

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9 Chevy Chase Circle, Chevy Chase	Meeting Date:	6/26/2024
Resource:	Master Plan Site #35/13-001A Newlands-Corby Mansion	Report Date:	6/18/2024
Applicant:	Gibson Homes LLC (Patrick Kauffman, agent)	Public Notice:	6/12/2024
Review:	HAWP	Tax Credit:	No
Case Number:	1072452	Staff:	Chris Berger
PROPOSAL:	Hardscape alterations		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with two conditions** the HAWP application with final approval delegated to staff:

1. The applicant must show the handrails on the plans if they will be installed at the altered stairs. Specifications must be provided if the handrails are different from the existing.
2. Applicant must provide a photo of the pavers on the patio at the opposite end of the reflecting pool as the specification for the pavers to be installed at the expanded terrace.

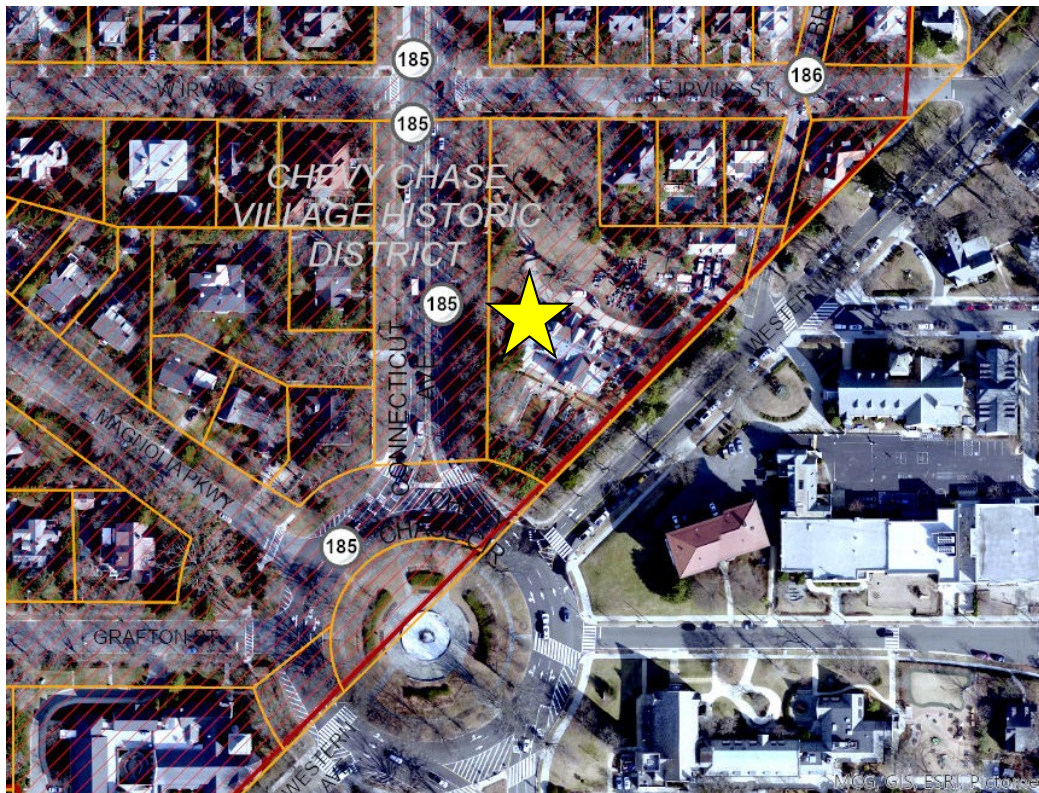


Figure 1: The subject property is indicated with a gold star.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Master Plan Site #35/13-001A, Newlands-Corby Mansion
 STYLE: Tudor Revival
 DATE: circa 1893, with circa 1909-1914 renovations

The Newlands-Corby Mansion is one of the first houses built by the Chevy Chase Land Company. The house was designed by architect Leon E. Dessez (best known for designing the Naval Observatory) for Francis G. Newlands, congressman and senator from Nevada, organizer and first president of the Chevy Chase Club, and one of the Chevy Chase Land Company's developers. The original house is thought to have been a collaboration by nationally-renowned Philadelphia architect Lindley Johnson and the noted Washington architect Leon Dessez, who also designed the Vice President's mansion in Washington. Newlands lived in the house from 1893 to 1898.

In 1909, the house was sold to William S. Corby, who was one of the heirs to the Corby "Mother's Bread" fortune. Corby renamed the house Ishpiming, which is Chippewa for high ground. Corby hired Arthur Heaton, the first supervising architect of Washington National Cathedral, to renovate the house. The renovations, which occurred between 1911 and 1914, included gutting the center of the house to create a 30' high hall with an Aeolian Duo-Art Organ. Heaton's plans for the house are now housed at the Library of Congress. In 1915, Corby purchased an adjacent lot, expanding the property to nearly two acres.

This property was designated as an Individual Master Plan site separate from the Chevy Chase Historic District in 1989 in recognition of its extraordinary architectural and historical significance. The Newlands-Corby Mansion is historically significant as one of the first houses built in Chevy Chase and because of its association with Senator Francis B. Newlands and William Corby. It also derives architectural importance from its classic Tudor Revival styling and its prominence as a focal point of entry into the County from Washington, DC at Chevy Chase Circle. The relationship of the architecture and landscape design of the house and the Chevy Chase Circle is particularly significant and views to the property are an important character defining aspect of this historic site.

PROPOSAL

The applicants propose to remove the stone coping that forms the edge of the existing terrace at the back of the mansion. The terrace will then be expanded into the existing planter bed by 2 feet, 7 inches, an area totaling approximately 110 square feet. The edge of the expanded terrace will be stone to match the stone on the patio at the opposite end of the reflecting pool, and the wall will be stone clad. An approximately 3-foot tall railing will be installed at the edge of the expanded terrace to match the railing at the pagoda at the opposite end of the reflecting pool. A new drain will be installed at the base of the terrace wall.

As part of the project, the 14-foot wide concrete stairs will be narrowed to 8 feet to match the width of the stairs at the nearby lower terrace. The stone end walls to either side of the existing stairs will be removed, and the space they currently occupy will be part of the expanded terrace.

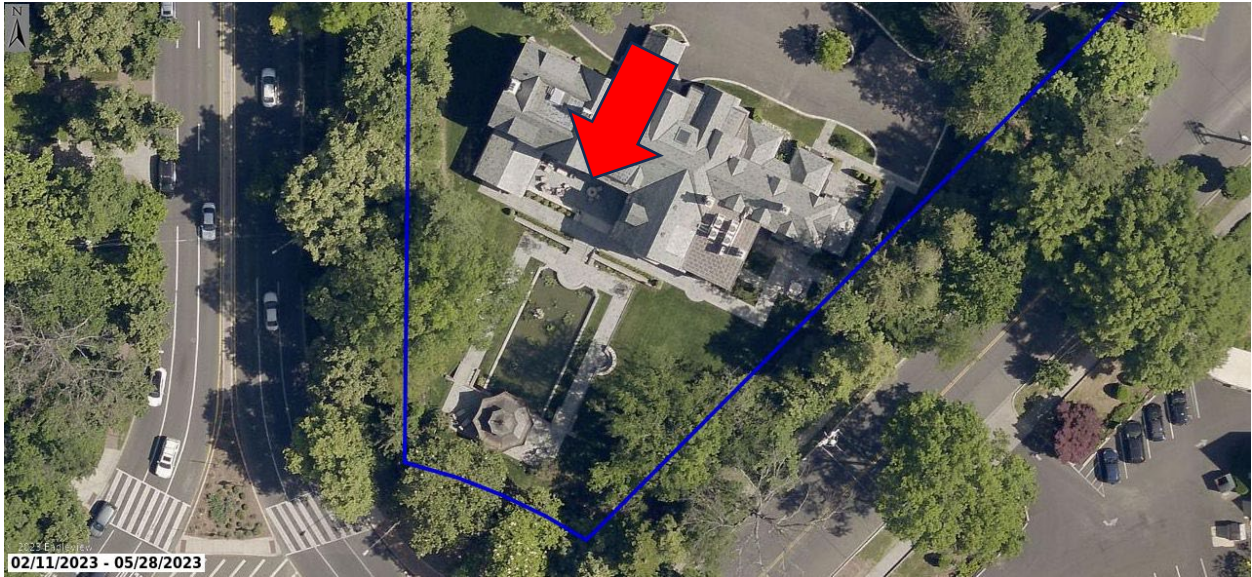


Figure 2: The terrace is indicated with a red arrow in this 2023 aerial from CONNECTExplorer.



Figure 3: The existing terrace to be altered is shown in in these photos.



Figure 4: The red arrow indicates the location of patio to be expanded, left, and the stairs to be narrowed are located on the right.

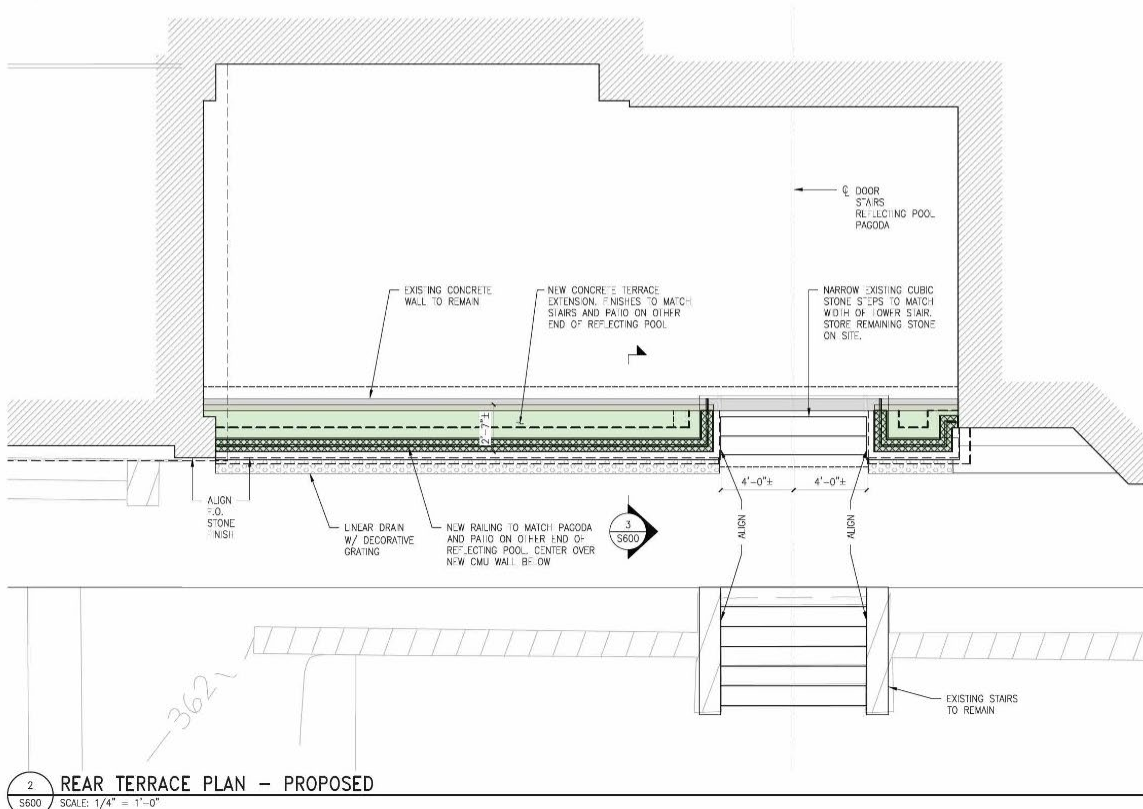
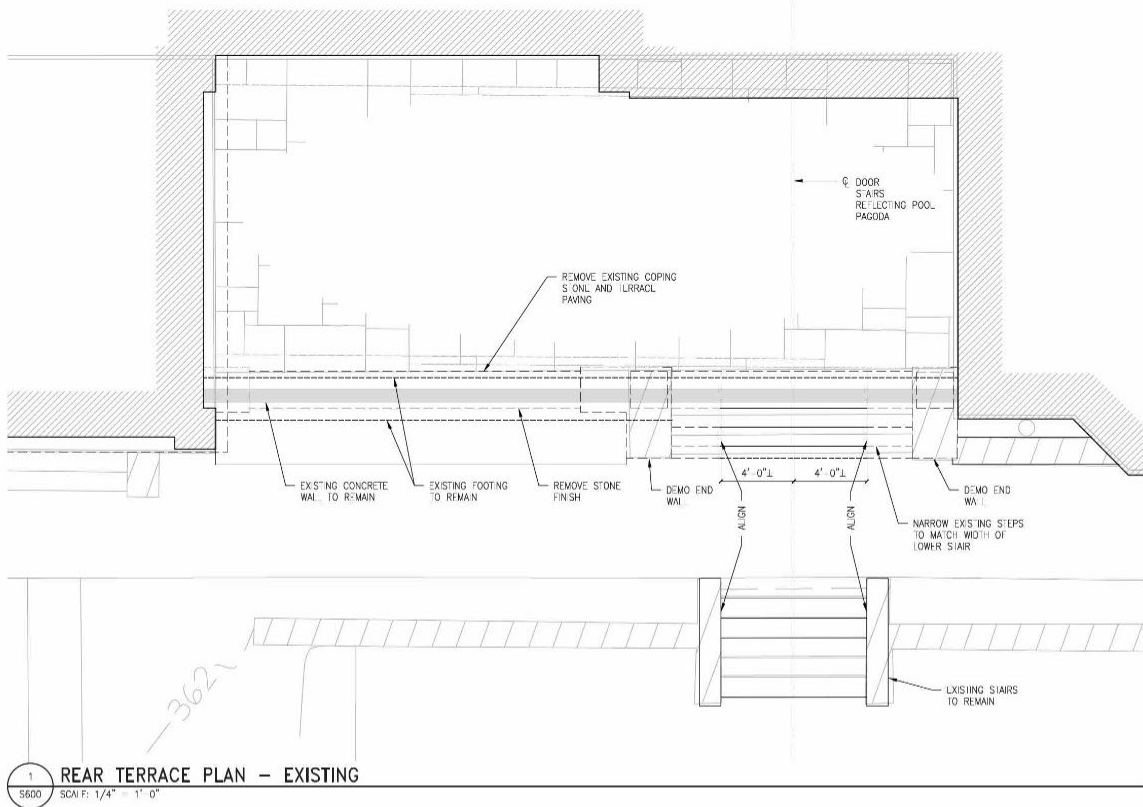
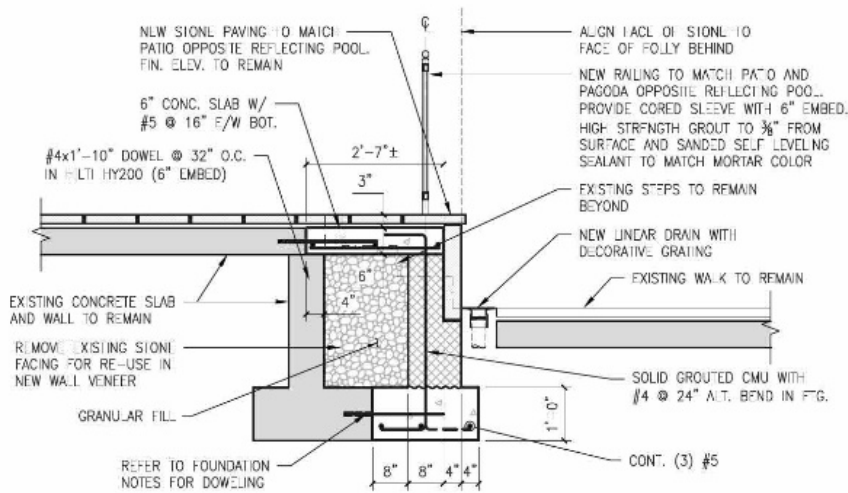


Figure 5: The existing, top, and proposed site plan for the terrace. Alterations include extending the terrace 2 feet, 7 inches, and reducing the width of the stairs.



3 TERRACE EXTENSION SECTION
S600 SCALE: 1/2" = 1'-0"

Figure 6: The detail for the expanded terrace.



Figure 7: The railing at the edge of the expanded terrace will match the railing at the gazebo.

APPLICABLE GUIDELINES

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code ("Chapter 24A"), the *Secretary of the Interior's Standards for Rehabilitation* ("Standards"), and pertinent guidance in applicable master plans. The pertinent information in these documents, incorporated in their entirety by reference herein, is outline below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior’s Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site, the Commission’s focus in reviewing the proposal should be the *Secretary of the Interior’s Standards for Rehabilitation*. The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed hardscape alterations and recommends approval. The expansion of the terrace, installation of the railing and drain, and alteration to the stairs will affect a small area of the rear terrace of the Newlands-Corby Mansion Master Plan Historic Site so it will not constitute a substantially alteration in accordance with Chapter 24A-8(b)(1). Staff finds the changes compatible in character with the historic site in conformance with Chapter 24A-8(b)(2). The end walls will be demolished to accommodate the expanded terrace, and the stone and railing at the expanded terrace will match materials and designs already present in the rear yard. None of the work will be visible from the right of way. Finally, the work meets the pertinent *Standards* because the historic character of the property will be retained and preserved; it will not destroy historic materials that characterize a property; and if removed in the future the essential form and integrity of the historic property and its environment will be unimpaired.

Staff seeks a condition that the applicant add the handrails to the plans at the narrowed stairs and provide specifications if they differ from the existing handrails. Staff seeks another condition that the applicant provide a photo of the pavers on the patio at the opposite end of the reflecting pool to serve as the specification for the pavers to be installed at the expanded terrace.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with two conditions** the HAWP application with final approval delegated to staff:

1. The applicant must show the handrails on the plans if they will be installed at the altered stairs. Specifications must be provided if the handrails are different from the existing.
2. Applicant must provide a photo of the pavers on the patio at the opposite end of the reflecting pool as the specification for the pavers to be installed at the expanded terrace.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) having found that the proposal, as modified by the condition, is compatible in character with the site and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1072452 DATE ASSIGNED

APPLICANT:

Name: GIBSON HOMES, LLC Address: 5272 RIVER ROAD SUITE 600 Daytime Phone: 301-518-3203

E-mail: al@gibsonhomes.llc City: BETHESDA Zip: 20817 Tax Account No.:

AGENT/CONTACT (if applicable):

Name: PATRICK KAUFFMAN Address: 10 SOUTH BENTZ STREET Daytime Phone: 301-703-2340

E-mail: MCPERMITSCASEENGINEERING.COM City: FREDERICK Zip: 21701 Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property M: 35-13-1

Is the Property Located within an Historic District? X Yes/District Name CHEVY CHASE VILLAGE No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 9 Street: CHEVY CHASE CIRCLE Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE Lot: 1 Block: 26 Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction [] Addition [] Demolition [] Grading/Excavation [] Deck/Porch [x] Fence [] Hardscape/Landscape [] Roof [] Shed/Garage/Accessory Structure [] Solar [] Tree removal/planting [] Window/Door [] Other: []

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patrick Kauffman (Agent for Owner) 05/29/2024 Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Adrienne Arsht Revocable Trust 9 Chevy Chase Circle Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>Patrick Kauffman CAS Engineering 10 South Bentz Street Frederick, MD 21701</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
	<p>6000 Western Avenue, Chevy Chase MD 20815</p> <p>8 East Irving Street, Chevy Chase MD 20815</p> <p>6 East Irving Street, Chevy Chase MD 20815</p> <p>4 East Irving Street, Chevy Chase MD 20815</p>
	<p>3 East Irving Street, Chevy Chase MD</p> <p>1 East Irving Street, Chevy Chase MD</p> <p>1A East Irving Street, Chevy Chase MD</p> <p>5810 Connecticut Avenue, Chevy Chase MD</p>
	<p>5808 Connecticut Avenue, Chevy Chase MD</p> <p>5804 Connecticut Avenue, Chevy Chase MD</p> <p>5800 Connecticut Avenue, Chevy Chase MD</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The house is a three story Tudor Revival style house with an rough-cut ashlar stone on the first level that has been painted, and typical Tudor style timber-framed stucco exterior walls on second and third levels. The windows are double hungs and casements, made with wood frames and either wood or leaded divisions and single-paned glass. The roof is slate and formed largely by intersecting prominent gables with highly decorative wood rake boards and exposed rafter ends. There are gabled and shed dormers, as well as a porte cochere covering the entry door. The house was built for Senator Newlands by architect Leon Dessez and was one of the first houses built by the Chevy Chase Land Company . William Corby acquired the house in 1909 and renovated the house and garage extensively to its present state under the hand of architect Arthur Heaton.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Proposed expansion of rear, uncovered terrace. See attached plans for details.

Work Item 1: SEE PLANS

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

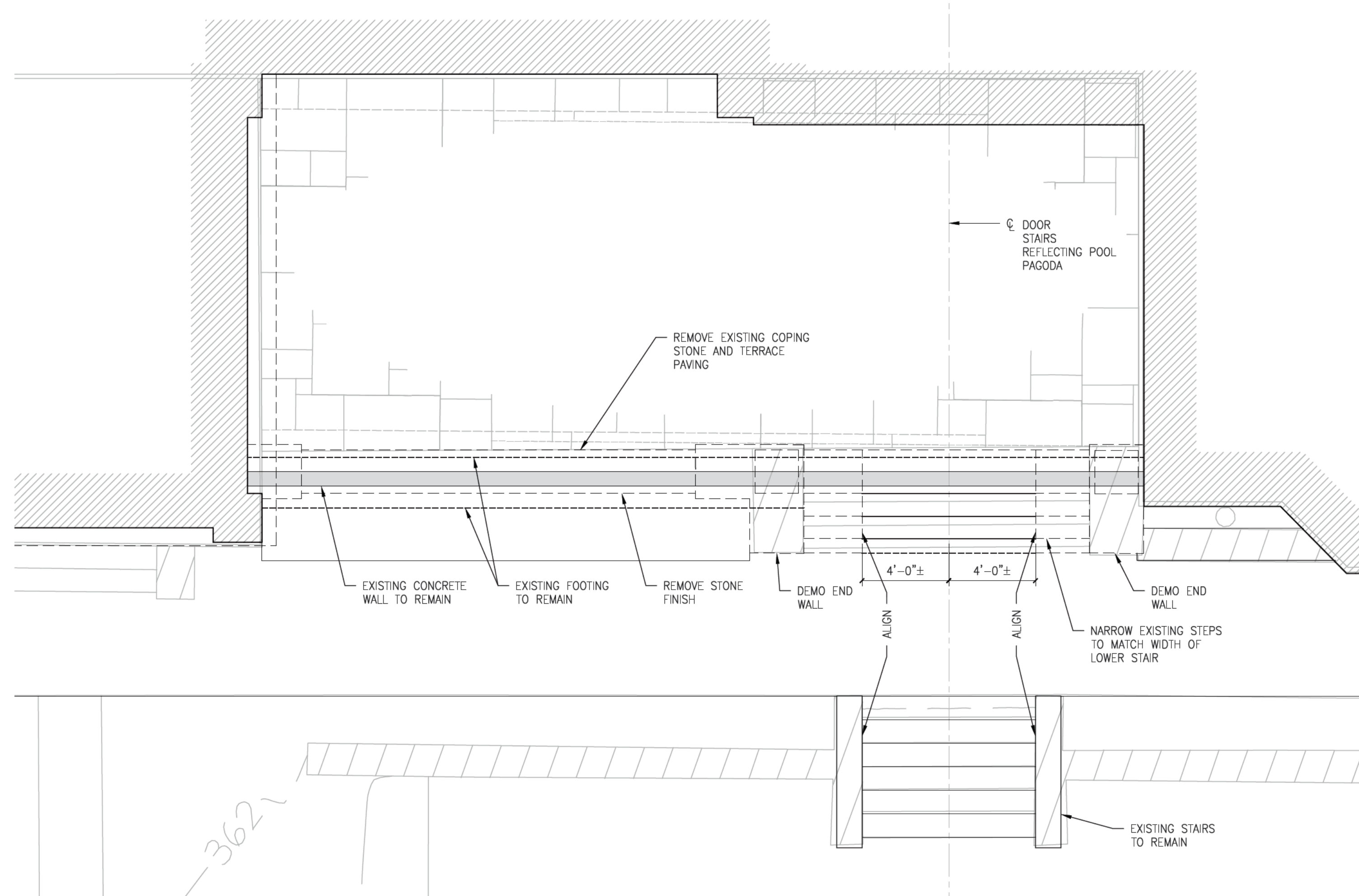
Work Item 3: _____

Description of Current Condition:

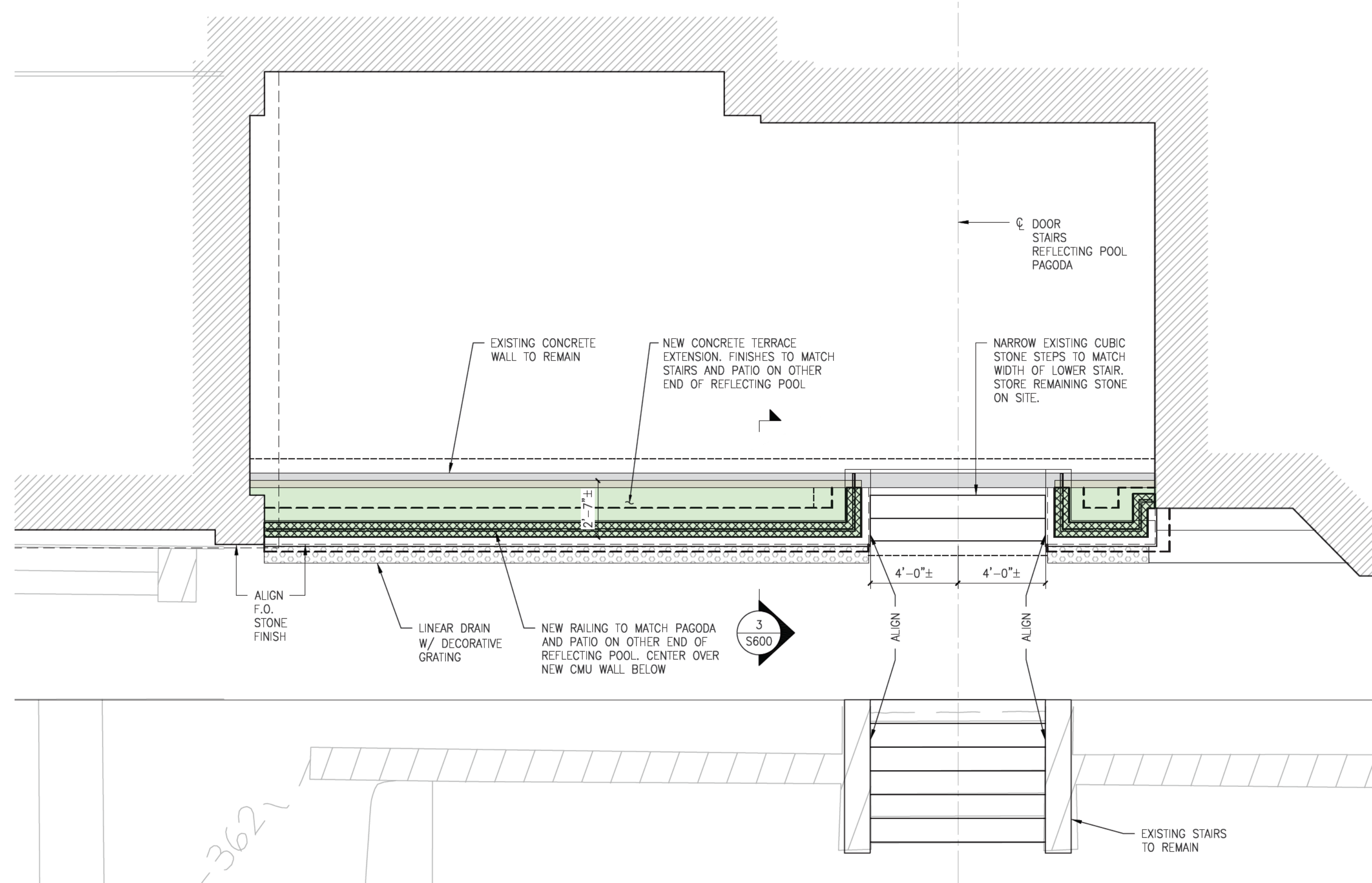
Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



1 REAR TERRACE PLAN - EXISTING
S600 SCALE: 1/4" = 1'-0"



2 REAR TERRACE PLAN - PROPOSED
S600 SCALE: 1/4" = 1'-0"

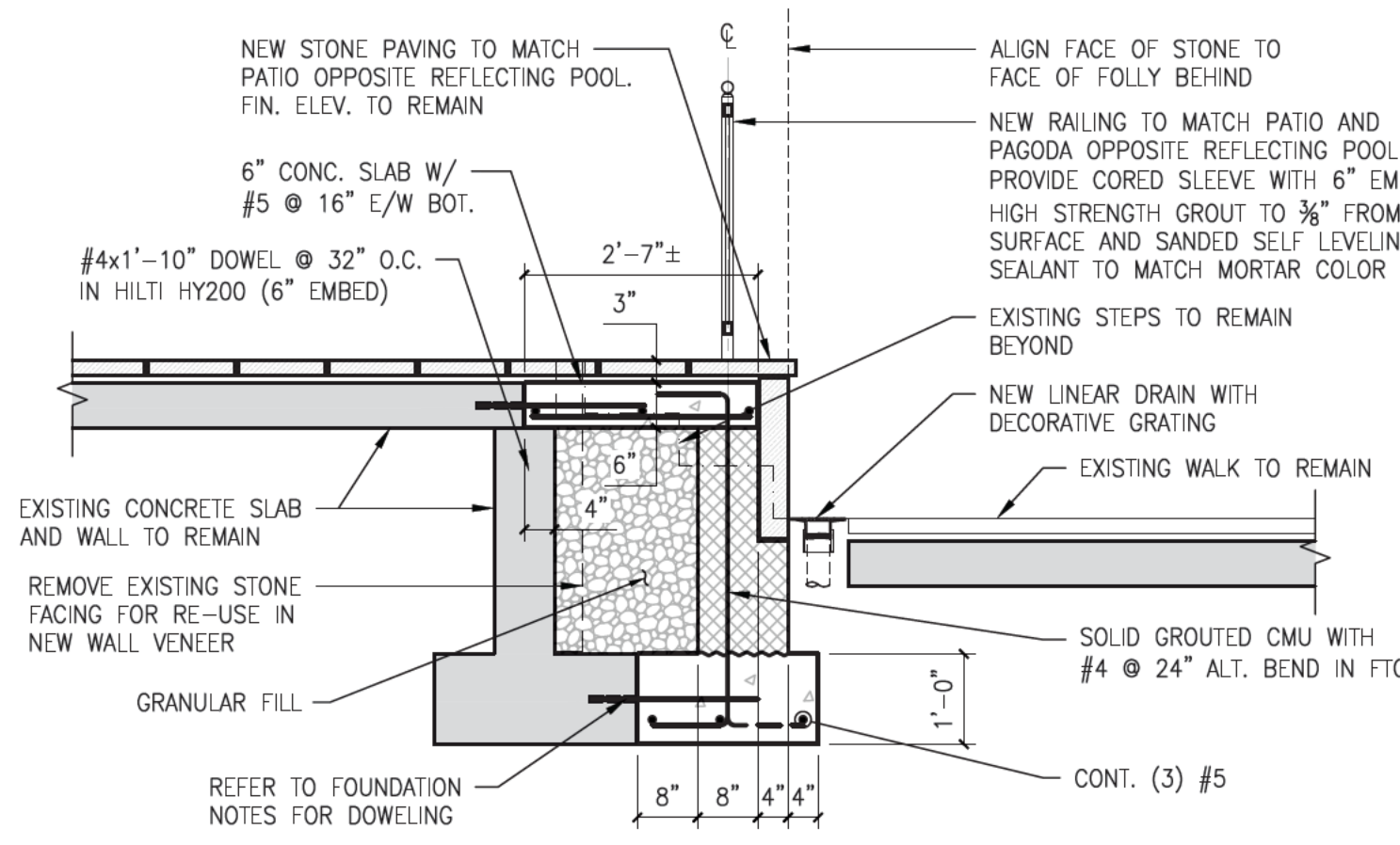
GENERAL NOTES

- GENERAL**
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY, AS PROJECT CONDITIONS REQUIRE. A PROFESSIONAL ENGINEER, LICENSED BY THE GOVERNING STATE IN WHICH THE PROJECT IS LOCATED AND HIRED BY THE CONTRACTOR, SHALL DESIGN ALL SHORING AND SHEETING AND SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
 - ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS, INCLUDING THE INTERNATIONAL BUILDING CODE 2015 AS MODIFIED BY THE 2017 DISTRICT OF COLUMBIA DCOR-12A BUILDING CODE.
 - DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.
 - THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS REPRESENTS THE DESIGN INTENT OF THE PROPOSED CONSTRUCTION. ELECTRONIC VERSIONS (PDF, DWG) OF THESE DRAWINGS SHOULD NOT BE USED TO DETERMINE DIMENSIONS OR GATHER ANY INFORMATION THAT IS NOT SPECIFICALLY LABELED OR OTHERWISE DENOTED IN PLAN, SECTION, OR DETAIL. DUPLICATION OF THESE DRAWINGS FOR USE IN THE PREPARATION OF SHOP DRAWINGS IS NOT ACCEPTABLE. THIS INCLUDES ANNOTATED HARD-COPIES AND DIRECT REUSE OF ELECTRONIC FILES.

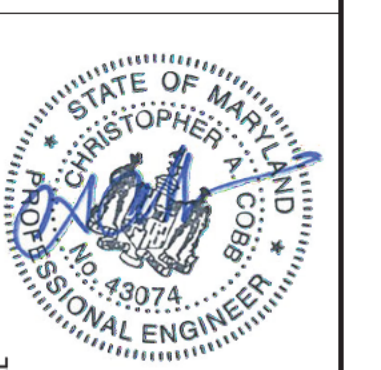
- FOUNDATIONS**
- NEW BUILDING FOUNDATIONS ARE BASED ON THE PRESUMPTIVE VALUES PER IRC R401.4.1 AND SHALL BEAR ON UNDISTURBED SOIL HAVING MINIMUM BEARING CAPACITY OF 1500 PSF. ADEQUACY OF BEARING STRATUM SHALL BE VERIFIED IN FIELD BY A LICENSED GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQUIRED. REFER TO THE UNDERPINNING NOTES FOR ADDITIONAL INFORMATION.
 - FINISH ALL FOOTING EXCAVATIONS BY HAND. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. PROTECT FOOTINGS FROM FROST AFTER THEY ARE PLACED.
 - AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS, STEP NEW FOOTING TO MATCH EXISTING. DRILL AND GROUT 2 #5 BARS x 2'-6" LONG INTO EXISTING FOOTING IN HILTI HIT-HY200 ADHESIVE WITH 6" EMBEDMENT.
 - DO NOT PLACE FILL AGAINST FOUNDATION WALLS UNLESS ADEQUATELY BRACED BY COMPLETED FLOORS OR OTHER MEANS DEEMED APPROPRIATE BY THE ARCHITECT.
 - FILL AND BACKFILL MATERIAL- CLEAN RUN OF BANK MATERIAL, FREE OF DELETERIOUS ORGANIC MATERIALS.
 - ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL CONFORM TO THE SPECIFICATIONS OUTLINED IN THE CONCRETE MIX DESIGN SCHEDULE.
 - REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI MANUAL OF CONCRETE PRACTICE (ACI 315), LOCALLY APPROVED EDITION.
 - WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185, WITH A MINIMUM ULTIMATE TENSILE STRENGTH OF 70,000 PSI.
 - CONCRETE WORK SHALL BE DESIGNED, REINFORCED, PLACED AND CURED IN CONFORMANCE WITH THE LOCALLY APPROVED EDITION OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE", AND ALL RECOMMENDED PRACTICES CONTAINED THEREIN SHALL BE CONSIDERED MANDATORY FOR THIS PROJECT.
 - PROVIDE MINIMUM TEMPERATURE REINFORCEMENT, AS REQUIRED BY ACI-318, IN ALL SLABS AND WALLS WHERE REINFORCEMENT IS NOT INDICATED ON DRAWINGS.
 - COORDINATE SIZE AND LOCATION OF ALL OPENINGS AND PIPE SLEEVES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6".
 - PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
SLABS: 3/4"
BEAMS, COLUMNS: 1 1/2"
FOOTINGS: 3"
EXTERIOR WALLS: 2" FOR #6 OR LARGER, 1 1/2" FOR #5 OR SMALLER
INTERIOR WALLS: 3/4"
 - ALL GROUT SHALL BE NON-SHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI.
 - UNLESS SPECIFICALLY WAIVED BY ENGINEER OF RECORD, CEMENTITIOUS MATERIAL REPLACEMENT FOR CONCRETE MIXES AT ALL CAST-IN-PLACE CONCRETE SHALL BE 10% MINIMUM AND 33% MAXIMUM USING ONE OF THE FOLLOWING: GROUND GRANULATED BLAST FURNACE SLAG (GGFS) OR FLY ASH.
 - WHERE CONCRETE IS PLACED AGAINST AND DOWELED TO HARDENED CONCRETE AND/OR WHERE A ROUGHENED SURFACE IS INDICATED IN THE STRUCTURAL DRAWINGS, THE HARDENED CONCRETE SURFACE SHALL BE CLEAN AND FREE OF LAITANCE AND SHALL BE ROUGHENED TO A FULL AMPLITUDE OF APPROXIMATELY 1/4".

- CONCRETE MASONRY WORK**
- ALL CONCRETE MASONRY WORK SHALL CONFORM TO THE "NATIONAL CONCRETE MASONRY ASSOCIATION SPECIFICATIONS" (LOCALLY APPROVED EDITION) AND THE MASONRY STANDARDS JOINT COMMITTEE SPECIFICATIONS (ACI 530.1 - LOCALLY APPROVED EDITION).
 - CONCRETE BLOCK WORK SHALL BE OF LIGHTWEIGHT AGGREGATE AND CONFORM TO THE FOLLOWING STANDARDS:
SOLID BLOCK: ASTM C90, GRADE NI (F'm: 1900 PSI ON GROSS AREA)
HOLLOW BLOCK: ASTM C90, GRADE NI (F'm: 1900 PSI ON NET AREA)
 - COORDINATE BLOCK TYPES WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.
 - FILL ALL VOIDS SOLID IN PIERS AND DIRECTLY UNDER BEARING LOCATIONS AND ALL BELOW-GRADE FOUNDATION WALLS.
 - WHERE A WOOD POST OR PIPE COLUMN BEARS DIRECTLY ON A CONCRETE MASONRY WALL, FILL ALL BLOCKS SOLID WITHIN A 32" WIDTH, CENTERED ON THE POST OR PIPE COLUMN.
 - MORTAR SHALL BE ASTM C270, TYPE S FOR ALL WORK.
 - THE NET AREA COMPRESSIVE STRENGTH OF NEW MASONRY ASSEMBLIES, F'm, SHALL MEET OR EXCEED 1500 PSI.
 - UNLESS NOTED OTHERWISE, ALL GROUT SHALL BE COARSE-TYPE, SHALL MEET ASTM C476-02, AND ITS COMPRESSIVE STRENGTH SHALL EXCEED 1/4 OR 2000 PSI, WHICHEVER IS GREATER.
 - WHERE GROUTED CELLS DO NOT EXCEED 4" IN DIAMETER, FINE GROUT SHALL BE USED.
 - HORIZONTAL REINFORCING: NO LESS THAN NO. 9 GAUGE TRUSS-TYPE DUR-O-WAL OR EQUAL, SPACED @ 16" O.C. VERTICALLY AND ABOVE ALL LINTELS.
 - VERTICAL REINFORCING: NO LESS THAN #4 SPACED @ 48" O.C. HORIZONTALLY AND AT THE EDGES OF ALL WALL OPENINGS, INTERSECTIONS AND CORNERS.
 - PROVIDE FABRICATED CORNER SECTIONS AT ALL CORNERS AND INTERSECTIONS.
 - ALL BLOCK DIMENSIONS INDICATED ON STRUCTURAL PLANS ARE NOMINAL DIMENSIONS.



3 TERRACE EXTENSION SECTION
S600 SCALE: 1/2" = 1'-0"



SEAL

PROJECT NO.	DATE	REVISIONS
24034	2024-05-28	

GENERAL NOTES

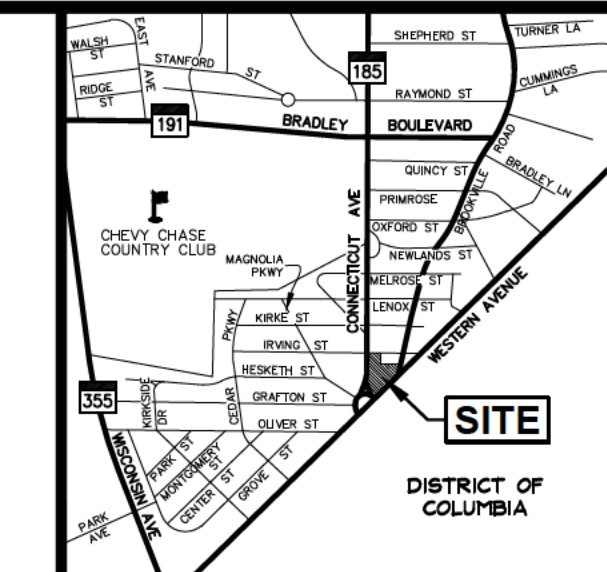
- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated April, 2020.
- Updated survey of site improvements are based upon surveys performed by CAS Engineering, dated March, 2023.
- Total lot area: Lot 1 = 66,405 sq. ft.
Lot 2 = 16,875 sq. ft.
Total = 83,280 sq. ft. (1.912 Acres)
- Property is located on Tax Map NMS41 and WSSC 2007 Sheet 208NW04.
- Property is located on Sales Survey Map Number 27.
Soil type(s): ZUB and O&B, Glenelg-Urban land complex, HSO "B".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
- Property is located in the Little Falls Watershed.
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water - Washington Suburban Sanitary Commission
Electric - PEPCO
Telephone - Verizon
Gas - Washington Gas
- Property is located in the incorporated municipality of Chevy Chase Village.
- Property is not located in a Special Protection Area.
- Property is a Historic Site (Newlands-Corby Mansion) and is located in the Chevy Chase Village Historic District.

LEGEND

- EXISTING FEATURES**
- Ex. Storm Drain with Manhole
 - Ex. Sewer Manhole and Invert
 - Ex. Water Line with Valve
 - Ex. Irrigation Control Valve
 - Ex. Ground Light
 - Ex. Light Post
 - Ex. Overhead Utility with Pole
 - Ex. Underground Electric Line
 - Ex. Underground Conduit Line
 - Ex. Two-And-Ten-foot Contours
 - Ex. Spot Elevation
 - Ex. Chain Link or Wire Fence
 - Ex. Wood or Stockade Fence
 - Ex. Retaining Wall
 - Ex. Tree (<24" D.B.H.)
 - Ex. Significant Tree (>24" D.B.H.)
 - Ex. Specimen Tree (>30" D.B.H.)

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-253-7777, OR LOG ON TO WWW.MISSUTILITY.COM 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THESE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 56A OF THE MONTGOMERY COUNTY CODE.



CAS JOB NO.:	20-073
DATE:	03/2023
DATE	REVISION
04/30/20	JMO - Boundary/Topographic Survey issued to Client, Builder, and Architect.
04/30/20	JMO - Updated Topographic Survey issued to Builder and Architect - Added top of wall elevations - Clarified extent of the covered patio.
07/13/20	JMO - Gas line locations updated based on drawings received 07/13/20.
03/21/23	JMO - Updated Topographic Survey issued to Gibson Homes, LLC.

VICINITY MAP
ADC MAP 5407, GR. D H4, SCALE: 1" = 2000'

**Lot 1 and Lot 2, Block 26, Chevy Chase, Section 2
Plat Book 2, Plat No. 106, Recorded 09/19/1909**
Bethesda (7th) Election District, Chevy Chase, MD

**9 Chevy Chase Circle
Chevy Chase, Maryland 20815**

CAS ENGINEERING

CAS ENGINEERING-MD
30 South Davis Street
Frederick, Maryland 21701
301-607-8031 Phone
info@caseng.com
www.caseng.com

CAS ENGINEERING-DC, LLC
4536 MacArthur Boulevard, NW, 2nd Floor
Washington, DC 20007
202-393-7200 Phone
info@cas-dc.com
www.cas-dc.com

OWNER/APPLICANT
Adrienne Arsh
9 Chevy Chase Circle
Chevy Chase, MD 20815
202-234-5777
aa@arsh.com

BUILDER
Gibson Homes, LLC
5272 River Road, Suite 600
Bethesda, MD 20817
Attn: Al Royer
301-518-3203
al@gibsonhome.com

**9 Chevy Chase Circle
Lot 1 and Lot 2, Block 26
Chevy Chase, Section 2
- Chevy Chase Village -
Boundary Survey and
Topographic Survey (2023)**

SHEET TITLE:
Boundary Survey and
Topographic Survey

1 OF 1



PETITBON
ALARM CO.
Professional Alarm Protection
1-800-555-0000
212-555-0000















DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 5/29/2024

Application No: 1072452
AP Type: HISTORIC
Customer No: 1493855

Comments

please add jim@casengineering.com to ePlans

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 9 CHEVY CHASE CIR
CHEVY CHASE, MD 20815
Othercontact Gibson Homes, LLC (Primary)
Othercontact CAS Engineering

Historic Area Work Permit Details

Work Type ADD
Scope of Work expand existing uncovered terrace