

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5417 Mohican Rd., Bethesda	<b>Meeting Date:</b>	6/26/2024
<b>Resource:</b>	Master Plan Site #35/29-002A ( <i>R.A Charles Castle</i> )	<b>Report Date:</b>	6/18/2024
<b>Applicant:</b>	Taichang LLC	<b>Public Notice:</b>	6/12/2024
<b>Review:</b>	Historic Area Work Permit	<b>Tax Credit:</b>	No
<b>Permit Number:</b>	735175 REVISION	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	For fenestration and other alterations to previously approved garage.		

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**STAFF RECOMMENDATION**

Staff recommends the HPC approve the HAWP application.

**ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Master Plan Site #35/29-002A R.A. Charles Castle  
 STYLE: Queen Anne  
 DATE: c.1893

Excerpt from *Places from the Past*:

“This residence was built the same years as the more elaborate and larger scale Baltzley Castle, yet was also built of locally quarried stone, continuing the theme envisioned Rhineland on the Potomac. Both residences were built to take advantage of a dramatic view of the Potomac River. With its multi and diamond pane windows, hipped roof and polygonal wing, and turned porch posts, the Charles Castle is essentially a Queen Anne style house sheathed in stone. R.A. Charles, an employee of the Treasury Department, bought land from Edward Baltzley in February 1890 and built the house soon thereafter. The Manufacture’s Record of 1891 stated that Mindeleff designed a Glen Echo Heights house for Edwin Baltzley for \$7,000.”



**Figure 1: The subject property is on a deep lot that runs from MacArthur Blvd. to Mohican Rd.**

## **BACKGROUND**

On December 2, 2015, the HPC approved a HAWP to demolish a c.1970 garage and construct a detached two-car garage. On June 12, 2019,<sup>1</sup> the HPC approved a HAWP that relocated and reoriented the two-car garage. The approved garage was not constructed in either location.

## **PROPOSAL**

The applicant proposes to construct a garage on the subject property.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. In this case, these documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the *MARC Rail Communities Sector Plan (Sector Plan)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*; and the HPC's adopted policy for demolished/destroyed Master Plan Sites (Policy No. 21-01). The pertinent information in these documents is outlined below.

### ***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement

<sup>1</sup> The 2019 HAWP approval is available here: <https://montgomeryplanning.org/wp-content/uploads/2019/06/I.O-5417-Mohican-Road-Bethesda.pdf>.

or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

***Secretary of the Interior's Standards for Rehabilitation***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The R.A. Charles Castle Master Plan site sits on two long, narrow lots that run from Macarthur Blvd. to Mohican Rd.; with the only site access from Mohican Rd. On December 2, 2015, the HPC approved a HAWP for work at the R.A. Castle (attached) that included the demolition of a c.1970s non-historic



garage, the construction of a new garage on the site, fence construction, and new hardscaping. The proposed 1 ½ story, three-car garage was to be located to the southeast of the house, with a rubble-stone water table veneer, clad in fiber cement siding in a 5 ½” reveal, with wood trim details, with an asphalt shingle roof, and a parking pad constructed of cobblestones. The half-story above is accessed from an exterior set of wood stairs. The 2015 HAWP found that the proposed “materials, features, size, scale, and massing of the proposed garage are compatible with the R.A. Charles Castle” and “the garage is appropriately sited with relation to the historic resource, the driveway and parking pad are compatibly designed.”



*Figure 2: R.A. Charles Castle (shown with a star) and the proposed garage location (shown in red).*

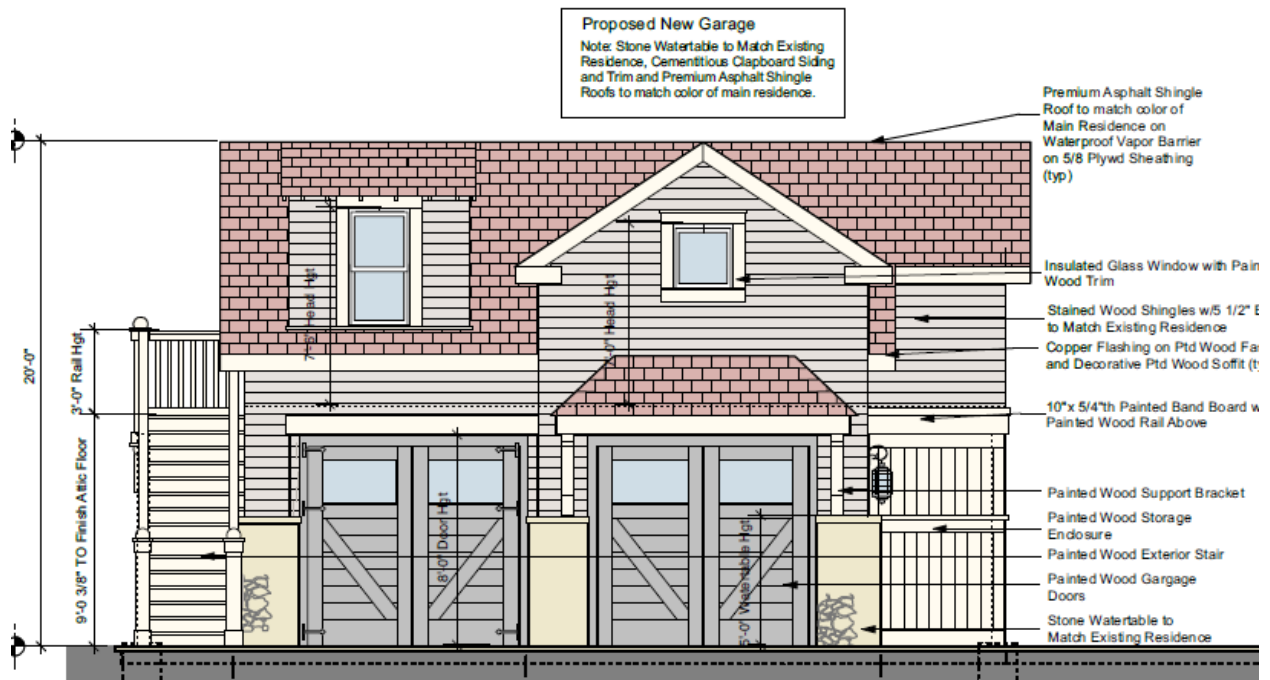
On June 24, 2020, the HPC approved a HAWP to construct a single-family house at 5419 Mohican, an undeveloped lot platted in the original 1892 plat, within the environmental setting of the R.A. Charles Castle.

The applicant recently came in for permits to construct the approved garage in the original location. Staff reviewed the submitted plans and identified several minor alterations to the garage design. While the size, scale, and overall design are consistent with the HPC’s original approval, there are minor changes to the roof massing and fenestration that do not fall into any of the categories of work that may be approved at the Staff-level. Staff finds the changes are compatible with the character of the Master Plan Site and recommends the HPC approve the modifications.

**North Elevation**

On the north elevation, the applicant proposes changes to the windows in the upper floor. The approved design included a pair of sash windows in the shed roof dormer and a single one-over-one sash in the front-facing gable. The pitch of the front-facing gable appears to have been lowered as part of the revisions which extends the building to the west and incorporates the space originally intended as a balcony for an interior bathroom, increasing the building’s mass, without enlarging the footprint.

The revised design eliminates one of the sash windows in the shed dormer and changes the single sash window to a square fixed-light window. While Staff finds the single sash window in the front-facing gable more aesthetically pleasing, Staff finds the single light window does not detract from the character of the structure and is a design element that helps to identify this building as non-historic construction, satisfying Standard 9. The wider, front-facing gable and extended roof do change the massing, but Staff still finds the size of the garage will not overwhelm the large scale of the R.A. Charles Castle. Staff recommends the HPC approve the fenestration changes and massing modifications under 24A-8(b)(2) and *Standards 2, 9, and 10.*



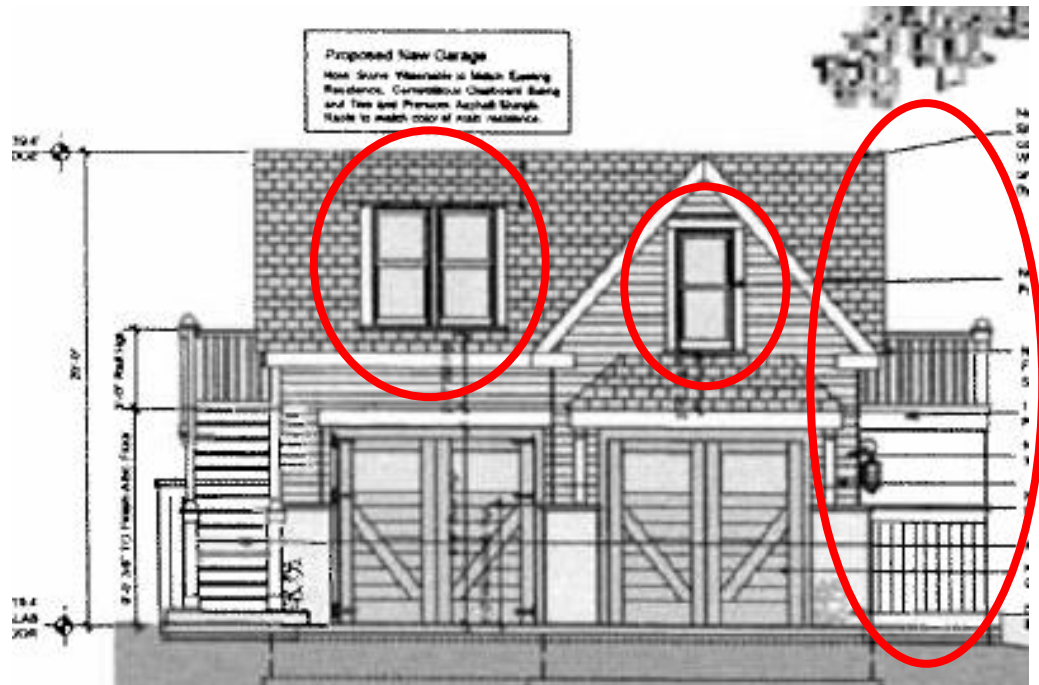
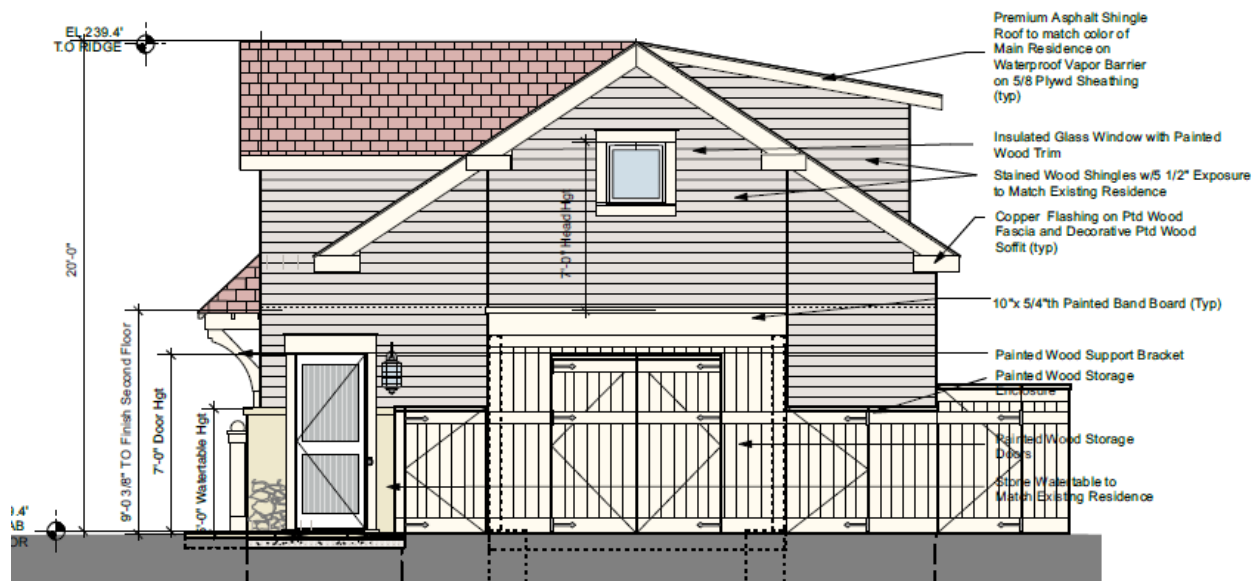


Figure 3: The current North elevation proposal (above) and the 2015 approved design with changes circled.

**West Elevation**

On the west elevation, the applicant proposes to eliminate the balcony, second-floor door and shutters; and install a single, square single-light window on the west elevation. The balcony and door projecting to the south are eliminated. The proposed building will extend to the south by 6' 1" (six feet, one inch). This will result in an additional 73 ft<sup>2</sup> (seventy-three feet square) of enclosed space in the garage's second story.

Staff finds the proposed revision on the west elevation simplifies the building design so that it doesn't visually compete as much with the highly decorative R.A. Charles Castle. Staff finds these changes are consistent with 24A-8(b)(1) and (2) and Standards 2, 9, and 10.





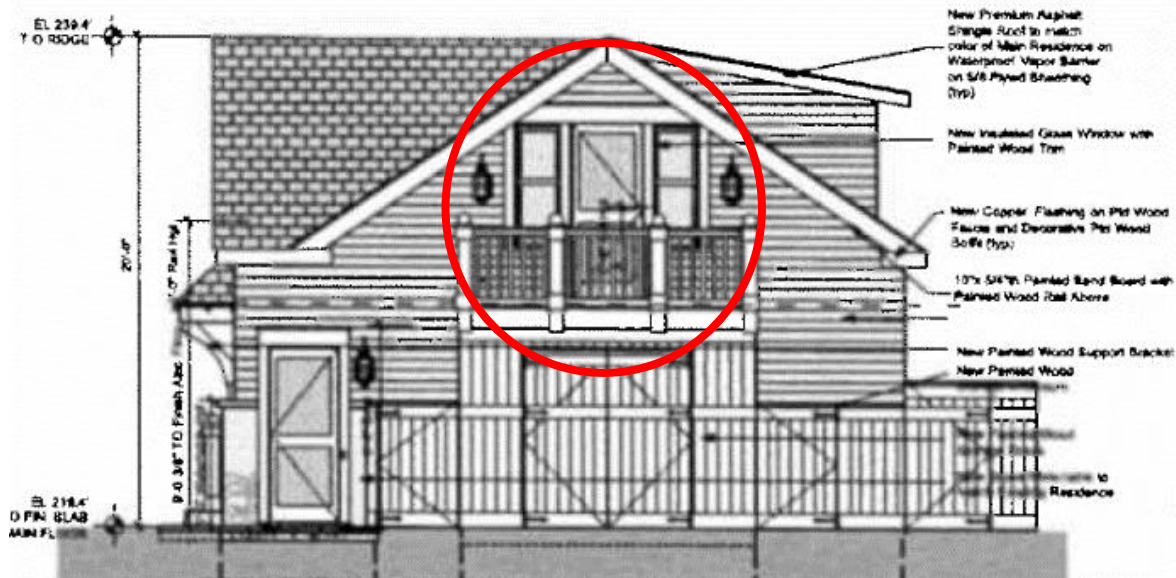
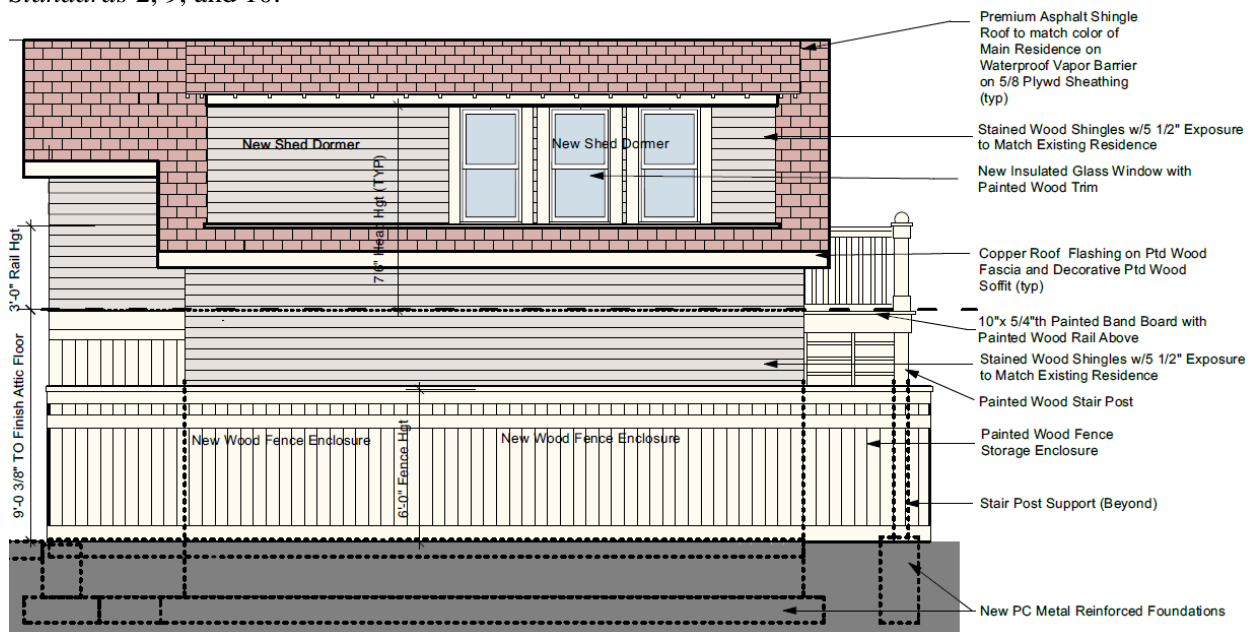


Figure 4: Proposed West elevation (above) and the 2015 approved design with changes circled.

**South Elevation**

On the south elevation, the applicant proposes to change the arrangement of the windows in the upper-floor dormer. The approved design included three pairs of one-over-one sash windows. The revised design has only three sash windows arranged on the eastern half of the dormer. Note, the primary gable roof extends to the west, capturing the space originally approved for the west balcony (discussed above).

The change to the window arrangement on the south elevation appears to be driven by changes to the interior floor plan. While Staff appreciated the balance of the previous design, Staff supports this change for two primary reasons. First, the building itself is asymmetrical, so Staff would expect the windows to be arranged in an asymmetric manner. Second, the south elevation faces away from the R.A. Charles Castle, so the south elevation of the garage will have a minimal impact on the character of the historic building. Staff finds the proposed changes to the south elevation are consistent with 24A-8(b)(2) and Standards 2, 9, and 10.



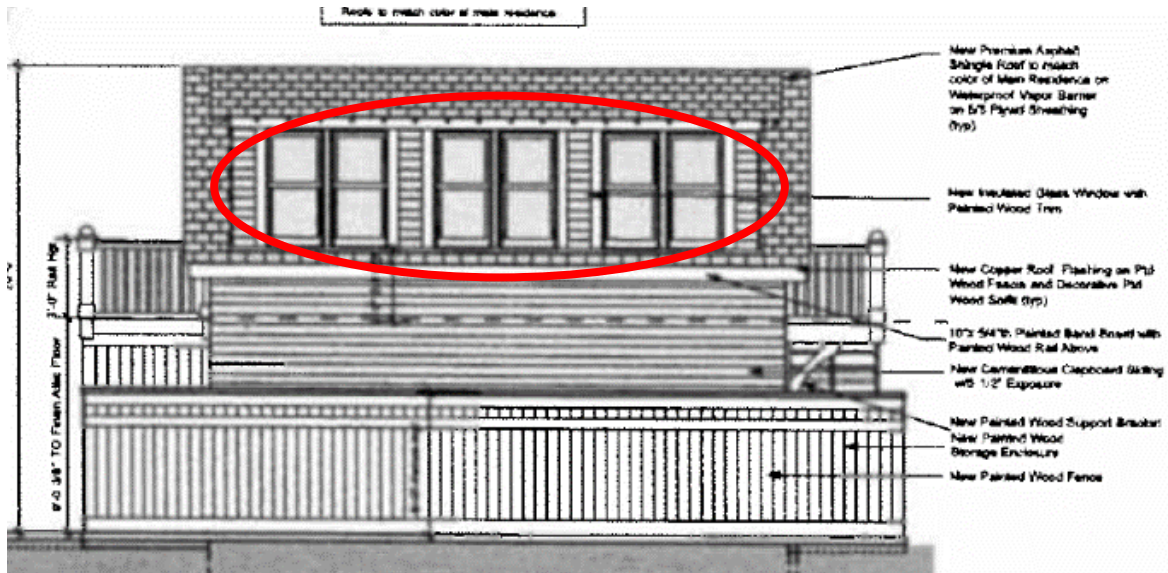


Figure 5: Proposed South elevation (above) and the 2015 approved design with changes circled (below).

### East Elevation

No changes are proposed for the east elevation.

### STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the Kensington Historic District and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at Staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: ROSSMCMANNA1@GMAIL.COM Contact Person: ROSS MCMANNA  
 Daytime Phone No.: 301-219-0380  
 Tax Account No.: 00508312  
 Name of Property Owner: J. ROSS MCMANNA Daytime Phone No.: 301-219-0380  
 Address: 5415 MCKEAN RD BETHESDA MD 20816  
Street Number City Street Zip Code  
 Contractor: MCMANNA BUILDING Phone No.: 301-228-8343  
 Contractor Registration No.: 426545  
 Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 5417 Street: MCKEAN RD  
 Town/City: BETHESDA Nearest Cross Street: MACARTHUR BLVD  
 Lot: PART C Block: 3 Subdivision: 910N ECHO HEIGHTS  
 Liber: 40953 Folio: 265 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT/ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: GARAGE + FENCE

1B. Construction cost estimate: \$ 28,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 6' feet 0 inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

J. Ross McManna Signature of owner or authorized agent 10-26-15 Date  
10-26-15 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

735175

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Detached GARAGE, RIGHT CORNER OF LOT  
Complies with County SetBACK for Accessory  
50' Fence

Remove A NON HISTORIC (c 1970)  
ONE STORY GARAGE

See A COMPANING PAGE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

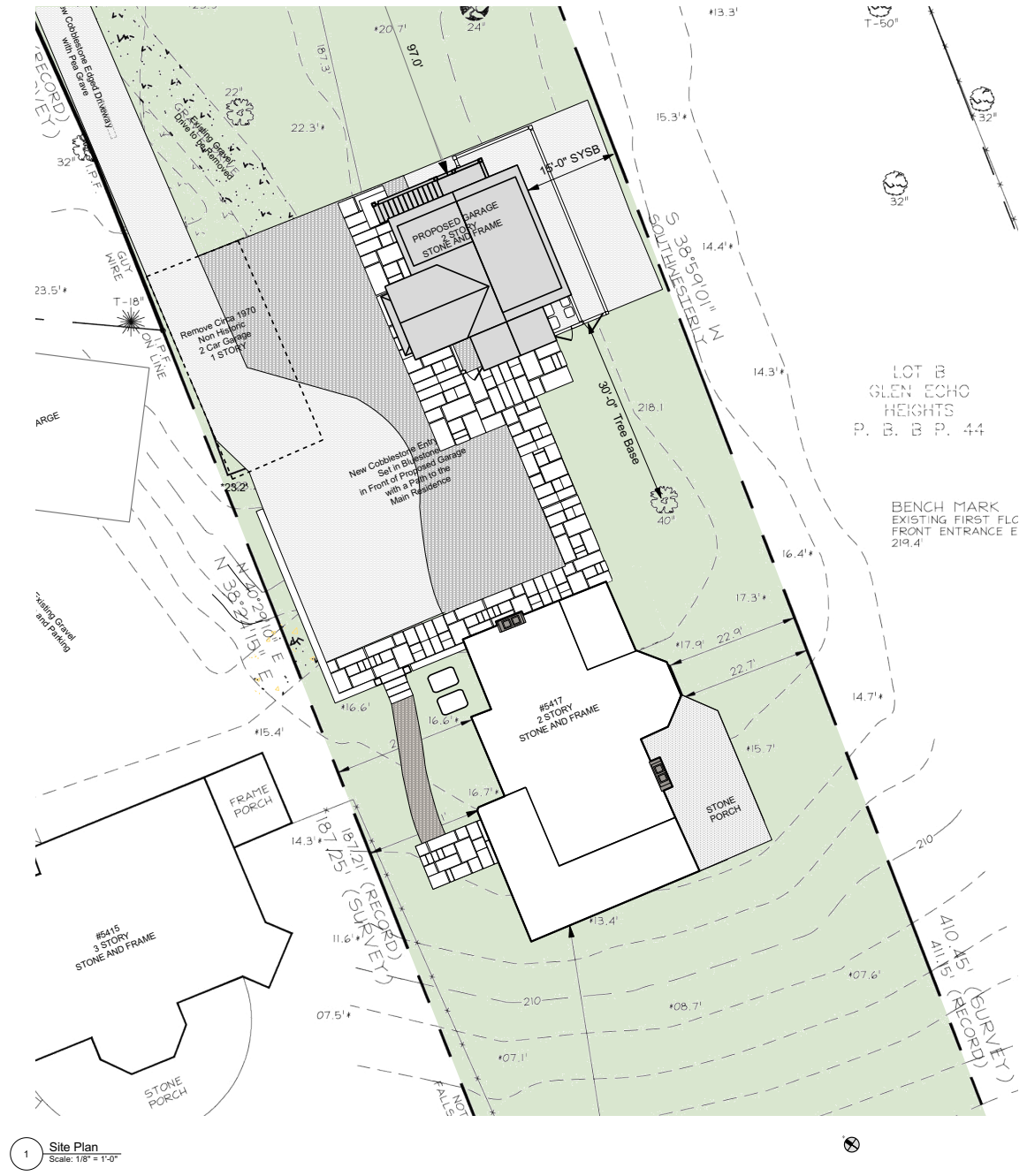
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



1 Site Plan  
Scale: 1/8" = 1'-0"

**Shi Residence Garage**

5417 Mohican Road  
Bethesda, MD 20816  
Owner:  
Mrs. Chunmei Shi Ross  
5417 Mohican Road  
Bethesda, MD 20816  
Current Issue:  
**Permit Application**

**Pollock Dickerson Associates, PC**

Architect:  
Pollock Dickerson Associates, P.C.  
8101 Appalachian Terrace  
Potomac, Maryland 20852  
Tel 301.237.7542

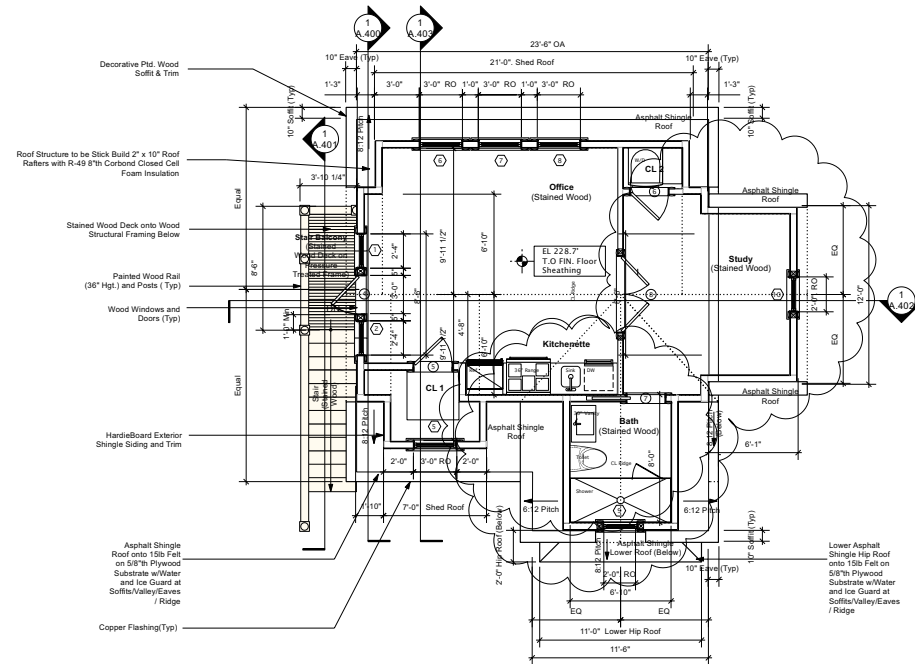


Professional Certification:  
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional in the State of Maryland as of the date of this plan and that I am duly licensed in the State of Maryland, No. 19,2024

Site Plan  
Scale: 1/8" = 1'-0"

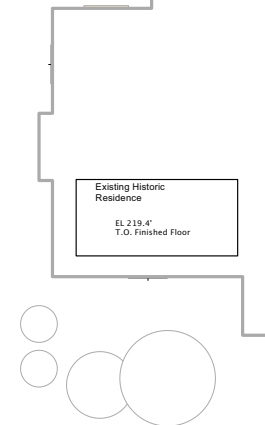
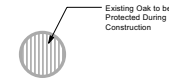
April 25, 2024

**A.002**



**Notes**

1. WALL TYPES AND RATING INDICATED ON FLOOR PLAN CONTINUE ABOVE ADJACENT DOOR AND/OR WINDOW OPENINGS.
2. THE SIZE OF STUD SHOULD BE ADJUSTED AS REQ'D FOR THE HEIGHT OF WALL.
3. ALL GYPSUM BOARD UTILIZED IN FIRE-RATED ASSEMBLIES ARE TO BE FIRE-RATED (FIRECODE 'C').
4. WALL SYSTEMS ARE TO CONFORM TO MONTGOMERY COUNTY REQUIREMENTS.
5. TYPICAL STUD SPACING IS BASED UPON PLACEMENT OF THE STUDS @ 16" OC. UNO.
6. DESIGN CRITERIA FOR WALL TYPES IS L240, UNO.
7. STUD SPACING AND HEIGHT LIMITATIONS ARE TO CONFORM TO ALL CODE & INDUSTRY STANDARDS.
8. WORK SHOWN IS FOR COMPLETE SYSTEMS. ANY ITEMS REQUIRED TO BE PROVIDED FOR A COMPLETE SYSTEM ARE TO BE INCLUDED IN THE WORK.
9. THE QUALITY OF WORK AND INDUSTRY STANDARDS ARE TO BE BASED UPON THE USG GYPSUM CONSTRUCTION HANDBOOK.
10. CODE REQUIRED EGRESS IS TO BE MAINTAINED AT ALL LOCATIONS.



1 Second Floor Plan  
1/4"=1'-0"



**Shi Residence Garage**

5417 Mohican Road  
Bethesda, MD 20816

Owner:  
Mrs. Chummei Shi Ross  
5417 Mohican Road  
Bethesda, MD 20816

Current Issue:  
**Permit Application**

**Pollock Dickerson Associates, PC**

Architect:  
Pollock Dickerson Associates, P.C.  
8101 Applechicken Terrace  
Polecat, Maryland 20852  
Tel: 301.237.7542



Date: April 23, 2024  
Professional Certification:  
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional without error.

Second Floor Plan

Scale: NA

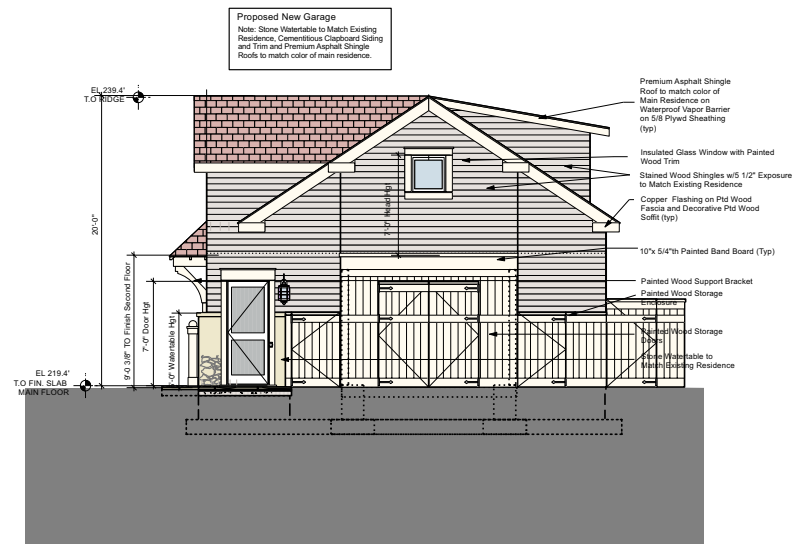
April 25, 2024

**A.202**

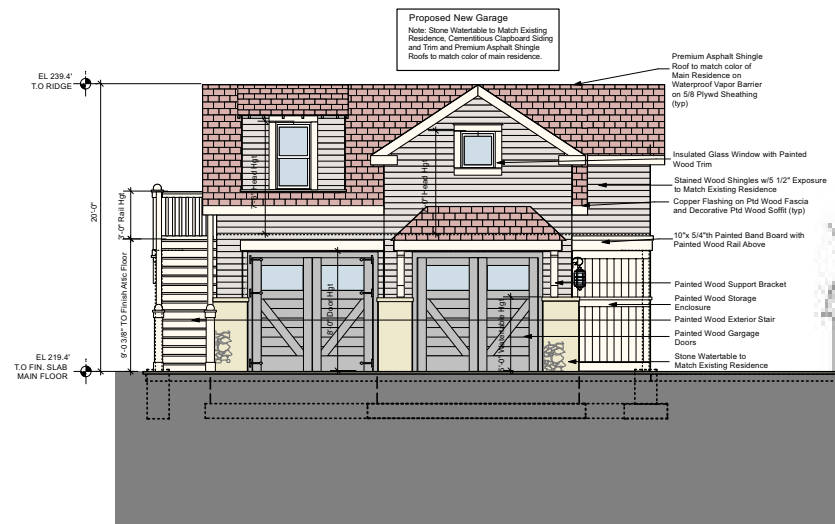




1 West Front Elevation (Historic Relation)  
Scale: 1/4" = 1'-0"



3 West Front Elevation  
Scale: 1/4" = 1'-0"



2 North Elevation  
Scale: 1/4" = 1'-0"



**Shi Residence Garage**

5417 Mohican Road  
Bethesda, MD 20816

Owner:  
Mrs. Churmel Shi Ross  
5417 Mohican Road  
Bethesda, MD 20816

Current Issue:  
**Permit Application**

**Pollock Dickerson Associates, PC**

Architect:  
Pollock Dickerson Associates, P.C.  
8100 Appalachian Terrace  
Polomac, Maryland 20852  
Tel. 301.237.7542



Professional Certification:  
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional without other affiliation with the name of Pollock Dickerson Associates, P.C.

Elevations  
Scale: 1/4" = 1'-0"

April 25, 2024  
**A.500**

**Shi Residence  
Garage**

5417 Mohican Road  
Bethesda, MD 20816

Owner:

Mrs. Churmei Shi Ross  
5417 Mohican Road  
Bethesda, MD 20816

Current Issue:

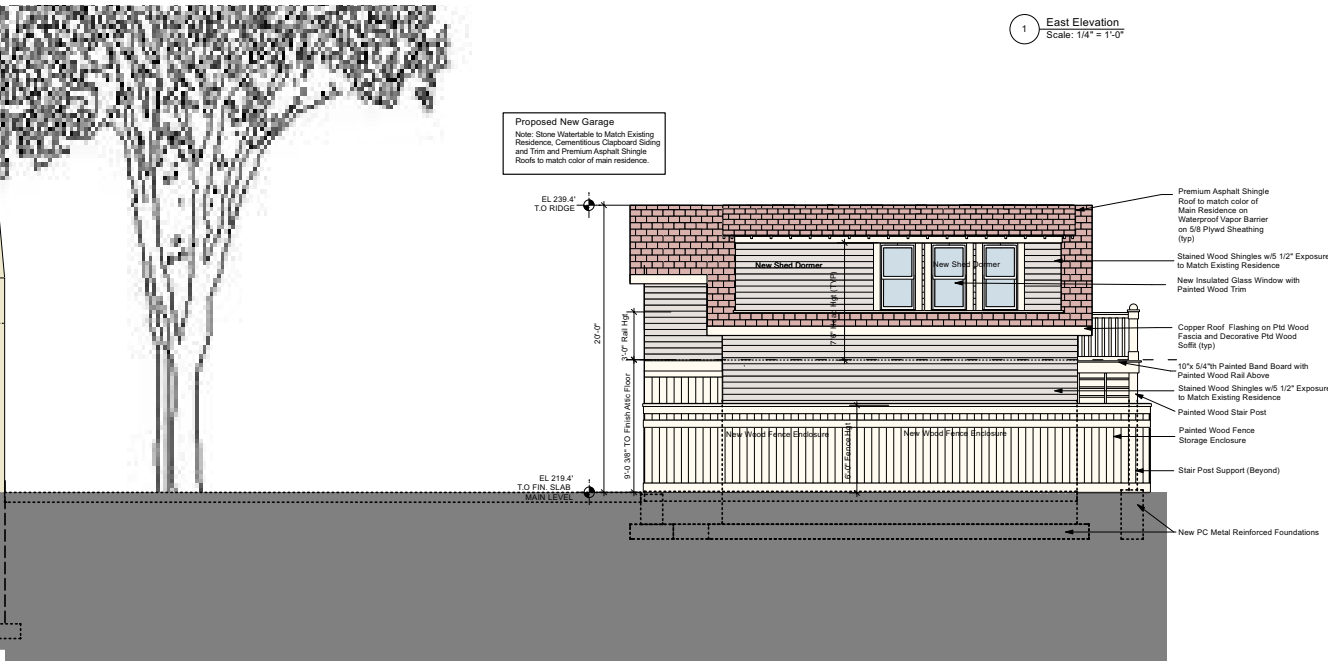
Permit Application



1 East Elevation  
Scale: 1/4" = 1'-0"



2 South Elevation  
Scale: 1/4" = 1'-0"



Pollock Dickerson  
Associates, PC

Architect:  
Pollock Dickerson Associates, P.C.  
8101 Appalachian Terrace  
Polomac, Maryland 20852  
Tel: 301.237.7542



Date: April 25, 2024

Professional Certification:

I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional without other restrictions in the State of Maryland, as required by Article 10, Section 10-103 of the State of Maryland.

Elevations

Scale: 1/4" = 1'-0"

April 25, 2024

**A.501**

APPLICATION FOR HISTORIC AREA WORK PERMIT

9-14-2015

R.A. Charles Master Plan # 35 / 29 - 2

J. Ross McNair

5417 Mohican Rd

Bethesda MD 20816

On 8-21-13 the HPC approved case number 35/29-13A

Part of the scope of work was a detached 2 car carport, an (18 x 20) addition, a hyphen connector link (9 x 11'4") and a cobblestone entry court. We decided not to build the approved addition to the historic resource or the 2 car carport. All work is on the rear of the property.

REMOVE

Remove a circa 1970 non historic 2 car garage

GARAGE

Construct a 2 story 2 car detached garage at the rear right of the lot. The location complies with the County setback and height requirements for accessory structures. Material for the garage consists of a metal roof, stone wainscot and wood siding. The garage will be accessed via an existing driveway from Mohican Rd. We have consulted with a MD State Professional Registered Forester and a Board Certified Arborist to protect the roots of the oak tree.

FENCE

Erect approx 50 lin ft fence 6 ft high around 2 sides of the garage

COBBLESTONE

Cobblestone edged driveway with pea gravel

Cobblestone entry court set in bluestone in front of the proposed garage with a path to the house.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**

**OWNER'S MAILING ADDRESS**

J. Ross McNair  
5415 Mohican Rd  
Bethesda Md 20816

**HISTORIC SITE ADDRESS**

5417 Mohican Rd  
Bethesda Md 20816

**ADJACENT AND CONFRONTING PROPERTY OWNERS MAILING ADDRESSES**

Miguel Otero  
5301 Mohican Rd  
Bethesda MD 20816

Chris White  
5409 Mohican Rd  
Bethesda MD 20816

Maureen Jeffreys and Michael Bergsman  
5303 Mohican Rd  
Bethesda MD 20816

Miklos Gaal  
5407 Mohican Rd  
Bethesda MD 20816

Matthew Byrne  
5405 Mohican Rd  
Bethesda MD 20816

Stephen Seeber  
5309 Mohican Rd  
Bethesda MD 20816

William Barlow  
5311 Mohican Rd  
Bethesda MD 20816

Patrick Gates  
5421 Mohican Rd  
Bethesda MD 20816

Ned Miltenberg  
5410 Mohican Rd  
Bethesda MD 20816

John Lentz  
5424 Mohican Rd  
Bethesda MD 20816

Joy Brown  
5408 Mohican Rd  
Bethesda MD 20816

Whittington Lewis  
5404 Mohican Rd  
Bethesda MD 20816

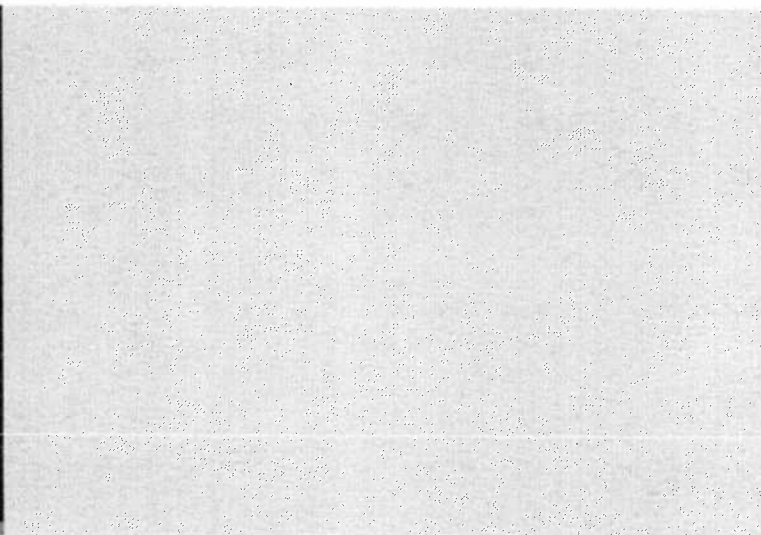
Nathaniel Kendall  
5420 Mohican Rd  
Bethesda MD 20816

William Coolidge  
5423 Mohican Rd  
Bethesda MD 20816

James Ross  
5425 Mohican Rd  
Bethesda MD 20816

Philip Warker  
5428 Mohican Rd  
Bethesda MD 20816





**Project Team**

**Owner**  
 Mr. & Mrs. M. R. McNair  
 5417 Michlen Road  
 Bethesda, MD 20816

**Contractor**  
 Pollock Dickerson Associates, P.C.  
 6445 Nicholson Lane  
 Rockville, Maryland 20852  
 Tel: 301.337.1142

**Architect**  
 Pollock Dickerson Associates, P.C.  
 6445 Nicholson Lane  
 Rockville, Maryland 20852  
 Tel: 301.337.1142

**Current Year**  
 2016

**Permit Application**  
 2016

**Application for Historic Atlas (only if applicable)**  
 None

**Date of Application**  
 11/10/2016

**Address**  
 5417 Michlen Road  
 Bethesda, MD 20816

**Description**  
 Addition of a two-car garage to the rear of the existing residence. The existing residence is a two-story stone house with a gabled roof and a chimney. The new garage will be a single-story structure with a gabled roof and a brick exterior. The garage will be attached to the existing residence and will have a concrete foundation and a concrete floor. The garage will have two doors and a window. The garage will be finished with drywall and paint. The garage will have a finished ceiling and a finished floor. The garage will have a finished exterior and a finished interior. The garage will have a finished roof and a finished foundation. The garage will have a finished driveway and a finished walkway. The garage will have a finished porch and a finished deck. The garage will have a finished fence and a finished gate. The garage will have a finished lawn and a finished garden. The garage will have a finished yard and a finished landscape. The garage will have a finished site and a finished project.

**Project Data**

**Project Address**  
 5417 Michlen Road  
 Bethesda, MD 20816

**Project Name**  
 McNair Residence Garage Addition

**Application Codes**  
 1.00 - Single-Family Detached Dwelling  
 1.01 - Single-Family Detached Dwelling with Attached Garage

**Neighborhood**  
 Bethesda

**Zoning**  
 R-1

**Lot Area**  
 10,000 sq. ft.

**Adjacent Lot (to the east)**  
 5419 Michlen Road

**Adjacent Lot (to the west)**  
 5415 Michlen Road

**Fronting Lot (to the north)**  
 5417 Michlen Road

**Fronting Lot (to the south)**  
 5417 Michlen Road

**Minimum Accessory Height**  
 8 feet

**Proposed Accessory Height**  
 8 feet

**Height of Structure**  
 8 feet

**Index of Drawings**  
 1.00 - Site Plan  
 1.01 - Site Plan with Proposed Garage  
 1.02 - Site Plan with Proposed Garage and Driveway  
 1.03 - Site Plan with Proposed Garage, Driveway, and Walkway  
 1.04 - Site Plan with Proposed Garage, Driveway, Walkway, and Deck  
 1.05 - Site Plan with Proposed Garage, Driveway, Walkway, Deck, and Fence  
 1.06 - Site Plan with Proposed Garage, Driveway, Walkway, Deck, Fence, and Gate  
 1.07 - Site Plan with Proposed Garage, Driveway, Walkway, Deck, Fence, Gate, and Lawn  
 1.08 - Site Plan with Proposed Garage, Driveway, Walkway, Deck, Fence, Gate, Lawn, and Garden  
 1.09 - Site Plan with Proposed Garage, Driveway, Walkway, Deck, Fence, Gate, Lawn, Garden, and Landscape  
 1.10 - Site Plan with Proposed Garage, Driveway, Walkway, Deck, Fence, Gate, Lawn, Garden, Landscape, and Site

**MO/PR Review Stamps**

**McNair Residence Garage**

5417 Michlen Road  
 Bethesda, MD 20816

Owner:  
 Mr. & Mrs. M. R. McNair  
 5415 Michlen Road  
 Bethesda, MD 20816

**Permit Application**  
 2016

**Professional Certification**  
 I, the undersigned, being a duly licensed Professional Engineer in the State of Maryland, do hereby certify that the above is a true and correct copy of the original as shown to me by the applicant.

**Pollock Dickerson Associates, P.C.**

Architect  
 Pollock Dickerson Associates, P.C.  
 6445 Nicholson Lane  
 Rockville, Maryland 20852  
 Tel: 301.337.1142

**Cover & Project Date**

Scale: NA

© November 2016

**A.000**

**Schedules**

Door Schedule					
NO.	WIDTH	HEIGHT	FINISH	DESCRIPTION	HARDWARE
<b>MAINTENANCE</b>					
1	3'-0"	7'-0"	1/2" x 1/2"	Galv Steel Core Fiberglass Door	Pin Operator Selection
2	3'-0"	7'-0"	1/2" x 1/2"	Ext. Insulation Core Fiberglass Door	Pin Operator Selection
3	3'-0"	7'-0"	1/2" x 1/2"	Galv Steel Core Fiberglass Door	Pin Operator Selection
<b>MATERIALS</b>					
4	3'-0"	7'-0"	1/2" x 1/2"	Galv Steel Core Fiberglass Door	Pin Operator Selection
5	3'-0"	7'-0"	1/2" x 1/2"	Ext. Insulation Core Fiberglass Door	Pin Operator Selection

**Window Schedule**

Window Schedule					
NO.	WIDTH	HEIGHT	FINISH	DESCRIPTION	HARDWARE
<b>MAINTENANCE</b>					
1	3'-0"	4'-0"	1/2" x 1/2"	Galv Steel Core Fiberglass Window	Pin Operator Selection
2	3'-0"	4'-0"	1/2" x 1/2"	Ext. Insulation Core Fiberglass Window	Pin Operator Selection
3	3'-0"	4'-0"	1/2" x 1/2"	Galv Steel Core Fiberglass Window	Pin Operator Selection
<b>MATERIALS</b>					
4	3'-0"	4'-0"	1/2" x 1/2"	Galv Steel Core Fiberglass Window	Pin Operator Selection
5	3'-0"	4'-0"	1/2" x 1/2"	Ext. Insulation Core Fiberglass Window	Pin Operator Selection

For Steel Windows See Schedule 100 in Schedule Book Product 10, Pin Operator Selection System by Manufacturer to be U.S. Labeled.

Note:  
 1. See Manual for Door, Window Details and Dimensions.  
 2. See Schedule 100 for Glass.  
 3. See Schedule 100 for Glass, Glass, Glass, Insulation Glass.  
 4. See Schedule 100 for Glass, Glass, Glass, Insulation Glass.  
 5. See Schedule 100 for Glass, Glass, Glass, Insulation Glass.

**Symbols**

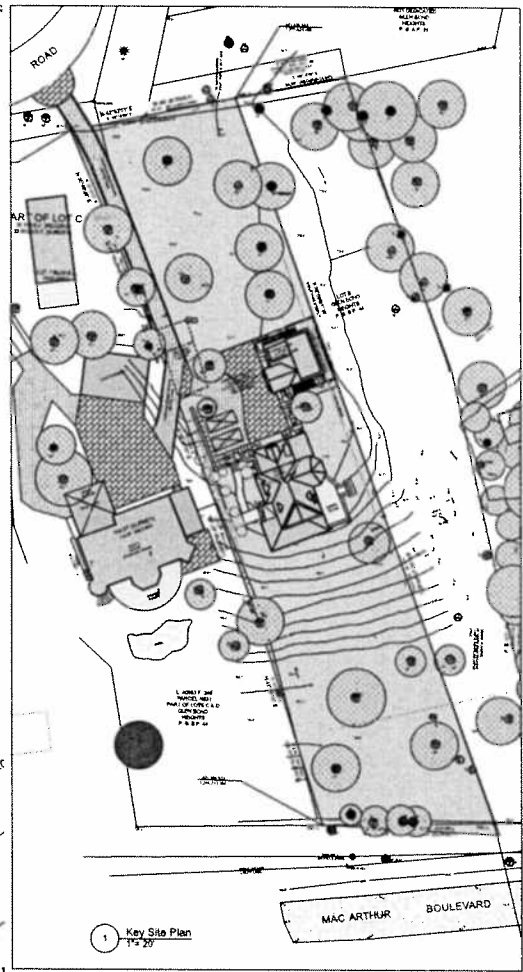
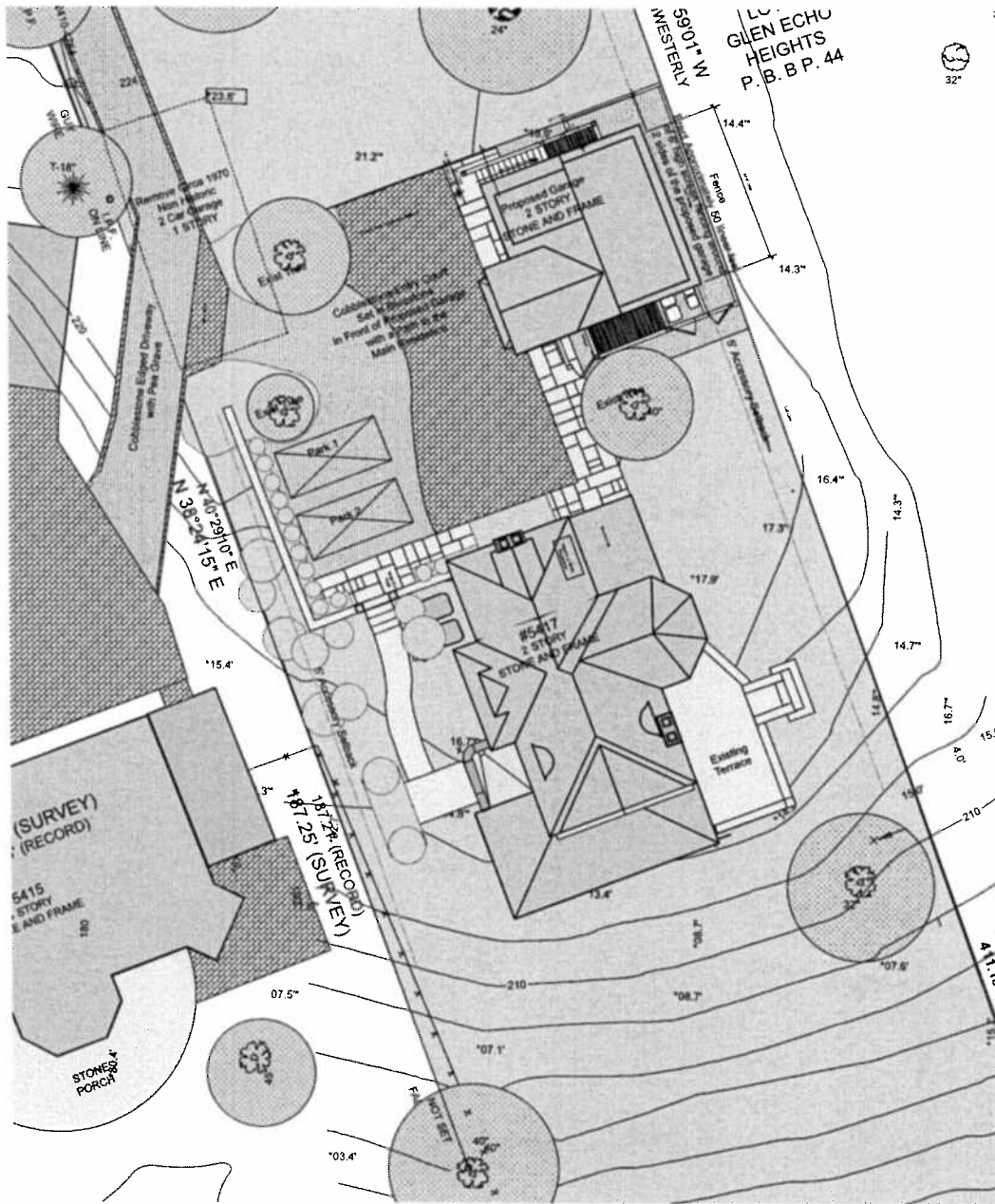
	FEEL NORTH		EXTERIOR WINDOW NUMBER		EXTERIOR CASE OPENING NUMBER
	DETAIL TAG		EXTERIOR DOOR NUMBER		ELEVATION TAG
	AREA OF ENCLOSURE		EXTERIOR DOOR NUMBER		SECTION TAG
	AREA OF ENCLOSURE		EXTERIOR DOOR NUMBER		COLUMN TAG
	POINT LABEL NUMBER		EXTERIOR CASE OPENING NUMBER		RISE TAG

**Material Legend**

	CONCRETE MASONRY UNIT (CMU)		PLYWOOD		GAST STONE
	CONTRACTED FILL		FRESH WOOD		GMA
	CONCRETE		GRAVEL FILL		EIFS
	RIGID INSULATION		GYPSUM WALLBOARD		METAL DECK
	THERMAL INSULATION		ACOUSTICAL TILE CEILING GRIDS		TOPPING SLAB
	BRICK		DECK FLOOR		SEMI WALL
	EXISTING WALL		NEW WALL		SEMI WALL

**Abbreviations**

AK	ANCHOR BOLT	ASC	ASBESTOS	CC	ON CENTRAL
AN	ANCHOR	BL	BLOCK	CD	CUTTING DIA
AR	ARCHITECTURAL	BLK	BLOCK	CG	CONCRETE
AS	ASBESTOS	BR	BRICK	CH	CHANGING
AT	ANCHOR TIE	BS	BUSH	CHD	CHANGING
AV	ANCHOR VEE	BT	BUTT	CHG	CHANGING
AW	ANCHOR WELD	BU	BUTT	CHG	CHANGING
AX	ANCHOR EXTENSION	BU	BUTT	CHG	CHANGING
AY	ANCHOR YIELD	BU	BUTT	CHG	CHANGING
AZ	ANCHOR ZINC	BU	BUTT	CHG	CHANGING
BA	BALANCE	BU	BUTT	CHG	CHANGING
BB	BALANCE	BU	BUTT	CHG	CHANGING
BC	BALANCE	BU	BUTT	CHG	CHANGING
BD	BALANCE	BU	BUTT	CHG	CHANGING
BE	BALANCE	BU	BUTT	CHG	CHANGING
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BG	BALANCE	BU	BUTT	CHG	CHANGING
BH	BALANCE	BU	BUTT	CHG	CHANGING
BI	BALANCE	BU	BUTT	CHG	CHANGING
BJ	BALANCE	BU	BUTT	CHG	CHANGING
BK	BALANCE	BU	BUTT	CHG	CHANGING
BL	BALANCE	BU	BUTT	CHG	CHANGING
BM	BALANCE	BU	BUTT	CHG	CHANGING
BN	BALANCE	BU	BUTT	CHG	CHANGING
BO	BALANCE	BU	BUTT	CHG	CHANGING
BP	BALANCE	BU	BUTT	CHG	CHANGING
BQ	BALANCE	BU	BUTT	CHG	CHANGING
BR	BALANCE	BU	BUTT	CHG	CHANGING
BS	BALANCE	BU	BUTT	CHG	CHANGING
BT	BALANCE	BU	BUTT	CHG	CHANGING
BU	BALANCE	BU	BUTT	CHG	CHANGING
BV	BALANCE	BU	BUTT	CHG	CHANGING
BW	BALANCE	BU	BUTT	CHG	CHANGING
BX	BALANCE	BU	BUTT	CHG	CHANGING
BY	BALANCE	BU	BUTT	CHG	CHANGING
BZ	BALANCE	BU	BUTT	CHG	CHANGING
CA	CALCULATED	BU	BUTT	CHG	CHANGING
CB	CALCULATED	BU	BUTT	CHG	CHANGING
CC	CALCULATED	BU	BUTT	CHG	CHANGING
CD	CALCULATED	BU	BUTT	CHG	CHANGING
CE	CALCULATED	BU	BUTT	CHG	CHANGING
CF	CALCULATED	BU	BUTT	CHG	CHANGING
CG	CALCULATED	BU	BUTT	CHG	CHANGING
CH	CHANGING	BU	BUTT	CHG	CHANGING
CI	CHANGING	BU	BUTT	CHG	CHANGING
CJ	CHANGING	BU	BUTT	CHG	CHANGING
CK	CHANGING	BU	BUTT	CHG	CHANGING
CL	CHANGING	BU	BUTT	CHG	CHANGING
CM	CHANGING	BU	BUTT	CHG	CHANGING
CN	CHANGING	BU	BUTT	CHG	CHANGING
CO	CHANGING	BU	BUTT	CHG	CHANGING
CP	CHANGING	BU	BUTT	CHG	CHANGING
CQ	CHANGING	BU	BUTT	CHG	CHANGING
CR	CHANGING	BU	BUTT	CHG	CHANGING
CS	CHANGING	BU	BUTT	CHG	CHANGING
CT	CHANGING	BU	BUTT	CHG	CHANGING
CU	CHANGING	BU	BUTT	CHG	CHANGING
CV	CHANGING	BU	BUTT	CHG	CHANGING
CW	CHANGING	BU	BUTT	CHG	CHANGING
CX	CHANGING	BU	BUTT	CHG	CHANGING
CY	CHANGING	BU	BUTT	CHG	CHANGING
CZ	CHANGING	BU	BUTT	CHG	CHANGING
DA	DRAWING	BU	BUTT	CHG	CHANGING
DB	DRAWING	BU	BUTT	CHG	CHANGING
DC	DRAWING	BU	BUTT	CHG	CHANGING
DD	DRAWING	BU	BUTT	CHG	CHANGING
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DS	DRAWING	BU	BUTT	CHG	CHANGING
DT	DRAWING	BU	BUTT	CHG	CHANGING
DU	DRAWING	BU	BUTT	CHG	CHANGING
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DW	DRAWING	BU	BUTT	CHG	CHANGING
DX	DRAWING	BU	BUTT	CHG	CHANGING
DY	DRAWING	BU	BUTT	CHG	CHANGING
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EL	ELECTRICAL	BU	BUTT	CHG	CHANGING
EM	ELECTRICAL	BU	BUTT	CHG	CHANGING
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EP	ELECTRICAL	BU	BUTT	CHG	CHANGING
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EW	ELECTRICAL	BU	BUTT	CHG	CHANGING
EX	ELECTRICAL	BU	BUTT	CHG	CHANGING
EY	ELECTRICAL	BU	BUTT	CHG	CHANGING
EZ	ELECTRICAL	BU	BUTT	CHG	CHANGING
FA	FLOORING	BU	BUTT	CHG	CHANGING
FB	FLOORING	BU	BUTT	CHG	CHANGING
FC	FLOORING	BU	BUTT	CHG	CHANGING
FD	FLOORING	BU	BUTT	CHG	CHANGING
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FG	FLOORING	BU	BUTT	CHG	CHANGING
FH	FLOORING	BU	BUTT	CHG	CHANGING
FI	FLOORING	BU	BUTT	CHG	CHANGING
FJ	FLOORING	BU	BUTT	CHG	CHANGING
FK	FLOORING	BU	BUTT	CHG	CHANGING
FL	FLOORING	BU	BUTT	CHG	CHANGING
FM	FLOORING	BU	BUTT	CHG	CHANGING
FN	FLOORING	BU	BUTT	CHG	CHANGING
FO	FLOORING	BU	BUTT	CHG	CHANGING
FP	FLOORING	BU	BUTT	CHG	CHANGING
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FZ	FLOORING	BU	BUTT	CHG	CHANGING
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GH	GENERAL	BU	BUTT	CHG	CHANGING
GI	GENERAL	BU	BUTT	CHG	CHANGING
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HR	HANDICAPPED	BU	BUTT	CHG	CHANGING
HS	HANDICAPPED	BU	BUTT		



Application for Historic Area Mark Permit

Area of Application  
 5417 Mohican Road  
 Bethesda, MD 20816

Owner  
 Rose McNair  
 5415 MacArthur Road  
 Bethesda, MD 20816

Current Use  
 Residential

Permit Application  
 Residential

Architect  
 Pollock Dickerson Associates, P.C.  
 5840 Nicholson Lane  
 Suite 302  
 Rockville, Maryland 20852  
 Tel: 301.757.7542

Professional Certification  
 I hereby certify that I am the author, preparer, checker, designer, drafter, or designer of the above described work and that I am duly licensed and registered in the State of Maryland.

Site Plan  
 Scale: As Noted  
 2 November 2015

**McNair Residence Garage**

5417 Mohican Road  
 Bethesda, MD 20816

**Pollock Dickerson Associates, P.C.**

Architect  
 Pollock Dickerson Associates, P.C.  
 5840 Nicholson Lane  
 Suite 302  
 Rockville, Maryland 20852  
 Tel: 301.757.7542

Professional Certification  
 I hereby certify that I am the author, preparer, checker, designer, drafter, or designer of the above described work and that I am duly licensed and registered in the State of Maryland.

Site Plan  
 Scale: As Noted  
 2 November 2015

**A.002**





The following information has been provided if required during the course of construction.

**SEDIMENT CONTROL APPROVAL**

- The sheet is to address grading and sediment control approval only. The contractor is required to coordinate the work herein.
- The contractor is to notify the proper authorities listed below at least 48 hours before commencing any land disturbing activities and must hold a preconstruction meeting with a authorized department representative. Permit Number: Applicable number to call (240) 777-4320

**SEDIMENT CONTROL NOTES**

- Details and notes shown are to be utilized over when applicable to existing site conditions. Contractor to follow all standards as required by local code authorities. This sheet is to be reviewed with the local inspectors for applicability to site conditions and county requirements prior to bid.
- All applicable sediment and erosion control methods shall be installed before the start of any excavation and/or construction as per standards and specifications for soil erosion and sediment control for Montgomery County. If further inspection reveals further erosion control measures are necessary, the same shall be provided.
- Alley and/or street shall be swept clean at all times during excavation and construction.
- All sediment and erosion control measures to be inspected daily by the contractor. Any damaged device or measure will be repaired or replaced by the close of day (or as required by local jurisdiction).
- All vehicles leaving the site shall be cleaned through the construction entrance only and shall be washed down to remove mud from tires before entering the street. Construction entrance to be maintained in good working condition.
- All catch basins and area drains shall be protected during excavation and construction.
- If any catch basin or drain becomes clogged as a result of excavation or construction, the contractor shall be responsible for its immediate cleaning.
- All disturbed areas within the limit of disturbance boundary not shown as paved or covered by sidewalks or structures or future landscaping are to be seeded or sodded as per local jurisdiction specifications within seven days of disturbance.
- Any disturbance, regardless of location on the site shall be stabilized within 14 days and covered with plastic or canvas, unless as established and for the duration of the project.
- After staking or demolition of existing structures, sidewalks, paving, etc. there is a need for ground cover to prevent erosion and sediment runoff from occurring. Proposed ground covering may include seed, sod, paving, bio-retention, mulch, or other applicable elements.
- At the completion of construction project and after the local jurisdiction erosion and sediment control inspector approval, all temporary siltation, sedimentation and erosion control measures and devices shall be removed and all denuded areas shall be permanently stabilized.

**SEQUENCE OF CONSTRUCTION**

- All erosion and sediment control measures shall be placed prior to or as the first step in grading.
- Provide temporary storm construction entrance where shown. Provide water source and hose to clean all equipment leaving the site.
- Install the all fences around the perimeter of the site.
- No disturbed area will be disturbed for more than 7 calendar days. Install the necessary temporary or permanent vegetative stabilization measures to achieve adequate erosion and sediment control.
- All construction to be inspected daily by the contractor, and any damaged siltation or erosion control device or measures will be repaired at the close of the day.
- All site fence to maintained in working condition.
- Stabilized construction entrance to be periodically supplemented with additional stone as needed.
- Control silt to be removed after their contributing basins have been permanently stabilized.

**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

- Worked wire fence to be fastened securely to stone areas with wire ties. POSTS: Steel alloy T or U exterior posts or staples.
- Filter cloth to be fastened securely to stone area fence with wire secured every 24" at top and mid section.
- When two sections of filter cloth, filter cloth must be overlapped by six inches and folded as PREPARED UNIT.
- Maintenance shall be performed as needed and material removed when "bumps" develop in the silt fence by local jurisdiction.

**STRAW BALE DIKE DETAIL**

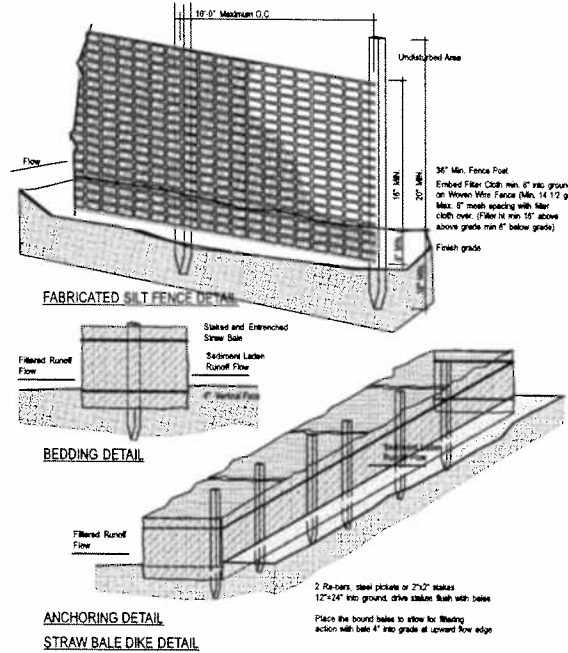
**CONSTRUCTION SPECIFICATIONS**

- Bales shall be placed at the toe of slope or on the contour and in a row with ends tightly abutting the adjacent bales.
- Each bale area is reinforced in the end a minimum of 40 inches, and placed on the bedding are horizontal.
- Bales shall be securely anchored in place by either two stakes or re-bar driven through the bale. The first stake in each bale shall be driven through the previously laid bale at an angle to force the bales together. Stakes shall be driven back into the bale.
- Inspection shall be required and repair replacement shall be made promptly as needed.
- Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

**STRAW BALE DROP INLET / SEDIMENT FILTER**

**CONSTRUCTION SPECIFICATIONS / SPECIFIC APPLICATION**

- The method of inlet protection is applicable where the inlet drains to relatively flat area.
- Slopes no greater than 5 percent where sheet or overlaid floors not exceeding 65 CFS are typical.
- The method shall not apply to inlets receiving concentrated flows, such as in street or highway medians.



Building Data			
Floor Level	Existing Sq. Ft.	New Sq. Ft.	Total Sq. Ft.
Main Floor	600	600	
Second Floor	420	420	
Total	1,020	1,020	

Development Standards for R-90 Zone	
Zone:	R-90 Residential, one-family, detached
Area Requirement:	Minimum lot size 6,000 sq. ft.
Total Maximum Coverage:	36% including accessory buildings Lot: 33,892 sq. ft. Existing Principal Residence: 1,289 sq. ft. Proposed Garage: 600 sq. ft. Total Area: 2,725 sq. ft. < 36%
Minimum Front Yard Setback:	30 feet or established building line, whichever is greater (Notes 1 and 2)
Minimum Side Yard Setback:	Total 25 feet one side 8 feet Lot recorded before 3/15/28, if lot width is 40 feet or less 5 feet each side
Minimum Rear Yard Setback:	25 Feet Lot recorded before 10/11/53 20 feet
Minimum Lot Frontage:	75 Feet at front building line 25 Feet at street line
Maximum Building Height:	Not exceed 2 1/2 stories and 35 feet to roof peak or 35 feet to mean height between eaves & ridge of gable hip, mansard or gambrel roof 3 stories or 45 feet with Planning Board approval
Accessory Maximum Coverage:	Occupy maximum 25% of rear yard Rear Lot: 14,987 sq. ft. Existing Principal Residence: 1,289 sq. ft. Proposed Garage: 600 sq. ft. Total Area 860 sq. ft. < 25%
Accessory Building Setbacks:	Rear yard only 60 feet from front lot line 5 feet from side lot line 5 feet from rear lot line
Maximum Accessory Building Height:	Not exceed 2 stories, and 20 feet to highest point

**Notes**

---

**McNair Residence Garage**

5417 Mohican Road  
Bethesda, MD 20816

Owner:  
Rosa McNair  
5416 Mohican Road  
Bethesda, MD 20816

Current Issue:  
**Permit Application**  
Residence

**Pellock Dikerson Associates, P.C.**

Architect:  
Robert Dikerson Associates, P.C.  
5645 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel: 301.737.7542

---

Professional Certification:  
I hereby certify that these documents were prepared or approved by me, or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Maryland.

Sediment Control & Zoning Notes  
Scale: N/A

2 November 2015  
**A.004**















**McNair Residence  
Garage**

5417 Mohican Road  
Glen Echo, MD 20816

Owner:  
Rose McNair  
5415 Mohican Road  
Glen Echo, MD 20816

Current Issue:  
**Permit Application**

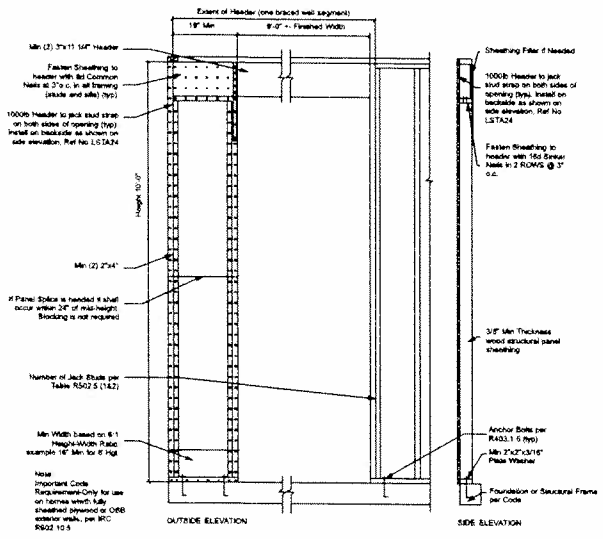
Revisions:

**Pollock Dickerson  
Associates, P.C.**

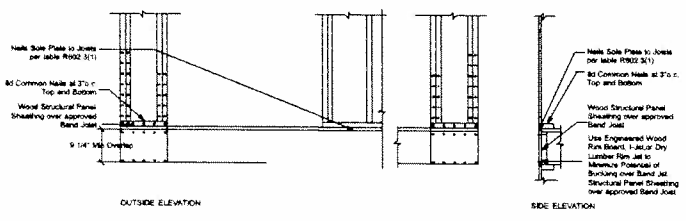
Architect:  
Pollock Dickerson Associates, P.C.  
5645 Nicholson Lane  
Suite 200  
Rockville, Maryland 20852  
Tel 301 737 7442

**Notes**

1. PERMIT TO CONSTRUCT SHALL BE OBTAINED FROM THE APPLICABLE LOCAL JURISDICTION. CONSULT WITH THE APPLICABLE LOCAL JURISDICTION FOR ANY SPECIAL REQUIREMENTS.
2. ALL WALLS AND PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
3. ALL ROOFING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
4. ALL EXTERIOR FINISHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
5. ALL INTERIOR FINISHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
6. ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
7. ALL STRUCTURAL ELEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
8. ALL STRUCTURAL ELEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
9. ALL STRUCTURAL ELEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.
10. ALL STRUCTURAL ELEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) UNLESS OTHERWISE SPECIFIED.

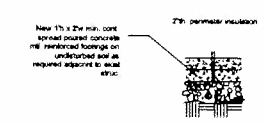


1 Typical Wood Framing Details & Door & Windows (typ)  
Scale: 1/12" = 1'-0"



4 Structural Framing Bracing Details  
Scale: 3/4" = 1'-0"

2 Typical Floor Framing Detail (typ)  
Scale: 1/12" = 1'-0"



3 Concrete Slab and Paving Details  
Scale: 1/12" = 1'-0"

**Legend**

- EXISTING WALL
- NEW WALL
- OTHER WALL

Professional Certification:  
I hereby certify that these drawings were prepared and designed by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Maryland.

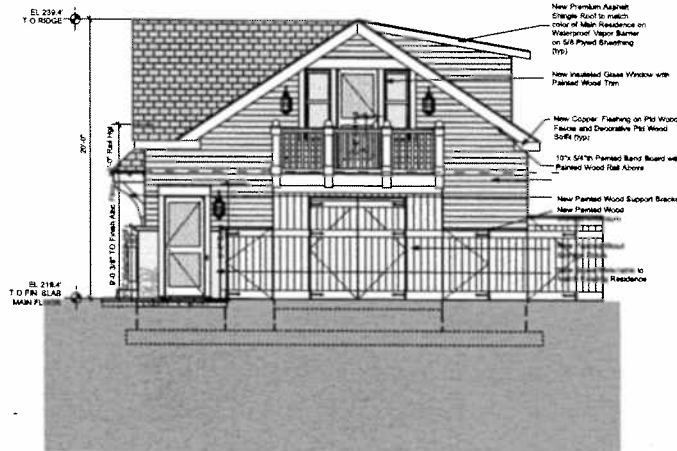
**Structural Details & Misc. Notes**  
As Noted

2 November 2015

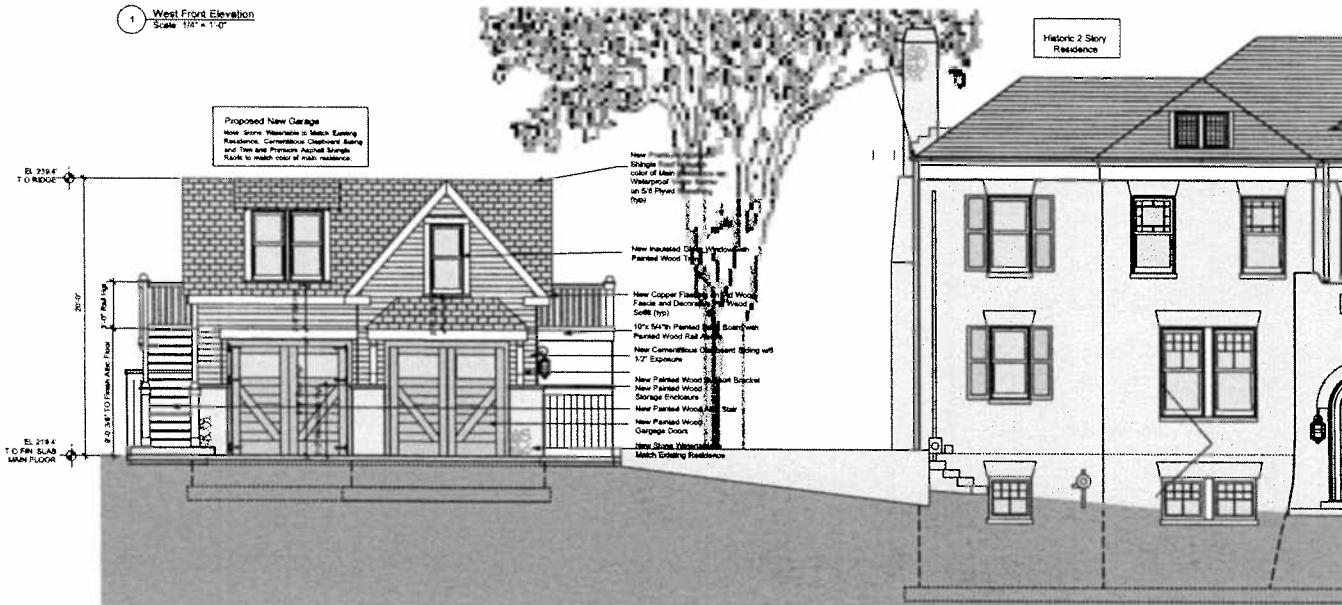
**A.402**



1 West Front Elevation  
Scale: 1/4" = 1'-0"



2 North Elevation  
Scale: 1/4" = 1'-0"



**Notes**

**Legend**

- EXISTING WALL
- NEW WALL
- EXISTING WALL

**Professional Certification**

As prepared by the Designer, this project is submitted to the local authority for review and approval. The Designer is not responsible for the accuracy of the information provided on this drawing.

**Elevations**

Scale: 1/4" = 1'-0"

2 November 2015

**A.500**

**McNair Residence  
Garage Addition**

5417 Mohican Road  
Bethesda, MD 20816

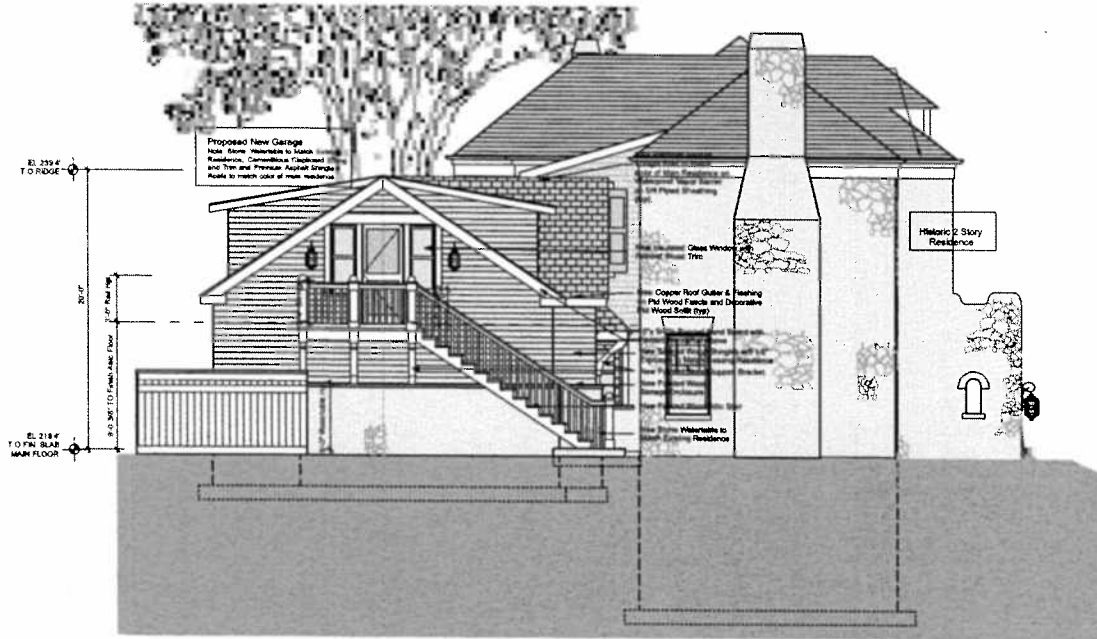
Owner:  
Rose Michael  
5417 Mohican Road  
Bethesda, MD 20816

Current Issue  
**Permit Application**

**Pollock Dickerson  
Associates, PC**

Architect  
Pollock Dickerson Associates, P.C.  
5842 Nicholson Lane  
Suite 200  
Rockville, Maryland 20852  
Tel 301.237.7542





1 East Elevation Scale: 1/4" = 1'-0"

2 South Elevation Scale: 1/4" = 1'-0"

Notes

Legend

- EXIST. WALL
- NEW WALL
- REMOVE WALL

**McNair Residence**  
Garage Addition

6417 Mohican Road  
Bethesda, MD 20816  
Owner  
Rosa McNair  
6415 Mohican Road  
Bethesda, MD 20816  
Current Issue  
**Permit Application**

**Pollock Dickerson**  
Associates, PC

Architect  
Pollock Dickerson Associates, P.C.  
5640 Nicholson Lane  
Suite 300  
Rockville, Maryland 20852  
Tel: 301.247.7542

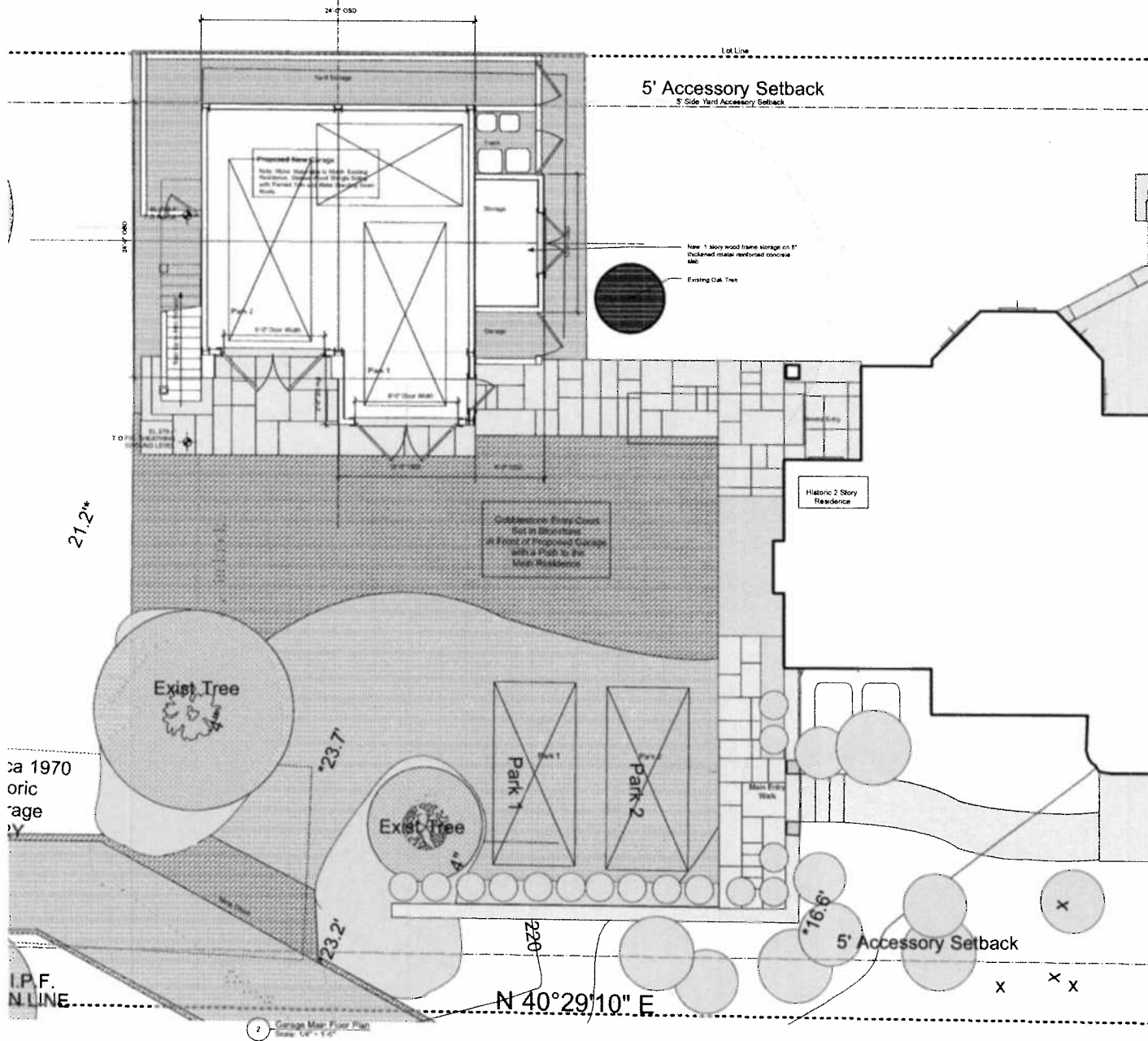
Professional Certification  
I certify that the drawings herein were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Maryland.

**Elevations**

Scale: 1/4" = 1'-0"  
2 November 2016

**A.501**





**McNair Residence  
Garage Addition**

5417 Mohican Road  
Bethesda, MD 20818

Owner:  
Rory McNair  
5415 Alhambra Road  
Bethesda, MD 20818

Client name:  
**Application for Historic Area  
Work Permit**

Architect:  
Pollock Dickerson Associates, P.C.  
3640 Nicholson Lane  
Suite 200  
Rockville, Maryland 20852  
Tel: 301.271.7502

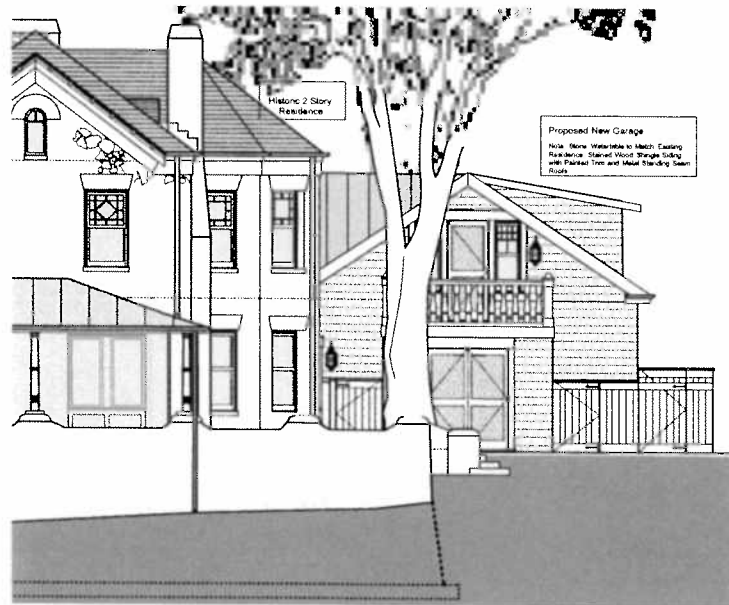
Professional Certification:  
I am a duly licensed professional architect registered in the State of Maryland and I am the author of the drawings herein. I am not providing these drawings to any other person or entity for any other project.

**Garage Main Floor Plan**

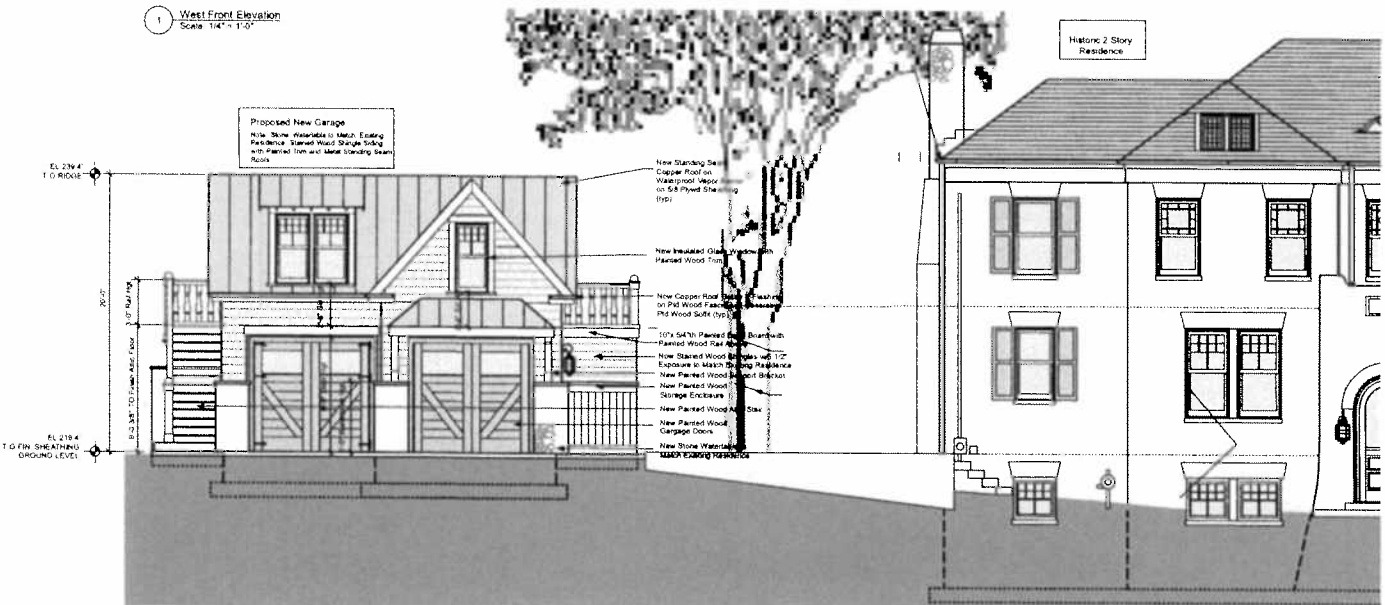
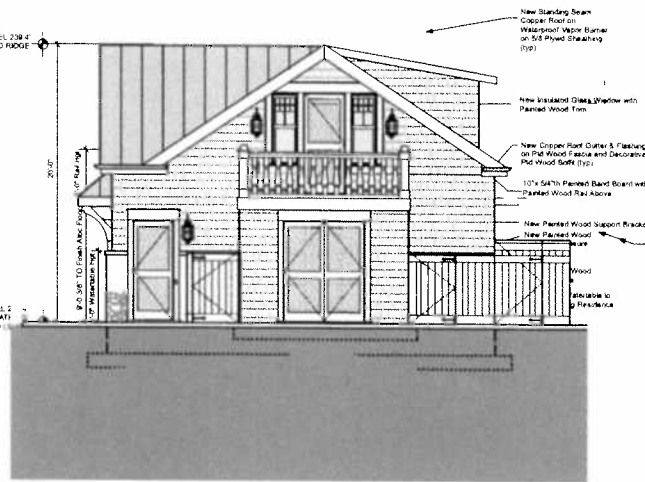
Scale: 1/4" = 1'-0"

September 14, 2015

**A.101**



1 West Front Elevation  
Scale: 1/4" = 1'-0"



2 North Elevation  
Scale: 1/4" = 1'-0"

**Notes**

**Legend**

- EXISTING WALL
- NEW WALL
- EXISTING ROOF

**Elevations**

Scale: 1/4" = 1'-0"

September 14, 2010

**A.200**

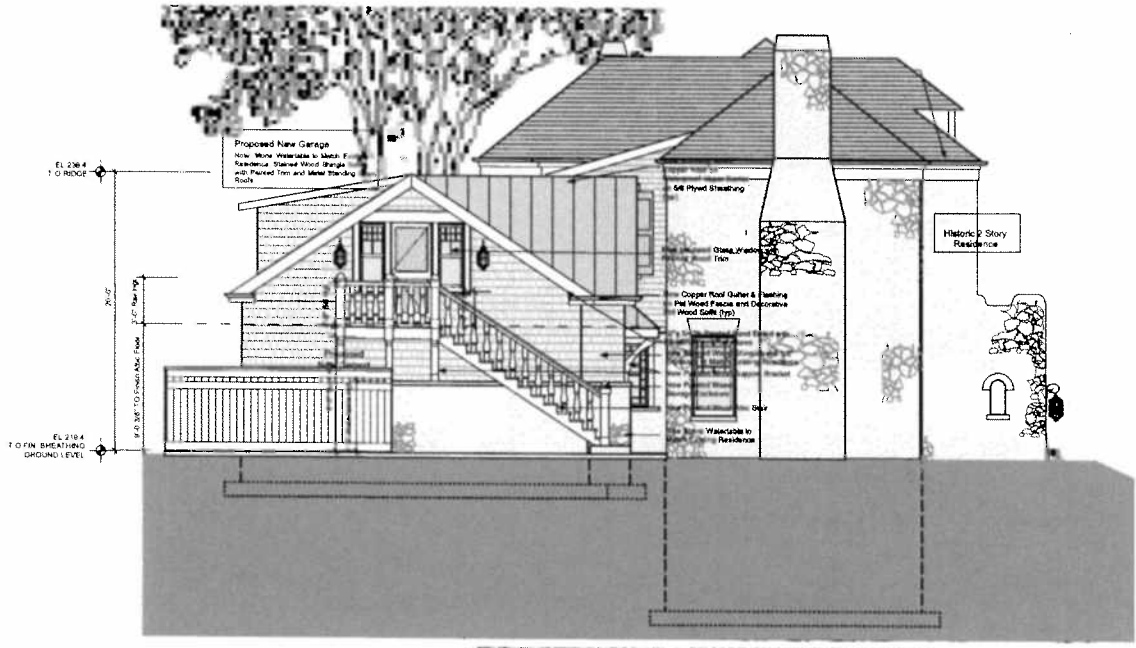
**McNair Residence**  
Garage Addition

5417 Mohican Road  
Bethesda, MD 20818

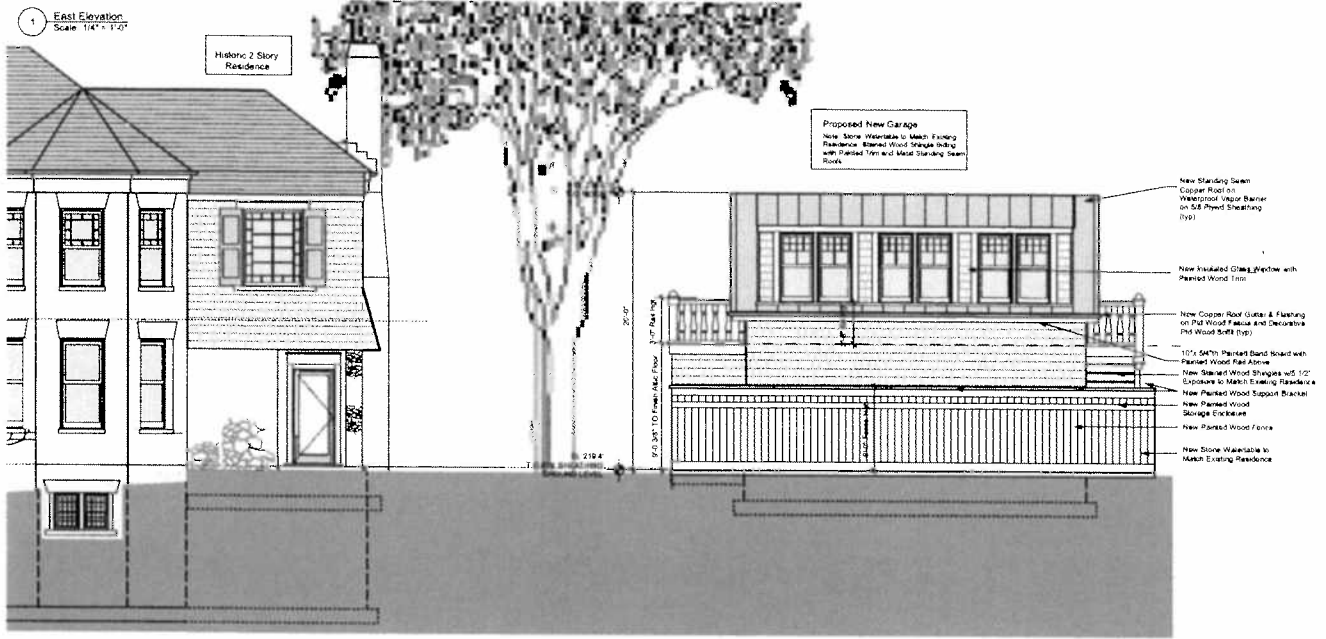
Owner:  
Rory McNair  
5415 Mohican Road  
Bethesda, MD 20816

Client Name:  
**Application for Historic Area Work Permit**

Architect:  
**Pollock Dickerson Associates, P.C.**  
3845 Rockville Lane  
Suite 200  
Rockville, Maryland 20852  
Tel: 301.251.7542



1 East Elevation  
Scale: 1/4" = 1'-0"



2 South Elevation  
Scale: 1/4" = 1'-0"

Notes

Legend

- EXISTING WALL
- NEW WALL
- EXISTING ROOF

**McNair Residence  
Garage Addition**

5417 McHican Road  
Bethesda, MD 20816

Owner:  
Rosa McNair  
5415 McHican Road  
Bethesda, MD 20814

Project Name:  
**Application for Historic Area  
Work Permit**

**Pollock Dickinson  
Associates, PC**

Architect:  
Pollock Dickinson Associates, P.C.  
5840 Northwood Lane  
Suite 300  
Karlsvale, Maryland 20882  
301.303.7144

Professional Certification:  
I hereby certify that the information provided in this application is true and correct to the best of my knowledge and belief, and that I am a duly licensed professional in the State of Maryland.

**Elevations**

Scale: 1/4" = 1'-0"  
September 14, 2016

**A.201**





2A

LOCATION OF NEW GARAGE



**GARAGE TO BE REMOVED**





~~31~~  
31

LOOKING PAST HOUSE TO NEW GARAGE LOCATION



R.A. CHARLES CASTLE





(33) 08

FROM MOHICAN DRIVE





(31)

R.A. CHARLES CASTLE (FOREGROUND) AND BALTZLEY CASTLE (BACKGROUND)