

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10304 Montgomery Avenue, Kensington	<b>Meeting Date:</b>	6/12/2024
<b>Resource:</b>	Primary Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	6/5/2024
<b>Applicant:</b>	Jeff and Gloria Capron (Luke Olson, Architect)	<b>Public Notice:</b>	5/29/2024
<b>Review:</b>	Historic Area Work Permit	<b>Tax Credit:</b>	No
<b>Permit Number:</b>	1060765 REVISION	<b>Staff:</b>	Chris Berger
<b>PROPOSAL:</b>	Enlarged areaway and fenestration alterations.		

**STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve with two conditions** the HAWP application with final review and approval of all details delegated to staff:

1. The applicant must provide specifications for all proposed features, including doors, railings, and windows.
2. The infill siding in the proposed door opening needs to be either salvaged from other cuts in the house or be new wood siding that matches the profile, material, and finish.

Note: The original HAWP approval from March 20, 2024, included five conditions, all of which are still outstanding.<sup>1</sup>



***Figure 1: The subject property at 10304 Montgomery Avenue (noted by the yellow star) is located mid-block on the west side of the Montgomery Avenue. The red line is the boundary of the Kensington Historic District.***

<sup>1</sup> Link to the March 20, 2024, HPC meeting audio/video transcript:

[https://montgomeryplanning.org/historic/commission/agendas/images/play\\_24.png](https://montgomeryplanning.org/historic/commission/agendas/images/play_24.png)

Link to the first staff report for HAWP #1060765: <https://montgomeryplanning.org/wp-content/uploads/2024/03/I.F-10304-Montgomery-Avenue-Kensington-1060765.pdf>

## ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary Resource within the Kensington Historic District  
 STYLE: Colonial Revival Four Square  
 DATE: Ca. 1904-1911

The following information was prepared in 2023 for a Preliminary Consultation report.

The subject property is a Primary Resource in the Kensington Master Plan Historic District. The property features a Colonial Revival-styled Four Square dwelling constructed between 1904 and 1911. The date of construction is based on an analysis of available Sanborn Fire Insurance Maps. The house is not depicted on the 1904 Sanborn Fire Insurance Map but is evident by 1911. The original 2.5-story, two-bay, two-pile, wood-frame house was clad in wood lap siding and capped with an asphalt shingle hipped roof. The roof featured overhanging eaves and centrally located hipped dormers on its eastern (front) and western (rear) slopes. A full-width, wood-frame, hipped roof porch supported by Tuscan wood columns adorned the façade. Fenestration primarily consisted of one-over-one, double-hung, wood-sash windows and a Palladian window on the north elevation. In the late 1980s, the HPC approved a two-story rear addition and a one-story, flat roof addition to the north elevation.<sup>2</sup> In 2016, the HPC permitted the addition of the two hipped dormers on the rear addition. In 2021, the HPC approved the construction of the extant accessory dwelling unit located directly to the rear of the historic house.<sup>3</sup>



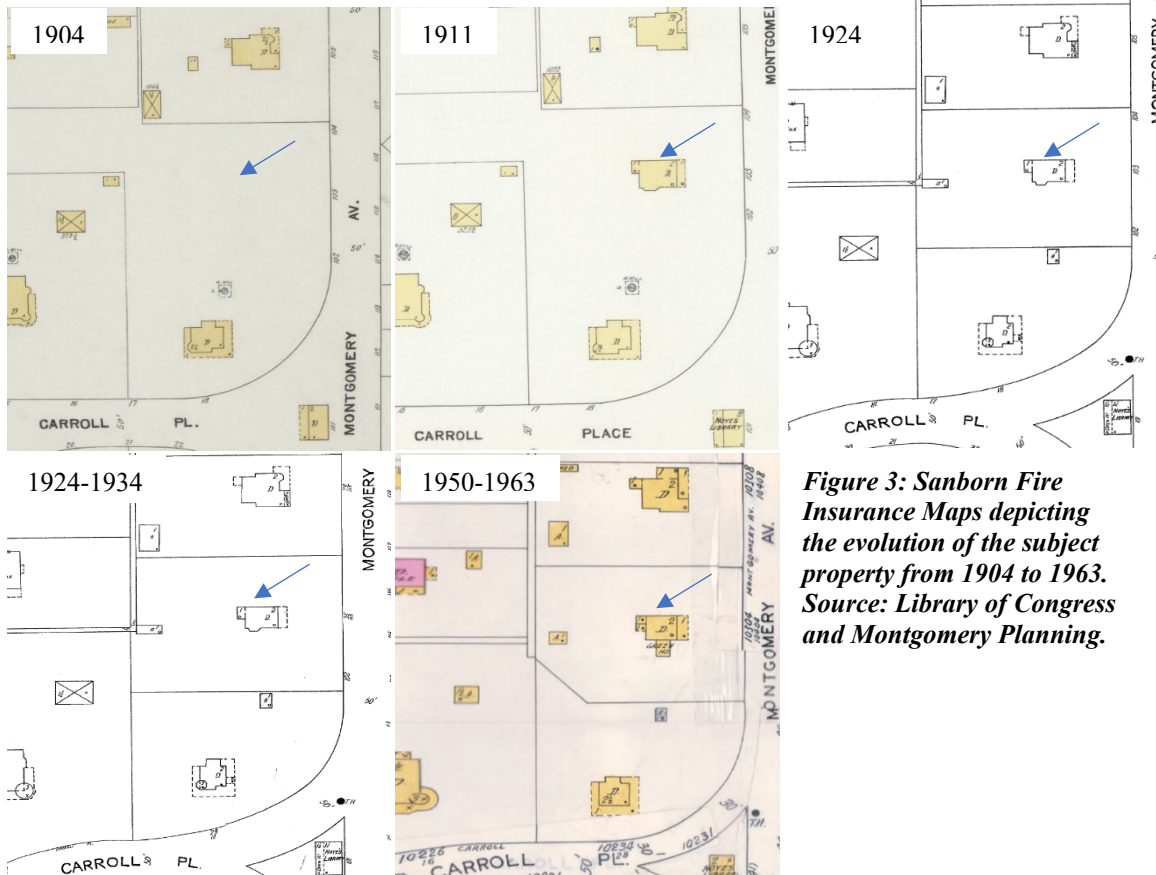
*Figure 2: Views of the façade and rear elevation of the house ca. 1988, top row, and 2023, bottom row. The 1988 photograph shows the house in its original form with later additions removed prior to a substantial renovation.*

*Source: Montgomery Planning and applicant*

<sup>2</sup> For more information, see

[https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/Padlock/HAR60640005/Box038/31-6\\_Kensington%20Historic%20District\\_10304%20Montgomery%20Avenue\\_03-10-1988.pdf](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640005/Box038/31-6_Kensington%20Historic%20District_10304%20Montgomery%20Avenue_03-10-1988.pdf) and [https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/Padlock/HAR60640005/Box038/31-6\\_Kensington%20Historic%20District\\_10304%20Montgomery%20Avenue\\_12-18-1987.pdf](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640005/Box038/31-6_Kensington%20Historic%20District_10304%20Montgomery%20Avenue_12-18-1987.pdf).

<sup>3</sup> For more information, see [https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/HAWP/5-26-2021/10304%20Montgomery%20Ave.%20Kensington%20-%20Approval.pdf](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/HAWP/5-26-2021/10304%20Montgomery%20Ave.%20Kensington%20-%20Approval.pdf) and <https://montgomeryplanning.org/wp-content/uploads/2021/05/I.A-10304-Montgomery-Avenue-Kensington.pdf>.



**Figure 3: Sanborn Fire Insurance Maps depicting the evolution of the subject property from 1904 to 1963. Source: Library of Congress and Montgomery Planning.**

## **BACKGROUND**

The HPC provided a preliminary consultation for the project at its September 6, 2023, meeting and was generally supportive.<sup>4</sup>

At the March 20, 2024, HPC meeting, the Commission heard a presentation for HAWP #1060765. The HAWP included fenestration alteration, new additions, hardscape alterations, and construction of new detached garage.

The HPC approved the application with the five staff recommended conditions:

1. Applicant shall provide specifications for all features, including the masonry and flagstone steps and stairs, doors on the addition; light fixtures; and patio pavers.
2. Applicant shall specify all the proposed materials on the plans.
3. Applicant shall revise plans to correct any incorrect dimensions and labels.
4. The front porch floor shall be replaced in-kind with wood that is painted and not a composite material.
5. The applicant shall provide a detail for the replacement materials on the side porch.

<sup>4</sup> The staff report for the preliminary consultation report is available here: <https://montgomeryplanning.org/wp-content/uploads/2023/08/II.B-10304-Montgomery-Avenue-Kensington.pdf>

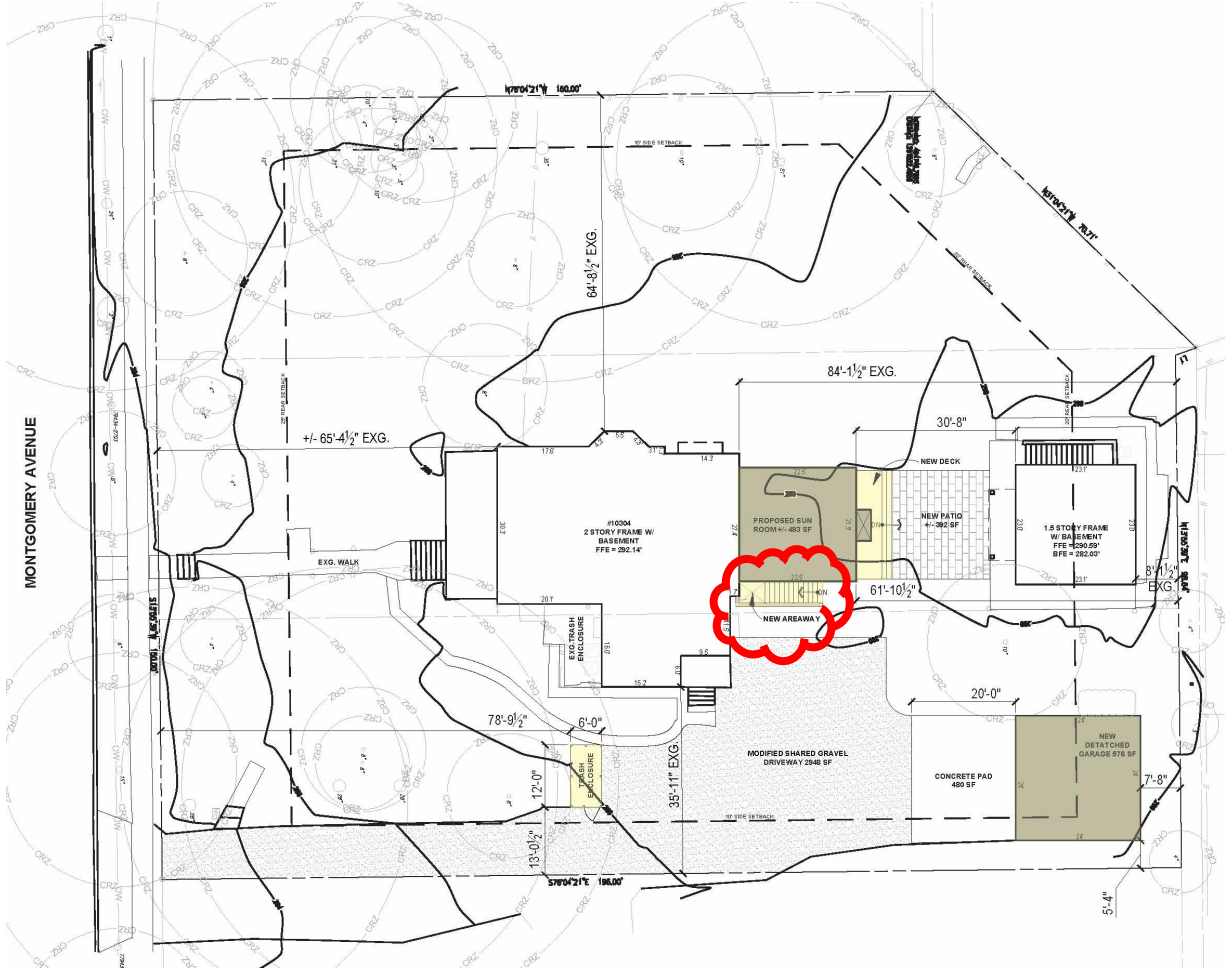
The minutes for the September 6, 2023, meeting are available here:

[https://mncppc.granicus.com/MediaPlayer.php?publish\\_id=18960b37-4d9f-11ee-ac13-0050569183fa](https://mncppc.granicus.com/MediaPlayer.php?publish_id=18960b37-4d9f-11ee-ac13-0050569183fa)

**PROPOSAL**

The applicant proposes the following revisions to the application to the property (**Figures 4-10**):

- Enlarge the proposed basement areaway to provide an exterior entry door into the existing basement space.
- Switch from a group of four double-hung sash windows to two individual double-hung sash windows on the south side of the proposed family room addition to match the windows on the north side of the room.
- Remove the existing second floor window and install a new door that will open onto the second-floor roof deck.



**Figure 4: The previously approved site plan shows the areaway clouded in red.**





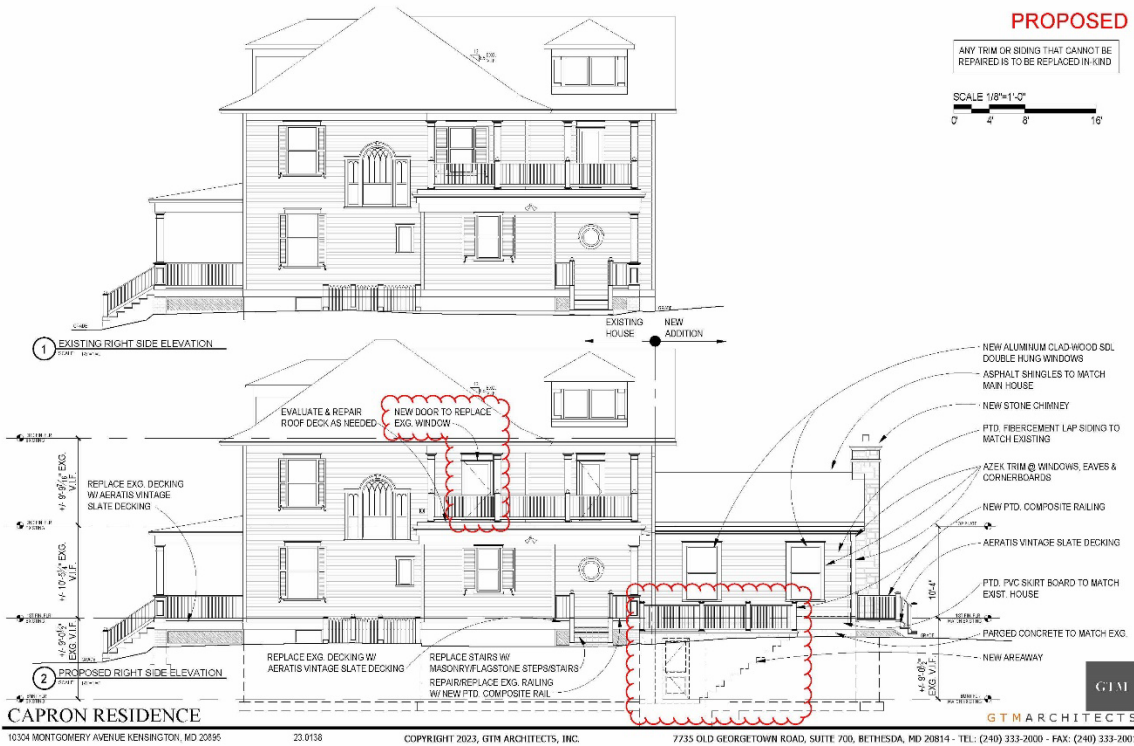


Figure 7: The revised right-side elevation shows the existing, top, and proposed areaway and window converted into a door on the second floor clouded in red.

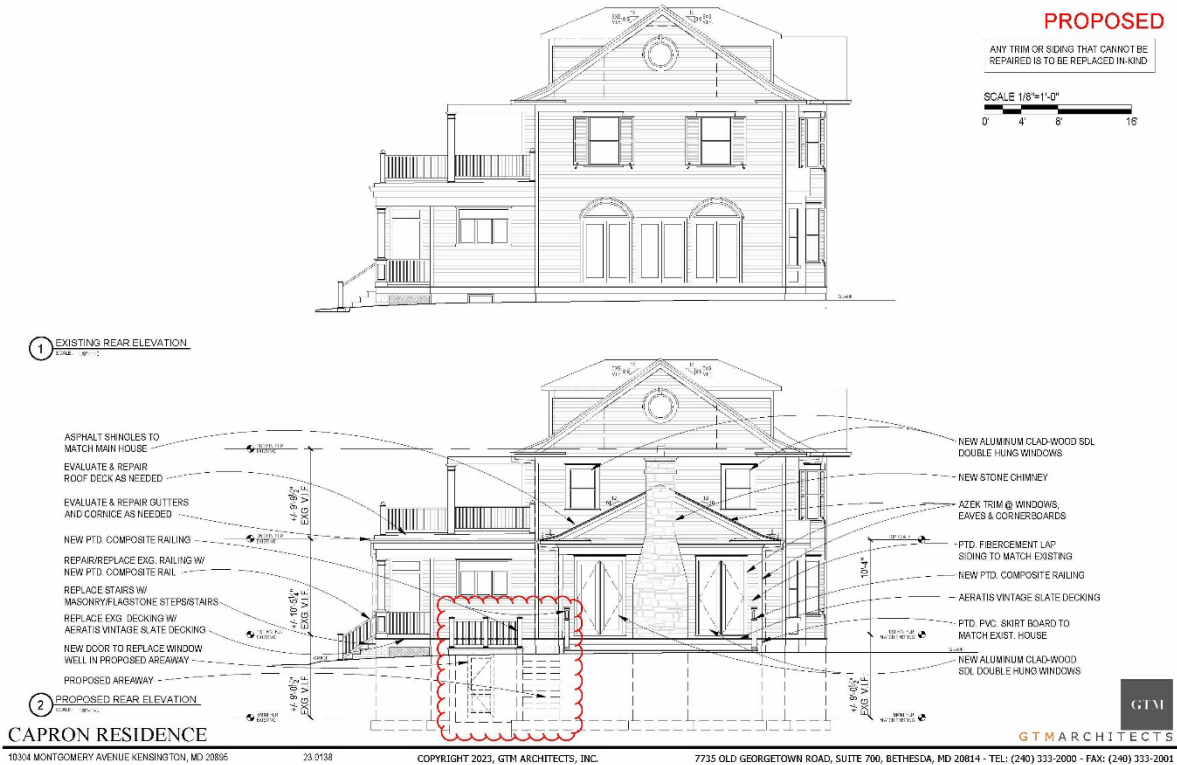


Figure 8: The revised rear elevation shows the existing, top, and proposed areaway clouded in red.



Figure 9: The previously approved right-side elevation shows the four windows proposed for the addition.



Figure 10: The revised left-side elevation shows the proposed window pattern on the addition clouded in red.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*; *Vision of Kensington: A Long-Range Preservation Plan (Vision)*; *Montgomery County Code Chapter 24A (Chapter 24A)*; and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6***

The Amendment notes:

The district is architecturally significant as a collection of late 19th and early 20th Century houses exhibiting a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake and Colonial Revival. The houses share a uniformity of scale, set backs and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

### ***Vision of Kensington: A Long-Range Preservation Plan***

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan as noted on Page 1 "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

### ***Montgomery County Code Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)



### ***Secretary of the Interior’s Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The Standards read are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

#### ***Enlarge the Proposed Basement Areaway***

Staff supports the proposal to enlarge the proposed areaway and recommends approval. The applicants’ architect said the areaway needs to be enlarged to provide access to the existing basement in case the applicants cannot enlarge the basement as was previously planned. An existing window well will be replaced with a door, and the areaway will be enlarged approximately 60 square feet. The areaway will be surrounded by a composite guardrail to match the rail previously approved by the HPC. Staff recommends a condition that specifications are provided for the areaway door and railing.

The work meets both Kensington’s Master Plan *Amendment* and *Vision*. In accordance with Chapter 24A-8(b), the proposal will not substantially alter the exterior features of an historic resource within an historic district, and the work is compatible in character with the historic district because the areaway will be built on the back of a 1980s addition and will not be visible from the right of way. Per Chapter 24A-8(d), the HPC is to be lenient in its judgement for plans involving new construction unless they would seriously impair the historic or architectural value of the surrounding historic resources or would impair the character of the district. Staff finds the expanded areaway will not affect the value and character of the district. It also conforms with the *Standards*, because the historic character of the property will be retained and preserved; the expanded areaway will not destroy the historic materials that characterize a property; and the form and integrity of the property will be unimpaired if the addition is removed in the future.

#### ***Window Alteration on Addition***

Staff supports the proposed window reconfiguration on the left-side elevation of the proposed addition and recommends approval. The HPC previously approved a bank of four windows, and the number of windows will be reduced to two, single windows. The windows will be aluminum clad wood—the same as what was previously approved. Staff recommends a condition that specifications are provided for the windows.

The work meets both Kensington’s Master Plan *Amendment* and *Vision*. In accordance with Chapter 24A-8(b), the proposal will not substantially alter the exterior features of an historic resource within an historic district, and the work is compatible in character with the historic district where accessory structures in the

rear yard are common. Per Chapter 24A-8(d), the HPC is to be lenient in its judgement for plans involving new construction unless they would seriously impair the historic or architectural value of the surrounding historic resources or would impair the character of the district. Staff finds the window change will not affect the value and character of the district. It also conforms with the *Standards*, because the historic character of the property will be retained and preserved; the window alteration will not destroy the historic materials that characterize a property; and the form and integrity of the property will be unimpaired by the change.

### ***Convert Window Opening to Door***

Staff supports the conversion of the second-floor window opening on the right-side elevation to a door and recommends approval. According to the applicant, the previously approved floor plan showed a door in that location, but the elevation instead showed a window. The new door opening will be shifted over from the window opening, and a portion of the existing window opening will be infilled with siding to match the existing. Staff encourages the applicant to retain the removed window and store it on site for potential reinstallation on the building. Staff recommends a condition that the new siding that will be installed to the left of the door should be salvaged from other locations on the house and/or it should match the material and profile of the existing siding exactly.

The work meets both Kensington's Master Plan *Amendment* and *Vision*. In accordance with Chapter 24A-8(b), the proposal will not substantially alter the exterior features of an historic resource within an historic district, and the work is compatible in character with the historic district. The window is on a side elevation approximately 100 feet from the right of way, so it is not readily visible to passers-by. The window to door conversion also conforms with the *Standards*, because the historic character of the property will be retained and preserved; the window alteration will not destroy the historic materials that characterize a property; and the form and integrity of the property will be unimpaired by the change.

After full and fair consideration of the applicant's submission, staff finds the proposal consistent with the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) and Chapter 24A-8(d), having found the proposal is consistent with the *Amendment*, *Vision of Kensington*, and *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with two conditions** the HAWP application:

1. The applicant must provide specifications for all proposed features, including doors, railings, and windows.
2. The infill siding in the proposed door opening needs to be either salvaged from other cuts in the house or be new wood siding that matches the profile, material, and finish.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, is consistent with the *Vision of Kensington*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

Note: The original HAWP approval from March 20, 2024, included five conditions, all of which are still outstanding.

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-4571 or [chris.berger@montgomeryplanning.org](mailto:chris.berger@montgomeryplanning.org) to schedule a follow-up site visit.



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Jeff and Gloria Capron E-mail: gcidesign@gloriacapron.com  
jeffcapron5504@gmail.com  
Address: 10304 Montgomery Ave City: Kensington Zip: 20895  
Daytime Phone: \_\_\_\_\_ Tax Account No.: 01018853

**AGENT/CONTACT (if applicable):**

Name: LUKE OLSON E-mail: LOLSON@GTMARCHITECTS.COM  
Address: 7735 OLD GEORGETOWN RD STE 700 City: BETHESDA Zip: 20814  
Daytime Phone: 240-333-2021 Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name Kensington  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10304 Street: Montgomery Ave  
Town/City: Kensington Nearest Cross Street: Kensington Pkwy  
Lot: 12 Block: 2 Subdivision: 0015 Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> New Construction              | <input checked="" type="checkbox"/> Deck/Porch          | <input checked="" type="checkbox"/> Shed/Garage/Accessory Structure     |
| <input checked="" type="checkbox"/> Addition           | <input checked="" type="checkbox"/> Fence               | <input type="checkbox"/> Solar  |
| <input type="checkbox"/> Demolition                    | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                          |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                           | <input type="checkbox"/> Window/Door                                    |
|  |   | <input checked="" type="checkbox"/> Other: <u>DRIVEWAY MODIFICATION</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

JEFF & GLORIA CAPRON  
10304 MONTGOMERY AVE  
KENSINGTON, MD 20895

**Owner's Agent's mailing address**

Luke Olson  
7735 Old Georgetown Rd Ste 700  
Bethesda, MD 20814

**Adjacent and confronting Property Owners mailing addresses**

JAMES & CAROL SHARP  
10226 CARROLL PL  
KENSINGTON MD 20895

MICHAEL & DEBRA MCCURRY  
10313 FAWCETT ST  
KENSINGTON MD 20895

NICHOLAS & CARRIE STORER  
10234 CARROLL PL  
KENSINGTON MD 20895

DENNIS & ANGELA KILCULLEN  
10308 MONTGOMERY AVE  
KENSINGTON MD 20895

MACKIE BARCH & JACQUELINE FORTI  
10303 MONTGOMERY AVE  
KENSINGTON MD 20895

JENNIFER BRUSH  
10312 MONTGOMERY AVE  
KENSINGTON MD 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

EXISTING 2-STORY COLONIAL REVIVAL HOUSE WITH CLAPBOARD SIDING AND ASPHALT SHINGLE ROOF CIRCA 1893 WITH 2-STORY DETACHED ACCESSORY STRUCTURE IN REAR YARD.

Description of Work Proposed: Please give an overview of the work to be undertaken:

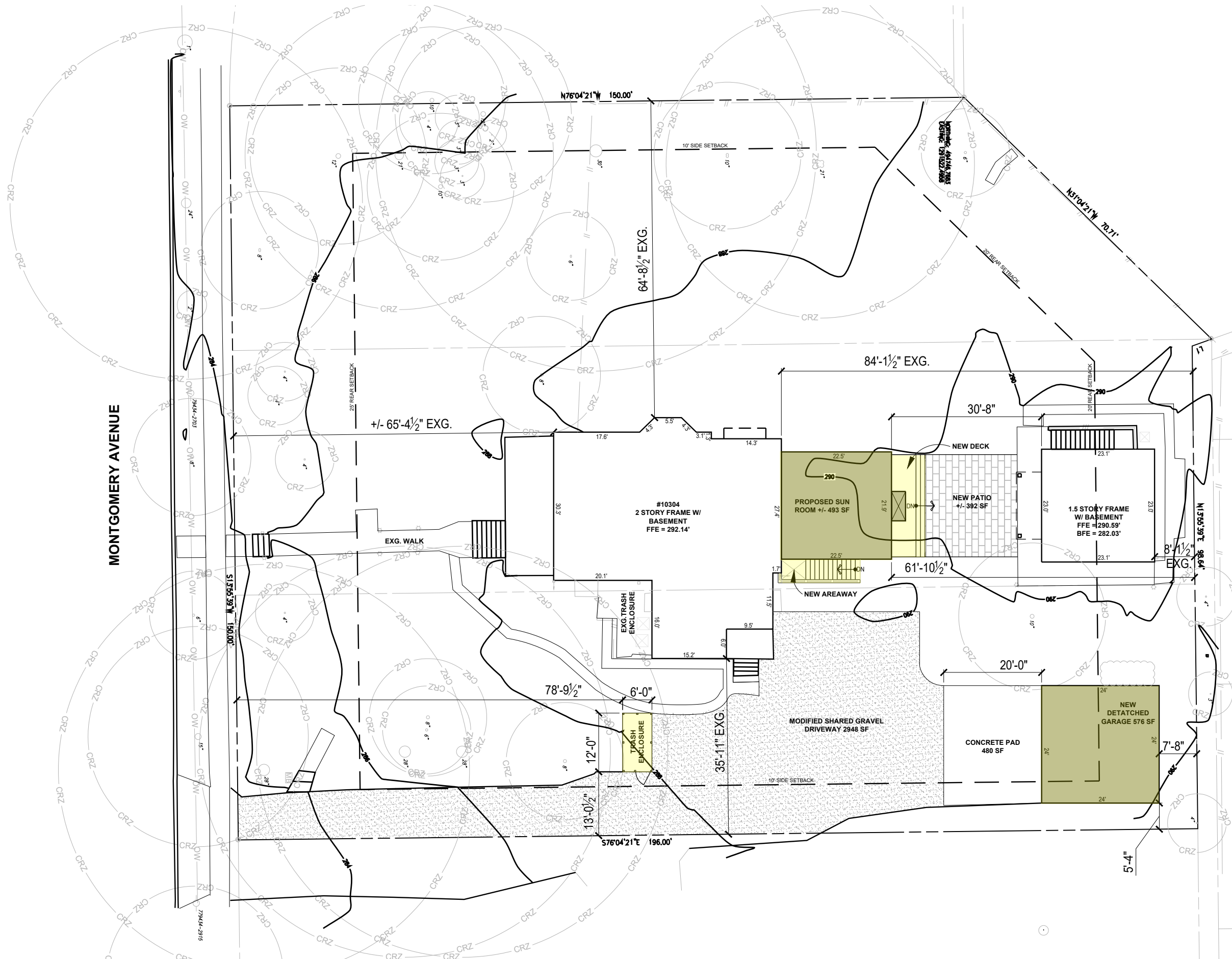
We'd like to revise our HAWP approval to make the following changes:

-enlarge the proposed basement areaway to provide an exterior entry door into the existing basement space in case they need to remove the full basement below the addition due to budget constraints

-switch from a group of 4 double hungs to two individual double hungs on the south side of the family room to match the windows on the north side of the family room

-we noticed a discrepancy in our HAWP approval set in that we were showing a new door onto the 2nd floor roof deck in the approved 2nd floor plan but that wasn't reflected in the right-side elevation. We've provided an updated elevation for review.

APPROVED



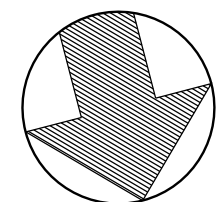
LOT SIZE (12, 13, & 14): 28,353 S.F.  
 R-60  
 FRONT BRL = 25'  
 REAR BRL = 20'  
 SIDE BRL = 10'

EXIST. LOT COVERAGE:  
 EXIST. HOUSE: 1,737 S.F.  
 EXIST. FRONT PORCH: 254 S.F.  
 EXIST. CARRIAGE HOUSE: 529 S.F.  
 TOTAL: 2,520 S.F. (9%)

PROPOSED LOT COVERAGE:  
 EXIST HOUSE: 1,737 S.F.  
 EXIST. FRONT PORCH: 254 S.F.  
 EXIST. CARRIAGE HOUSE: 529 S.F.  
 PROPOSED ADDITION: 493 S.F.  
 GARAGE 578 S.F.  
 TOTAL: 3,591 S.F. (12.7%) < 69,923.55 S.F. (35% MAX.)

PROPOSED DRIVEWAY: 2,948 S.F.  
 CONCRETE PAD 480 S.F.

1 PROPOSED SITE PLAN  
 SCALE: 1:20



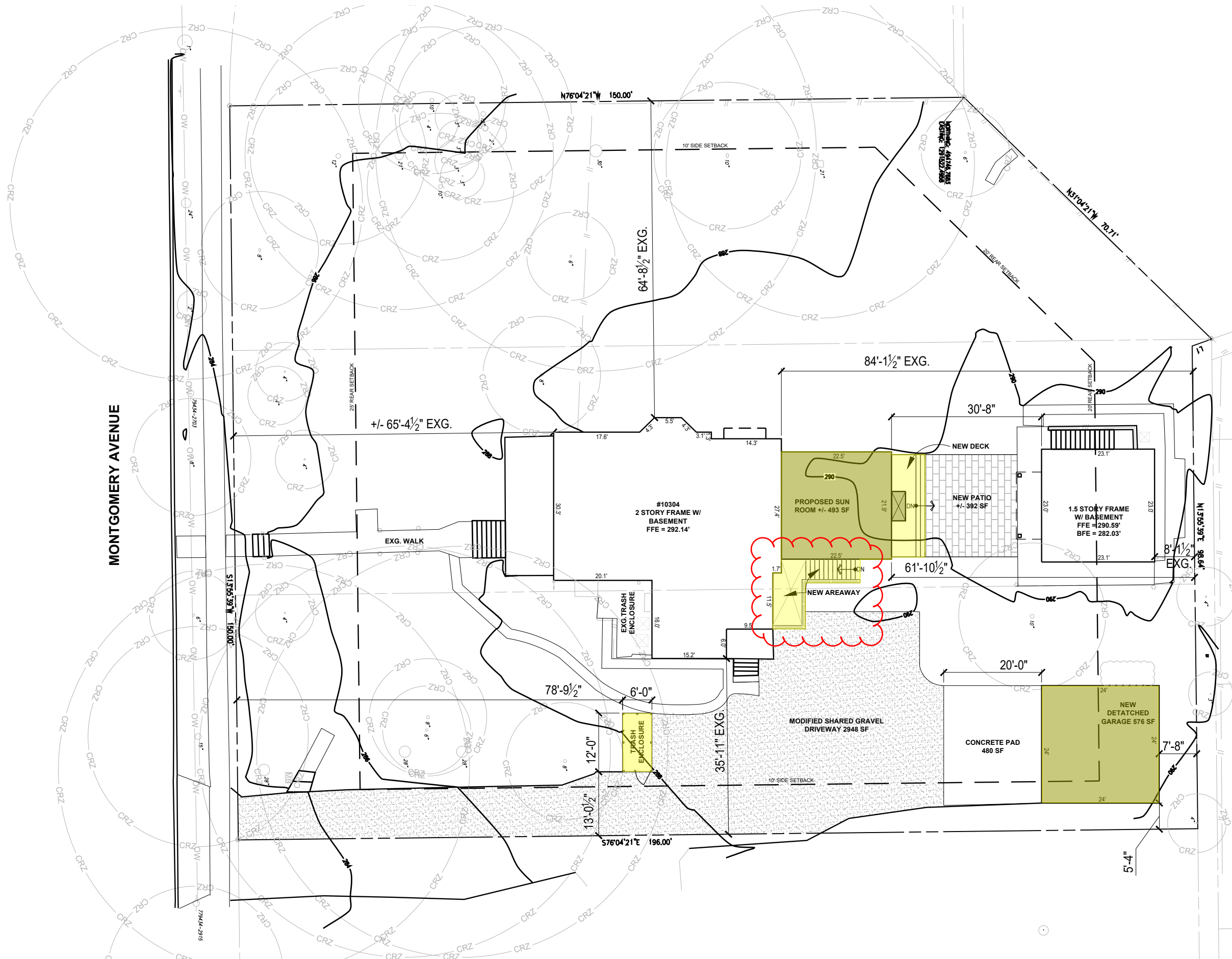
PLAN NORTH



GTM ARCHITECTS

# CAPRON RESIDENCE

PROPOSED



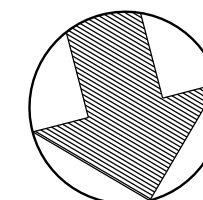
LOT SIZE (12, 13, & 14): 28,353 S.F.  
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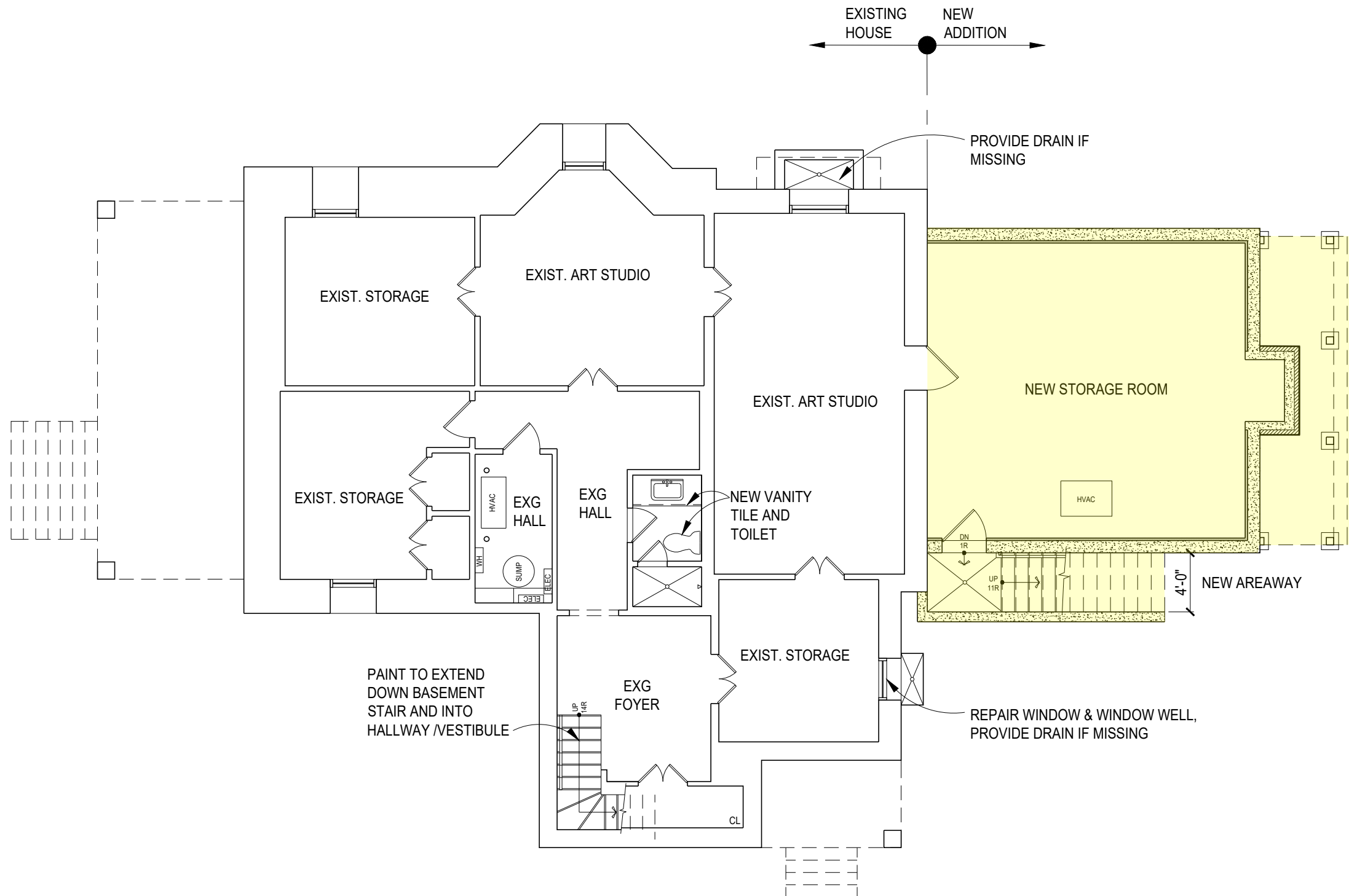
PLAN NORTH



GTM ARCHITECTS

# CAPRON RESIDENCE

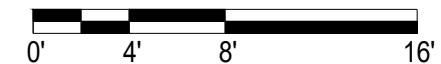


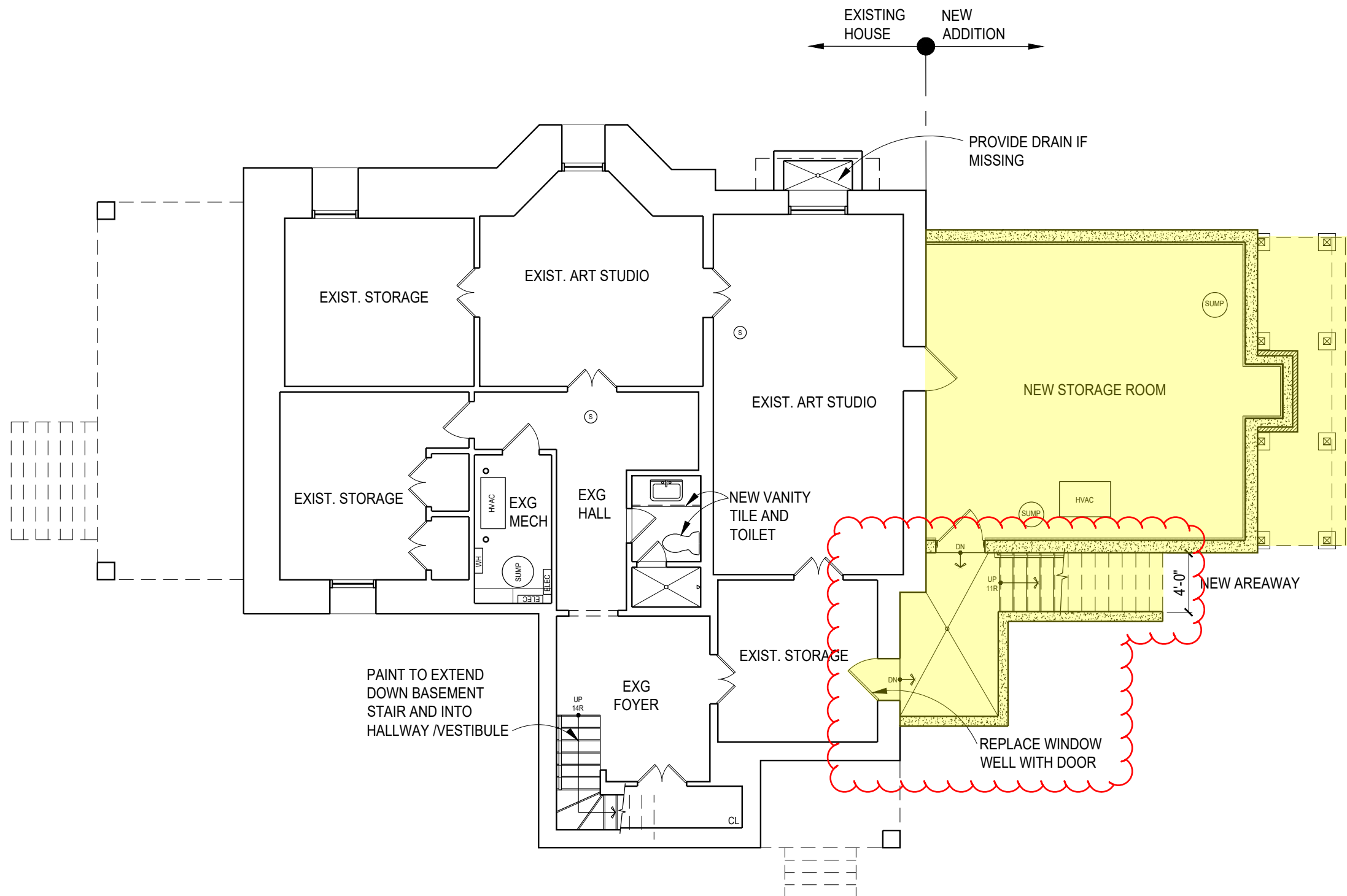


1 PROPOSED BASEMENT PLAN  
SCALE: 1/8"=1'-0"

BASEMENT EXIST:	1,737 S.F.
PROPOSED COND CRAWL	508 S.F.
TOTAL:	2,245 S.F.

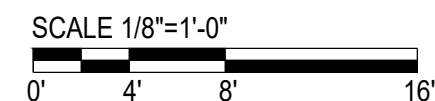
SCALE 1/8"=1'-0"

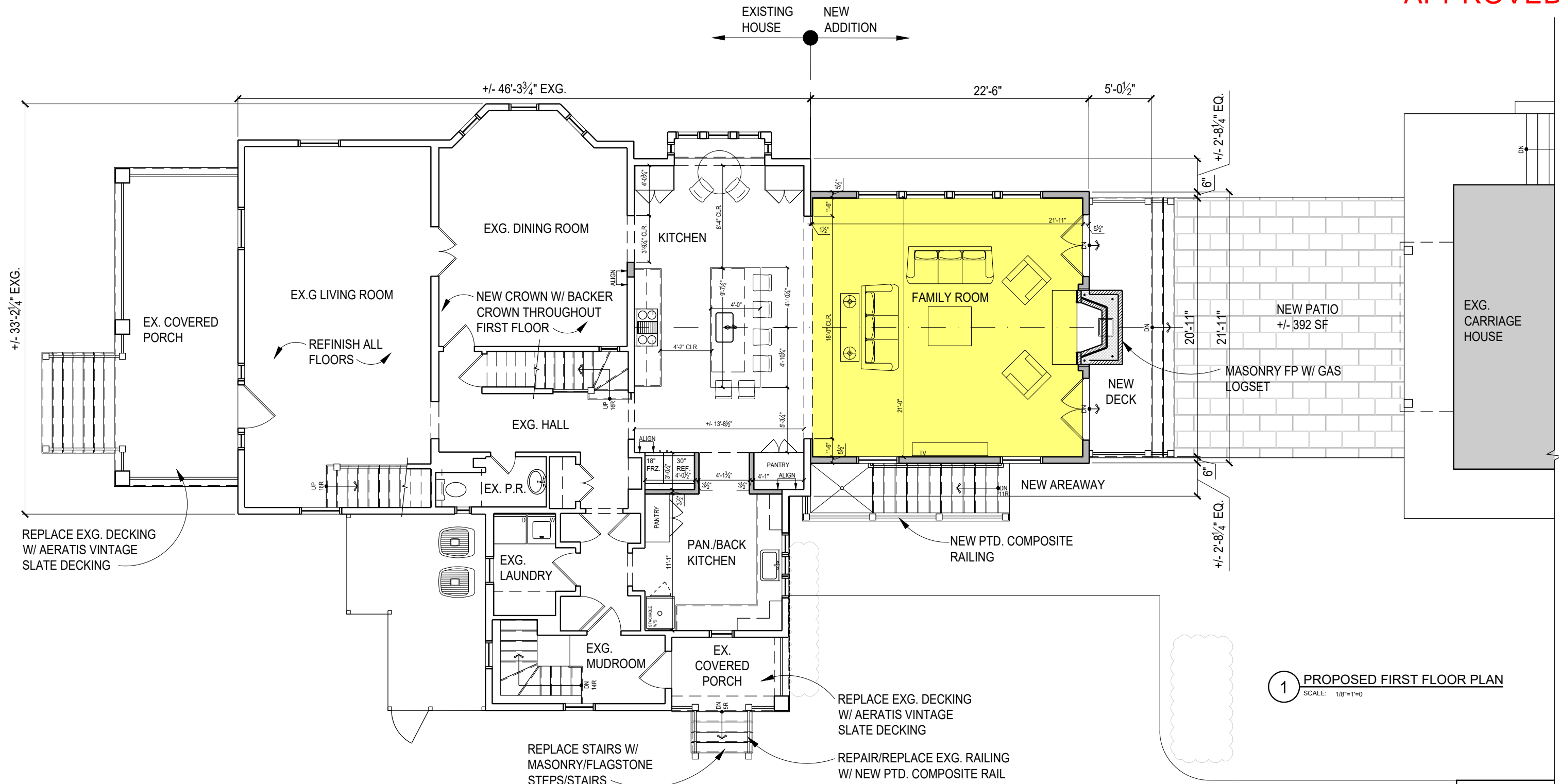




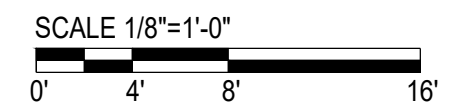
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SCALE: 1/8"=1'-0"

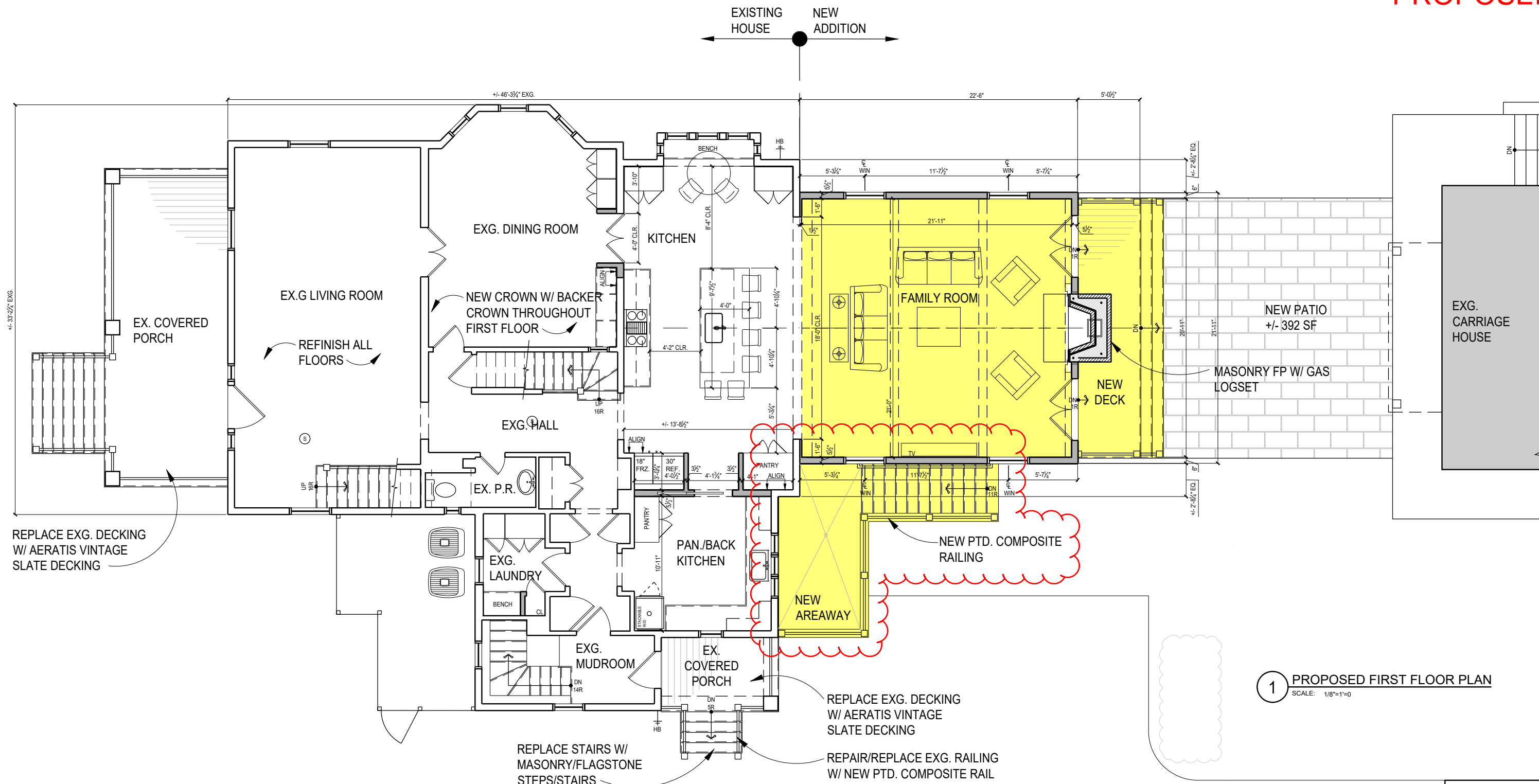
BASEMENT EXIST:	1,737 S.F.
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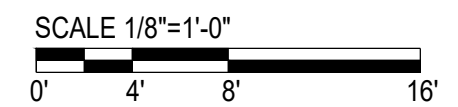
FIRST FLOOR EXIST:	1,737 S.F.
PROPOSED FIRST FLOOR ADDITION:	493 S.F.
REAR PORCH:	140 S.F.
TOTAL:	2,370 S.F.





1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

FIRST FLOOR EXIST:	1,737 S.F.
PROPOSED FIRST FLOOR ADDITION:	493 S.F.
REAR PORCH:	140 S.F.
TOTAL:	2,370 S.F.

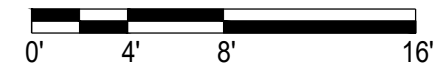




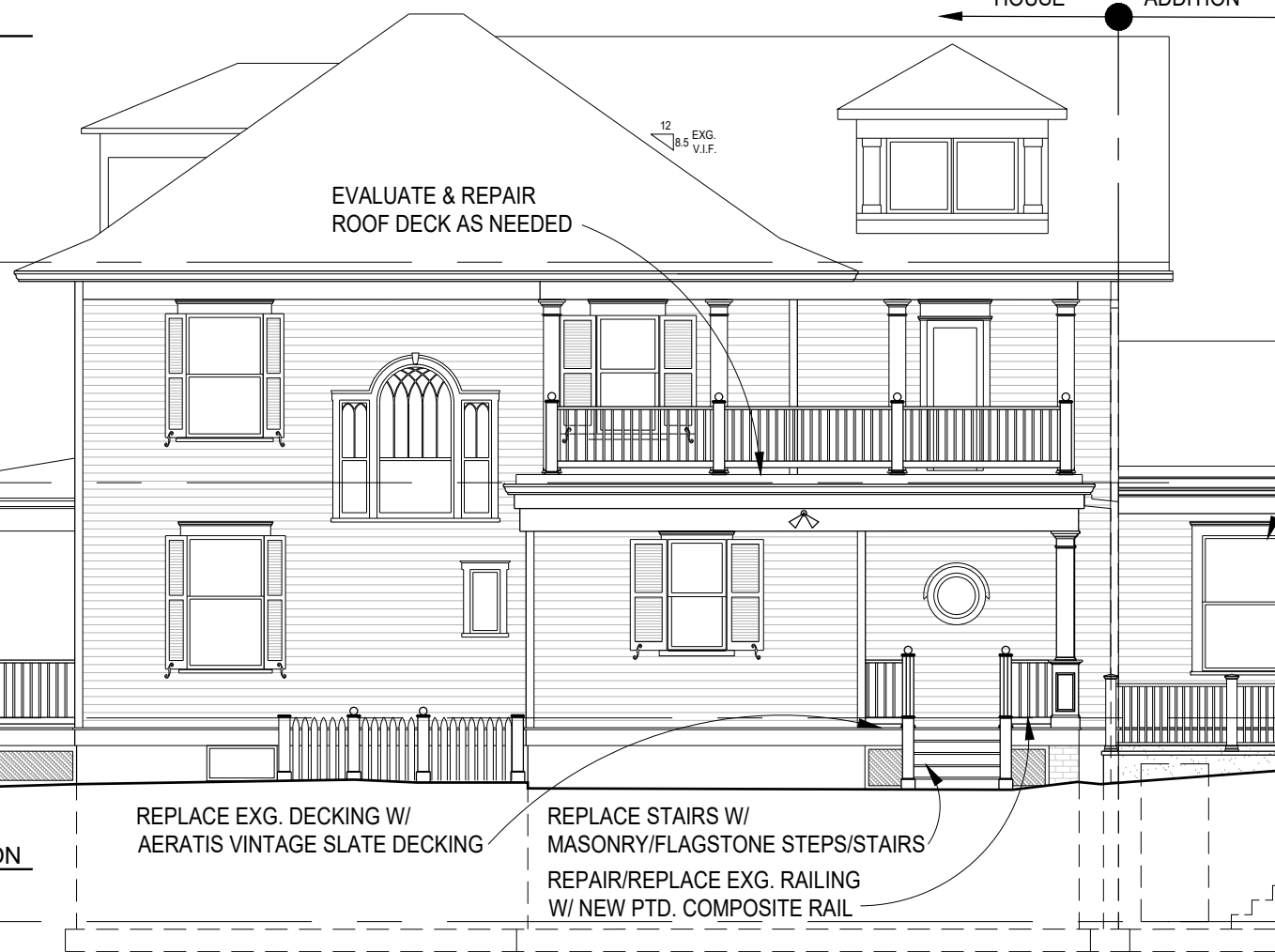
APPROVED

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND

SCALE 1/8"=1'-0"



1 EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

REPLACE EXG. DECKING W/ AERATIS VINTAGE SLATE DECKING

EVALUATE & REPAIR ROOF DECK AS NEEDED

REPLACE EXG. DECKING W/ AERATIS VINTAGE SLATE DECKING

REPLACE STAIRS W/ MASONRY/FLAGSTONE STEPS/STAIRS  
REPAIR/REPLACE EXG. RAILING  
W/ NEW PTD. COMPOSITE RAIL

NEW ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS

ASPHALT SHINGLES TO MATCH MAIN HOUSE

NEW STONE CHIMNEY

PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING

AZEK TRIM @ WINDOWS, EAVES & CORNERBOARDS

NEW PTD. COMPOSITE RAILING

AERATIS VINTAGE SLATE DECKING

PTD. PVC SKIRT BOARD TO MATCH EXIST. HOUSE

PARGED CONCRETE TO MATCH EXG.

NEW AREAWAY

3RD FIN. FLR EXISTING  
+/- 9'-9 7/16" EXG. V.I.F.  
2ND FIN. FLR EXISTING  
+/- 10'-5 1/4" EXG. V.I.F.  
1ST FIN. FLR EXISTING  
+/- 9'-0 1/2" EXG. V.I.F.  
GRADE  
BMINT FLR EXISTING

TOP PLATE  
10'-4"  
1ST FIN. FLR MATCH EXISTING  
GRADE  
+/- 9'-0 1/2" EXG. V.I.F.  
BMINT FLR MATCH EXISTING

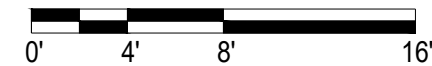
CAPRON RESIDENCE



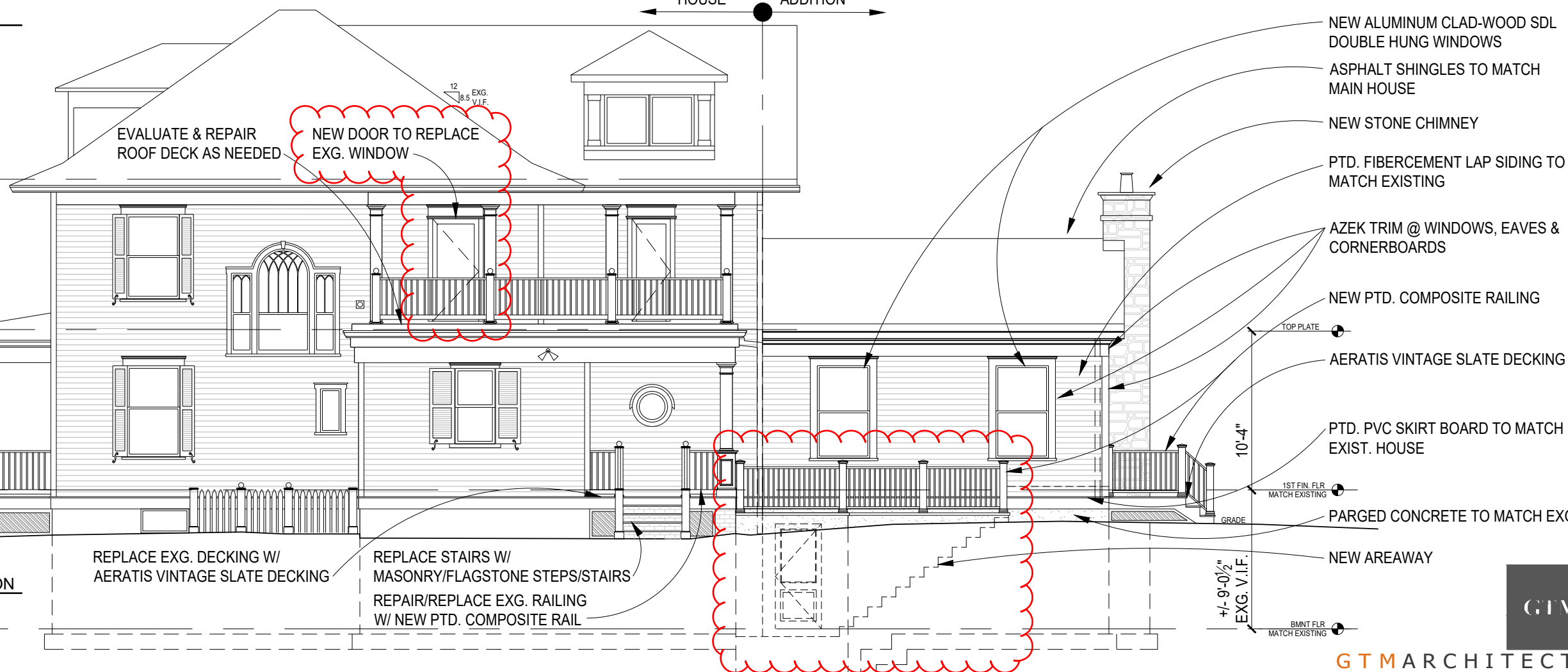
# PROPOSED

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND

SCALE 1/8"=1'-0"



**1** EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



**2** PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

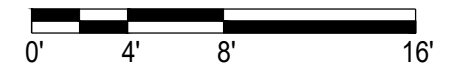
## CAPRON RESIDENCE



APPROVED

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND

SCALE 1/8"=1'-0"



1 EXISTING REAR ELEVATION  
SCALE: 1/8"=1'-0"

ASPHALT SHINGLES TO MATCH MAIN HOUSE

EVALUATE & REPAIR ROOF DECK AS NEEDED

EVALUATE & REPAIR GUTTERS AND CORNICE AS NEEDED

NEW PTD. COMPOSITE RAILING

REPAIR/REPLACE EXG. RAILING W/ NEW PTD. COMPOSITE RAIL

REPLACE STAIRS W/ MASONRY/FLAGSTONE STEPS/STAIRS

REPLACE EXG. DECKING W/ AERATIS VINTAGE SLATE DECKING

REPAIR WINDOW & WINDOW WELL, PROVIDE DRAIN IF MISSING

PROPOSED AREAWAY

NEW ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS

NEW STONE CHIMNEY

AZEK TRIM @ WINDOWS, EAVES & CORNERBOARDS

PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING

NEW PTD. COMPOSITE RAILING

AERATIS VINTAGE SLATE DECKING

PTD. PVC. SKIRT BOARD TO MATCH EXIST. HOUSE

NEW ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS

2 PROPOSED REAR ELEVATION  
SCALE: 1/8"=1'-0"



3RD FIN. FLR EXISTING

2ND FIN. FLR EXISTING

1ST FIN. FLR EXISTING

BMNT FLR EXISTING

+/- 9'-9 1/2" EXG. V.I.F.

+/- 10'-5 1/4" EXG. V.I.F.

+/- 9'-0 1/2" EXG. V.I.F.

TOP PLATE

10'-4"

1ST FIN. FLR MATCH EXISTING

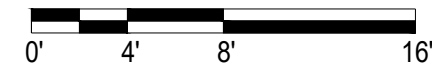
+/- 9'-0 1/2" EXG. V.I.F.

BMNT FLR MATCH EXISTING

PROPOSED

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND

SCALE 1/8"=1'-0"



1 EXISTING REAR ELEVATION  
SCALE: 1/8"=1'-0"

ASPHALT SHINGLES TO MATCH MAIN HOUSE

EVALUATE & REPAIR ROOF DECK AS NEEDED

EVALUATE & REPAIR GUTTERS AND CORNICE AS NEEDED

NEW PTD. COMPOSITE RAILING

REPAIR/REPLACE EXG. RAILING W/ NEW PTD. COMPOSITE RAIL

REPLACE STAIRS W/ MASONRY/FLAGSTONE STEPS/STAIRS

REPLACE EXG. DECKING W/ AERATIS VINTAGE SLATE DECKING

NEW DOOR TO REPLACE WINDOW WELL IN PROPOSED AREAWAY

PROPOSED AREAWAY

NEW ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS

NEW STONE CHIMNEY

AZEK TRIM @ WINDOWS, EAVES & CORNERBOARDS

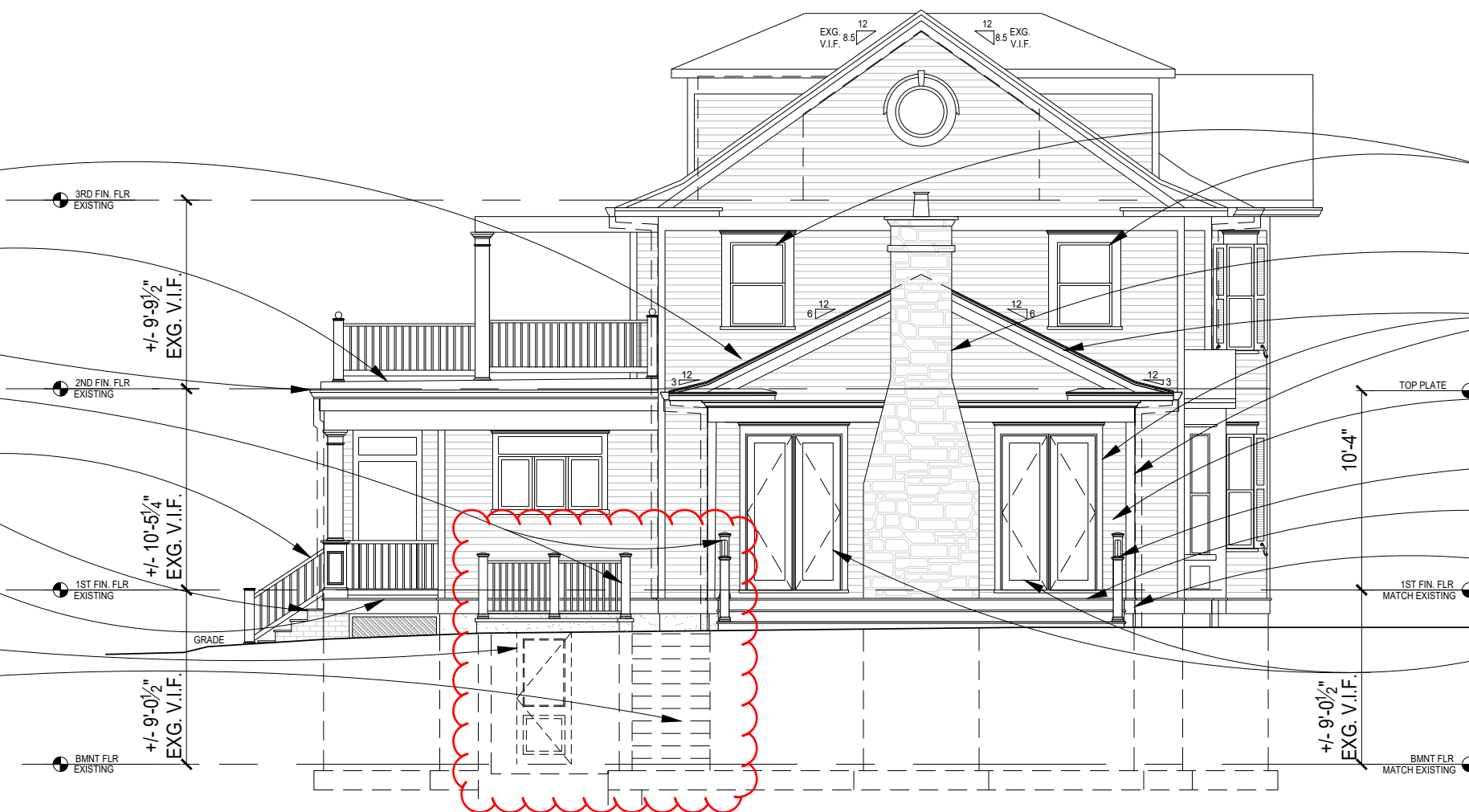
PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING

NEW PTD. COMPOSITE RAILING

AERATIS VINTAGE SLATE DECKING

PTD. PVC. SKIRT BOARD TO MATCH EXIST. HOUSE

NEW ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS



2 PROPOSED REAR ELEVATION  
SCALE: 1/8"=1'-0"

CAPRON RESIDENCE





ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND

SCALE 1/8"=1'-0"



1 EXISTING LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

- ASPHALT SHINGLES TO MATCH MAIN HOUSE
- NEW STONE CHIMNEY
- NEW ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS
- PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING
- PRD. AZEK TRIM @ WINDOWS, EAVES & CORNERBOARDS
- NEW PTD. COMPOSITE RAILING
- PTD. PVC SKIRT BOARD TO MATCH EXIST. HOUSE
- AERATIS VINTAGE SLATE DECKING
- PARGED CONCRETE TO MATCH EXG.

2 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

CAPRON RESIDENCE

NEW ADDITION    EXISTING HOUSE



PROPOSED

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND

SCALE 1/8"=1'-0"



1 EXISTING LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

ASPHALT SHINGLES TO MATCH MAIN HOUSE

NEW STONE CHIMNEY

NEW ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS

PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING

PRD. AZEK TRIM @ WINDOWS, EAVES & CORNERBOARDS

NEW PTD. COMPOSITE RAILING

PTD. PVC SKIRT BOARD TO MATCH EXIST. HOUSE

AERATIS VINTAGE SLATE DECKING

PARGED CONCRETE TO MATCH EXG.

2 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

CAPRON RESIDENCE

GTM

GTM ARCHITECTS

