opening and installing a larger sash window.



Figure 4: The east elevation presented as part of the 2022 Preliminary Consultation.



Figure 5: East elevation (not to scale) showing the approximate location of the proposed egress windows.

Requested feedback:

- Does the HPC agree with Staff regarding the code-compliant egress windows on the East elevation?
- Does the HPC agree that the fenestration configuration and size should be revised to match what was previously reviewed at the November 2022 Preliminary Consultation?

Staff finds the other windows would qualify as an in-kind replacement provided the applicant provides Staff with the following:

- Accurate, scaled drawing of all four elevations;
- Profiles of the proposed window grilles;

Staff notes all of the windows are eligible for the county's historic preservation tax credit.

Porch Rehabilitation

The historic porch was enclosed and operated as the post office sometime around 1953 when the store was converted to apartments. It retains its hipped roof. An undated photo in the Master Plan Designation shows the Derwood Store with the porch before it was enclosed. Aside from the basic form, the porch details are difficult to identify. The applicant proposes to rehabilitate the porch to approximate its historic appearance. The porch will only be decorative and will not provide access to any of the proposed residential units due to a mismatch in height with the interior floors and structural members of the building.

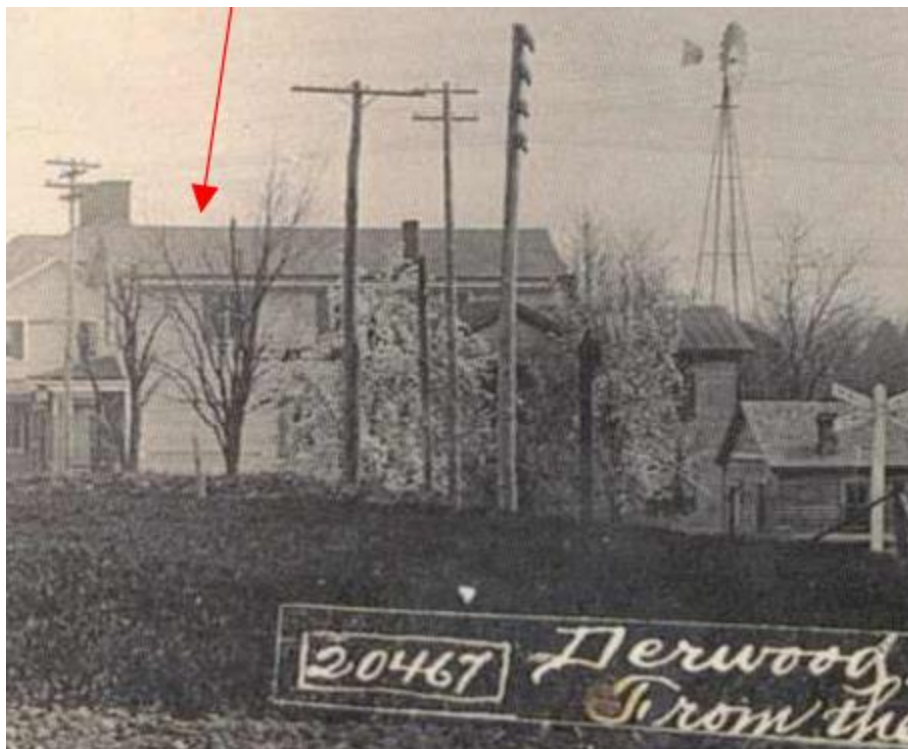


Figure 6: Undated photo showing the Derwood Store and Post office before the porch was enclosed.

The applicant proposes to construct a porch on the existing concrete foundation, matching its footprint. The porch will be supported by 6" × 6" (six-inch square) columns and have tongue and groove wood flooring and a balustrade constructed out of 2" × 2" (two-inch square) balusters. The front door will be inoperable and the wall inside the residential unit will be finished. The two windows on the first floor will also have a finished wall behind them.



Figure 7: Photo of the subject property from 1975.

Staff finds the simple design and materials of the porch are all compatible with the Derwood Store and Post Office's early 20th-century commercial architecture. Examples of similar types of buildings were included as context in the Master Plan Amendment including the Darby Store in Beallsville and Poole's Store in Seneca.



Figure 8: The proposed front elevation (left), the Darby Store (center), and Poole's Store (right).

Staff additionally finds the materials, primarily wood, are compatible with the character of the building. Staff notes that many of the wood members will be pressure-treated wood. Staff recommends the applicant wait six months before applying stain or paint on the porch to allow the wood to dry and for the paint to properly adhere.

Staff requests feedback from the HPC regarding:

- The appropriateness of the porch design;
- The appropriateness of the proposed porch materials; and
- Any other recommendations.

STAFF RECOMMENDATION:

Staff recommends the applicant make the revisions recommended by the HPC, submit any requested documentation, and return for a HAWP.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? __Yes/District Name _____
__No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checkboxes for: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

15911 Redland Road, Rockville, MD 20855 (Old Derwood Post Office)

The Derwood Store and Post Office is a building that dates back to the early 1900s. Originally built as the General Store for the town of Derwood, the structure had been converted in the 1950's with an additional structure on the south elevation for use as a 6-unit apartment complex. The front part of the building which consisted of the Derwood Post Office was in use up through the 1970's. The building was eventually abandoned and became a storage yard for construction contractors till approximately the mid 1990's. CLW Real Estate Group LLC purchased the property in 2005 for \$305,000. The initial plan was to build 6 town houses on the lot. It was advised by County Staff to wait until the new "updated Shady Grove Master Plan" would be approved. Current zoning at the time was R-200. 2006 Shady Grove Master Plan was created giving the property a PD – 24 zoning. 6 Units for the property.

When the real estate economy crashed soon after the new zoning, all developmental funding had dried up for this type of project and the property remained vacant for many years. Like most real estate investors of the era, priorities change and the original partners of CLW moved on. The "L" of CLW bought out "C" and a new partner Dudley Wong bought out "W". Current partners: Lawrence Smith owns 75% and Dudley Wong owns 25% of the project.

Over the years' various complaints to Montgomery County code enforcement resulted in several violations. Court appearances and potential fines for these "violations" required intermediate repairs. CLW was required to fix the property, cut trees and make the building look "livable" with new siding, windows and roof. Evaluating various options for further development at that time made it challenging to continue progress with the property from a financial perspective. Other options that were considered was to build in a new single-family home. In general finding investors or potential partners was challenging due to hurdles dealing with the possible "historical" designation and zoning restrictions.

As interest rates ticked lower and the economy started to recover, a renewed interest to move forward with development. Further review of the budget and the anticipated ROI of the project highlighted the need to increase the density of the development. Over the year's other developments had come to life directly next to this project. 50 new 4 level garage townhomes and 100-unit apartment building had been built across the street. About one mile away, Shady Grove Westside is being built with 1,521 residential dwelling units which includes 211 Moderately Priced Dwelling Units (MPDUs), 116 Workforce Housing (WF) units; 41,828 square feet of retail; and a public library. These density concerns were discussed with Montgomery County Park and Planning staff late 2019 while seeking higher limitations than the zoning planned at that time. Concurrently, the Montgomery County Historical Commission expressed interest in designating the property as "historical". An agreement was made to pursue the "historical" designation in hopes the county would support increasing the zoning limitations on the land. In May 2021 the county had increased the zoning on the property as part of the Shady Grove Master Plan Update and the property was officially designated Historical. Final and official was realized in July 2022 when the Shady Grove Minor Master plan was approved for the property's CRT-1.0 C-0.25 R-1.0 H-50. The new zoning will accommodate up to 12 units for this property.

After the updated Shady Grove Master Plan was approved and the true "Historical" designation was applied to the building, the project gained traction on renewed momentum. Over the past few years, updates to the site include the clearing and removal of about 10 large over grown trees from the property. The addition on the south/back side of the building (built in the 1950's) was also demolished and removed. The roof has also been replaced with the Historical Commission's guidance using period correct metal shingles over new roof joists. The asbestos siding over the original wood siding was

removed and new insulated ZIP board was applied to the exterior. The interior had been completed gutted, providing the opportunity to rebuild the stone foundation walls and piers where necessary. Installation of all new floor joist, sub floor, and framed/sister 2 x 6's (on the original "real" 2 x 4 walls) on all exterior walls completed the skeleton of the original structure. The original fresh water well was professionally closed off/caped and the underground tanks were removed. The site is now cleared of any obstructions and the grading had been leveled. Minimal site work will be needed going forward.

Current activities include working with Montgomery Park & Planning, the Historical Commission and engineers/architects on plans for the site that accommodates all those involved. Early in November 2021, CLW met with our architect, Montgomery Park & Planning and staff members to discuss the final concept site plan. During this meeting an agreement on the concept plan was made based on the county's recommendation and feedback. It was later discovered that that parking was not what the county anticipated. So, the concept site plan was changed to satisfy the alley egress and ingress parking concerns. The other major item with this site is the Historical building north corner (front porch) which is located about 2' from the corner of Derwood Road and Chieftain Avenue. This made for a very unsafe condition with cars, trucks and pedestrians at that corner. After months back and forth, discussions, it was finally decided to "pull" the street corner away from the building 8', reducing the turning radius at the corner and to giving more room for a 6' sidewalk and additional "green space".

Today, we have the "envelope" of the concept site and building worked out. What is need now are tangible direction for the elevations of the "addition" to the Derwood Store and Post office. We plan to have the front porch of the Post Office be brought back to life to look like it once was with the addition of code compliant railings on the sides and steps. When the Post Office was converted into the apartments, access to the front porch was not feasible due to variations in floor heights. To solve this dilemma and to retain the historic significance of the front porch, the front door and two side windows will be non-working, dummies. However, if one would like, they could still sit on the porch but only accessible from the outside front stairs.

On the east elevation of the Post Office, where the once existed exterior stairs to access the 3rd floor we received approval (from historical staff) to add some additional windows. These windows were needed due to the shortage of windows on some floors and excess on other floors along the west elevation. This west elevation also has 3 exterior doors that make it difficult for space planning with residential units. The west and north elevations will be retain the 100% historical look. The new windows on the east side were needed for residential space planning and life safety in bedrooms.

The Montgomery County Planning staff verbally accepted the concept site plan is attached to this document. See attachment (Exhibit B). This plan addresses the earlier concerns over parking access from the back alley and on to Derwood Road.

This plan will address earlier concerns over parking access from the back alley and on to the street. The site plan is shown on the following pages of this report. The architect is currently working on additional drawings for both the historical building and the new addition.

The new plans will allow for a new 3-story building to be attached to the "original" historic structure thereby yielding a total of 12 units. Three units will be located in the original Historical building and nine units will be part of the new addition. The anticipated configuration will include (12) two-bedroom units with some having a den. All units will be configured with 2 full bathrooms. Parking will

be available both on site and on the street. A 2-car EV capable charger will be pre wired for the parking lot should there be a future need by the residences. Solar is being evaluated to supply electricity for the common spaces of the building. Depending the elevations chosen, space will be built into the rooftop layout to accommodate the solar panels.

We have tried to give some options for the Committe to look at. All these elevations come from feedback from county staff over the past few months. We would like this Committee to evaluate the options and provide input on the various design options. Everyone in the community is eagerly waiting for this project to continue to move forward and become a valuable asset. Please help us.

I. Location of Project

15911 Redland Rd is located in Derwood, MD as depicted by the red arrow in the following picture. This address is not physically correct and has not been updated to reflect the new street mappings. When the Shady Grove Metro station was originally built and Redland Road was realigned, the vacant property's address was not changed to reflect new street names. This project is located on the corner of Chieftain Avenue and Derwood Roads. For GPS purposes the house next door is 15909 Chieftain Avenue. It is within walking distance to the Shady Grove Metro Station and is part of the major redevelopment of the areas surrounding the metro.

Within the past few years a 100 unit, five story apartment building as well as 50 four level, two car garage town homes had been built directly across the street (Momentum at Shady Grove). Additionally, there has been a few tear downs of the old housing stock and replaced with large contemporary colonial houses. This shows the strength of the area and desirability to live near the Metro Station and Rockville.

Another large development next to the Metro is along the West Side at Shady Grove Metro. This will include

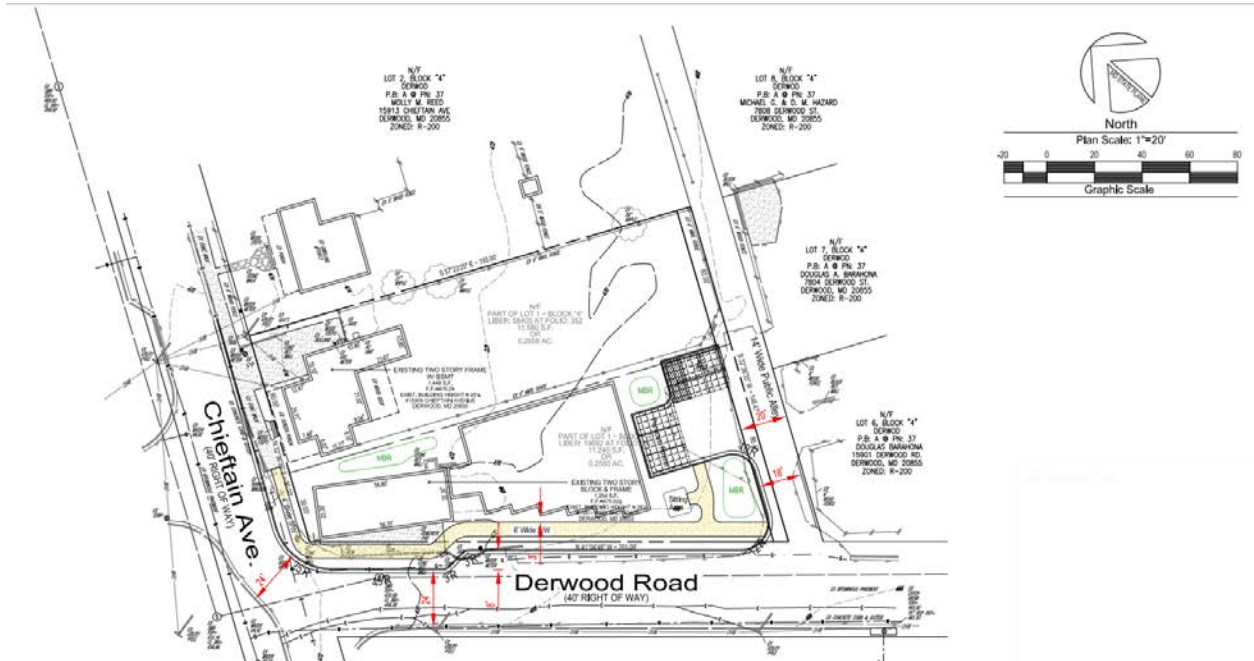
1,521 new residential dwelling units, 41,828 square feet of retail, soccer field and a public library. Once completed, Redland home owners can enjoy various new amenities including retail, library, soccer field, and parks.

The ariel view below shows this project falling within many new and major developments happening around the Shady Grove Metro.





Concept Site Plan:



I. Pictures during Various Stages.

Property dating back to the 1970's



Property before any major work started



Removing tree roots after all trees have been cut down



Demo of 1950's addition at the rear



Original building with new roof, ZIP insulated sheeting, and inside exterior framing.



Inside shell, 2nd floor



Exhibit C: Additional Pictures (15911 Redland)



View from the front of building.
Existing porch will be restored with
Dummy doors and windows.









105 Drop Siding



TW628



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Species:

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DESCRIPTION

Pattern 105, Dutch Lap, German Lap, Drop Siding or Cove Lap Siding. It's known by all of these names, but the profile is the same.

Comes in 3/4" thick x 6 3/8" (A profile), 7 1/8" (B profile) or 7 3/4"

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Our Profile number is TW628 and comes in 3 different sizes.

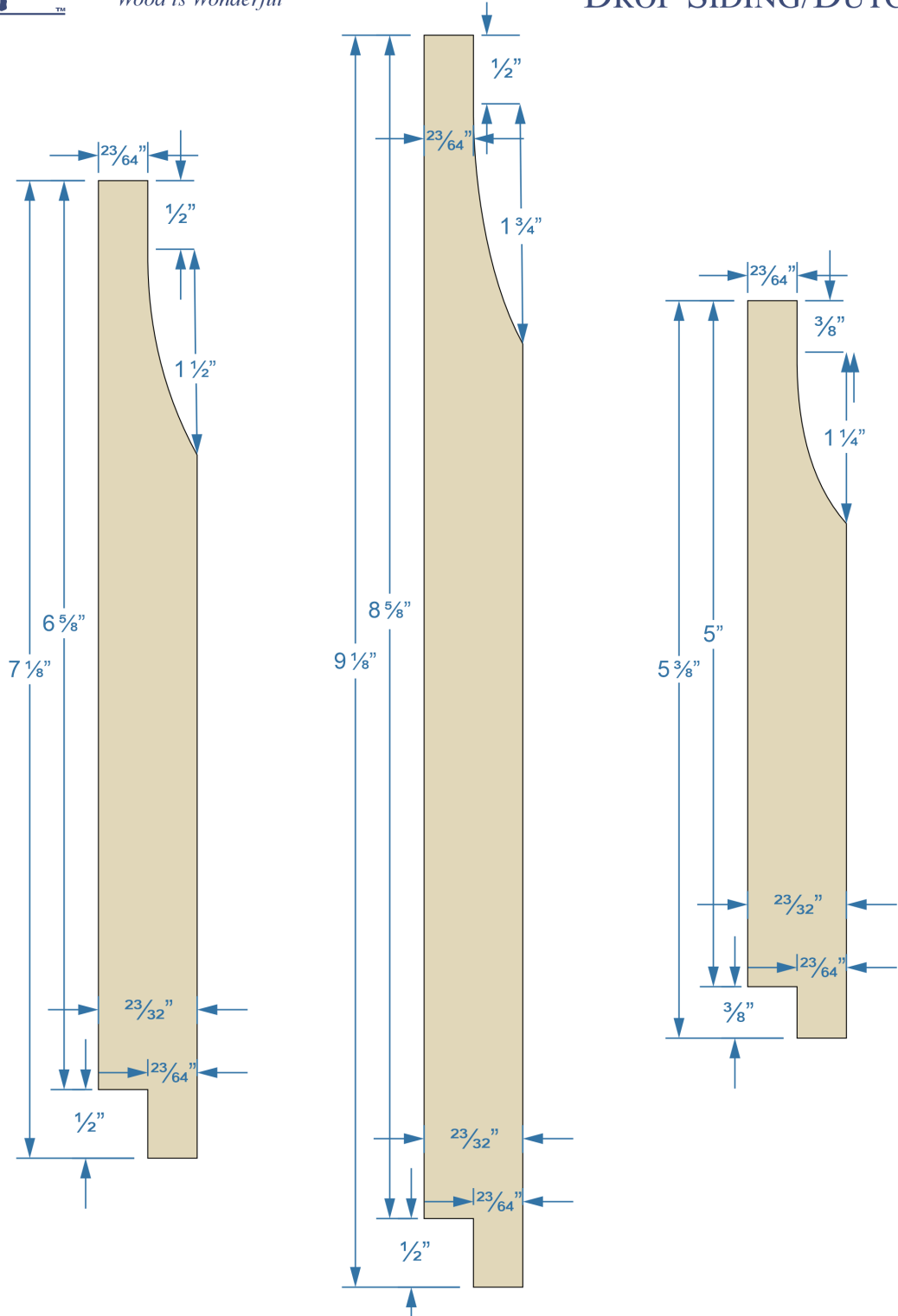
Yellow Pine siding. Cypress siding. This product is available with a Sherwin Williams stain or primer. Available in Cypress, Southern Yellow Pine, and Western Red Cedar.



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SURVEY

SHIPPING & TERMS

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ZIP System™ Rainscreen - Drainage and Ventilation Mat

MANUFACTURER

Huber Engineered Woods LLC
 10925 David Taylor Drive, Suite 300
 Charlotte, NC 28262
 Office: 800.933.9220
 Technical Service: 800.933.9220 x2716

BASIC USE AND APPLICATIONS

ZIP System™ rainscreen is an entangled mesh drainage medium with a fabric covering on the exterior side of the mesh. The entangled mesh is a lightweight yet rigid polymer that can increase the wall assembly's drainage efficiency and provides a capillary break between the cladding and inner portion of the wall assembly. The fabric can perform as a secondary layer of water-resistive barrier (WRB) when stucco, adhered stone, or other adhered cladding is to be installed over ZIP System rainscreen. When used as a secondary layer of water-resistive barrier (WRB), the vertical seams of ZIP System rainscreen must be taped with ZIP System™ flashing tape.

The International Building Code (IBC) and the International Residential Code (IRC) require two layers of WRB to be installed over the wall sheathing when absorptive claddings like stucco or adhered stone are used.¹ ZIP System rainscreen can be used to satisfy the second layer WRB requirement when installed over ZIP System® sheathing.² Additionally, ZIP System rainscreen will provide a physical ¼ inch (6.3mm) gap between the two layers of WRB.

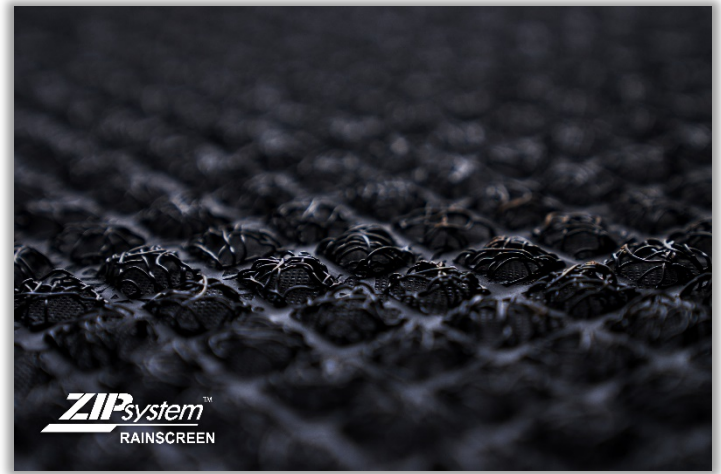
ADVANTAGES

ZIP System rainscreen combines a code-recognized WRB with a drainage medium allowing the installer to satisfy two requirements with one product.² The fabric on the outside of the drainage medium can also prevent mortar from entering the drainage medium. This vapor-permeable covering can protect the integrity of the drainage space to facilitate drying of the cladding material and promote drainage.

APPLICATIONS

ZIP System rainscreen can be used behind stucco, thin stone, thin brick, manufactured stone, masonry, lap siding, fiber cement cedar shakes, and other cladding materials. Vertical seams must be taped with ZIP System flashing tape.²

A nominal 3-inch selvage edge can be found along the bottom of the roll. The selvage edge should fully overlap previously installed courses of ZIP System rainscreen. Due to the overlap, the horizontal seams of ZIP System rainscreen do not need to be taped. Always install ZIP System rainscreen horizontally with the selvage edge at the bottom. Trim the selvage edge along the bottom course.



ZIP System Rainscreen Performance	
Physical Property	Result
Exposure Period	90 Days
Water-Resistive Barrier Recognition ASTM E2556	Passed - Type I
Nominal Thickness	¼ in. (6.3 mm)
Water Vapor Permeance ASTM E96 - Method B	~7 perms
Entangled Mesh Composition	Polymeric
ASTM E2925 ³	Passed
Drainage Efficiency ASTM E2273	Passed ≥ 90%

1. International Residential Code - R703.2 Water-resistive barrier and International Building Code - 1403.2 Water-resistive barrier
2. When an absorptive cladding is used
3. Standard Specification for Manufactured Polymeric Drainage and Ventilation Materials Used to Provide a Rainscreen Function
4. Standard Test Method for Determining the Drainage Efficiency of EIFS Clad Wall Assemblies

PACKAGING

ZIP System rainscreen is 4 feet wide (1.2 meters) by 65 feet (19.8 meters) long. The total coverage per roll is 260 square feet (23.8 square meters). The total thickness is ¼ inch (6.35 millimeters).

STORAGE AND HANDLING

Rolls of ZIP System rainscreen shall be stored in a cool, dry environment and remain in the manufacturer's packaging.

FASTENERS

ZIP System™ rainscreen must be installed with minimum 5/8 inch cap nails or cap staples. Button caps are required to provide enough holding power to properly anchor the rainscreen before the cladding is installed. For stucco or adhered stone, it is recommended to use corrosion-resistant fasteners.

FASTENING

Fasteners should be placed every 24 inches in both the horizontal and vertical directions. Along inside and outside corners, install fasteners 3 inches away from the intersecting wall. View the ZIP System Rainscreen – Drainage and Ventilation Mat installation manual for more information.

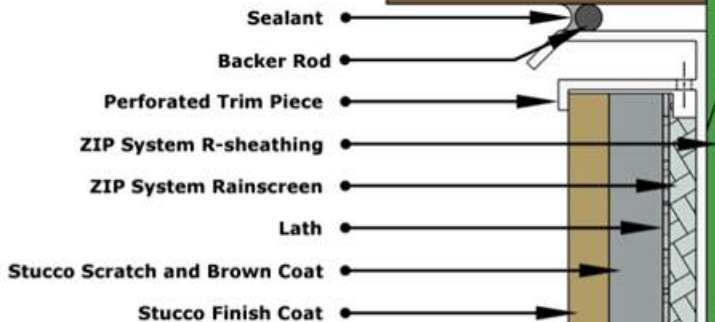
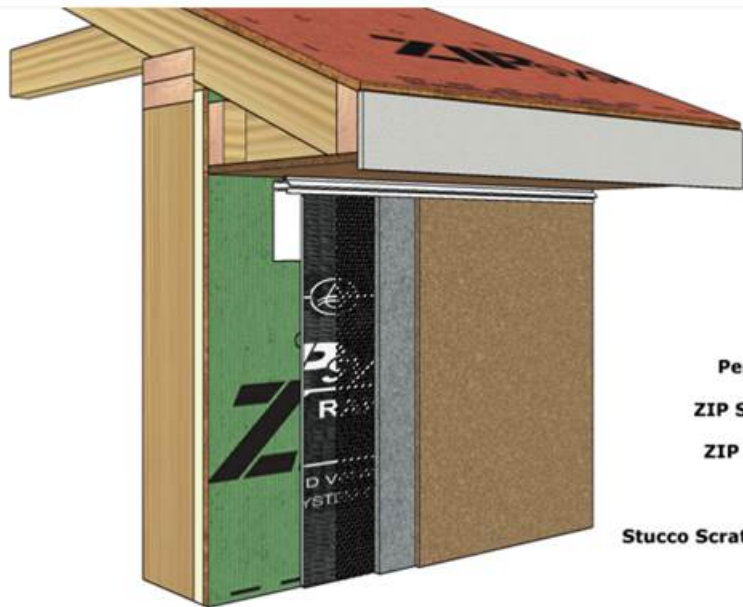
Do not install fasteners through window flashings, door flashings, pipe or mechanical penetration flashings, or any other flashing unless the flashing substrate satisfies nail sealability requirements confirmed by ASTM D1970.

WARRANTY

ZIP System rainscreen carries a 15-year limited warranty. Limitations and restrictions apply. View the ZIP System rainscreen warranty available at <https://www.huberwood.com/blog/warranties> for more details.

TECHNICAL SERVICE

Detailed information including specifications, product literature, evaluation reports, installation instructions, and special applications is available through Huber Engineered Woods. Please visit huberwood.com or call 800.933.9220 x2716 to speak to a technical representative.



- * Tape all ZIP System R-sheathing panel seams and roll the tape.
- * Tape all vertical seams of ZIP System rainscreen.
- * The trim piece at the top of the wall should be perforated to allow the transmission of air and water vapor
- * (Optional) Install a bug guard along the bottom of ZIP System rainscreen.



- * Tape all ZIP System sheathing panel seams and roll the tape.
- * Tape all vertical seams of ZIP System rainscreen.
- * (Optional) Install a bug guard along the bottom of ZIP System rainscreen.
- * Trim the 3-inch selvage along the bottom course of ZIP System rainscreen.
- * The weep screed or J-channel should be sized to accommodate both the stucco and the ZIP System rainscreen (if applicable).
- * Confirm the weep screed or J-channel are perforated to allow drainage.

- ZIP System R-sheathing
- ZIP System Rainscreen
- ZIP System Flashing Tape for Kickout Flashing
- Lath
- Stucco Scratch and Brown Coat
- Stucco Finish Coat
- Kickout Flashing

ZIP System Liquid Flash
for Foundation Transition (Optional)

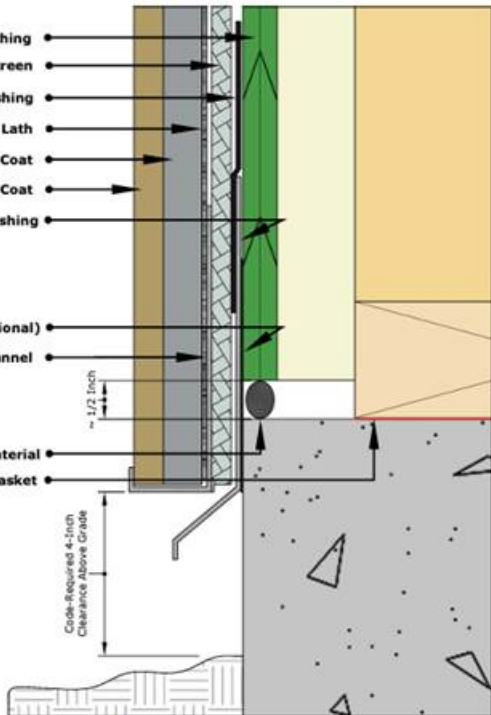
J-Channel

~ 1/2 Inch

Backer Rod or Fiber-Reinforced Filler Material

Sill Gasket

Code-Required 4-Inch
Clearance Above Grade



-BOTTOM OF WALL FLASHING DETAIL WITH STUCCO- ZIP SYSTEM RAINSCREEN UNDER J-CHANNEL WITH ZIP SYSTEM R-SHEATHING



ZIP System™ Rainscreen - Drainage and Ventilation Mat
INSTALLATION MANUAL

ZIPSYSTEM.COM



ATTENTION: This installation guide is intended to provide general information for the designer and end user. The following guidelines will help you safely and properly install the ZIP System™ rainscreen – drainage and ventilation mat. We urge you, and anyone installing this product, to read these guidelines to minimize any risk of safety hazards and to prevent voiding any applicable warranties. This manual is a general installation guide and does not cover every installation condition. Proper installation shall be deemed to mean the most restrictive requirement specified by Huber Engineered Woods (HEW), local building code, engineer or architect of record, or other authority having jurisdiction. You are fully and solely responsible for all safety requirements and code compliance. For additional information contact Huber Engineered Woods LLC.



10925 David Taylor Drive, Suite 300
Charlotte, NC 28262
Phone: 800.933.9220 // Fax: 704.547.9228



CONTENTS

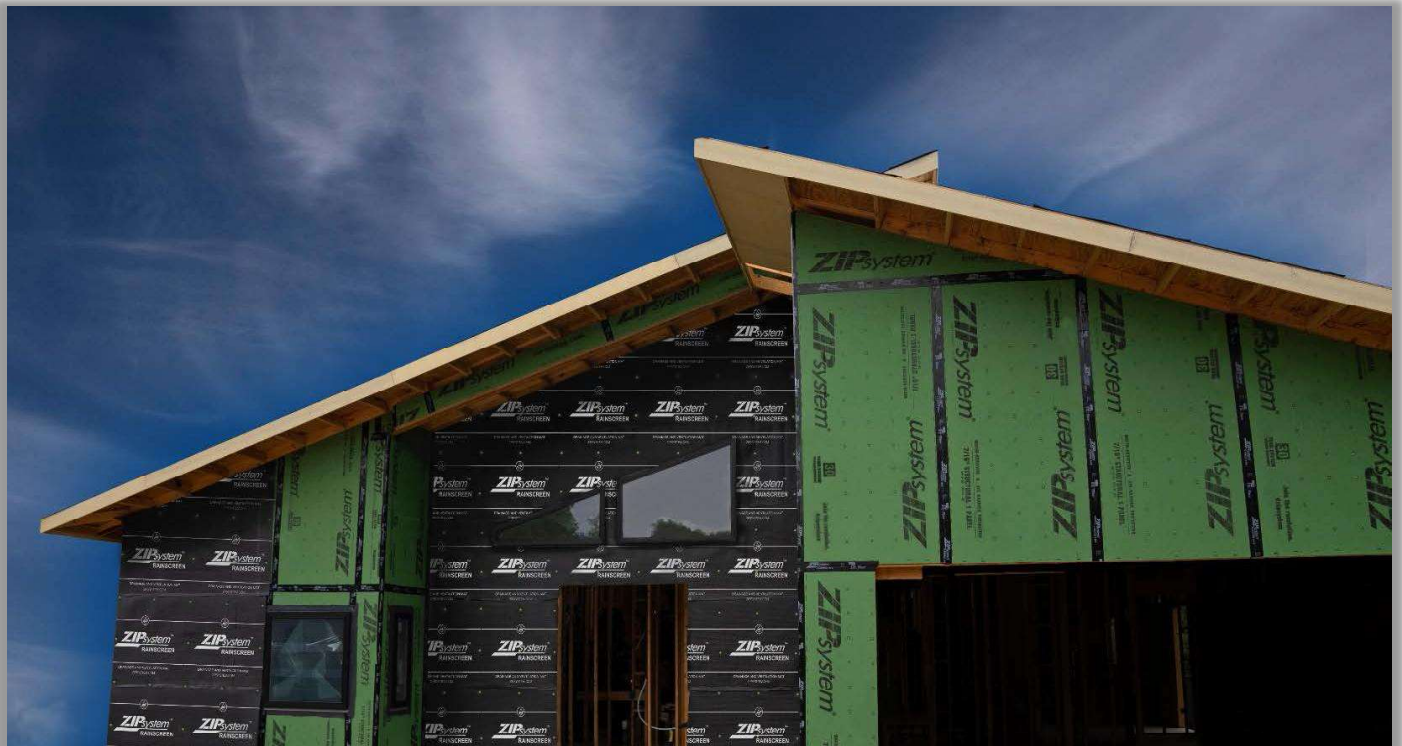
ZIP SYSTEM™ RAINSCREEN

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ZIP SYSTEM™ RAINSCREEN // OVERVIEW

The ZIP System™ Rainscreen - drainage and ventilation mat is an entangled mesh drainage medium with a fabric covering on the exterior side of the mesh. The polymer mesh provides a lightweight, yet rigid drainage medium designed to increase the drainage efficiency of the wall assembly. The fabric performs as a second layer of water-resistive barrier (WRB) when stucco, adhered stone, or other absorptive cladding is to be installed over ZIP System rainscreen. Vertical seams must be taped to meet this requirement. When installed over ZIP System® sheathing, ZIP System rainscreen provides a ¼ inch drainage gap to allow the drainage of excess moisture between the sheathing and the wall cladding. The additional drainage gap provided by the entangled mesh can improve drying potential and ventilation.





ZIP SYSTEM™ RAINSCREEN // OVERVIEW

Install ZIP System rainscreen when using absorptive claddings such as wood shakes, fiber cement siding, or mortared claddings. Follow the cladding manufacturer's installation requirements.









In addition, the vapor-permeable fabric covering of ZIP System rainscreen replaces the need for an additional layer of Grade D water-resistive barrier for absorptive claddings. Thus, ZIP System rainscreen satisfies the drainage and second water-resistive barrier requirements for stucco, adhered stone, or other absorptive claddings when installed over ZIP System sheathing.

A nominal 3-inch selvage edge can be found along the bottom of the roll. This selvage edge offers adequate overlap when installed above previous courses of ZIP System rainscreen. Due to the overlap, the horizontal seams of ZIP System rainscreen do not need to be taped. Always install ZIP System rainscreen horizontally with the selvage edge at the bottom.










ZIP SYSTEM™ RAINSCREEN // NOTES & LIMITATIONS

-  ZIP System rainscreen must be installed with the entangled mesh facing the interior side of the wall assembly.
-  ZIP System rainscreen is only intended for wall applications.
-  Stucco and adhered stone applications should not be directly adhered to the ZIP System rainscreen without a lath. Ensure the lath is properly installed per the manufacturer's requirements and complies with ASTM C1063.
-  Only use approved fasteners to install ZIP System rainscreen.
-  Install ZIP System rainscreen in the horizontal orientation, only.
-  ZIP System rainscreen is not intended for below-grade applications.
-  ZIP System rainscreen shall be covered with a permanent cladding system within 90 days.
-  Open-joint cladding systems cannot be installed over ZIP System rainscreen without first installing a UV stable wall covering.



ZIP SYSTEM™ RAINSCREEN // NOTES & LIMITATIONS

-  When original claddings are removed, new water-resistive barriers must be installed in accordance with local code requirements. This must be done prior to the installation of the new cladding.
-  ZIP System rainscreen is not considered to be a replacement for furring/nailing strips if installing a cladding that requires the use of blocking or furring/nailing strips.
-  ZIP System rainscreen is not to be covered with exterior paint or other fluid-applied coverings.
-  ZIP System rainscreen does not replace the need for properly installed and taped ZIP System® sheathing.
-  ZIP System rainscreen is not to be installed as the primary water-resistive barrier.



ZIP SYSTEM™ RAINSCREEN // GENERAL INFORMATION

ROLL SIZE

Each roll of ZIP System rainscreen is 65 feet (~20 meters) in length and 48 inches (1.2 meters) wide. Therefore, each roll of ZIP System rainscreen provides 260 square feet of coverage. The total thickness of the ZIP System rainscreen is 1/4 inch (6.35 millimeters).

FASTENER REQUIREMENTS

ZIP System rainscreen must be installed with minimum 5/8 inch cap nails or cap staples. Button caps are required to provide enough holding power to properly anchor the rainscreen. For stucco or adhered stone, it is recommended to use corrosion-resistant fasteners.

FASTENING

Fasteners should be placed every 24 inches in both the horizontal and vertical directions. Along inside and outside corners, install fasteners 3 inches away from the intersecting wall.

For stucco and adhered stone applications, install fasteners within 1 inch of the ZIP System rainscreen's vertical edge. This will allow the ZIP System™ flashing tape to cover all button cap fasteners along the seam.

Do not install fasteners through window flashings, door flashings, pipe or mechanical penetration flashings, or any other flashing.¹

¹ Fasteners may penetrate the flashing substrate if the flashing substrate satisfies nail sealability requirements confirmed by ASTM D1970.



CORNER INSTALLATION

ZIP System™ rainscreen should be installed tightly against all outside and inside corners. Outside corners should not be cut along the corner seam. Instead, ensure a continuous course of ZIP System rainscreen is installed around the outside corner.

For inside corners, it may be necessary to cut ZIP System rainscreen to allow proper cladding installation. However, if the ZIP System rainscreen is cut along the inside corner and will be covered with stucco or adhered stone, tape the resulting vertical seam with a piece of ZIP System™ flashing tape.

CONTINUOUS VENTILATION

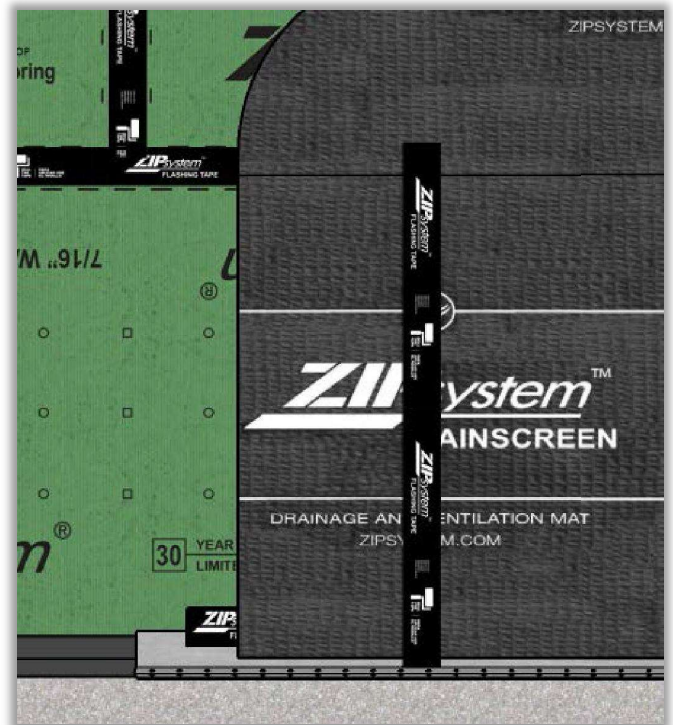
To provide the best potential for ventilation and drying, continuous airflow should be maintained throughout the wall assembly. Achieving this may require additional detailing at the top of the wall and around architectural details. ZIP System rainscreen provides a 1/4" drainage gap between the sheathing and the cladding. Trim pieces or channels with dedicated vent openings may need to be installed at the top of the wall to allow air to flow freely and vent out of the top of the wall assembly. It is recommended to discuss this with the architect or designer of record.



ZIP SYSTEM™ RAINSCREEN // INSTALLATION GUIDELINES

STUCCO

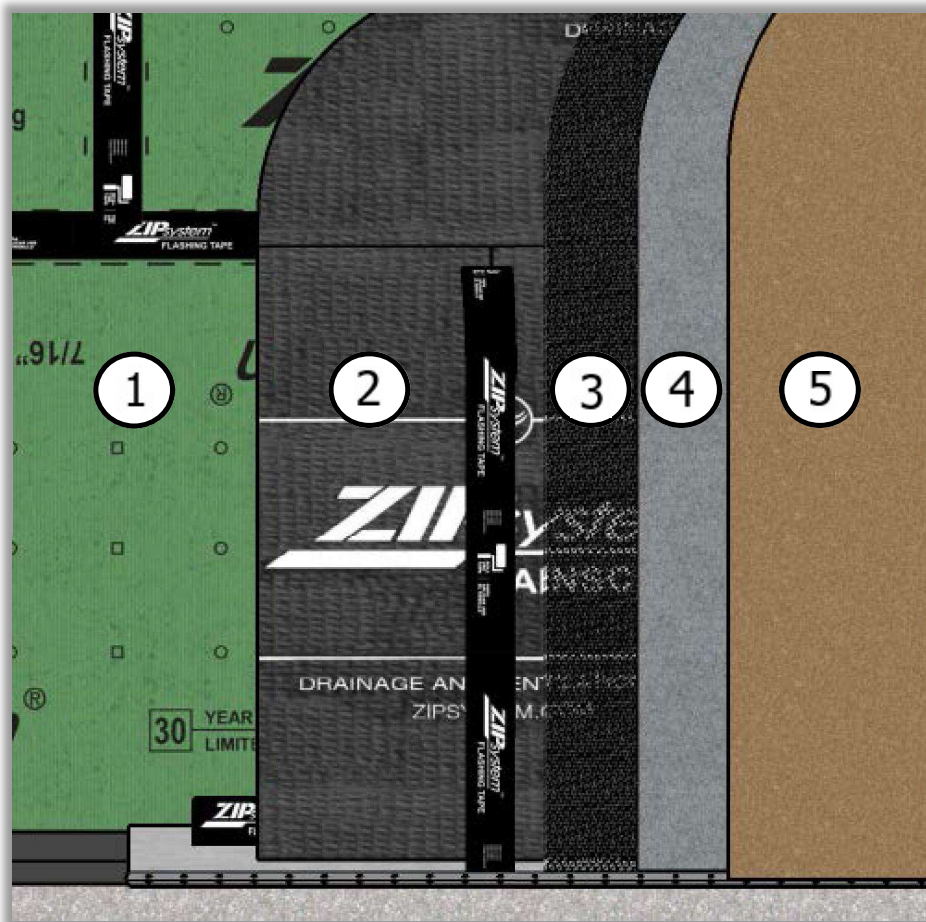
1. Ensure the ZIP System® sheathing is properly installed. A ZIP System seam sealing and flashing product shall be installed over all ZIP System panel seams. All windows, doors, and penetrations shall be properly flashed.¹
2. Start at the bottom of the wall and position the ZIP System rainscreen against the wall with the mesh against the ZIP System sheathing. Trim the selvage edge along the bottom course and directly above any transition to maintain drainage. Install the following courses above the previous course in shingle fashion. Fully overlap the selvage edge over the previous course of ZIP System rainscreen. ZIP System rainscreen should terminate over the weep screed.
3. Mechanically fasten the ZIP System rainscreen with approved fasteners. Place one fastener every 24 inches and avoid fastening through flashing.
4. Trim ZIP System rainscreen around all windows, doors, and penetrations.
5. Tape all vertical seams of ZIP System rainscreen to prevent the mortar or scratch coat from entering the drainage plane.



¹ For more information, please refer to the [ZIP System Sheathing and Tape Installation Manual](#).



6. Install metal lath per the manufacturer's requirements complying with ASTM C1063.
7. Apply stucco in accordance with manufacturer's requirements being sure to implement proper drainage accessories.¹



1. ZIP System® Sheathing
2. ZIP System™ Rainscreen
3. Metal Lath
4. Scratch Coat
5. Finish Coat

¹ Ensure the installed stucco does not compromise the drainage and ventilation characteristics of ZIP System rainscreen.



ZIP SYSTEM™ RAINSCREEN // INSTALLATION GUIDELINES

ADHERED STONE OR TILE

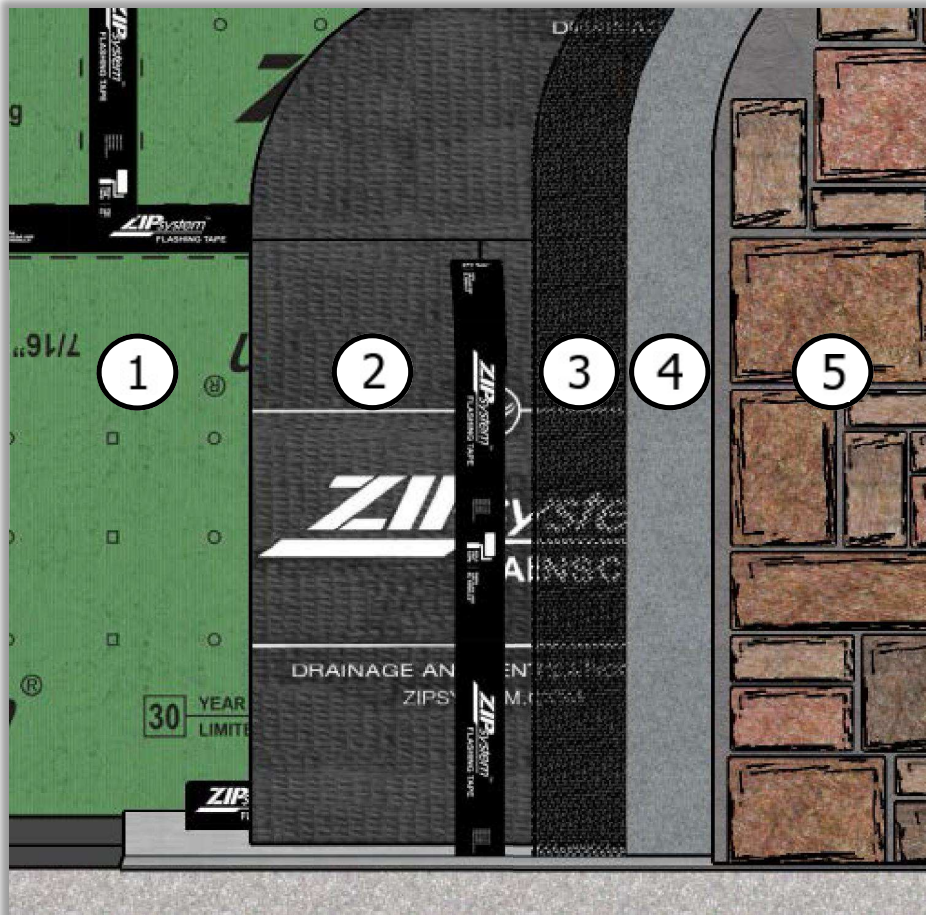
1. Ensure the ZIP System® sheathing is properly installed. A ZIP System seam sealing and flashing product shall be installed over all ZIP System panel seams. All windows, doors, and penetrations shall be properly flashed.¹
2. Start at the bottom of the wall and position the ZIP System rainscreen against the wall with the mesh against the ZIP System sheathing. Trim the selvage edge along the bottom course and directly above any transition to maintain drainage. Install the following courses above the previous course in shingle fashion. Fully overlap the selvage edge over the previous course of ZIP System rainscreen. ZIP System rainscreen should terminate over the ledge or flashing.
3. Mechanically fasten the ZIP System rainscreen with approved fasteners. Place one fastener every 24 inches and avoid fastening through flashing.
4. Trim ZIP System rainscreen around all windows, doors, and penetrations.
5. Tape all vertical seams of ZIP System rainscreen to prevent the mortar or scratch coat from entering the drainage plane.



¹ For more information, please refer to the [ZIP System Sheathing and Tape Installation Manual](#).



6. Install metal lath per the manufacturer's requirements complying with ASTM C1063.
7. Apply stone or tile in accordance with the manufacturer's requirements being sure to implement proper drainage accessories.¹



1. ZIP System® Sheathing
2. ZIP System™ Rainscreen
3. Metal Lath
4. Scratch Coat
5. Mortar and Stone

¹ Ensure the installed stone or tile does not compromise the drainage and ventilation characteristics of ZIP System rainscreen.

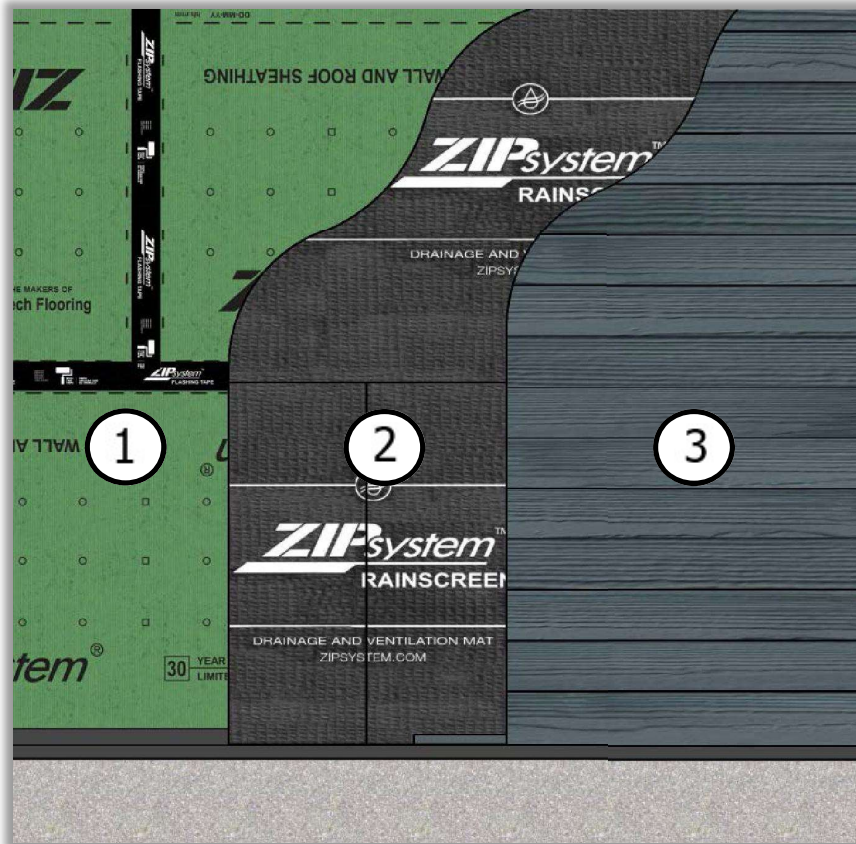


ZIP SYSTEM™ RAINSCREEN // INSTALLATION GUIDELINES

FIBER CEMENT/LAPPED SIDING

1. Ensure the ZIP System® sheathing is properly installed. A ZIP System seam sealing and flashing product shall be installed over all ZIP System panel seams. All windows, doors, and penetrations shall be properly flashed.¹
2. Start at the bottom of the wall and position the ZIP System rainscreen against the wall with the mesh against the ZIP System sheathing. Trim the selvage edge along the bottom course and directly above any transition to maintain drainage. Install the following courses above the previous course in shingle fashion. Fully overlap the selvage edge over the previous course of ZIP System rainscreen. The bottom edge of ZIP System rainscreen should terminate over the bottom-of-wall flashing or trim.
3. Mechanically fasten the ZIP System rainscreen with approved fasteners. Place one fastener every 24 inches and avoid fastening through flashing.
4. Trim ZIP System rainscreen around all windows, doors, and penetrations.
5. Install fiber cement or lapped siding according to the siding manufacturer's requirements.

¹ For more information, please refer to the [ZIP System Sheathing and Tape Installation Manual](#).



1. ZIP System® Sheathing
2. ZIP System™ Rainscreen
3. Cement Fiber/Lapped Siding

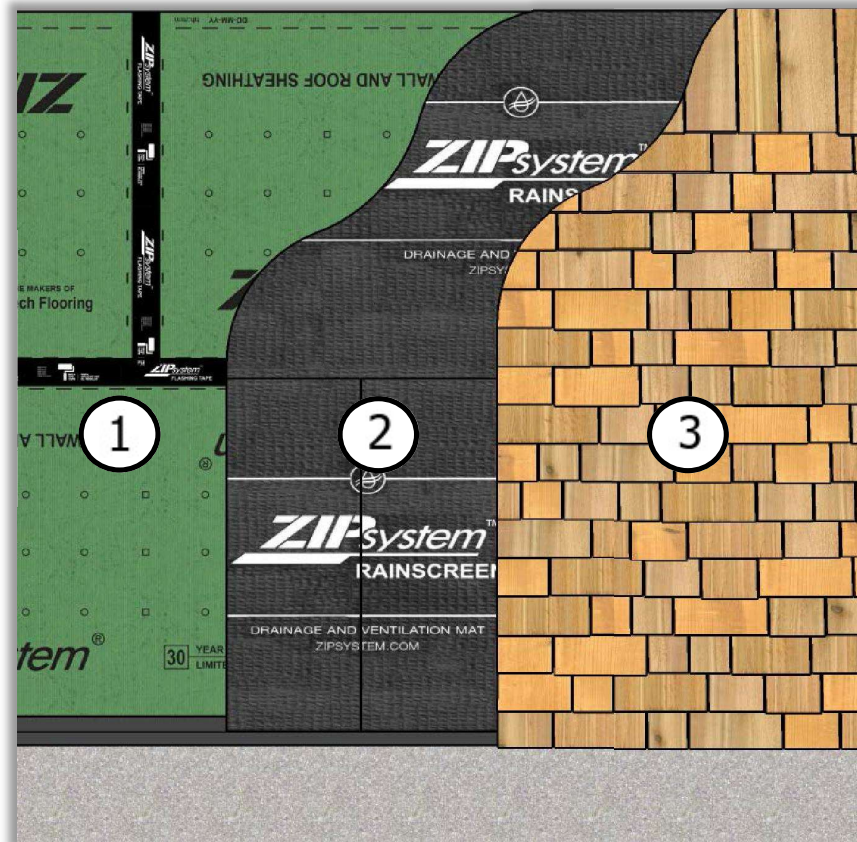


ZIP SYSTEM™ RAINSCREEN // INSTALLATION GUIDELINES

WOOD SIDING

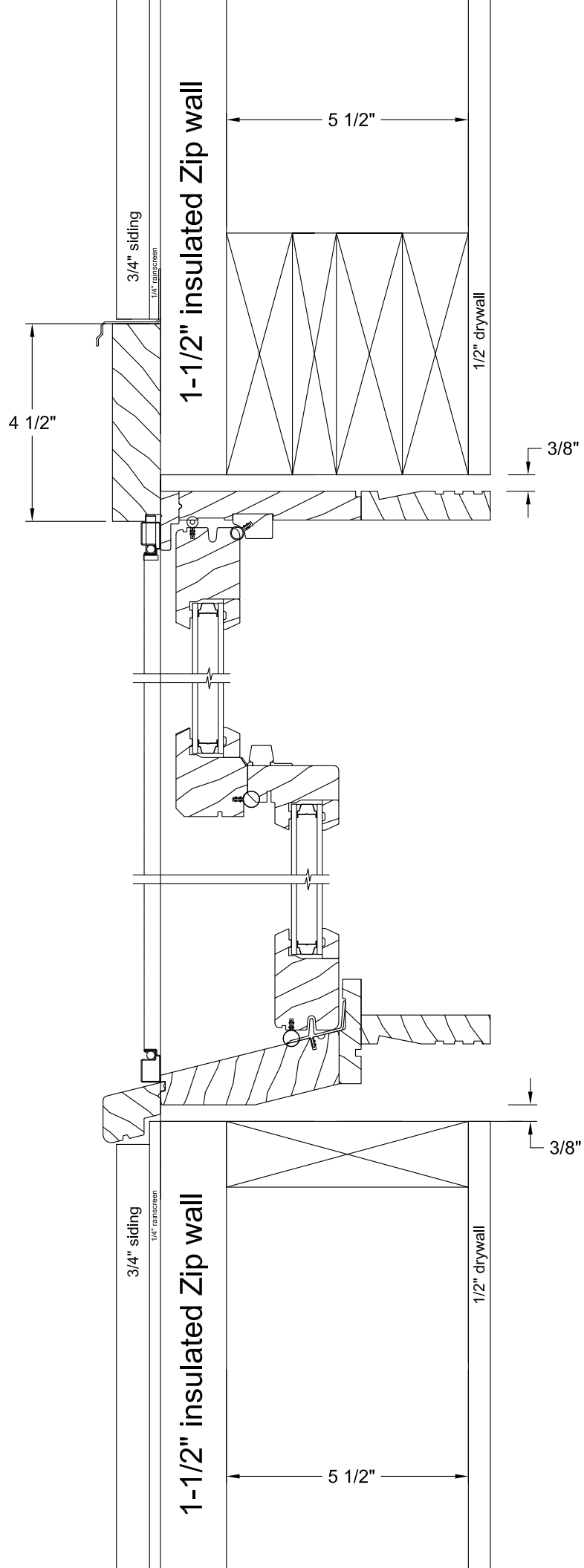
1. Ensure the ZIP System® sheathing is properly installed. A ZIP System seam sealing and flashing product shall be installed over all ZIP System panel seams. All windows, doors, and penetrations shall be properly flashed.¹
2. Start at the bottom of the wall and position the ZIP System rainscreen against the wall with the mesh against the ZIP System sheathing. Trim the selvage edge along the bottom course and directly above any transition to maintain drainage. Install the following courses above the previous course in shingle fashion. Fully overlap the selvage edge over the previous course of ZIP System rainscreen. The bottom edge of ZIP System rainscreen should terminate over the bottom-of-wall flashing or trim.
3. Mechanically fasten the ZIP System rainscreen with approved fasteners. Place one fastener every 24 inches and avoid fastening through flashing.
4. Trim ZIP System rainscreen around all windows, doors, and penetrations.
5. Install wood siding according to the siding manufacturer's requirements or in accordance with building code. If horizontal furring strips are required, install the horizontal furring strips over ZIP System rainscreen. Ensure the furring strips are fastened into framing members and do not block drainage and ventilation of ZIP System rainscreen.

¹ For more information, please refer to the [ZIP System Sheathing and Tape Installation Manual](#).



1. ZIP System® Sheathing
2. ZIP System™ Rainscreen
3. Wood Siding

Please visit [Huberwood.com](https://www.huberwood.com) or contact our technical department at 800-933-9220 Ext 2716 or at techquestions@huber.com with any questions or comments.





Susan Sanders

QUOTE BY : Susan Sanders

SOLD TO :

PO# :

Ship Via : Ground

QUOTE # : JW240400DXX - Version 0

SHIP TO :

PROJECT NAME: 15911 Redland Road

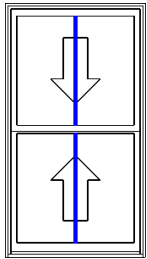
REFERENCE : Wood/Wood - Primed Ext/Int - Flat Casing

Confirm extension jamb depth.
 Extension Jamb is quoted at (4) sides.
 4-1/2 Flat Casing and Sill nosing is quoted.
 Hardware color is quoted as white. Please confirm.
 Screen color is quoted as Ivory.
 Drip Cap color is quoted as Ivory.
 False windows are quoted as Double Hung Units.
 Bedroom windows sizes have been altered from the original sizes to meet egress. Please confirm sizes.
 Please confirm WOCD's are not required. Windows do not include child safety latches.
 Please confirm if any windows need to be tempered safety glazing per safety glazing requirements.

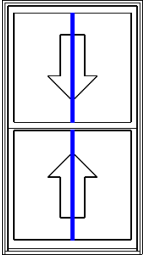
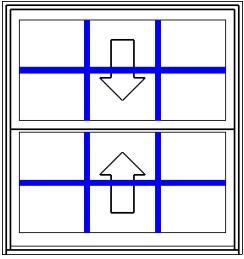
U-Factor Weighted Average: 0.29

SHGC Weighted Average: 0.18

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	1st - Front False DH Window Rough Opening : 39 X 70	Frame Size : 38 1/4 X 69 1/4 (Outside Casing Size: 45 7/8 X 73 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:34.5w, 31h, 7.4 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,559.19	1	\$1,559.19

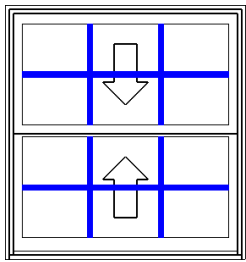


Viewed from Exterior.

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 2	1st - Front False DH Window Rough Opening : 39 X 70	Frame Size : 38 1/4 X 69 1/4 (Outside Casing Size: 45 7/8 X 73 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:34.5w, 31h, 7.4 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,559.19	1	\$1,559.19
		 <p>Viewed from Exterior.</p>			
Line 3	1st - Bedroom (Meets Egress) Rough Opening : 45 1/2 X 48	Frame Size : 44 3/4 X 47 1/4 (Outside Casing Size: 52 3/8 X 51 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:41w, 20h, 5.7 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,534.77	1	\$1,534.77
		 <p>Viewed from Exterior.</p>			

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line 4
1st - Bedroom (Meets
Egress)
Rough Opening : 45 1/2 X 48

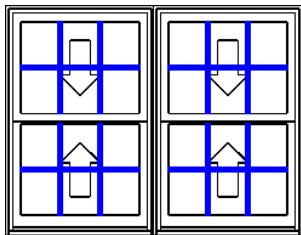


Viewed from Exterior.

Frame Size : 44 3/4 X 47 1/4
(Outside Casing Size: 52 3/8 X 51 15/16),
Siteline Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap,
8 1/2 Jamb, 4/4 Thick,
Standard Double Hung, White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, PG 35,
Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon
Filled, Traditional Glz Bd,
Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light
Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High
Btm,
BetterVue Mesh Ivory Screen,
Custom-Width, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear
Opening:41w, 20h, 5.7 sf
U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
CPD: JEL-N-885-01836-00001
PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

\$1,534.77 1 \$1,534.77

Line 5
1st - Living Room
Rough Opening : 62 X 48



Viewed from Exterior. Scale: 1/2" =1'

Frame Size : 61 1/4 X 47 1/4
(Outside Casing Size: 68 7/8 X 51 15/16),
Siteline Wood Double Hung, Auralast Pine, 2 Wide
Primed Exterior,
Primed Interior,
4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap,
8 1/2 Jamb, 4/4 Thick,
White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, DP 35,
Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon
Filled, Traditional Glz Bd,
Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light
Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High
Btm
BetterVue Mesh Ivory Screen,
This mull configuration complies with AAMA 450 standards and is
professional engineer-approved.
PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

\$2,660.37 1 \$2,660.37

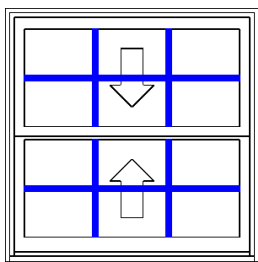
Line 5-1(A1)

Frame Size : 30 5/8 X 47 1/4
Siteline Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
4 9/16 Jamb,
Standard Double Hung, White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, PG 35,
Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon
Filled, Traditional Glz Bd,

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
		Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:26.8w, 20h, 3.7 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			

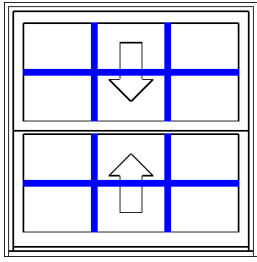
Line 5-2(A2)		Frame Size : 30 5/8 X 47 1/4 Sitrine Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:26.8w, 20h, 3.7 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
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Line 6	1st - Hallway	Frame Size : 42 1/4 X 42 1/4 (Outside Casing Size: 49 7/8 X 46 15/16), Sitrine Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:38.5w, 17.5h, 4.6 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
			\$1,487.99	1	\$1,487.99



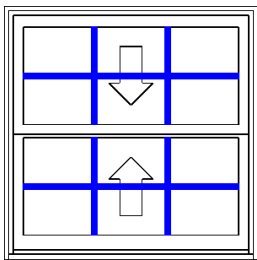
Viewed from Exterior. Scale: 1/2" = 1'

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 7	1st - Hallway Rough Opening : 43 X 43	Frame Size : 42 1/4 X 42 1/4 (Outside Casing Size: 49 7/8 X 46 15/16), Sitrine Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:38.5w, 17.5h, 4.6 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,487.99	1	\$1,487.99



Viewed from Exterior. Scale: 1/2" =1'

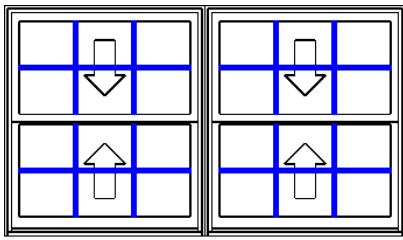
Line 8	1st - Hallway Rough Opening : 43 X 43	Frame Size : 42 1/4 X 42 1/4 (Outside Casing Size: 49 7/8 X 46 15/16), Sitrine Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:38.5w, 17.5h, 4.6 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,487.99	1	\$1,487.99
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Viewed from Exterior. Scale: 1/2" =1'

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line 9 2nd - Bedroom (Meets Egress)
Rough Opening : 86 1/2 X 50



Viewed from Exterior.

Frame Size : 85 3/4 X 49 1/4
(Outside Casing Size: 93 3/8 X 53 15/16),
Siteline Wood Double Hung, Auralast Pine, 2 Wide
Primed Exterior,
Primed Interior,
4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap,
8 1/2 Jamb, 4/4 Thick,
White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, DP 35,
Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,
Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm
BetterVue Mesh Ivory Screen,
This mull configuration complies with AAMA 450 standards and is professional engineer-approved.
PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

\$3,067.52 1 \$3,067.52

Line 9-1(A1)

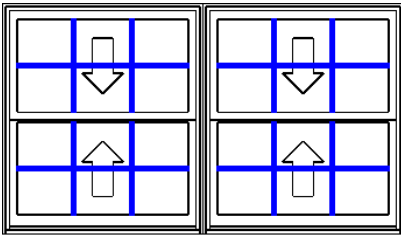
Frame Size : 42 7/8 X 49 1/4
Siteline Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
4 9/16 Jamb,
Standard Double Hung, White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, PG 35,
Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,
Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm,
BetterVue Mesh Ivory Screen,
Custom-Width, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear
Opening:39.1w, 21h, 5.7 sf
U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
CPD: JEL-N-885-01836-00001
PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

Line 9-2(A2)

Frame Size : 42 7/8 X 49 1/4
Siteline Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
4 9/16 Jamb,
Standard Double Hung, White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, PG 35,
Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,
Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light

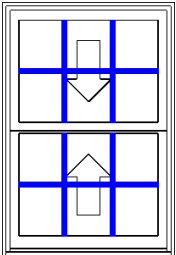
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
		Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:39.1w, 21h, 5.7 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			

Line 10	2nd - Bedroom (Meets Egress) Rough Opening : 86 1/2 X 50	Frame Size : 85 3/4 X 49 1/4 (Outside Casing Size: 93 3/8 X 53 15/16), Siteline Wood Double Hung, Auralast Pine, 2 Wide Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, DP 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm BetterVue Mesh Ivory Screen, This mull configuration complies with AAMA 450 standards and is professional engineer-approved. PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
			\$3,067.52	1	\$3,067.52

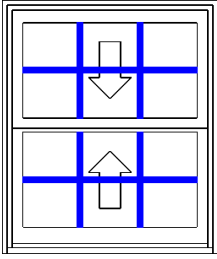


Viewed from Exterior.

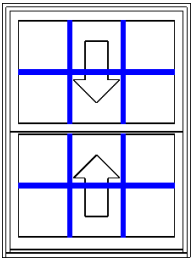
Line 10-1(A1)		Frame Size : 42 7/8 X 49 1/4 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:39.1w, 21h, 5.7 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
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LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 10-2(A2)		Frame Size : 42 7/8 X 49 1/4 Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:39.1w, 21h, 5.7 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
Line 11	2nd - Kitchen Rough Opening : 34 X 50	Frame Size : 33 1/4 X 49 1/4 (Outside Casing Size: 40 7/8 X 53 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:29.5w, 21h, 4.3 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
		 <p>Viewed from Exterior. Scale: 1/2" =1'</p>			
			\$1,432.49	1	\$1,432.49

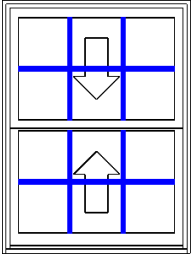
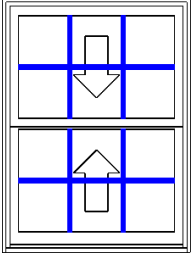
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 12	2nd - Kitchen Sink Rough Opening : 34 X 40	Frame Size : 33 1/4 X 39 1/4 (Outside Casing Size: 40 7/8 X 43 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:29.5w, 16h, 3.2 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
			\$1,317.90	1	\$1,317.90
Line 13	2nd - Hallway Rough Opening : 38 X 51	Frame Size : 37 1/4 X 50 1/4 (Outside Casing Size: 44 7/8 X 54 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 21.5h, 5 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			
			\$1,482.21	1	\$1,482.21

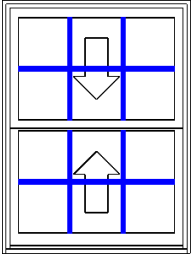
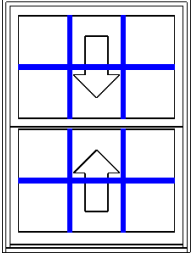


Viewed from Exterior. Scale: 1/2" =1'

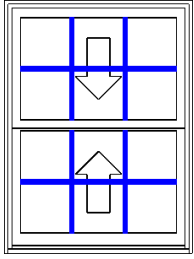


Viewed from Exterior. Scale: 1/2" =1'

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 14	2nd - Hallway Rough Opening : 38 X 51	 <p>Frame Size : 37 1/4 X 50 1/4 (Outside Casing Size: 44 7/8 X 54 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 21.5h, 5 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,482.21	1	\$1,482.21
Line 15	2nd - Hallway Rough Opening : 38 X 51	 <p>Frame Size : 37 1/4 X 50 1/4 (Outside Casing Size: 44 7/8 X 54 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 21.5h, 5 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,482.21	1	\$1,482.21

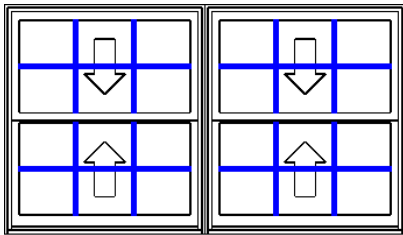
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 16	2nd - Hallway Rough Opening : 38 X 51	 <p>Frame Size : 37 1/4 X 50 1/4 (Outside Casing Size: 44 7/8 X 54 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 21.5h, 5 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,482.21	1	\$1,482.21
Line 17	2nd - Hallway Rough Opening : 38 X 51	 <p>Frame Size : 37 1/4 X 50 1/4 (Outside Casing Size: 44 7/8 X 54 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 21.5h, 5 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,482.21	1	\$1,482.21

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 18	2nd - Hallway Rough Opening : 38 X 51	Frame Size : 37 1/4 X 50 1/4 (Outside Casing Size: 44 7/8 X 54 15/16), Sitrine Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 21.5h, 5 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,482.21	1	\$1,482.21



Viewed from Exterior. Scale: 1/2" = 1'

Line 19	3rd - Bedroom (Meets Egress) Rough Opening : 86 1/2 X 50	Frame Size : 85 3/4 X 49 1/4 (Outside Casing Size: 93 3/8 X 53 15/16), Sitrine Wood Double Hung, Auralast Pine, 2 Wide Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, DP 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm BetterVue Mesh Ivory Screen, This mull configuration complies with AAMA 450 standards and is professional engineer-approved. PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$3,067.52	1	\$3,067.52
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Viewed from Exterior.

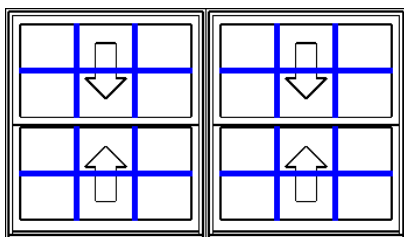
Line 19-1(A1)		Frame Size : 42 7/8 X 49 1/4 Sitrine Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,			
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LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
		Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:39.1w, 21h, 5.7 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW			

Line 19-2(A2)

Frame Size : 42 7/8 X 49 1/4
 Sitrine Wood Double Hung, Auralast Pine,
 Primed Exterior,
 Primed Interior,
 No Exterior Trim,
 4 9/16 Jamb,
 Standard Double Hung, White Jambliner, Concealed Jambliner
 White Hardware,
 US National-WDMA/ASTM, PG 35,
 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,
 Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm,
 BetterVue Mesh Ivory Screen,
 Custom-Width, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear
 Opening:39.1w, 21h, 5.7 sf
 U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
 CPD: JEL-N-885-01836-00001
 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

Line 20 3rd - Bedroom (Meets
 Egress)
 Rough Opening : 86 1/2 X 50



Viewed from Exterior.

Frame Size : 85 3/4 X 49 1/4
 (Outside Casing Size: 93 3/8 X 53 15/16),
 Sitrine Wood Double Hung, Auralast Pine, 2 Wide
 Primed Exterior,
 Primed Interior,
 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap,
 8 1/2 Jamb, 4/4 Thick,
 White Jambliner, Concealed Jambliner
 White Hardware,
 US National-WDMA/ASTM, DP 35,
 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd,
 Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm
 BetterVue Mesh Ivory Screen,
 This mull configuration complies with AAMA 450 standards and is professional engineer-approved.
 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

\$3,067.52 1 \$3,067.52

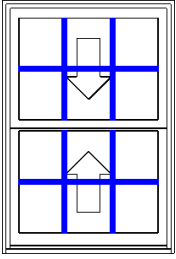
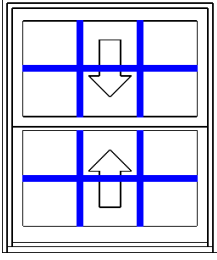
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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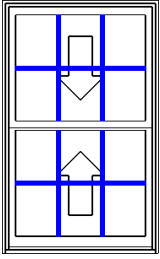
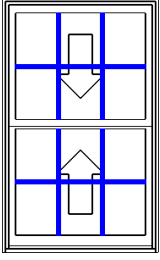
Line 20-1(A1)

Frame Size : 42 7/8 X 49 1/4
 Sitrine Wood Double Hung, Auralast Pine,
 Primed Exterior,
 Primed Interior,
 No Exterior Trim,
 4 9/16 Jamb,
 Standard Double Hung, White Jambliner, Concealed Jambliner
 White Hardware,
 US National-WDMA/ASTM, PG 35,
 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon
 Filled, Traditional Glz Bd,
 Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light
 Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High
 Btm,
 BetterVue Mesh Ivory Screen,
 Custom-Width, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear
 Opening:39.1w, 21h, 5.7 sf
 U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
 CPD: JEL-N-885-01836-00001
 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

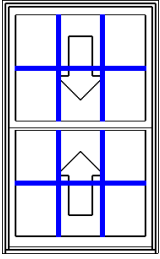
Line 20-2(A2)

Frame Size : 42 7/8 X 49 1/4
 Sitrine Wood Double Hung, Auralast Pine,
 Primed Exterior,
 Primed Interior,
 No Exterior Trim,
 4 9/16 Jamb,
 Standard Double Hung, White Jambliner, Concealed Jambliner
 White Hardware,
 US National-WDMA/ASTM, PG 35,
 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon
 Filled, Traditional Glz Bd,
 Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light
 Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High
 Btm,
 BetterVue Mesh Ivory Screen,
 Custom-Width, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear
 Opening:39.1w, 21h, 5.7 sf
 U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
 CPD: JEL-N-885-01836-00001
 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 21	3rd - Kitchen Rough Opening : 34 X 50	 <p>Frame Size : 33 1/4 X 49 1/4 (Outside Casing Size: 40 7/8 X 53 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:29.5w, 21h, 4.3 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,432.49	1	\$1,432.49
Line 22	3rd - Kitchen Sink Rough Opening : 34 X 40	 <p>Frame Size : 33 1/4 X 39 1/4 (Outside Casing Size: 40 7/8 X 43 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:29.5w, 16h, 3.2 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,317.90	1	\$1,317.90

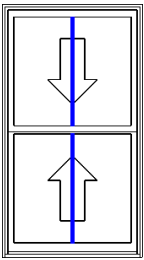
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 23	3rd - Hallway Rough Opening : 38 X 61	 <p>Frame Size : 37 1/4 X 60 1/4 (Outside Casing Size: 44 7/8 X 64 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 26.5h, 6.1 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,603.12	1	\$1,603.12
Line 24	3rd - Hallway Rough Opening : 38 X 61	 <p>Frame Size : 37 1/4 X 60 1/4 (Outside Casing Size: 44 7/8 X 64 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 26.5h, 6.1 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW</p>	\$1,603.12	1	\$1,603.12

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 25	3rd - Hallway Rough Opening : 38 X 61	Frame Size : 37 1/4 X 60 1/4 (Outside Casing Size: 44 7/8 X 64 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:33.5w, 26.5h, 6.1 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,603.12	1	\$1,603.12



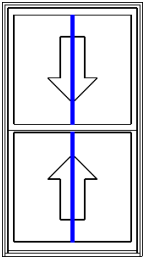
Viewed from Exterior. Scale: 1/2" = 1'

Line 26	3rd - Bedroom (Meets Egress) Rough Opening : 39 X 70	Frame Size : 38 1/4 X 69 1/4 (Outside Casing Size: 45 7/8 X 73 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:34.5w, 31h, 7.4 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,559.19	1	\$1,559.19
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Viewed from Exterior.

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 27	3rd - Bedroom (Meets Egress) Rough Opening : 39 X 70	Frame Size : 38 1/4 X 69 1/4 (Outside Casing Size: 45 7/8 X 73 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:34.5w, 31h, 7.4 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,559.19	1	\$1,559.19



Viewed from Exterior.

Total:	\$47,904.12
MD Sales Tax (6.0000%):	\$2,874.25
Net Total:	\$50,778.37
Total Units:	27

 Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.

Note: Payment requirements - for Builders with an credit account set up with TNT Services Group payment is required NET 30. For persons without a credit account set up the required payment schedule is: 50% down prior to releasing order into production 40% due prior to installation/delivery. 10% due after screens and hardware have been installed. * If project is delivery only 50% is required prior to delivery. Pre-finished interior disclaimer – interior pre-finished products will be subjected to construction trades, dust and debris during the construction process. It is highly recommended the windows be, at a minimum, covered with plastic to mitigate the dust accumulated on the painted surface. Additionally, as you have requested to have a factory finish installed so early in the build process it should be expected some damage will occur from trades (such as dings and scratches) and it is not a defect of the window or a cause of TNT Services Group. If any window part has been damaged during the construction process, TNT will advise of the best course of action to remedy and any action (repair or replacement) would be chargeable by TNT Services Group. Furthermore, as you would be purchasing a factory wood painted part it should be made known that as wood has variations and the appearance of a raised grain or other natural variation in the wood grain may be enhanced by the interior finish and is not a defect (variations and grain raise would be more noticeable on darker finishes such as black or bronze). Interior finish is applied prior to assembly and is not intended to cover joinery seams. I have read, understand and approve the specifications detailed above for order:

Approved: _____ Date: _____



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 5/3/2024

Application No: 1069299
AP Type: HISTORIC
Customer No: 1491654

Comments

I wish to install new windows and siding on the building.

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Location 15911 REDLAND RD 405 Derwood, MD 20853
Homeowner SMITH (Primary)

Historic Area Work Permit Details

Work Type RESREP
Scope of Work I wish to install new windows and siding on the historical building.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

15911 Redland Road, Rockville, MD 20855 (Old Derwood Post Office)

The Derwood Store and Post Office is a building that dates back to the early 1900s. Originally built as the General Store for the town of Derwood, the structure had been converted in the 1950's with an additional structure on the south elevation for use as a 6-unit apartment complex. The front part of the building which consisted of the Derwood Post Office was in use up through the 1970's. The building was eventually abandoned and became a storage yard for construction contractors till approximately the mid 1990's.

Exhibit B: Additional Pictures (15911 Redland)



View from the front of building.
Existing porch will be restored with
Dummy doors and windows.







Approved historical metal roof,
already installed.

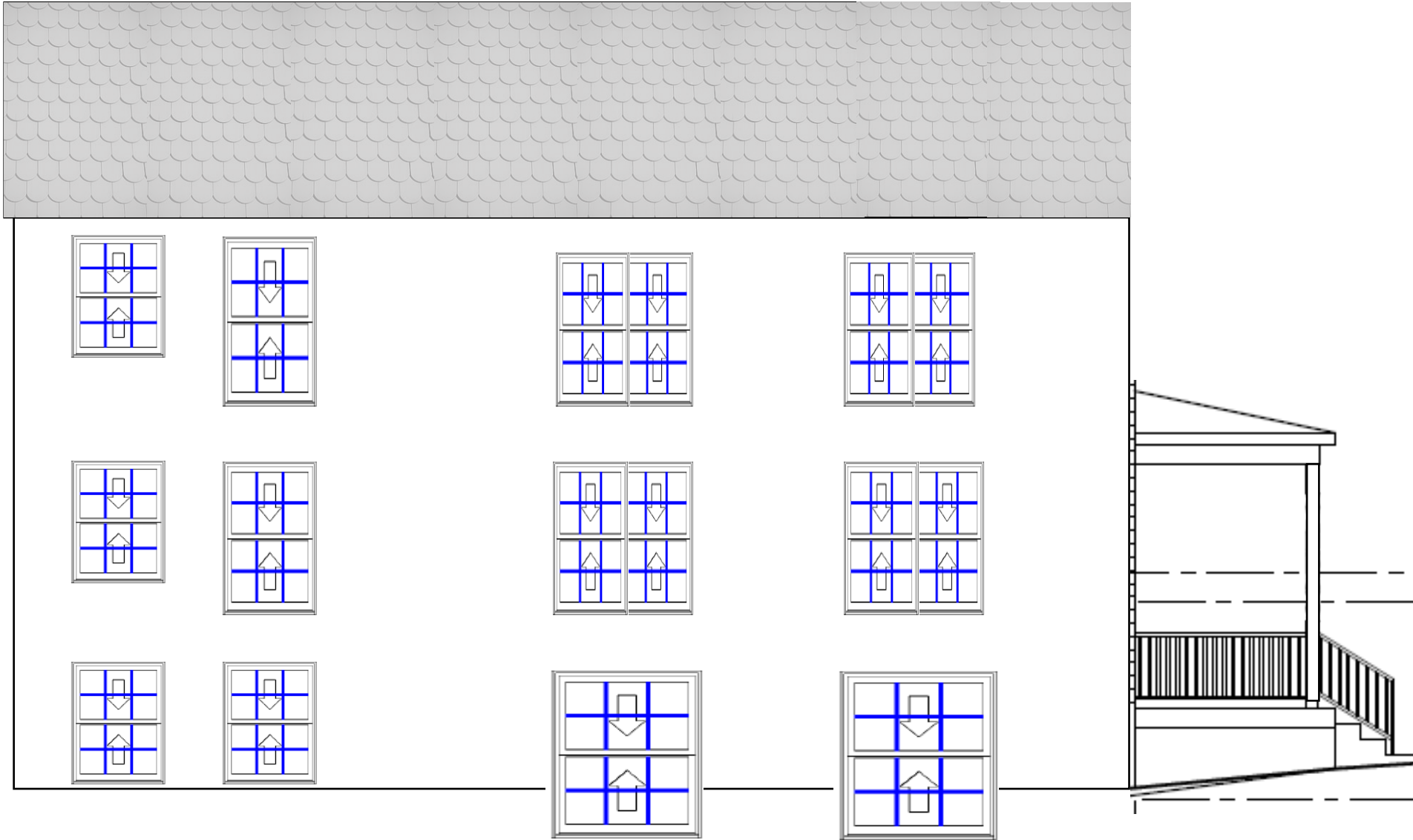
½ round gutter and downspouts.

All cypress German Dutch lap
siding. With 1" x 4" casing for
windows and 5/4" x 5" for
building corners

All windows will be 6 over 6
panes.

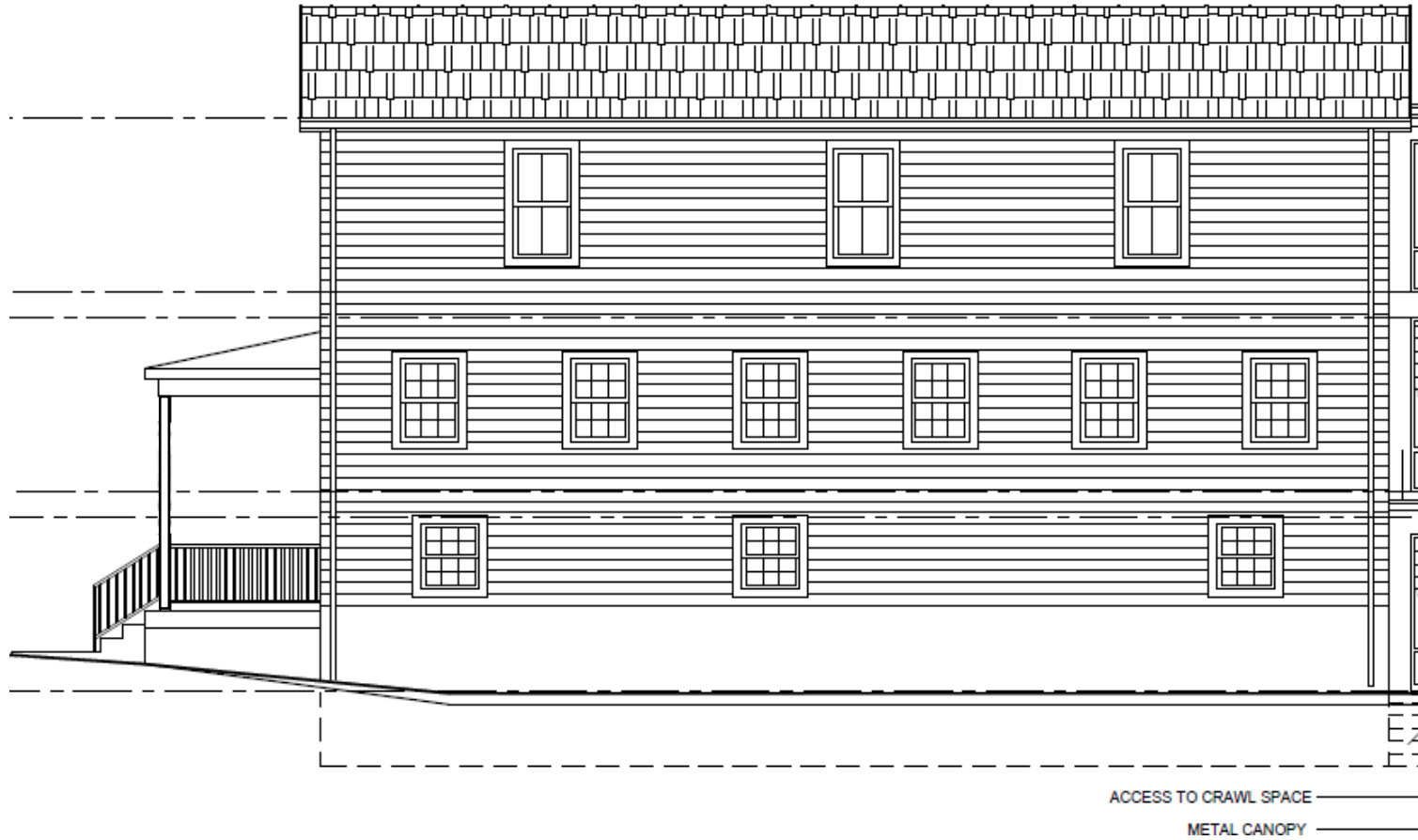
See next sheet for closer window
locations.

West Elevation



West Elevation

Bedroom egress windows
at grade level



Note the 3 doors on this elevation have been removed.

East Elevation



North Elevation

New metal standing seam roof.

½ round gutters and downspouts around the porch roof to match main roof

Porch columns straight square 6" x 6"

Square balusters standard (code) spacing

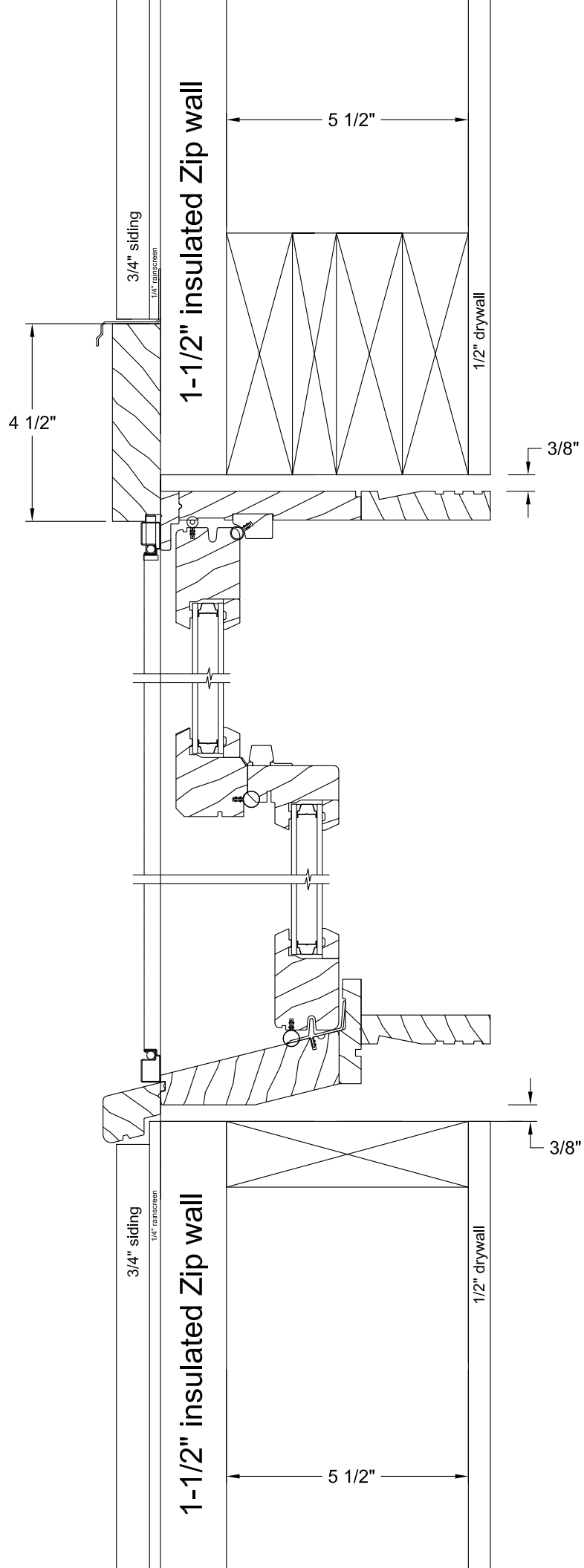
Porch floor ¾" tongue and groove

Porch ceiling ¾" tongue and groove

All porch wood is pressure treated and sealed with clear coat treatment

Wood stairs with two railings (to code) end at grade

One porch light and electrical out let to be install at later date





Susan Sanders

QUOTE BY : Susan Sanders

SOLD TO :

PO# :

Ship Via : Ground

QUOTE # : JW240400DXX - Version 0

SHIP TO :

PROJECT NAME: 15911 Redland Road

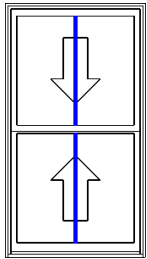
REFERENCE : Wood/Wood - Primed Ext/Int - Flat Casing

Confirm extension jamb depth.
 Extension Jamb is quoted at (4) sides.
 4-1/2 Flat Casing and Sill nosing is quoted.
 Hardware color is quoted as white. Please confirm.
 Screen color is quoted as Ivory.
 Drip Cap color is quoted as Ivory.
 False windows are quoted as Double Hung Units.
 Bedroom windows sizes have been altered from the original sizes to meet egress. Please confirm sizes.
 Please confirm WOCD's are not required. Windows do not include child safety latches.
 Please confirm if any windows need to be tempered safety glazing per safety glazing requirements.

U-Factor Weighted Average: 0.29

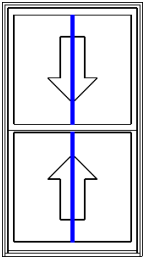
SHGC Weighted Average: 0.18

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	1st - Front False DH Window Rough Opening : 39 X 70	Frame Size : 38 1/4 X 69 1/4 (Outside Casing Size: 45 7/8 X 73 15/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:34.5w, 31h, 7.4 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,559.19	1	\$1,559.19



Viewed from Exterior.

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 2	1st - Front False DH Window Rough Opening : 39 X 70	Frame Size : 38 1/4 X 69 1/4 (Outside Casing Size: 45 7/8 X 73 15/16), Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, 4 1/2" Flat Casing, Standard Sill Nosing, DripCap, Ivory Drip Cap, 8 1/2 Jamb, 4/4 Thick, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Putty SDL w/Perm Wood Putty Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Ivory Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:34.5w, 31h, 7.4 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00, CPD: JEL-N-885-01836-00001 PEV 2024.1.0.4593/PDV 7.293 (03/03/24)NW	\$1,559.19	1	\$1,559.19



Viewed from Exterior.

*

Susan Sanders

QUOTE BY : Susan Sanders

SOLD TO :

PO# :

Ship Via : Ground

QUOTE # : JW240400ZTJ - Version 0

SHIP TO :

PROJECT NAME:

REFERENCE :

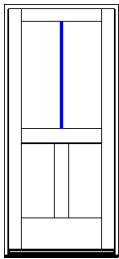
U-Factor Weighted Average: 0.34

SHGC Weighted Average: 0.1

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line 1

RO Size : 36 3/16 X 80 1/4

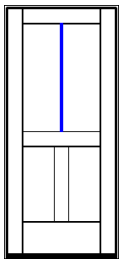


Viewed from Exterior. Scale: 1/2" = 1'

WISWR3068
 (Outside Casing Size: 43 1/8 X 83 3/8)
 Custom Wood Inswing 1-Pnl Auralast Pine Asmbld Sta
 Actual Frame Size: 35 7/16 -in X 79 1/2 -in
 Prm FRM Primed Sash
 1-3/4" Thick Pnl, Primed Interior,
 4 1/2" Flat Casing
 6 9/16 Jamb Width. 5/4
 Std Sill
 , 11" Btm/Crftsmn Opt 1 Horz Lk Rails, 36 Top Lck Rail Ht (Ctr of rail)
 Glass: Glass in Top Section Only, Vert Stile Btm Section Only, Raised
 Panel(s) (PNL),
 4-5/8" Lock Rail, 4-5/8" Intermediate Stile,
 Ins Wet Int Glz SunResist Tempered Neat Black Spacer, Argon Filled,
 Traditional Glz Bd,
 Primed Wood , 7/8 Putty SDL Putty Int BAR, Lt Brz Shadow Bar Colonial
 (Even Rect Lites) 2 W 1 H (2 Rect Lts)
 ,(1/8 / 1/8), Inswing doors are not intended for Light Commercial
 applications.
 U-Factor: 0.34, SHGC: 0.10, VLT: 0.20, Energy Rating: 3.00, CPD: JEL-N-
 121-02046-00001
 PEV 2024.1.0.4577/PDV 7.394 (03/03/24)PW
 \$3,226.64 1 \$3,226.64

Line 2

Panel Size : 36 X 80



Viewed from Exterior. Scale: 1/2" = 1'

Panel
 Custom Wood Replacement Only Inswing Door
 True
 Primed Sash
 1-3/4" Thick Pnl, Auralast Pine Primed Interior,
 STAT Panel Size: 36 x 80
 No Bore
 , 11" Btm/Crftsmn Opt 1 Horz Lk Rails, 36 Top Lck Rail Ht (Ctr of rail)
 Glass: Glass in Top Section Only, Vert Stile Btm Section Only,
 Raised Panel(s) (PNL), 4-5/8" Lock Rail, 4-5/8" Intermediate Stile,
 Ins Wet Glz SunStable Temp Neat Black Spacer, Argon Filled, Traditional
 Glz Bd,
 7/8 Putty SDL Putty Int BAR, Primed Wood Lt Brz Shadow Bar Colonial
 (Even Rect Lites) 2 W 1 H (2 Rect Lts)
 PEV 2024.1.0.4577/PDV 7.394 (03/03/24)PW
 \$3,089.82 1 \$3,089.82