

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9900 Falls Road, Rockville	Meeting Date:	6/26/2024
Resource:	Master Plan Site #29/08-002A Perry Store	Report Date:	6/18/2024
Applicant:	Capital One (Ruth Newell, Agent)	Public Notice:	6/12/2024
Review:	HAWP	Tax Credit:	No
Permit Number:	1071828	Staff:	Chris Berger

PROPOSAL: Exterior alterations for ADA accessibility.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with one condition** the Historic Area Work Permit (HAWP) application with final approval delegated to staff:

1. Applicant must confirm whether the brick pavers in the parking lot and driveway will be replaced with asphalt or brick-stamped concrete.



Figure 1: The Perry Store Master Plan Site parcel lines are marked in red at the northeast corner of River and Falls Roads.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: *Master Plan Site #29/08-002A, Perry Store*
 STYLE: Italianate
 DATE: circa 1880 (Perry Store) and circa 1990 (octagonal, one-story addition)

The house is described follows in *Places From the Past*:

The Perry Store is the only 19th century commercial building remaining in the community once known as Offutt's Crossroads, today's Potomac Village. The brick structure serves as a historical focal point, prominently located at the intersection of Falls and River Roads. Italianate style details are found in the ornate oversize cornice brackets and in the segmentally arched windows.

Thomas Perry built the store in 1880. Born in 1845, Perry had been a partner in the 1870s with Winfield Offutt in the operation of a store built by Offutt. The partnership dissolved and Perry built his own store on the opposite side of Falls Road from the Offutt store.

The two-story structure, divided into two units, was constructed of common bond brick with a stone foundation. The southern section of the Perry building contained the store, while the northern section was the Perry residence. The post office moved from the Offutt store to the Perry store in 1881 when Thomas' wife, Marian, was appointed postmistress. The same year, the town name officially changed from Offutt's Crossroads to Potomac.

After Thomas Perry's death at 39 in 1884, the business was operated by Marian and their 14 year-old son Edgar. Edgar continued to operate the store as an adult, and after his mother's death in 1908. He sold the property out of the family in 1928. In 1986, the Chevy Chase Savings and Loan acquired the building, moved it 21 feet to allow the widening of Falls Road, and restored it for use as a bank.

EXISTING CONDITIONS PHOTOS– EDGAR PERRY STORE



Figure 2: The Perry Store facing southeast, left, and facing north, right.

EXISTING CONDITIONS PHOTOS– EDGAR PERRY STORE



Figure 3: The Perry Store facing southwest, left, and facing west, right.

PROPOSAL

The ADA compliant parking lot and pathways work will consist of the following:

- Grading, milling, and repaving of parking spaces.
- Removal and replacement of the existing curb along the path.
- Removal of the existing brick walkway to the west and north of the building and replacement with stamped concrete with dyed brick pattern to match existing.
- Relocation of the existing signage.
- Installation of turning and entrance landings and ramps on path.
- Installation of steps at the southwest path.
- Installation of either a dyed, brick-finished concrete or asphalt path in parking lot.
- Installation of handrails.
- Installation of a bollard with actuator plate at the southwest entrance.
- Installation of steps.

The project also will include interior improvements that are not subject to a HAWP.

PROPOSED SITE PLAN OVERVIEW– EDGAR PERRY STORE



Figure 4: The applicant provided this diagram to show the proposed ADA improvements in the parking lot and pathway to the west and north of the building.

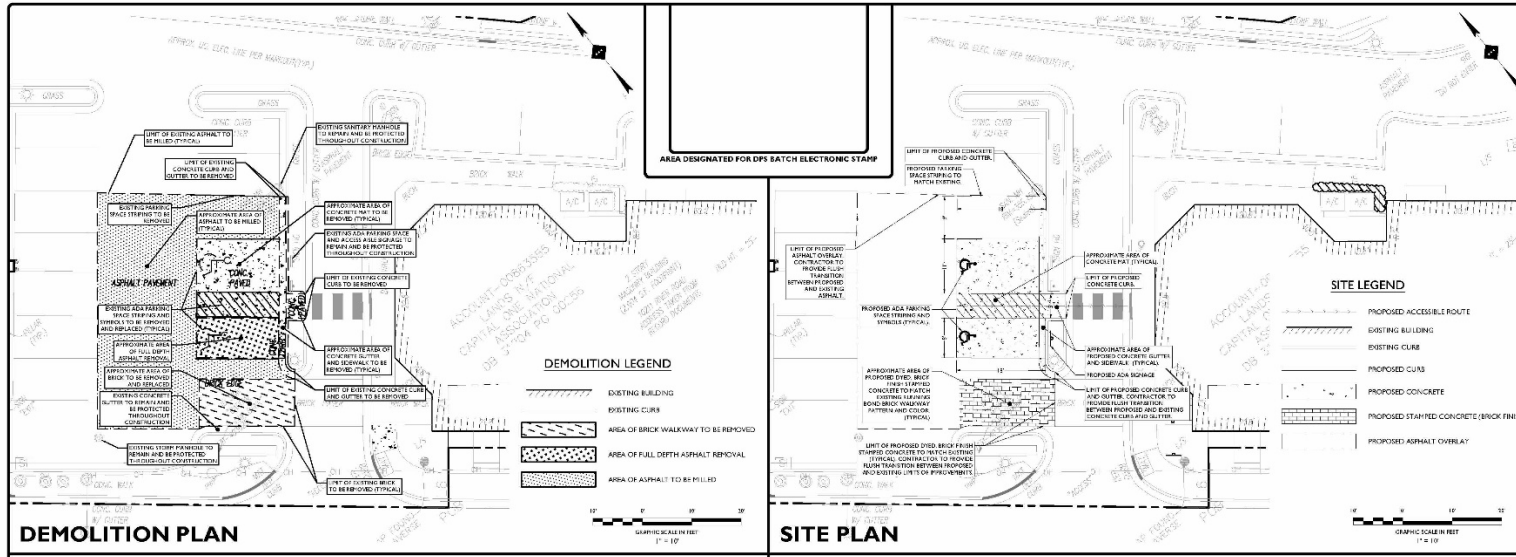


Figure 5: The proposed demolition plan and site plan for the parking lot improvements.

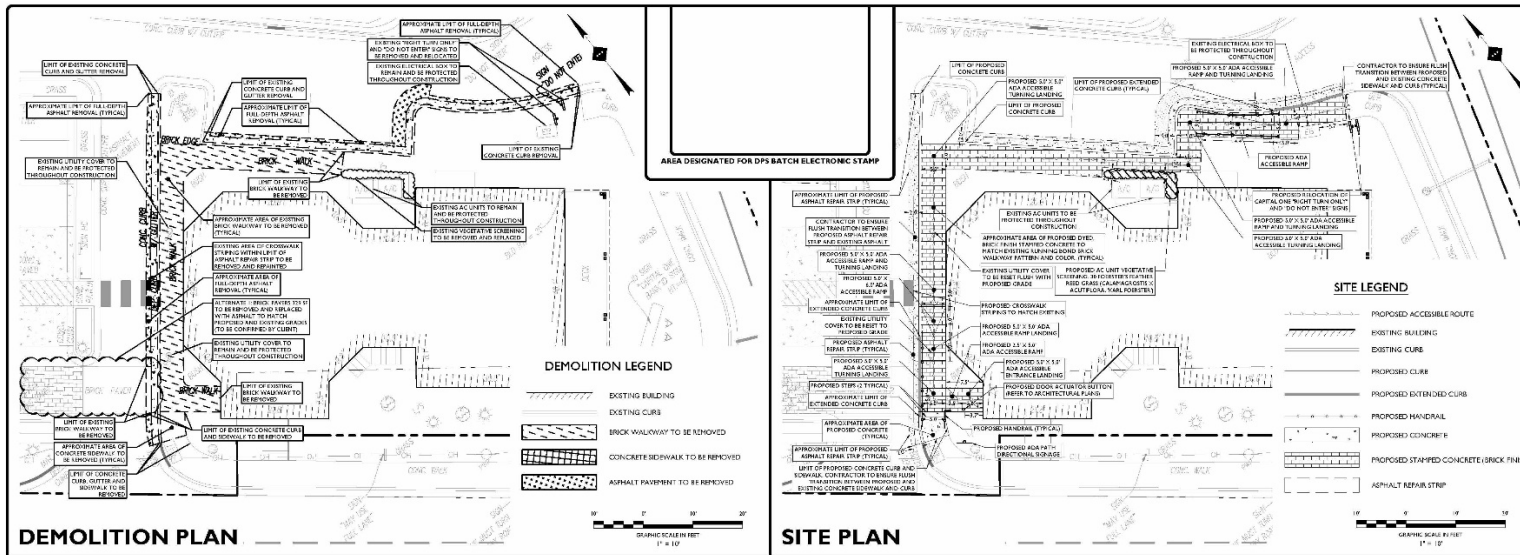


Figure 6: The proposed demolition plan and site plan for the path improvements.

APPLICABLE GUIDELINES

In accordance with Section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97), in developing its decision when reviewing applications for an undertaking at a Master Plan site the Commission uses Chapter 24A-8 of the Montgomery County Code (*Chapter 24A-8*), *the Secretary of the Interior's Standards for Rehabilitation (Standards)*, and pertinent guidance in applicable master plans. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the various ADA improvements to the parking lot and pathways. In accordance with Chapter 24A-8(b)(1), the proposal will not substantially alter the exterior features of the historic site. No historic fabric will be affected by the work, and it will be limited to the parking lot to the west of the historic Perry Store and pathways to the west and north of the building. Most of the work will be proximate to the circa 1990 octagonal addition, including the bollard to be placed at the entrance. Per Chapter 24A-8(b)(2), the proposal is compatible with the character of the property where a parking lot and pathways already existing. The work will enhance in the utilization of the historic site in conformance with Chapter 24A-8(b)(3) by making it ADA compliant. Similarly, the work will meet Chapter 24A-8(b)(4), because the proposal is necessary in order than unsafe conditions are remedied. The work also meets the applicable *Standards*, because the historic character of the property will be retained and

preserved by the changes, and the essential form and integrity of the historic property and its environment would be unimpaired should the new construction be removed in the future.

The site plan on **Figure 5** for the existing brick parking lot path has a label that states it will be concrete with a stamped brick finish. The demolition plan on **Figure 6** states the brick path will be replaced with asphalt. Staff supports either option but seeks clarification on which will be selected.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one condition** the HAWP application with final approval delegated to staff:

1. Applicant must confirm whether the brick pavers in the parking lot and driveway will be replaced with asphalt or brick-stamped concrete.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (3), and (4), having found that the proposal, as modified by the condition, is compatible in character with the site and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and 9.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1071828
DATE ASSIGNED _____

APPLICANT:

Name: Capital One
Address: 9900 Falls Road
Daytime Phone: 661-466-6910

E-mail: ruth.newell@capitalone.com
City: Riverville Zip: 20854
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Ruth Newell
Address: 9900 Falls Road
Daytime Phone: 661-466-6910

E-mail: ruth.newell@capitalone.com
City: Riverville Zip: 20854
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 29/008-002A

Is the Property Located within an Historic District? Yes/District Name Potomac Village
 No/Individual Site Name Perry House

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 9900 Street: Falls Road
Town/City: Rockville Nearest Cross Street: River Rd
Lot: _____ Block: _____ Subdivision: _____ Parcel: P270

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ruth R. Newell _____ May 23, 2024
Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
 Capital One National Association
 P O BOX 460189
 Houston, TX 77056

Owner's Agent's mailing address
 Brandon Abrams, TPG Architecture
 132 West 31st Street, 5th Floor
 New York, NY 10001

Adjacent and confronting Property Owners mailing addresses

C/O DONOHOE REAL EST SERV
 7101 WISCONSIN AVE
 BETHESDA MD 20814

East of the Site Address:
 10101 RIVER RD
 ROCKVILLE 20854-0000

RIVER FALLS LLC
 107 W JEFFERSON ST
 ROCKVILLE MD 20850

South of the Site Address:
 10200 RIVER RD
 ROCKVILLE 20854-0000

C/O DANAC
 5404 WISCONSIN AVE STE 301
 CHEVY CHASE MD 20815

South of the Site Address:
 10220 RIVER RD
 ROCKVILLE 20854-0000

C/O BANK OF AMERICA
 101 N TRYON ST
 CHARLOTTE NC 28255-0001

West of the Site Address:
 10250 RIVER RD
 ROCKVILLE 20854-0000

CAPITAL ONE NATIONAL ASSOCIATION
 C/O RYAN PROPERTY TAX SERV
 P O BOX 460189
 HOUSTON TX 77056

North of Site Address:
 9916 FALLS RD
 POTOMAC 20854-0000

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing historic site known as the "Perry Store" and is the only 19th century commercial building remaining in the community. The building is a brick structure that includes italianate details, ornate oversized cornice brackets, and segmentally arched windows.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Capital One is proposing to modify the existing exterior walkway to include ADA accessible pathways. New finishes and hardware are proposed to match the existing colors of the site location.

Work Item 1: ADA Compliant Pathway

Description of Current Condition:

Existing brick walkway, surrounding the site. No existing ADA ramps or landings. One existing curb cut at the front entrance.

Proposed Work:

Demolition includes:

limit of existing concrete curb removal, asphalt at concrete curb to be removed, portion of the brick walkway to be removed, and existing directional signage to be removed and relocated.

Additions include:

proposed ADA accessible turning landings, entrance landings, and ramps, add steps on the SW walkway, add dyed, brick finish stamped concrete walkway, and repair asphalt strip and concrete curbs. Associated grading and ADA slope details can be found on sheet number C-3 on the civil plans.

Work Item 2: Entrance Door

Description of Current Condition:

Green framed glass door. No existing ADA push buttons.

Proposed Work:

new power operated entrance door, one (1) bollard post, two (2) wall mounted actuator plates, one (1) surface mount box, and one (1) key switch.

GC is to run power to the existing branch electrical pane and use the next empty circuit breaker on the panel. Entrance door and adjacent storefront is to be patched & painted to match existing color.

Work Item 3: Hardware & Finishes

Description of Current Condition:

Interior has existing carpet and ceramic tiles.

Proposed Work:

install new flooring transition strips along all the bank lobby transitions between the carpet and ceramic tile.

repaint existing door and storefront frames to match existing color at this location.

repaint existing wall to match existing paint color at this location.

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Post-Civil War Community Buildings



29/8-2 Perry Store (1880)
9900 Falls Road (10211 River Road)

The Perry Store is the only 19th century commercial building remaining in the community once known as Offutt's Crossroads, today's Potomac Village. Prominently located at the intersection of Falls and River Roads, the brick structure serves as a historical focal point. Italianate details include the ornate, oversize cornice brackets and the segmentally arched windows.

The store was built in 1880 by Thomas Perry. Perry, born in 1845, had been a partner in the 1870s with Winfield Offutt in the operation of a store built by Offutt. The partnership dissolved and Perry built his own store on the opposite side of Falls Road from the Offutt store.

The two story structure, divided into two units, was constructed of common bond brick with a stone foundation. The southern section of the Perry building contained the store, while the northern section was the Perry residence. The post office moved from the Offutt store to the Perry store in 1881 when Thomas' wife, Marian, was appointed postmistress. The same year the town name officially changed from Offutt's Crossroads to Potomac.

After Thomas Perry's death at 39 in 1884, the business was operated by Marian and their 14 year old son Edgar. Edgar continued to operate the store as an adult, and after his mother's death in 1908. He sold the property out of the family in 1928. In 1986, Chevy Chase Savings and Loan acquired the building, moved it 21 feet to allow the widening of Falls Road, and restored it for use as a bank.

Environmental Setting: Parcel P270 (21,011 square feet).

Owner: Capital One National Association

Property: 9900 Falls Road, Rockville, Maryland 20854

Parcel: P270

Tax Map: FP342

List of Adjoining and Confronting Property Owners

Name	Mailing Address	Parcel	Site Address
Capital One National Association	C/O Ryan Property Tax Serv P O Box 460189 Houston Tx 77056	P218	9916 Falls Rd Potomac 20854-0000
Ten Thousand Falls Rd Llc	10000 Falls Rd Ste 200 Potomac Md 20854-4103	Fp42	10000 Falls Rd Rockville 20854-4103
Bank Of America Na	C/O Bank Of America 101 N Tryon St Charlotte Nc 28255-0001	P243	10250 River Rd Rockville 20854-0000
River Falls Llc	107 W Jefferson St Rockville Md 20850	P325	10200 River Rd Rockville 20854-0000
Semmes Building Llc	C/O Danac 5404 Wisconsin Ave Ste 301 Chevy Chase Md 20815	P298	10220 River Rd Rockville 20854-0000
10121 Trust Saltpond Llc Et Al	C/O Donohoe Real Est Serv 7101 Wisconsin Ave Bethesda Md 20814	N275	10101 River Rd Rockville 20854-0000



POTOMAC - ADA PASS
10211 RIVER ROAD
POTOMAC, MD 20854

LIST OF DRAWINGS

		ISSUED FOR CLIENT REVIEW 08/15/2023								
ARCHITECTURAL DRAWINGS										
T-001	COVER SHEET	•								
G-001	GENERAL NOTES SHEET 01 OF 02	•								
G-002	GENERAL NOTES SHEET 02 OF 02	•								
G-003	ADA NOTES	•								
A-101	PLAN, DOOR/HARDWARE SCHEDULES, DETAILS	•								
CIVIL DRAWINGS										
C-001	SITE AND GRADING PLANS	•								
C-002	CONSTRUCTION DETAILS	•								

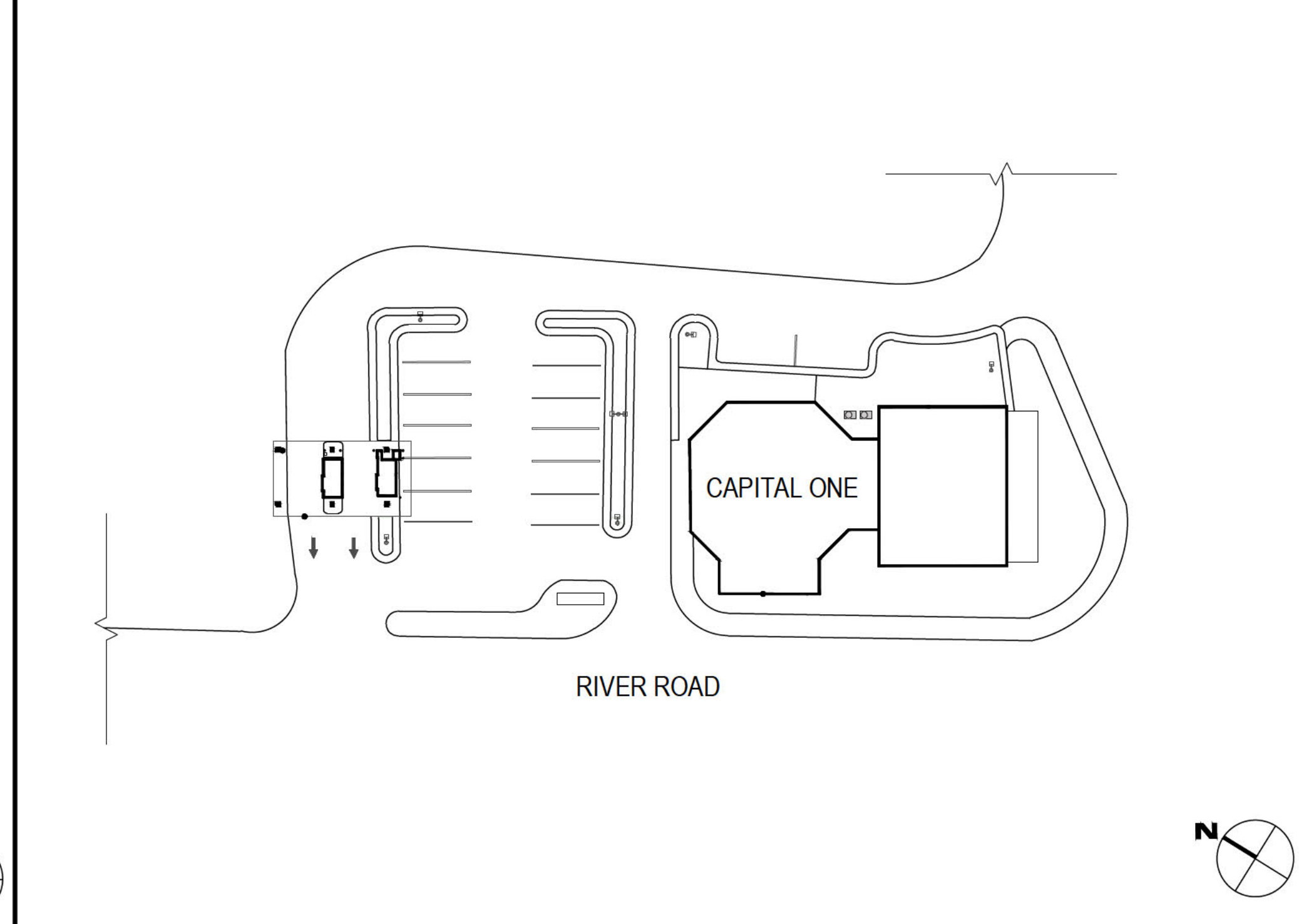


CLIENT:
STONEFIELD

CIVIL ENGINEER:

PLOT PLAN

SITE PLAN



AREA OF WORK
10211 RIVER ROAD
POTOMAC, MD 20854



TPG ARCHITECTURE, LLP
132 W 31ST ST, STE 5, NEW YORK, NY 10001
631.547.7300 | TPGARCHITECTURE.COM

01	ISSUED FOR CLIENT REV EW	08/15/23	TPG
NO.	REVISION	DATE	BY

TPG Architecture

TPG ARCHITECTURE, LLP
31 PENN PLAZA
132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001
212.768.0800 | TPGARCHITECTURE.COM

IN CONSIDERATION OF RECEIVING DRAWINGS FROM TPG ARCHITECTURE LLP IN AN ELECTRONIC FORM, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY TPG ARCHITECTURE LLP FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, RE-USE, MIS-USE, MODIFICATION, OR MIS INTERPRETATION OF THE MACHINE-READABLE INFORMATION PROVIDED BY TPG ARCHITECTURE LLP UNDER THIS AGREEMENT.

PROJECT
CAPITAL ONE - POTOMAC ADA PASS
10211 RIVER ROAD
POTOMAC, MD 20854

DRAWING
COVER SHEET

SEAL	DATE	08/15/2023
	PROJECT NO.	1522996-00
	SCALE	N/A
	DWG NO.	T-001
	CAD FILE NO.	T-001 DWG
	PAGE	of

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Last Saved By: BARRAMS / Save Date: 8/15/2023 3:45:13 PM

ABBREVIATIONS

A	AR CONDITION NG AUDIO VISUAL ACOUSTICAL ACOUSTICAL CEILING T L E AREA DRAIN ADDITIONAL ADJACENT ACCESS DOOR ARCHITECT/ENGINEER ACCESS FLOOR ABOVE FINISH FLOOR AGGREGATE A/R HANDL NG UNIT ALTERNATE ALUM NUM ANODIZED AOR ARCHITECT OF RECORD APPROX APPROXIMATE (LY) APT APARTMENT ARC ARCHITECT (URAL) CONCRETE AUTO AUTOMATIC AUX AUXILIARY AVG AVERAGE	E	EAST EACH EXPOSED CONSTRUCTION EXTERIOR INSULATED F NISH SYSTEM EXPANSION JOINT ELEVATION (GRADE) ELASTOMERIC ELECTRICAL ELECTRIC CLOSET ELEVATOR ENTRANCE MAT EMERGENCY ENCLOSURE (ENCLOSED) ENTRANCE ENGINEER OF RECORD EDGE OF SLAB EQUAL EQUIPMENT ESCALATOR EACH WAY EWC ELECTRIC WIRE CAB NET EXHAUST EXISTING EXP EXPAN EXT	L	LABORATORY LAMINATED LAVATORY LBS POUNDS LD LINEAR DIFFUSER LF LINEAR FOOT LEFT HAND LHR LEFT HAND REVERSE LL LIVE LOAD LONG LONGITUDINAL LP LOW POINT LVR LIV NG ROOM LGT LIGHTING LOUVERED	R	RISER RETURN AIR RADIUS RESILIENT BASE REINFORCED CONCRETE ROOF DRAIN RECEPTACLE RECTANGLE REFERENCE REFRIGERATOR REGISTER REINFORCE (D., NG., MENT) REQUIRED REVISION RESILIENT FLOORING ROOFING ACCESSORS ES RIGHT HAND RIGHT HAND REVERSE ROOM MAXIMUM ROUNDED ROUGH OPENING RIGHT OF WAY MEDIUM RAILROAD ROOFING SYSTEM	W	WEST WITH WITHOUT WOOD BADGE WALL COVERING WOOD WOOD DOOR AND FRAME WALL HYDRANT WROUGHT IRON WELDED WORK POINT WATERPROOF NG SYSTEM WEATHER RESISTANT WARDROBE WEATHER STRIP WEIGHT WINDOW TREATMENT WOOD VENEER WELDED WIRE FABRIC
B	BOARD BOARD FOOT BEVELED BUMPER GUARD BUILDING BLOCKING BEAM BENCHMARK BOTTOM OF BOTTOM OF CURB BEDROOM BRICK BRONZE BASEMENT BRASS BRITISH THERMAL UNIT	F	FAHRENHEIT FIRE ALARM FIRE ALARM ANNUNCIATOR PANEL FABRIC FIRE ALARM CONTROL PANEL FRESH AIR INTAKE FLOOR DRAIN INTAKE FIRE DAMPER FOUNDATION FIREIGHT ELEVATOR FIRE EXTINGUISHER CAB NET FIRE HYDRANT FIRE HOSE CABINET FIRE HOSE RACK (REEL) FINISHED FINISHED FLOOR FINISH GRADE FIRE ALARM PULL STATION	M	MACHINE MAINTAIN / MAINTENANCE MATERIAL MAXIMUM METAL BASE MECHANICAL MECHANICAL EQUIPMENT ROOM MEZZANINE MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS METAL LATH MILLWORK MOLDING MASONRY OPENING METAL PANEL MOUNTED METAL MULLION	S	SOUTH SUPPLY AIR SANITARY SPLASH BACK SCHEDULE SOUTHEAST SEALANT SECTION SHOWER SHEET SHEATHING SIMILAR SLIDE / SLIDING SHEET METAL ROOFING SANITARY NAPKIN DISPOSAL SANITARY NAPKIN VENDOR START POINT SYNTHETIC POLYMER COUNTERTOP SPECIFICATIONS SQUARE SQUARE FOOT (AGE) STAINLESS STEEL STONE SOUND TRANSMISSION CLASS STANDARD STATION LINE STEEL STORAGE STRUCTURE/STRUCTURAL SURFACE MOUNTED SPRING / SUSPENSION SOUTH SWITCHBOARD SYMMETRICAL	T	TREAD TONGUE AND GROOVE TRAFFIC COATING TRENCH DRAIN TELEPHONE TEMPERATURE TERRAZZO THICKNESS THRESHOLD THRESHOLD TOP OF TOP OF CURB TOPOGRAPHY (MAP) TO LET PAPER DISPENSER TRANSOM TELEVISION TYPICAL
C	CAPACITY CATCH BASIN CLOSED CIRCUIT TELEVISION CFM CUBIC FEET PER MINUTE CORNER GUARD(S) CAST IRON CAST IN PLACE CONTROL JOINT CENTER LINE CEILING CEILING HEIGHT CLOSET CLEAR OPENING CONCRETE MASONRY UNIT CLEANOUT COLUMN CONCRETE CONFERENCE CONNECTION CONSTRUCTION CONTINUOUS / CONTINUOUS CONNECTOR CORRIDOR CARPET (ED) COUNTERSINK / COUNTERSUNK CASEWORK CERAMIC TILE CENTER CUBIC COLD WATER	G	GAS GAUGE GALLON (S) GALVANIZED GENERAL CONTRACTOR GLASS FIBER REINFORCED CONCRETE GLASS FIBER REINFORCED GYPSUM GALVANIZED IRON GLASS GLASS BLOCK GROUND GALLONS PER HOUR GALLONS PER MINUTE GRADE GRILLE GYPSUM WALL BOARD	N	NORTH NOT APPLICABLE NOISE CRITERIA NORTHEAST NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOT TO SCALE NORTHWEST	O	OUTSIDE AIR ON CENTER OCCUPANCY OUTSIDE DIAMETER OF OVERFLOW DRAIN OFFICE OVERHEAD COILING DOOR OPPOSITE HAND OPENING OPPOSITE OPERATING / OPERABLE OVERFLOW ROOF DRAIN OUTLINE	U	UNDERCUT UNDERWRITERS LABORATORIES UNFINISHED UNLESS NOTED OTHERWISE UNINTERRUPTED POWER SUPPLY UNDERSIDE OF UNLESS OTHERWISE NOTED
D	DECIBEL DOUBLE HUNG DECK DRAIN DEGREE(S) DEPARTMENT DETAIL(S) DRAINING FOUNTAIN DOUBLE HUNG DIAMETER DIAGONAL DIFFUSER(S) DIMENSION(S) DISPENSER DRY DIVISION DEAD LOAD DAMP PROOF NG DAMPER DRAINAGE PANEL DINING ROOM DRAPEY DRAWING(S) DUMBWAITER	H	HOSE BIB HEAD HARDWARE HEXAGONAL HOLLOW METAL HAND RAIL HOLD OPEN HORIZONTAL HIGH POINT HOURS (FIRE RESISTANCE RATING) HEIGHT HOT WATER HEATING, VENTILATION, A/R CONDITION NG HIGHWAY	P	PUBLIC ADDRESS PARALLEL PART PAVERS PARTICLE BOARD PRECAST CONCRETE PASSENGER ELEVATOR PERFORATED PROPERTY LINE PLASTER PLASTIC LAMINATE PLYWOOD PLYWOOD PNEUMATIC POLISHED PAR PREFABRICATED PROJECT PROPERTY PER SQUARE FOOT PER SQUARE INCH PARTITION PARTITION POLYVINYL CHLORIDE PAVING POWER	V	VACUUM VERTICAL VESTIBULE VERTICAL FIELD VENEER VOLUME		

STANDARD SYMBOLS

	INDICATES ELEVATION NUMBER
	INDICATES REFERENCE DRAW NG NUMBER
	INDICATES DETAIL NUMBER
	INDICATES REFERENCE DRAW NG NUMBER
	INDICATES ELEVATION INDICATOR
	INDICATES BUBBLED/CLOUDED AREA OF REVISION, BULLETIN OR ADDENDUM
	INDICATES BENCHMARK STARTING POINT SYMBOL
	INDICATES BREAK POINT BETWEEN (2) OBJECTS/MATERIALS
	INDICATES ENLARGED PLAN (REFER TO DETAIL AND PLAN ON SPECIFIC SHEET)
	INDICATES CENTER LINE
	INDICATES PROPERTY LINE
	INDICATES LINE OF OFFSET ABOVE, SEE REFLECTED CEILING PLANS
	INDICATES BREAKLINE
	INDICATES ROOM/SPACE NAME
	INDICATES ROOM/SPACE NUMBER
	INDICATES ALIGNMENT OF ADJACENT SURFACES
	EXISTING CONSTRUCTION TO REMAIN
	INDICATES AREA NOT IN CONTRACT
	INDICATES 1 HOUR FIRE RATED PARTITION
	INDICATES 2 HOUR FIRE RATED PARTITION
	INDICATES 3 HOUR FIRE RATED PARTITION
	INDICATES 4 HOUR FIRE RATED PARTITION
	INDICATES SMOKE BARRIER
	INDICATES NORTH ARROW
	INDICATES DIMENSION LINE
	INDICATES KEY NOTE REFERENCE TO A SPECIFIC ITEM ON A DRAWING
	INDICATES EXISTING TO REMAIN
	INDICATES CHANGE IN ELEVATION

CORRESPONDENCE

CLIENT (TENANT):
CAPITAL ONE
10211 RIVER ROAD
POTOMAC MD, 20854
PROJECT MANAGER:
K M HAVNES
P: (224) 417-9139
E: KMERLY.HAVNES@CAPITALONE.COM

ARCHITECT OF RECORD:
TPG ARCHITECTURE
132 WEST 31ST STREET (31 PENN PLAZA)
NEW YORK, NY 10001
TPG ARCHITECTURE PROJECT MANAGER:
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NEW YORK, NY 10012
BRIAN BILEY
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SPECIAL INSPECTIONS:

THE OWNER MUST RETAIN A CERTIFIED SPECIAL INSPECTION AGENCY PRIOR TO THE ISSUANCE OF A WORK PERMIT FOR ALL THE SPECIAL INSPECTION ITEMS HEREIN REQUIRED.
BELOW ARE THE SPECIAL INSPECTIONS TO BE REVIEWED IF REQUIRED:
CONCRETE STRUCTION

CLIENT:

STONEFIELD

CIVIL ENGINEER:

BUILDING DEPARTMENT NOTES

- ADDRESS:
10211 RIVER ROAD
POTOMAC, MD 20854
TAX PARCEL NUMBER: 270
LAND USE: OFFICE
ZONE: NEIGHBORHOOD RETAIL
- THE CONSTRUCTION/RENOVATION WORK DESCRIBED HEREIN SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL BUILDING CODES AND REPRESENTS NO CHANGE IN USE, NO CHANGE IN OCCUPANCY, NO CHANGE IN EGRESS.
2018 INTERNATIONAL BUILDING CODE PER MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES.
2018 INTERNATIONAL BUILDING CODE ER 31-19
CHAPTER 8 COUNTY BUILDING CODE
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 IBC PUBLISHED
MARYLAND ACCESSIBILITY CODE
2015 NFPA FIRE CODE
2015 NFPA 101 LIFE SAFETY CODE
2012 INTERNATIONAL GREEN CONSTRUCTION CODE
2015 IBC AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL MECHANICAL CODE
MONTGOMERY COUNTY CODE CHAPTER 8 (MECHANICAL)
MONTGOMERY COUNTY CODE CHAPTER 17 (ELECTRICAL)
NFPA 70 (NATIONAL ELECTRIC CODE)
- ENERGY CONSERVATION CODE - TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH ALL APPLICABLE SECTIONS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
- CONTRACTOR TO COMPLY WITH CONSTRUCTION SAFEGUARD REQUIREMENTS OF CHAPTER 15 OF THE 2018 INTERNATIONAL EXISTING BUILDING CODE.

01	ISSUED FOR CLIENT REVIEW	08/15/23	TPG
NO.	REVISION	DATE	BY

TPG Architecture

TPG ARCHITECTURE, LLP
31 PENN PLAZA
132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001
212.768.0800 | TPGARCHITECTURE.COM

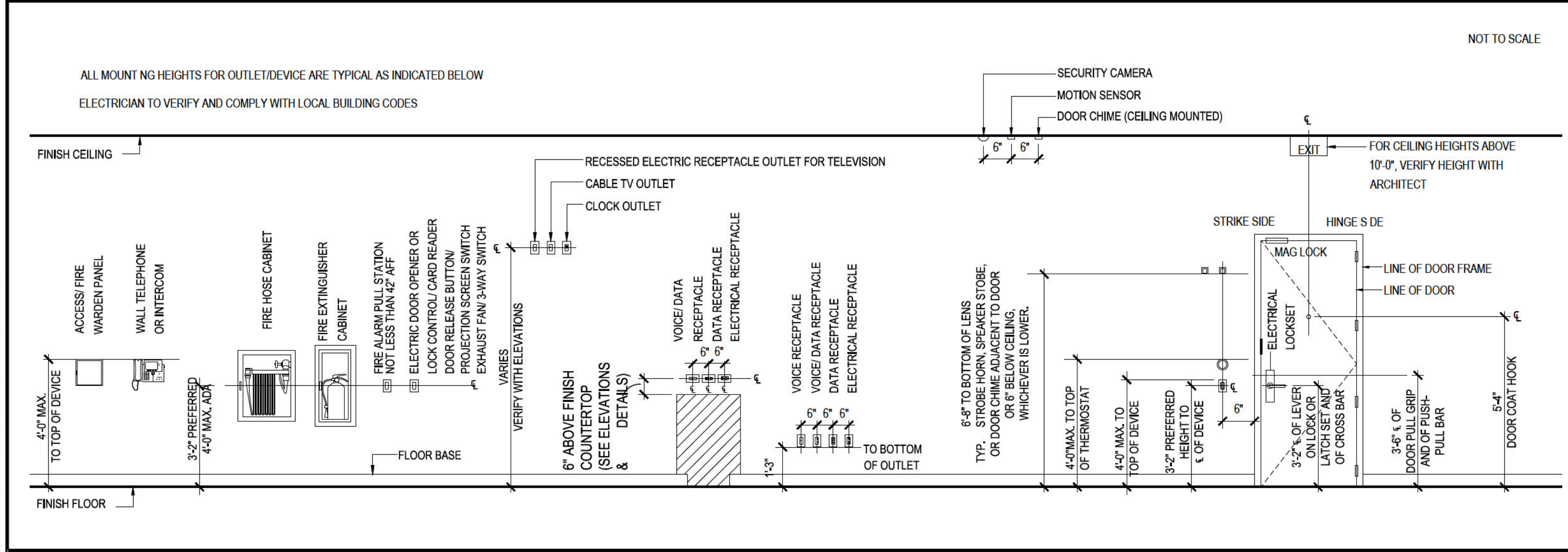
IN CONSIDERATION OF RECEIVING DRAWINGS FROM TPG ARCHITECTURE LLP IN AN ELECTRONIC FORM, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY TPG ARCHITECTURE LLP FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, RE-USE, MIS-USE, MODIFICATION, OR MISINTERPRETATION OF THE MACHINE-READABLE INFORMATION PROVIDED BY TPG ARCHITECTURE LLP UNDER THIS AGREEMENT.

PROJECT:
CAPITAL ONE - POTOMAC ADA PASS
10211 RIVER ROAD
POTOMAC, MD 20854

DRAW NG:
GENERAL SHEET 01 OF 02

DATE	08/15/2023
PROJECT NO.	1522996-00
SCALE	N/A
DWG NO.	G-001
CAD FILE NO.	G-001.DWG
PAGE	# of #

TYPICAL MOUNTING HEIGHTS



GENERAL NOTES

- THE TERMS "ARCHITECT" AND "TPG ARCHITECTURE, LLP" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE TERMS "GENERAL CONTRACTOR", "GC", "SUBCONTRACTOR", "CONSTRUCTION MANAGEMENT" AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE TERMS "OWNER", "TENANT", "CLIENT", SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE TERM "WORK" MEANS THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS, WHETHER COMPLETED OR PARTIALLY COMPLETED, AND INCLUDES ALL OTHER LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTORS OBLIGATIONS. THE WORK MAY CONSTITUTE THE WHOLE OR A PART OF THE PROJECT. IF THE CONTRACTOR PERFORMS WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, OR LAWFUL ORDERS OF PUBLIC AUTHORITIES, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH WORK AND SHALL BEAR THE COSTS ATTRIBUTABLE TO THE CORRECTION. THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR REFERRED PRIOR TO PRICE NG OR BIDDING.
- THE CONTRACT DOCUMENTS ARE ENUMERATED IN THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR AND CONSIST OF THE AGREEMENT, CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, ADDENDA ISSUED PRIOR TO EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
- THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICE REQUIRED BY APPLICABLE LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES APPLICABLE TO PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL HAVE EXPERIENCE ON AT LEAST THREE PROJECTS OF SIMILAR SIZE, COMPLEXITY, AND QUANTITY AT LEAST EQUAL TO THOSE REQUIRED UNDER ALL DIVISIONS DETAILED IN THESE DRAWINGS.
- ALL CONTRACTORS PERFORMING THIS WORK SHALL BE SKILLED WORKERS WITHIN THEIR RESPECTIVE TRADES.
- ELECTION OF SUBCONTRACTORS IS SUBJECT TO THE OWNER'S REVIEW PRIOR TO AWARDING OF CONTRACT. THE CONTRACTOR MUST SUBMIT A LIST OF THEIR PROPOSED SUBCONTRACTORS WITH THE SUBMISSION OF THEIR BID, AS WELL AS EVIDENCE THAT THOSE SUBCONTRACTORS REQUESTED TO BE AWARDING THE OPPORTUNITY TO BID HAVE HAD THAT OPPORTUNITY AND HAVE RESPONDED.
- ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE CONTRACTOR, AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK SHOWN ON ALL CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE CONTRACT DOCUMENTS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR, OR OMISSION IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE CONTRACT DOCUMENTS.
- PRIOR TO PROPOSAL SUBMISSION, CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT. CONTRACTOR SHALL BECOME FAMILIAR WITH THE BUILDING RULES AND REGULATIONS (WORK LETTER) AS WELL AS WELL SUBMISSION OF A PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT THE ABOVE SITE EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED DUE TO DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE.
- THE CONTRACTOR SHALL ASSUME THE FULL RESPONSIBILITY FOR COORDINATING THE INSTALLATION OF ALL TRADE CONTRACTS ASSIGNED BY THE OWNER. THE ARCHITECT AND THE OWNER RESERVE THE RIGHT TO LET OTHER CONTRACTORS WORK ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUCH WORK AND ESTABLISHING SCHEDULES FOR ALL TRADES, AND SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF THEIR MATERIALS AND THE EXECUTION OF THEIR WORK.
- CONTRACTOR SHALL PREPARE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE WITH OTHER CONTRACTORS IN THE REQUIRED SEQUENTIAL INSTALLATION OF OTHER CONSULTANTS' PRODUCTS. SCHEDULE TO BE UPDATED WEEKLY DURING CONSTRUCTION AND ISSUED FOR REVIEW TO ALL PARTIES.
- BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER AND/OR BUILDING MANAGEMENT CURRENT INSURANCE CERTIFICATES IN THE AMOUNTS REQUESTED BY LAW BY THE OWNER AND/OR BUILDING MANAGEMENT FOR WORKERS' COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE OWNER AND/OR BUILDING MANAGEMENT AND THE ARCHITECT SHALL BE NAMED "ADDITIONAL INSURED" ON ALL CERTIFICATES OF INSURANCE.

GENERAL NOTES

- THE CONTRACTOR AND ALL THEIR SUBCONTRACTORS SHALL INDEMNIFY, DEFEND, AND SAVE HARMLESS THE OWNER, ITS EMPLOYEES, AGENTS AND SUBSIDIARIES, AND THE ARCHITECT, THEIR EMPLOYEES, AGENTS, AND FROM ANY AND ALL CLAIMS, DEMANDS, ACTIONS BY LAW, LIABILITIES, PENALTIES, LOSSES, EXPENSES, COSTS (INCLUDING ATTORNEYS' FEES) AND JUDGMENTS OF EVERY CHARACTER WHATSOEVER FOR OR RESULTING FROM DAMAGE TO PROPERTY (INCLUDING BUT NOT LIMITED TO PROPERTY OF THE CONTRACTOR, THE OWNER, OR THE ARCHITECT) AND THE RESPECTIVE AGENTS, SERVANTS AND EMPLOYEES) AND FOR OR RESULTING FROM PERSONAL INJURIES, SICKNESS, AND DISEASE (INCLUDING DEATH) TO OR SUSTAINED BY ANY PERSON (INCLUDING BUT NOT LIMITED TO THE CONTRACTOR, THE OWNER, AND THE ARCHITECT AND THEIR RESPECTIVE AGENTS, SERVANTS, OR EMPLOYEES) OCCURRING ON OR ABOUT THE CONSTRUCTION SITE, OR ARISING OUT OF OR SUFFERED WHILE ENGAGED IN OR CAUSED IN WHOLE OR IN PART BY THE PERFORMANCE OF OR FAILURE TO PERFORM THE WORK. THE FOREGOING AGREEMENT SHALL NOT EXTEND TO THE OWNER IN THE CASE OF DAMAGE OR INJURIES CAUSED BY OR RESULTING FROM THE SOLE NEGLIGENCE OF THE OWNER, ITS AGENTS, SERVANTS, OR EMPLOYEES AND SHALL NOT EXTEND TO THE ARCHITECT, HIS AGENTS, SERVANTS, OR EMPLOYEES IN THE CASE OF DAMAGE OR INJURIES CAUSED BY OR RESULTING FROM THE SOLE NEGLIGENCE OF THE ARCHITECT, THEIR AGENTS, SERVANTS, OR EMPLOYEES, OR CAUSED BY OR ARISING OUT OF DEFECTS IN MAPS, PLANS, DESIGNS, OR SPECIFICATIONS PREPARED, ACQUIRED, OR USED BY THE ARCHITECT, THEIR AGENTS, SERVANTS, OR EMPLOYEES. IT BEING UNDERSTOOD AND AGREED THAT FOR THE PURPOSES OF THIS SENTENCE, NEITHER THE CONTRACTOR NOR ANY OF ITS AGENTS, SERVANTS, OR EMPLOYEES SHALL BE DEEMED TO BE AN AGENT, SERVANT, OR EMPLOYEE OF EITHER THE OWNER OR THE ARCHITECT AND NEITHER THE ARCHITECT NOR ANY OF THE AGENTS, SERVANTS, OR EMPLOYEES SHALL BE DEEMED TO BE AN AGENT, SERVANT, OR EMPLOYEE OF THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN AND OPERATE AN ON SITE FIELD OFFICE WITH TELEPHONE AND EMAIL ACCESS AT ALL TIMES DURING THE COURSE OF CONSTRUCTION WORK.
- UNLESS OTHERWISE NOTED, WORKERS WILL BE ASSIGNED ONE TO LET AREA WHICH THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING, MAINTAINING AND, UPON COMPLETION OF THE WORK, RESTORING TO ITS ORIGINAL CONDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OF THE OWN SECURITY, TEMPORARY HEATING, ELECTRICAL, POWER, LIGHTING, AND HOISTING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THESE SERVICES WITH THE BUILDING MANAGEMENT.
- CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR DAMAGES CAUSED BY THE SUBCONTRACTORS.
- THE CONTRACTOR SHALL CONFORM TO THE BUILDING'S RULES, STANDARDS, AND REGULATIONS FOR ALL ASPECTS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ENSURE THAT THERE ARE NO TRADE OR JURISDICTIONAL DISPUTES RELATED TO USE OF LABOR OR METHODS OF INSTALLATION, INCLUDING THOSE OF CONTRACTORS WHICH HAVE BEEN SEPARATELY CONTRACTED BY THE OWNER. SHOULD ANY DELAYS OCCUR ON THE JOB SITE THROUGH VIOLATIONS OF THIS CLAUSE, THE CONTRACTOR WILL REIMBURSE THE OWNER FOR ALL COSTS AND DAMAGES.
- ALL PROPOSED EXTRA WORK MUST BE DOCUMENTED AND SUBMITTED UP BY THE CONTRACTOR IN THE FORM OF A CHANGE ORDER, WHICH SHALL INCLUDE A FIRM PRICE FOR THE WORK. ALL CHANGE ORDERS MUST USE A STANDARD FORM (AIA DOCUMENT #701) AND BE SUBMITTED TO THE CLIENT FOR APPROVAL PRIOR TO THE COMMENCEMENT OF WORK.
- WORK AFFECTED BY CHANGES PROPOSED IN ANY REVISED DRAWINGS OR OTHER DOCUMENTS ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS CHANGES ARE ACCOMPANIED BY LETTER OF AUTHORIZATION TO PROCEED ACCORDINGLY IN CASES WHERE INSTRUCTIONS ACCOMPANY ANY ISSUE OF REVISED DRAWINGS OR SPECIFICATIONS REQUEST ESTIMATES OF COST INVOLVED, SUCH ESTIMATES SHALL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER NOT TO UNDULY AFFECT THE PROGRESS OF THE WORK.
- THE OWNER RESERVES THE RIGHT TO REQUEST AND APPROVE OVERTIME WORK AT THEIR DISCRETION. OVERTIME WORK REQUESTED BY THE OWNER MAY BE PAID AT AN ADDITIONAL FEE, PLUS INSURANCES AND BENEFITS WITHOUT OVERHEAD AND PROFIT. THE CONTRACTOR SHALL BEAR THE STRAIGHT TIME PORTION WITH INSURANCES, ETC. OF THE OVERTIME INVOLVED. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING MANAGEMENT TO CONFIRM BUILDING RULES, REGULATIONS, AND CONDITIONS WHICH MIGHT REQUIRE OVERTIME, AND INCLUDE THAT COST.
- THE CONTRACTOR SHALL PRESENT EVIDENCE OF INSURANCES IN WRITTEN FORM, AS ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIALS INSTALLED BY THEM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER EXCEPT AS MODIFIED HEREIN OR ON OTHER DRAWINGS SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL COORDINATE ALL THIRD PARTY INSPECTORS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOCUMENT #5-704) INCLUDING ALL AS-BUILT DRAWINGS.
- PRIOR TO FINAL COMPLETION, THE CONTRACTOR SHALL PROVIDE TO THE ARCHITECT THE RECORD DRAWINGS AND A CONFIRMED COPY OF THE SPECIFICATIONS. THESE DOCUMENTS, IN DIGITAL FORM, SHALL BE TRANSMITTED TO THE OWNER PRIOR TO THE FINAL COMPLETION. ONE SET OF RECORD DOCUMENTS, CAD-AS-BUILT, WARRANTIES AND MAINTENANCE INFO SHALL BE PROVIDED TO THE OWNER IN AN ELECTRONIC AND READABLE FORMAT THAT IS ACCEPTABLE TO THE OWNER.

SUBMITTAL PROCEDURES

- THE CONTRACTOR SHALL SUBMIT A SUBMITTAL SCHEDULE FOR REVIEW AND APPROVAL. THE ARCHITECT'S ACTION IN REVIEWING SUBMITTALS SHALL BE TAKEN IN ACCORDANCE WITH THE APPROVED SUBMITTAL SCHEDULE OR, IN THE ABSENCE OF AN APPROVED SUBMITTAL SCHEDULE, WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO ALLOW SUFFICIENT TIME IN THE ARCHITECT'S PROFESSIONAL JUDGEMENT TO PERMIT ADEQUATE REVIEW. CONTRACTOR SHALL TRANSMIT EACH SUBMITTAL SUFFICIENTLY IN ADVANCE OF PERFORMANCE OF RELATED CONSTRUCTION ACTIVITIES AND SHALL ALLOW SUFFICIENT REVIEW TIME, SO THAT INSTALLATION WILL NOT BE DELAYED AS A RESULT OF THE TIME REQUIRED TO PROCESS SUBMITTALS, INCLUDING TIME FOR RE-SUBMITTALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION, COORDINATION, PROCESSING AND SUBMISSION OF SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES. THE CONTRACTOR SHALL REVIEW ALL SUBMISSIONS FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPROVE AND SUBMIT TO THE ARCHITECT SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL COORDINATE TRANSMITTAL OF DIFFERENT TYPES OF SUBMITTALS FOR RELATED ELEMENTS OF THE WORK SO PROCESSING WILL NOT BE DELAYED BY THE NEED TO REVIEW SUBMITTALS CONCURRENTLY FOR COORDINATION.
- SHOP DRAWINGS SHALL SHOW DESIGN, MATERIALS (KIND, THICKNESS AND FINISH), DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO ENSURE THAT THE CONTRACTOR ACCURATELY INTERPRETS CONTRACT DRAWINGS AND SHALL ALSO SHOW ADJOINING WORK IN SUCH DETAIL, AS REQUIRED, TO PROVIDE PROPER CONNECTION WITH SAME.
- ALL SHOP DRAWINGS AND PRODUCTS SHALL BE IDENTIFIED WITH THE NAME OF THE PROJECT, BUILDING OR FLOOR(S), FOR WHICH THE SHOP DRAWINGS AND PRODUCT DATA ARE BEING SUBMITTED. ARCHITECT'S NAME AND PROJECT NUMBER, CONTRACTOR'S NAME, SUBCONTRACTOR'S NAME, DATE OF SUBMITTAL, DRAWING NUMBER, REVISION NUMBER AND DATE OF EACH REVISION, IF ANY, AS WELL AS THE SPECIFICATION SECTION UNDER WHICH THE WORK IS TO BE PERFORMED AND THE DRAWINGS AND DETAIL NUMBERS THAT RELATE TO THE SHOP DRAWINGS AND PRODUCT DATA.
- BY SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND SIMILAR SUBMITTALS, THE CONTRACTOR REPRESENTS TO THE OWNER AND ARCHITECT THAT THE CONTRACTOR HAS (1) REVIEWED AND APPROVED THEM, (2) DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA RELATED THERETO, OR WILL DO SO AND (3) REVIEWED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUBMIT COPIES OF SHOP DRAWINGS AND PRODUCT DATA TO THE ARCHITECT AND THE ENGINEER IN ACCORDANCE WITH SUBMITTAL PROCEDURE NUMBER LISTED BELOW.
 - ALL SHOP DRAWING SUBMITTALS ARE TO BE SUBMITTED DIGITALLY, AND SHOULD BE NUMBERED ACCORDINGLY: (CSI) DIVISION # - ITEM NUMBER - REVISION NUMBER) E. 060000-000-0
 - THE CONTRACTOR WILL BE REQUIRED TO USE A WEB-BASED PROJECT MANAGEMENT SYSTEM FOR USE BY THE ENTIRE PROJECT TEAM. THIS SYSTEM WILL MANAGE AND MAINTAIN THE OWNER'S PROJECT INFORMATION, INCLUDING ACCESS TO ALL PROJECT DOCUMENTS, DRAWINGS, SUBMITTALS, RFIS, ETC.
 - ALL SAMPLES REQUIRED FOR A PARTICULAR PRODUCT/BUILDING MATERIAL SHALL BE SUBMITTED TOGETHER, THREE (3) COPIES OF EACH SHALL BE SUBMITTED DIRECTLY TO THE ARCHITECT FOR REVIEW.
 - SAMPLES SHALL BE SUBMITTED FROM THE SAME SOURCE WHICH WILL SUPPLY THE ACTUAL JOB. SAMPLES SHALL BE OF ADEQUATE SIZE TO SHOW QUALITY, TYPE, COLOR, RANGE, FINISH, TEXTURE & OTHER SPECIFIED CHARACTERISTICS.
- ANY SUBMITTALS/RFIS SUBMITTED AFTER 3PM ARE CONSIDERED RECEIVED THE NEXT BUSINESS DAY.
- THE ARCHITECT SHALL REVIEW OR TAKE OTHER APPROPRIATE ACTION UPON THE CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS. REVIEW OF SUCH SUBMITTALS IS NOT FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER INFORMATION SUCH AS DIMENSIONS, QUANTITIES, AND INSTALLATION OR PERFORMANCE OF EQUIPMENT OR SYSTEMS, WHICH ARE THE CONTRACTOR'S RESPONSIBILITY. THE ARCHITECT'S REVIEW SHALL NOT CONSTITUTE APPROVAL OF SAFETY PRECAUTIONS OR OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. THE ARCHITECT'S REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE REVIEW OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.

SUBMITTAL PROCEDURES

- DEFINITIONS OF SUBMITTAL ACTIONS.
 - "REVIEWED" INDICATES THAT THE INFORMATION SUBMITTED WAS FOUND TO BE IN CONFORMANCE WITH THE DESIGN CONCEPT AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR MAY PROCEED WITH PERFORMANCE OF THE WORK COVERED BY THE SUBMITTAL.
 - "FURNISH AS CORRECTED, RESUBMIT FOR RECORD" INDICATES THAT THE INFORMATION SUBMITTED WAS FOUND TO BE IN CONFORMANCE WITH THE DESIGN CONCEPT AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, PROVIDED THE NOTED CLARIFICATIONS OR CORRECTIONS ARE COMPLETED. SUBMISSION OF A CORRECTED SUBMITTAL INDICATING THE CHANGES NOTED BY ARCHITECT/ENGINEER IS REQUIRED FOR RECORD ONLY. CONTRACTOR MAY PROCEED WITH PERFORMANCE OF THE WORK COVERED BY THE SUBMITTAL.
 - "REVISE AND RESUBMIT PRIOR TO FABRICATION" INDICATES THAT:
 - INFORMATION SUBMITTED IS AT LEAST PARTIALLY NOT IN CONFORMANCE WITH THE DESIGN CONCEPT
 - INFORMATION SUBMITTED IS AT LEAST PARTIALLY NOT IN COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
 - SUBMITTAL IS INCOMPLETE AND DOES NOT INCLUDE ALL ITEMS REQUIRED BY THE INDIVIDUAL SPECIFICATION SECTIONS OR
 - CERTIFICATIONS OR COMPUTATIONS REQUIRED BY THE CONTRACT DOCUMENTS HAVE NOT BEEN INCLUDED IN THE SUBMITTAL. SUBMITTAL WILL BE RETURNED TO CONTRACTOR NOTING THE REASONS FOR NONCOMPLIANCE. CONTRACTOR SHALL NOT PROCEED WITH THE PERFORMANCE OF THE WORK COVERED BY SUBMITTAL UNTIL CORRECTED INFORMATION IS RE-SUBMITTED AND REVIEWED.
 - "REJECTED" INDICATES THAT THE ARCHITECT/ENGINEER INTERPRETS THE INFORMATION SUBMITTED IS NOT IN CONFORMANCE WITH THE DESIGN CONCEPT OR NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. PERFORMANCE OF THE WORK SHALL NOT PROCEED UNTIL SUBMITTAL IS REVISED, RESUBMITTED AND REVIEWED.
- THE REVIEW FOR EACH SUBMITTAL IS LIMITED TO THE INITIAL SUBMISSION, AND A RESUBMISSION ONLY. A RESUBMISSION IS REQUIRED BY THE ARCHITECT UNDER THE INITIAL REVIEW. ANY SUBMITTAL PROCESSED MORE THAN THREE (3) TIMES WILL BE CONSIDERED AN ADDITIONAL SERVICE, CHARGED TO THE CONTRACTOR.
- THE CONTRACTOR SHALL DIRECT SPECIFIC ATTENTION, IN WRITING OR ON RESUBMITTED SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS, TO REVISIONS OTHER THAN THOSE REQUESTED BY THE ARCHITECT ON PREVIOUS SUBMITTALS. IN THE ABSENCE OF SUCH WRITTEN NOTICE, THE ARCHITECT'S APPROVAL OF A RESUBMISSION SHALL NOT APPLY TO SUCH REVISIONS.
- THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK FOR WHICH THE CONTRACT DOCUMENTS REQUIRE SUBMITTAL AND REVIEW OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS UNTIL THE RESPECTIVE SUBMITTAL HAS BEEN APPROVED BY THE ARCHITECT.
- WORK SHALL BE IN ACCORDANCE WITH APPROVED SUBMITTALS EXCEPT THAT THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMITTAL AND (1) THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION AS A NON-CHANGE IN THE WORK, OR (2) A CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE HAS BEEN ISSUED AUTHORIZING THE DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS BY THE ARCHITECT'S APPROVAL THEREOF.
- FOR WORK THAT IS TO BE DESIGNED BY THE CONTRACTOR OR MANUFACTURER, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS THAT ARE SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE WORK SHALL BE PERFORMED.

PRODUCTS AND SUBSTITUTIONS

- THE CONTRACTOR SHALL DELIVER, STORE AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS, USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION AND LOSS, INCLUDING THEFT; CONTROL DELIVERY SCHEDULES TO MINIMIZE LONG-TERM STORAGE AT THE SITE AND PREVENT OVERCROWDING OF CONSTRUCTION SPACES; AND IN PARTICULAR, COORDINATE DELIVERY AND INSTALLATION TO ENSURE MINIMUM HOLDING OF STORAGE TIMES FOR ITEMS KNOWN OR RECOGNIZED TO BE FLAMMABLE, HAZARDOUS, EASILY DAMAGED, OR SENSITIVE TO DETERIORATION, THEFT AND OTHER SOURCES OF LOSS.
- THE CONTRACTOR SHALL DELIVER PRODUCTS TO THE SITE IN THE MANUFACTURER'S SEALED CONTAINER OR OTHER PACKAGING SYSTEM, COMPLETE WITH LABELS AND INSTRUCTIONS FOR HANDLING, STORAGE, UNPACKING, PROTECTING AND INSTALLING. THE CONTRACTOR SHALL STORE PRODUCTS AT THE SITE IN A MANNER THAT WILL FACILITATE INSPECTION AND MEASUREMENT OF QUANTITY OR COUNTING OF UNITS, STORE HEAVY MATERIALS IN A MANNER THAT WILL NOT ENDANGER THE SUPPORTING CONSTRUCTION.
- IN THE CASE OF A DISCREPANCY BETWEEN A DESCRIPTION OR REQUIREMENT IN THE CONTRACT DRAWINGS FOR ANY MATERIAL OR EQUIPMENT AND A CATALOG NUMBER, OR OTHER DESIGNATION FOR THE SAME MATERIAL OR EQUIPMENT, (EVEN THOUGH STATED TO BE ACCEPTABLE), THE DESCRIPTION OR REQUIREMENTS SHALL CONTROL.
- TO THE FULLEST EXTENT POSSIBLE, PROVIDE PRODUCTS OF THE SAME GENERIC KIND, FROM A SINGLE SOURCE, FOR EACH UNIT OF WORK. PRODUCTS REQUIRED FOR WORK SHALL BE PROVIDED FROM RELIABLE SOURCES CAPABLE OF PRODUCING AND DELIVERING UNIFORMLY ACCEPTABLE PRODUCTS, IN ACCORDANCE WITH CONTRACT TIME REQUIREMENTS.
- IF IT IS DISCOVERED THAT SPECIFIED PRODUCTS ARE AVAILABLE ONLY FROM SOURCES THAT DO NOT OR CANNOT PRODUCE AN ADEQUATE QUANTITY TO COMPLETE PROJECT REQUIREMENTS IN A TIMELY MANNER, CONSULT WITH THE ARCHITECT/ENGINEER FOR A DETERMINATION OF WHAT PRODUCT QUALITIES ARE MOST IMPORTANT BEFORE PROCEEDING.
- COMPATIBILITY OF PRODUCTS IS A BASIC REQUIREMENT OF PRODUCT SELECTION. WHEN THE CONTRACTOR IS GIVEN THE OPTION OF SELECTING BETWEEN TWO OR MORE PRODUCTS FOR USE ON THE PROJECT, THE PRODUCT SELECTED SHALL BE COMPLETELY COMPATIBLE WITH OTHER PRODUCTS PREVIOUSLY SELECTED, EVEN IF THE PRODUCTS PREVIOUSLY SELECTED WERE ALSO CONTRACTOR'S OPTIONS.
- WHEREVER ON THE CONTRACT DOCUMENTS A PARTICULAR BRAND OR MAKE OF MATERIAL OR EQUIPMENT IS SHOWN OR SPECIFIED (AND WHETHER OR NOT THE WORDS "OR APPROVED EQUIPMENT OR WORDS OF SIMILAR IMPACT), ANY OTHER BRAND OR MAKE, WHICH IN THE SOLE OPINION OF THE ARCHITECT/ENGINEER IS EQUAL TO THAT SHOWN OR SPECIFIED MAY BE SUBSTITUTED, BUT ONLY AFTER BEING SUBMITTED TO, AND EXPRESSLY APPROVED, BY THE ARCHITECT/ENGINEER.
- THE CONTRACTOR'S REQUEST FOR CHANGES IN THE PRODUCTS, MATERIALS, EQUIPMENT, AND METHODS OF CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS ARE CONSIDERED REQUESTS FOR "SUBSTITUTIONS".
 - REVISIONS TO THE CONTRACT DOCUMENTS, WHERE REQUESTED BY THE OWNER, ARCHITECT OR ENGINEER, ARE CONSIDERED AS "CHANGES", NOT SUBSTITUTIONS.
 - SPECIFIED CONTRACTOR OPTIONS ON PRODUCTS AND CONSTRUCTION METHODS INCLUDED IN THE CONTRACT DOCUMENTS ARE CHOICES AVAILABLE TO THE CONTRACTOR AND ARE NOT SUBJECT TO THE REQUIREMENTS FOR SUBSTITUTIONS.
 - CONTRACTOR'S DETERMINATION OF AND COMPLIANCE WITH GOVERNING REGULATIONS AND ORDERS, AS ISSUED BY GOVERNING AUTHORITIES, DO NOT CONSTITUTE "SUBSTITUTIONS" AND DO NOT CONSTITUTE A BASIS FOR CHANGE ORDERS, EXCEPT AS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS.
- NOTWITHSTANDING SUCH APPROVAL, HOWEVER, THE CONTRACTOR ASSUMES THE RISK THAT SUCH BRAND OR MAKE IS NOT EQUAL TO THAT SHOWN OR SPECIFIED AND IF AT ANY TIME THE SUBSTITUTE SHALL APPEAR TO NOT BE EQUAL, THE CONTRACTOR SHALL REPLACE THE SUBSTITUTE.
- CONSTRUCTION CALLED FOR BY THE CONTRACT DOCUMENTS MAY BE ADAPTED FOR A PARTICULAR BRAND OR MAKE OF MATERIAL OR EQUIPMENT. THEREFORE, IF ANY CONSTRUCTION NOT REQUIRED BY THE CONTRACT DRAWINGS IN THEIR PRESENT FORM IS NECESSARY BECAUSE OF THE USE OF ANOTHER BRAND OR MAKE OF MATERIAL OR EQUIPMENT, SUCH CONSTRUCTION SHALL BE FURNISHED OR PERFORMED BY THE CONTRACTOR AT HIS EXPENSE AND SUBJECT TO THE REVIEW OF THE ARCHITECT/ENGINEER AT NO COST TO THE OWNER.



CLIENT:

STONEFIELD

CIVIL ENGINEER:

NO.	REVISION	DATE	BY
01	ISSUED FOR CLIENT REVIEW	08/15/23	TPG

TPG Architecture

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IN CONSIDERATION OF RECEIVING DRAWINGS FROM TPG ARCHITECTURE, LLP IN AN ELECTRONIC FORM, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY TPG ARCHITECTURE, LLP FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEYS' FEES, ARISING IN ANY WAY OR IN ANY MANNER CONNECTED WITH THE USE, RE-USE, MISUSE, MODIFICATION, OR MISINTERPRETATION OF THE MACHINE-READABLE INFORMATION PROVIDED BY TPG ARCHITECTURE, LLP UNDER THIS AGREEMENT.

PROJECT
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 POTOMAC, MD 20854

DRAWING
 GENERAL SHEET 02 OF 02

SEAL	DATE	08/15/2023
	PROJECT NO.	1522996-00
	SCALE	N/A
	DWG NO.	G-002
	CAD FILE NO.	G-002.DWG
	PAGE	# of #

GENERAL ACCESSIBILITY NOTES

- THRESHOLDS AT DOORS SHALL NOT EXCEED 1/4" IN HEIGHT (VERTICAL). THRESHOLDS AT FLOOR LEVEL CHANGES BETWEEN 1/4" & 1/2" SHALL BE BEVELED WITH A SLOP NO GREATER THAN 1:2. FLOOR LEVEL CHANGES IN EXCESS OF 1/2" @ THRESHOLDS IS NOT ACCEPTABLE. FLOOR LEVEL CHANGES IN EXCESS 1/2" SHALL BE RAMPED AND COMPLY WITH ALL HANDICAP ACCESSIBLE REQUIREMENTS FOR RAMPS AS SPECIFIED IN ANSI 117.1 - 2009.
- DOOR HARDWARE HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE. HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48IN. ABOVE FINISHED FLOOR.
- IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE A POINT 3 IN. FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- THE MAXIMUM OPENING FORCE OF DOORS SHALL CONFORM TO THE LATEST REQUIREMENTS OF ANSI 117.1 OR APPROPRIATE ADMINISTRATIVE AUTHORITY.
- ALL SIGNAGE, CHARACTER PROPORTION, HEIGHT AND MOUNTING LOCATION/HEIGHT SHALL CONFORM TO THE LATEST REQUIREMENTS OF ANSI 117.1 OR APPROPRIATE ADMINISTRATIVE AUTHORITY.
- AUDIBLE AND VISUAL ALARMS SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE ANSI 117.1 OR APPROPRIATE ADMINISTRATIVE AUTHORITY.

DOORWAY REQUIREMENTS

404 DOORS & DOORWAYS

404.1 GENERAL
DOORS TO ACCESSIBLE SPACES AND ELEMENTS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH THE REQUIREMENTS OF 404.

404.2.1 DOUBLE LEAF DOORS
IF DOORWAYS HAVE TWO INDEPENDENTLY OPERATED DOOR LEAVES, THEN AT LEAST ONE LEAF SHALL MEET THE SPECIFICATIONS IN 404.2.2 AND 404.2.3. THAT LEAF SHALL BE AN ACTIVE LEAF.

404.2.2 CLEAR WIDTH
DOORWAYS INTENDED FOR USER PASSAGE SHALL HAVE A MINIMUM CLEAR OPENING OF 32 IN. (815 MM) WITH THE DOOR OPEN 90 DEGREES, MEASURE BETWEEN THE FACE OF THE DOOR AND THE STOP (SEE FIG. 24(A) AND (B)). OPENINGS MORE THAN 24 IN. (610 MM) IN DEPTH SHALL PROVIDE A MINIMUM CLEAR OPENING OF 36 IN.

404.2.3 MANEUVERING CLEARANCE AT DOORS
MINIMUM MANEUVERING CLEARANCES AT DOORS THAT ARE NOT AUTOMATIC OR POWER-ASSISTED SHALL BE AS SHOWN IN FIG. 25. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.

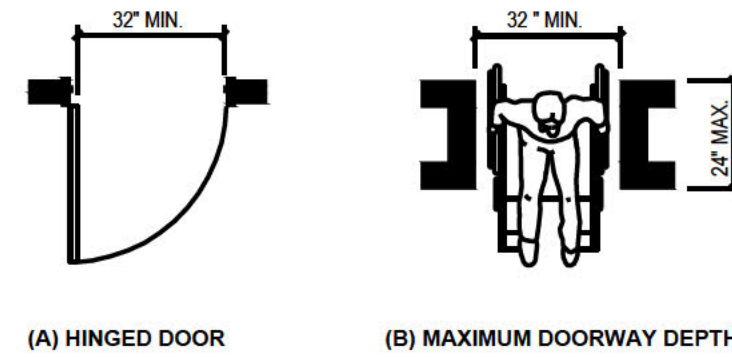
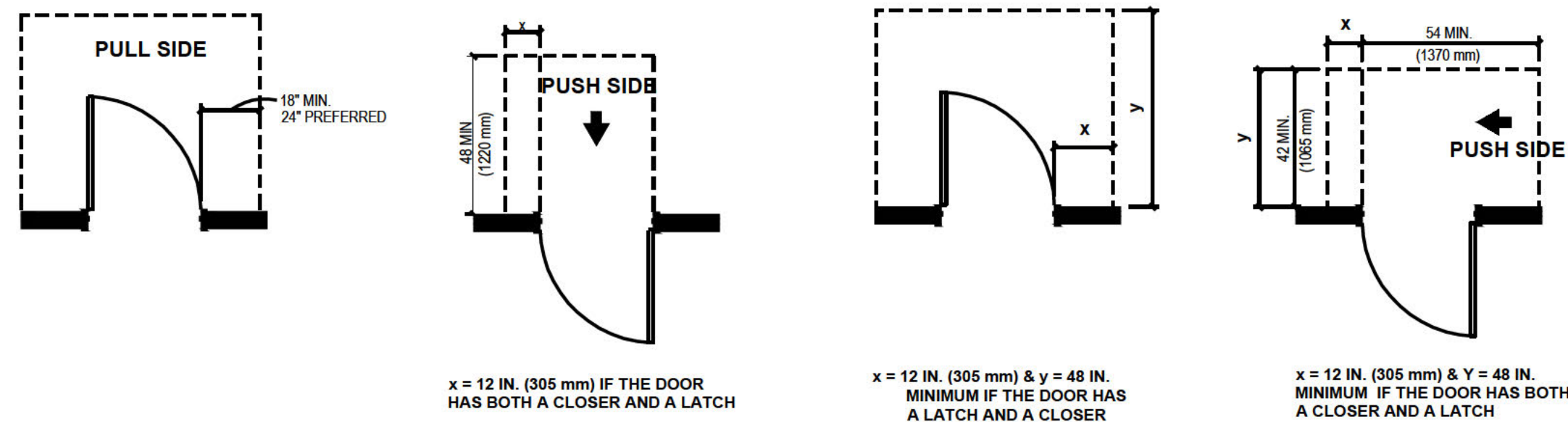
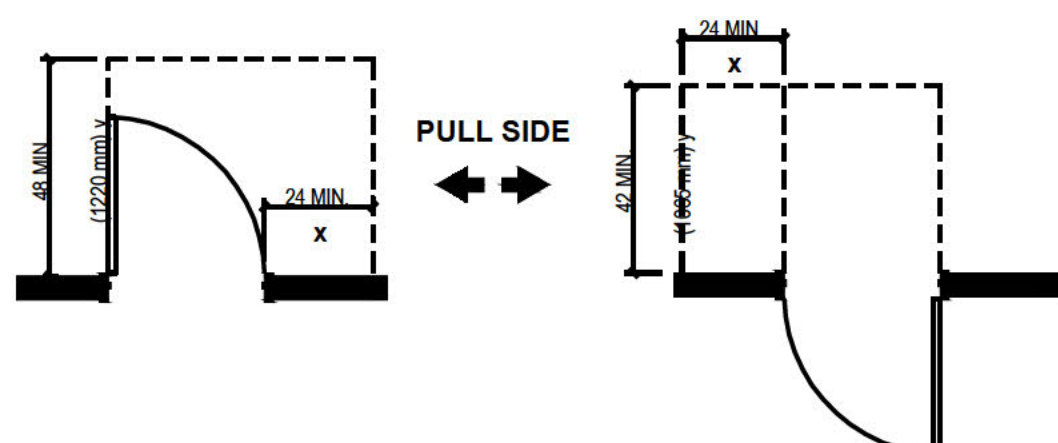


FIG. 24 CLEAR DOORWAY WIDTH AND DEPTH



(A) FRONT APPROACHES - SWINGING DOORS

(B) HINGE - SIDE APPROACHES - SWINGING DOORS



(C) LATCH - SIDE APPROACHES - SWINGING DOORS

FIG. 25 MANEUVERING CLEARANCES AT DOORS

404.2.5 TWO DOORS IN SERIES
THE MINIMUM SPACE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES SHALL BE 48 IN. (1220 MM) PLUS THE WIDTH OF ANY DOOR SWINGING INTO THE SPACE. DOORS IN SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOOR (SEE FIG. 26).

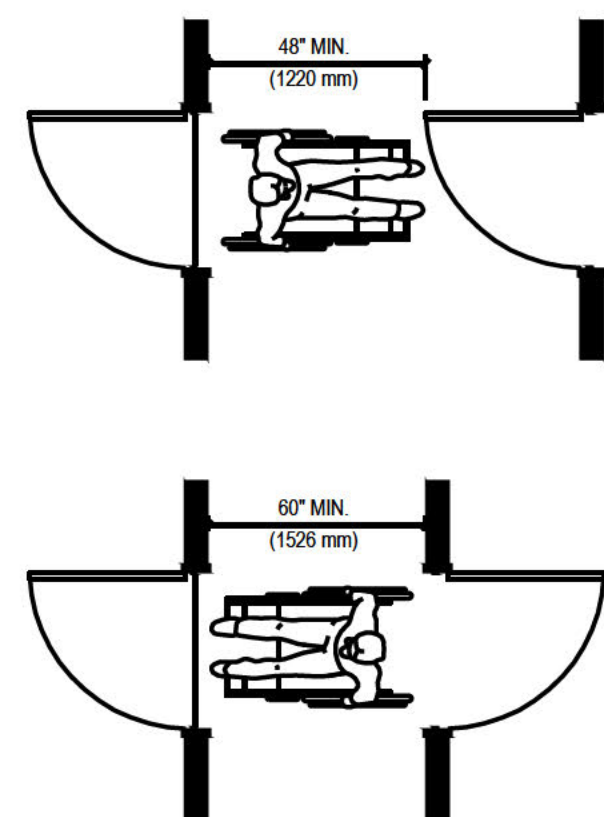
404.2.6 DOOR HARDWARE
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. IN DWELLING UNITS, ONLY DOORS AT ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 IN. (1220 MM) OR LOWER THAN 34 IN. (865 MM) ABOVE FINISHED FLOOR.

404.2.7 DOOR CLOSURES
IF THE DOOR HAS A CLOSER, THAN THE SWEEP PERIOD IF OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 5 SECONDS TO MOVE TO AN OPEN POSITION OF 12 DEGREES.

404.2.8 DOOR OPENING FORCE
THE MAXIMUM FORCE, EXPRESSED IN POUNDS-FORCE (LBF) AND NEWTONS (N), FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS

- FIRE DOORS SHALL HAVE MINIMUM OPEN FORCE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
- OTHER DOORS
 - A. EXTERIOR HINGED DOORS 8.5 LBF (37.8 N)
 - B. INTERIOR HINGED DOORS 5.0 LBF (22.2 N)
 - C. SLIDING DOORS AND FOLDING DOORS 5.0 LBF (22.2 N)

THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT MAY HOLD THE DOOR IN CLOSED POSITION.



BATHROOM REQUIREMENTS

604 WATER CLOSETS

604.1 GENERAL
ACCESSIBLE WATER CLOSETS AND TOILET COMPARTMENTS SHALL COMPLY WITH SECTION 604. COMPARTMENTS CONTAINING MORE THAN ONE PLUMBING FIXTURE SHALL COMPLY WITH SECTION 603.

604.2 LOCATION
THE WATER CLOSET SHALL BE LOCATED WITH A WALL OR PORTION TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 16-18 IN. MAX. FROM THE SIDE WALL OR PARTITION.

604.3 CLEARANCE & 604.3.1 SIZE
A CLEARANCE AROUND A WATER CLOSET 60 IN. MIN., MEASURED PERPENDICULAR FROM THE SIDE WALL AND 56 IN. MIN., MEASURED PERPENDICULAR FROM THE REAR WALL SHALL BE PROVIDED.

604.4 HEIGHT
THE HEIGHT OF WATER CLOSETS SHALL BE 17 IN. TO 19 IN. (430 MM TO 485 MM) MEASURED TO THE TOP OF THE TOILET SEAT (SEE FIG. 47(B)).

604.5 GRAB BARS
GRAB BARS FOR WATER CLOSETS NOT LOCATED IN STALLS SHALL COMPLY WITH SECTION 609 AND BE PROVIDED IN ACCORDANCE WITH SECTIONS 604.5.1 & 604.5.2.

604.6 FLUSH CONTROLS
FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND SHALL COMPLY WITH SECTION 309. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THAN 44 IN. (1120 MM) ABOVE FINISHED FLOOR.

604.7 DISPENSERS
TOILET PAPER DISPENSERS SHALL BE INSTALLED WITHIN REACH, BETWEEN 7 IN. AND 9 IN. IN FRONT OF THE WATER CLOSET AND COMPLY WITH FIG. 47(B). DISPENSERS THAT CONTROL DELIVERY, OR DO NOT PERMIT CONTINUOUS PAPER FLOW, SHALL NOT BE USED.

606 LAVATORIES AND SINKS

- THE LAVATORY AND MIRRORS SHALL COMPLY WITH SECTION 603.3.
- IF THE CABINET IS PROVIDED UNDER THE LAVATORY, IT SHALL PROVIDE, OR SHALL BE REMOVABLE TO PROVIDE, THE CLEARANCE SPECIFIED IN SECTIONS 305.5 & 306.
- IF THE MEDICINE CABINET IS PROVIDED ABOVE THE LAVATORY, THEN THE BOTTOM OF THE MEDICINE CABINET SHALL BE LOCATED WITH A USABLE SHELF NO HIGHER THAN 44 IN (1120 MM) ABOVE THE FLOOR.

DOORS

DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE REQUIRED FOR ANY FIXTURE UNLESS THE TOILET OR BATHROOM IS FOR INDIVIDUAL USE ONLY AND IS ACCESSED THROUGH A PRIVATE OFFICE AND NOT FOR THE PUBLIC USE, OR A CLEAR FLOOR SPACE IS PROVIDED FOR SUFFICIENT MANEUVERING (SEE FIG. 3) WITHIN THE SPACE BEYOND THE ARC OF THE DOOR SWING.

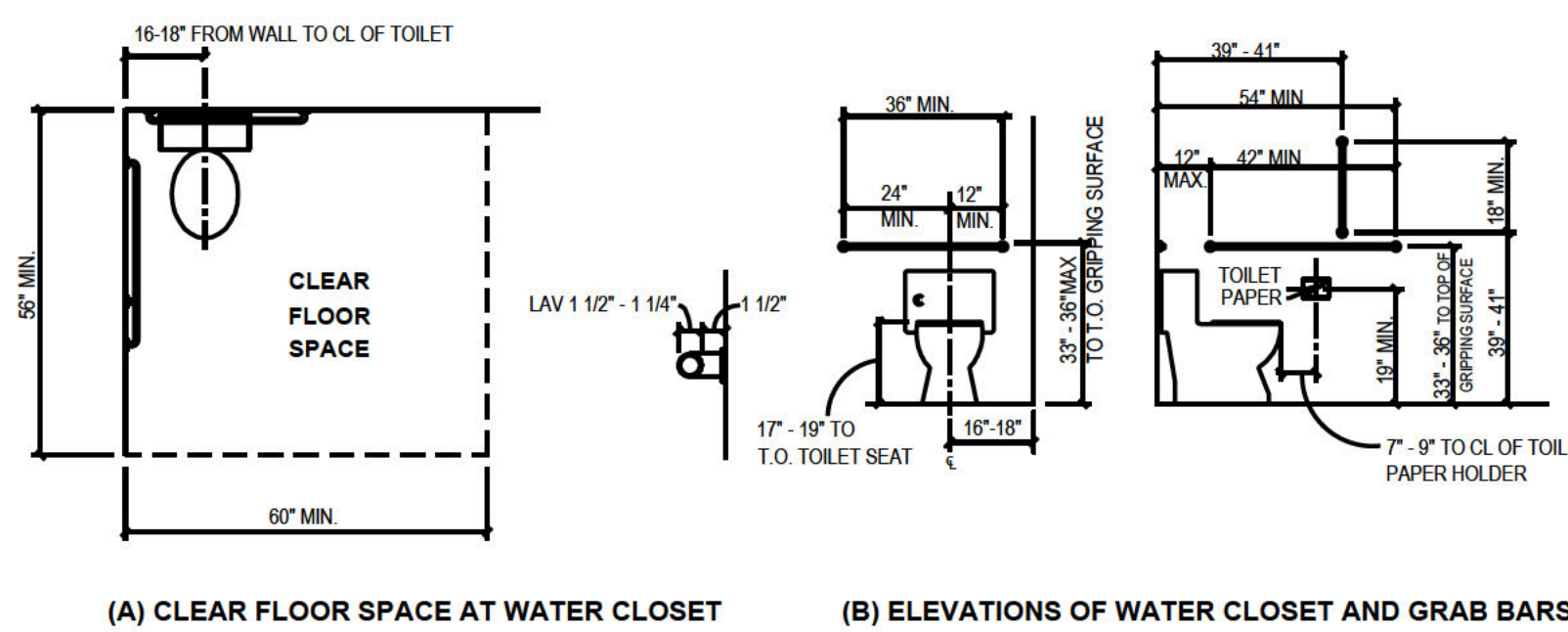


FIG. 47 WATER CLOSETS IN ADAPTABLE BATHROOMS

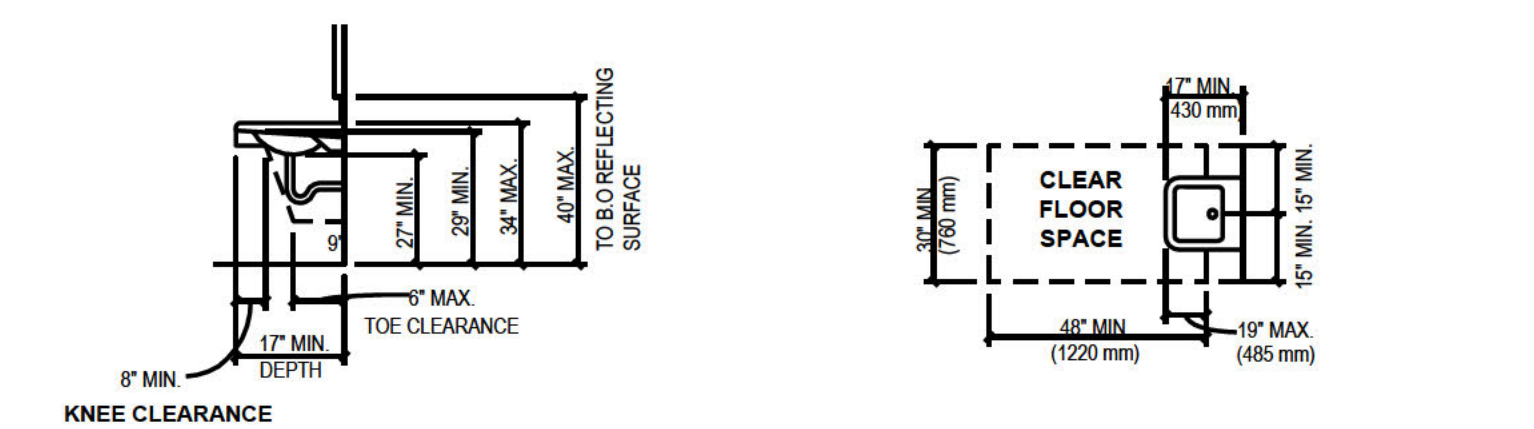
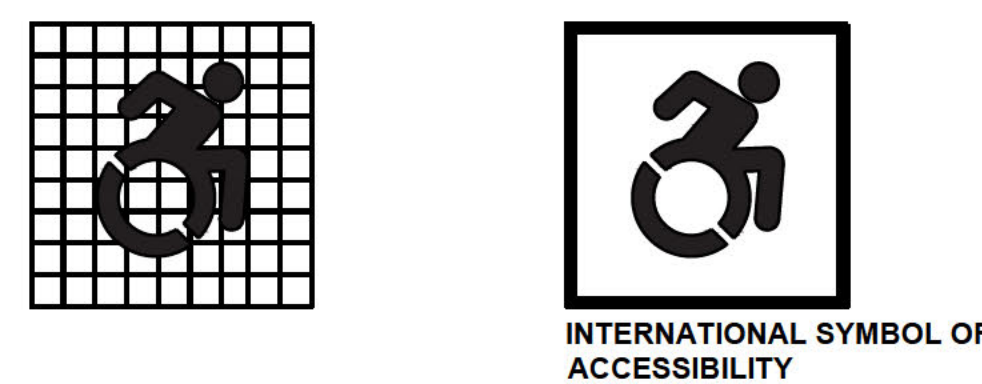


FIG. 31 LAVATORY CLEARANCES

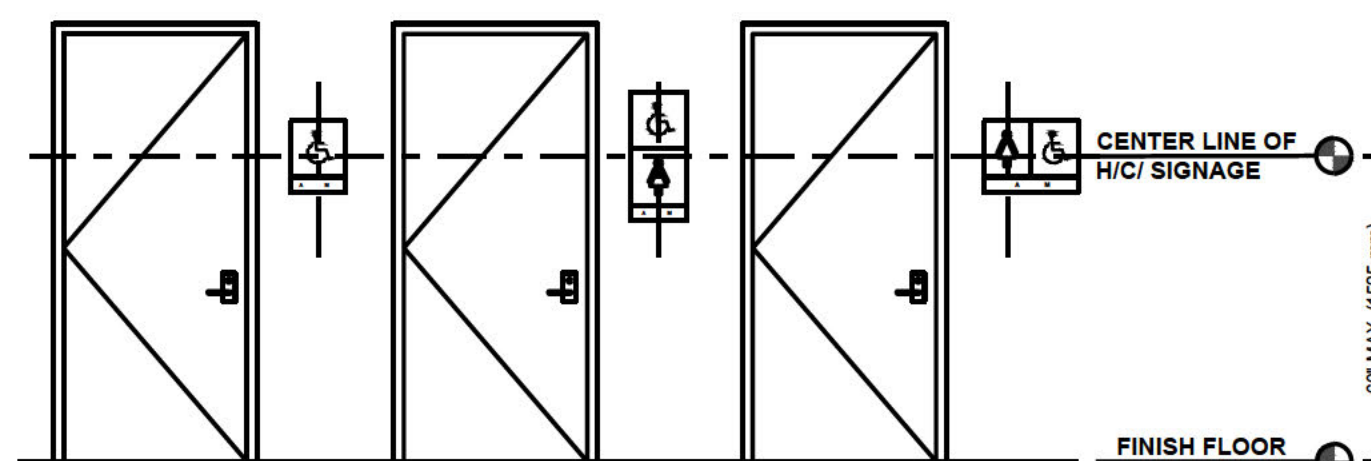
FIG. 32 CLEAR FLOOR SPACE AT LAVATORIES

SIGNAGE REQUIREMENTS



INTERNATIONAL SYMBOL OF ACCESSIBILITY

SIGNAGE



NOTES:

- IF PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS WITH BRAILLE SHALL BE INSTALLED SO THAT THE BASELINE OF THE LOWEST CHARACTER IS AT LEAST 48" AFF AND THE BASELINE OF THE HIGHEST CHARACTER IS LOWER THAN 60" AFF ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL.
- MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3 IN. (76 mm) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.

SIGN LOCATION REQUIREMENTS

DESIGNATIONS

- INTERIOR AND EXTERIOR SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL BE TACTILE. WHERE PICTOGRAMS ARE PROVIDED AS DESIGNATIONS OF INTERIOR ROOMS AND SPACES, THE PICTOGRAMS SHALL HAVE TACTILE TEXT DESCRIPTORS. SIGNS REQUIRED TO PROVIDE TACTILE CHARACTERS AND PICTOGRAMS SHALL COMPLY WITH 2009 ICC/ANSI A117.1.

GENERAL REQUIREMENTS

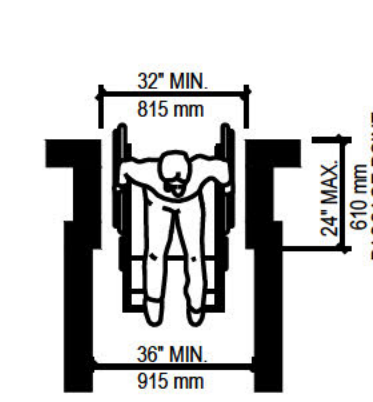


FIG. 1 MINIMUM CLEAR WIDTH FOR SINGLE WHEELCHAIR

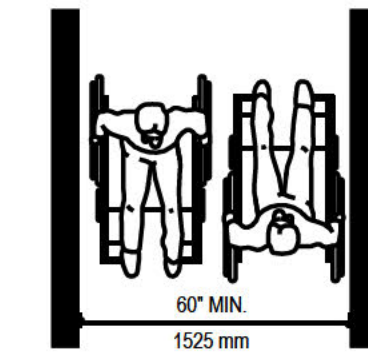
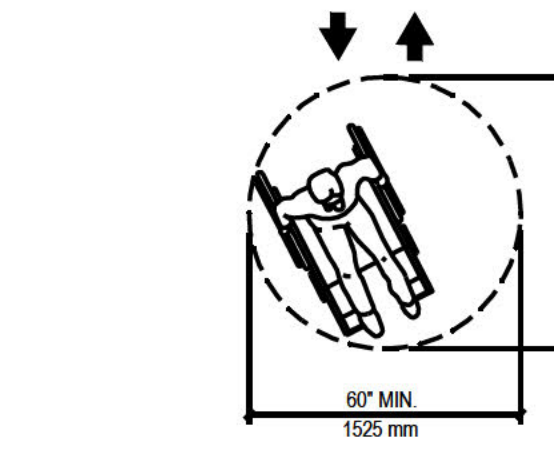
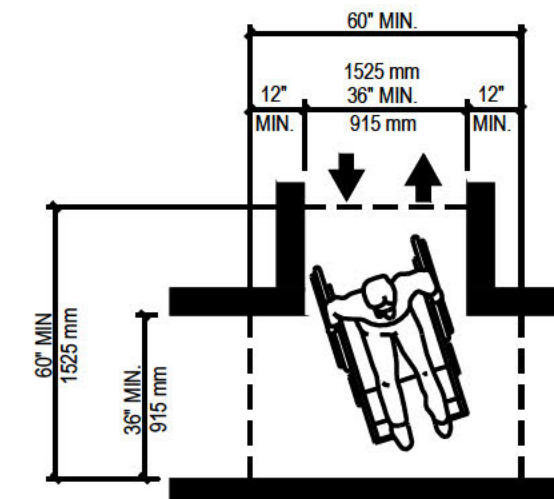


FIG. 2 MINIMUM CLEAR WIDTH FOR TWO WHEELCHAIR

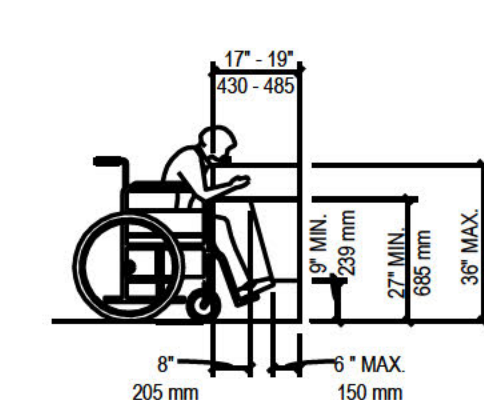


(A) 60 IN. (1523 mm) - DIAMETER SPACE

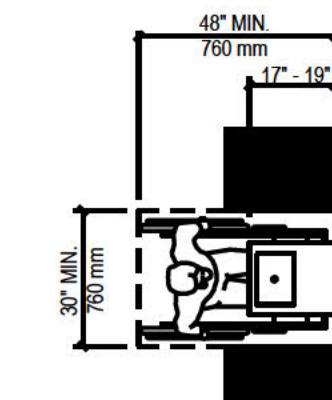


(B) T-SHAPED SPACE FOR 180 DEGREE TURN

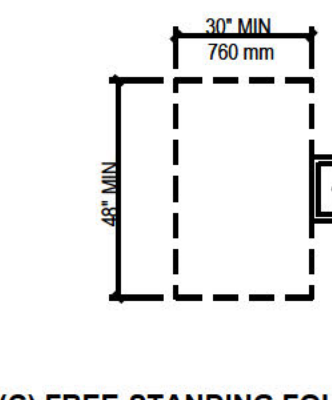
FIG. 3 MINIMUM CLEARANCE REQUIRED FOR WHEELCHAIR TURNING RADIUS



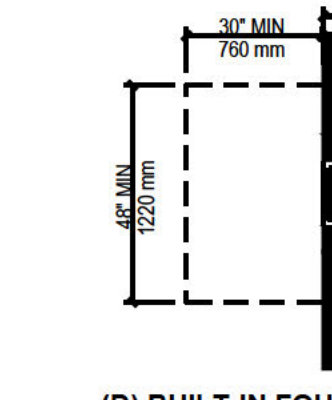
(A) SPOUT HEIGHT AND KNEE CLEARANCE



(B) CLEAR FLOOR SPACE

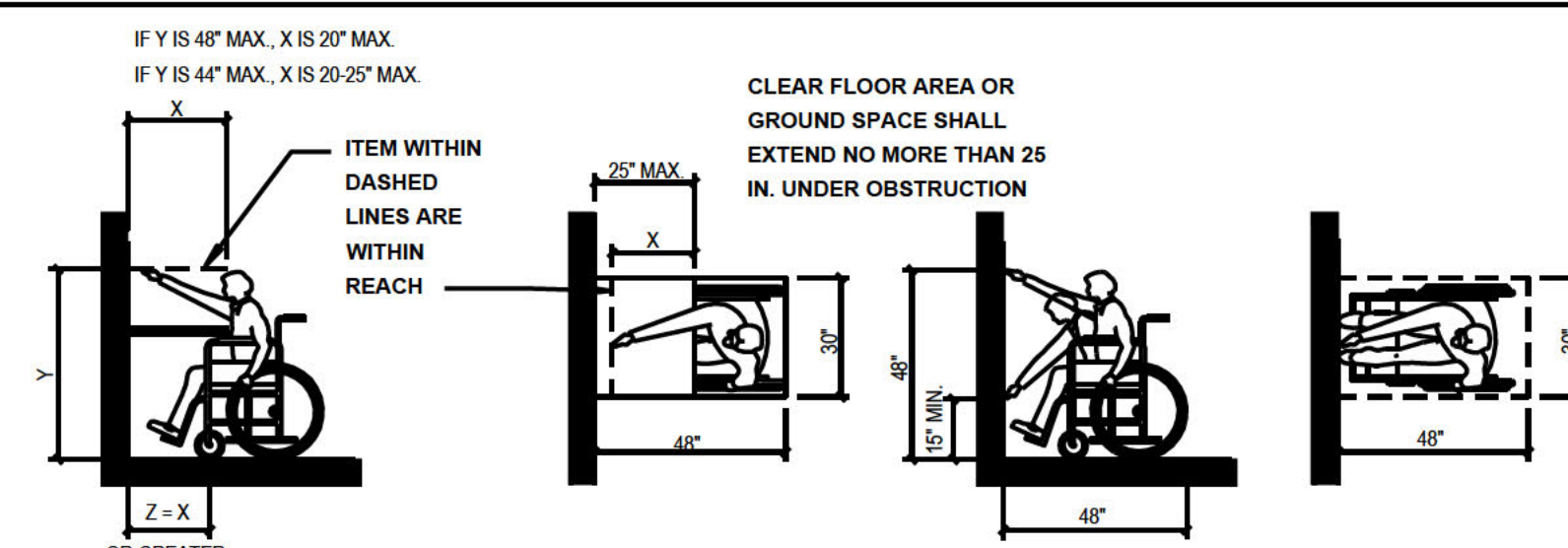


(C) FREE-STANDING FOUNTAIN OR COOLER



(D) BUILT-IN FOUNTAIN OR COOLER

FIG. 27 DRINKING FOUNTAIN AND WATER COOLER



(B) MAXIMUM FORWARD REACH OVER AN OBSTRUCTION (A) FORWARD REACH LIMIT

FIG. 5 FORWARD REACH

FLOOR OR GROUND SURFACE
FLOOR OR GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNCUT PILE TEXTURE. PILE HEIGHT SHALL BE 1/2-INCH MAX. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR OR GROUND SURFACES AND SHALL HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE.

CLEAR FLOOR OR GROUND SURFACES
FLOOR OR GROUND SURFACES OF A CLEAR FLOOR OR GROUND SPACE SHALL HAVE A SLOPE NOT STEEPER THAN 1:48. THE CLEAR FLOOR OR GROUND SPACE SHALL BE 30-INCHES MIN. BY 48-INCHES MIN. UNLESS OTHERWISE NOTE, THE CLEAR FLOOR OR GROUND SPACE SHALL BE POSITIONED FOR EITHER FORWARD OR PARALLEL APPROACH TO AN ELEMENT.

KNEE AND TOE CLEARANCE
SPACE UNDER AN ELEMENT BETWEEN THE FLOOR OR GROUND AND 9-INCHES ABOVE THE FLOOR OR GROUND SHALL BE TOE CLEARANCE. TOE CLEARANCE SHALL BE PERMITTED TO EXTEND 25-INCHES MAX. UNDER AN ELEMENT AND BE A MIN. OF 30-INCHES WIDE. WHERE TOE CLEARANCE IS REQUIRED AT AN ELEMENT AS PART OF A CLEAR FLOOR OR GROUND SPACE, THE TOE CLEARANCE SHALL EXTEND 17-INCHES MIN. BENEATH THE ELEMENT. SPACE UNDER AN ELEMENT BETWEEN 9-INCHES AND 27-INCHES ABOVE THE FLOOR OR GROUND SHALL BE KNEE CLEARANCE. KNEE CLEARANCE SHALL BE PERMITTED TO EXTEND 25-INCHES MAX. UNDER AN ELEMENT AT 9-INCHES ABOVE THE FLOOR AND BE A MIN. OF 30-INCHES WIDE. WHERE KNEE CLEARANCE IS REQUIRED AT AN ELEMENT AS PART OF A CLEAR FLOOR OR GROUND SPACE, THE KNEE CLEARANCE SHALL BE 11-INCHES DEEP MIN. AT 9-INCHES ABOVE THE FLOOR AND 8-INCHES DEEP MIN. AT 27-INCHES ABOVE THE FLOOR.

DRINKING FOUNTAINS AND WATER COOLERS
WHERE A FORWARD APPROACH IS PROVIDED THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE UNIT AND SHALL INCLUDE KNEE AND TOE CLEARANCE. WHERE A PARALLEL APPROACH IS PROVIDED, THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE UNIT. SPOUT OUTLETS SHALL BE 36-INCHES MAX. ABOVE THE FLOOR.



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PROJECT
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DRAWING

ADA NOTES

SEAL	DATE	08/15/2023
	PROJECT NO	1522996-00
	SCALE	N/A
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	CAD FILE NO	G-003.DWG
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CIVIL ENGINEER:

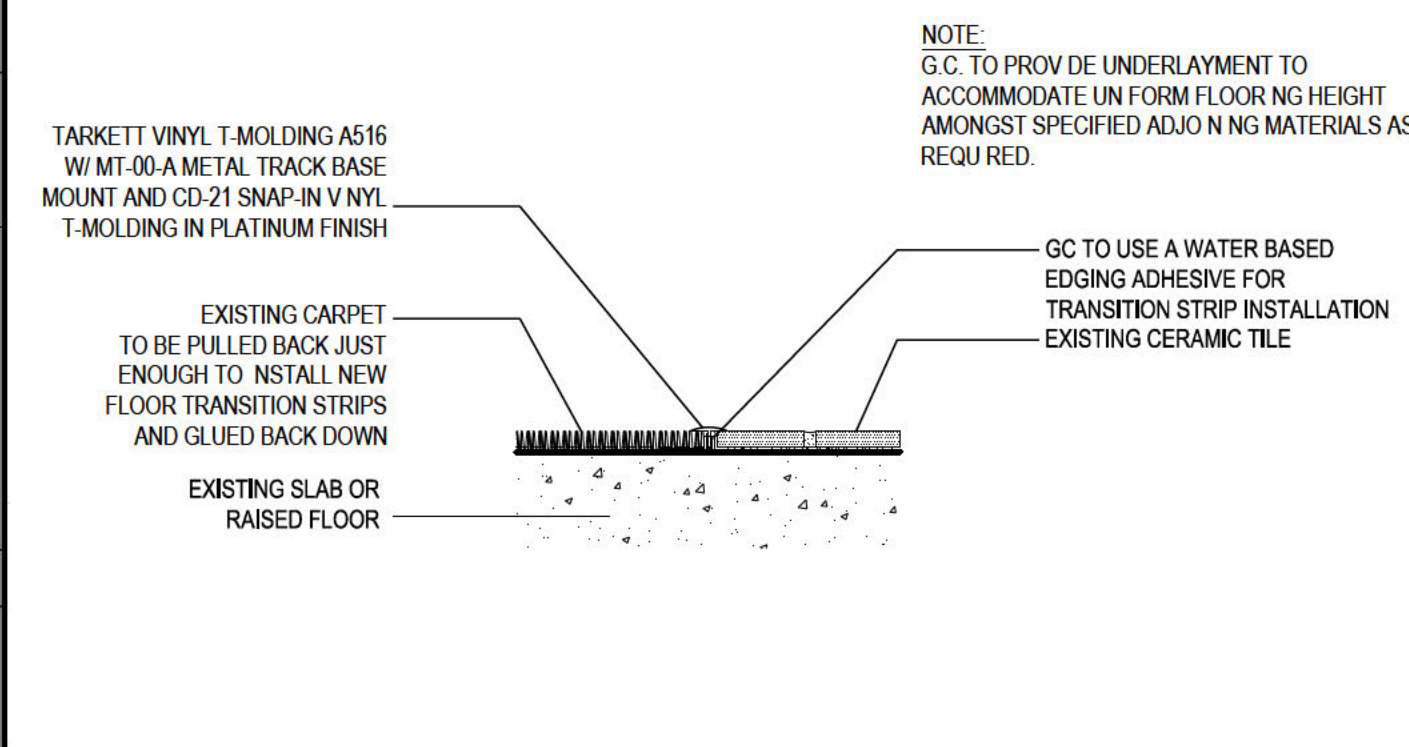
DOOR SCHEDULE:

DOOR #	ROOM NAME	TYPE	LEVL	WIDTH	HEIGHT	TRACK	MTRL	FINISH	HEAD	JAMB	FRAME		REMARK
											MATL	FINISH	
01	ENTRANCE DOOR	EX	HHT	32 1/2" (OVF)	7'0" (OVF)	1 3/4" (OVF)	MTL/SL	EX	EX	EX	EX	EX	NEW POWER OPERATOR FOR AUTOMATIC DOOR OPERATOR TO BE INSTALLED OVERHEAD TO PUSH SIDE OF DOOR. ACTUATOR BUTTONS AND KEY SWITCH TO BE HARDWIRED TO POWER OPERATOR. SEE PLAN FOR LOCATIONS. GC TO RUN POWER TO EXISTING BRANCH ELECTRICAL PANEL AND USE THE NEXT EMPTY CIRCUIT BREAKER ON PANEL. ENTRANCE DOOR AND ADJACENT STOREFRONT IS TO BE PATCHED & PAINTED TO MATCH EXISTING COLOR.

HARDWARE SCHEDULE:

ITEM	DESCRIPTION	QTY	UNIT
1	POWER OPERATOR (1)	1	EA
2	BOLLARD POST (1)	1	EA
3	WALL MOUNTED ACTUATOR PLATE (2)	2	EA
4	SURFACE MOUNT BOX (1)	1	EA
5	KEY SWITCH (1)	1	EA
6	ALL OTHER EXISTING HARDWARE TO REMAIN, I/C/A	-	-

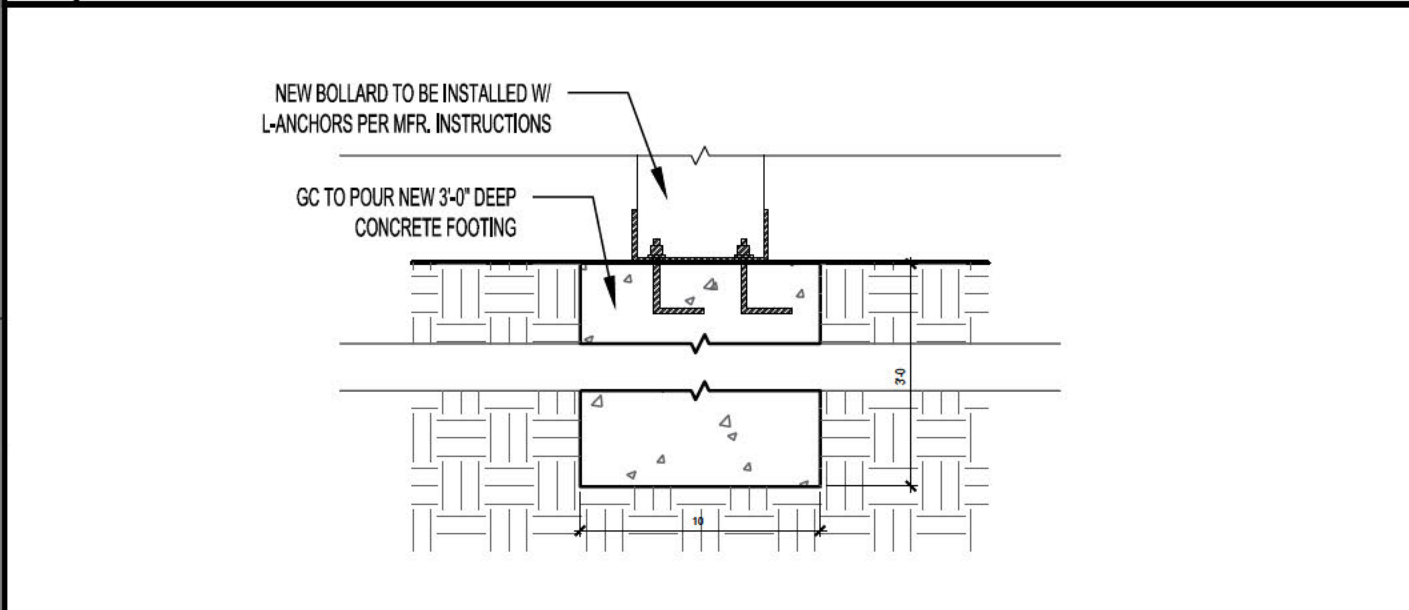
2 DOOR & HARDWARE SCHEDULES



HARDWARE NOTES:

- PART 1 GENERAL:**
SECTION INCLUDES:
 A. HARDWARE FOR ALL DOORS AND PARTITIONS AS SHOWN OR SPECIFIED SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 B. WORK OF THIS SECTION AS SHOWN OR SPECIFIED SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 C. HARDWARE SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
 D. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 E. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 F. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
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 N. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 O. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 P. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 Q. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 R. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 S. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 T. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 U. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 V. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 W. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 X. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 Y. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.
 Z. HARDWARE SCHEDULES SHALL CLEARLY IDENTIFY ARCHITECT-HARDWARE SET AND MANUFACTURER OF EACH ITEM PROPOSED.

FT1 FLOOR TRANSITION DETAIL



3 BOLLARD MOUNTING DETAIL

CONSTRUCTION GENERAL NOTES

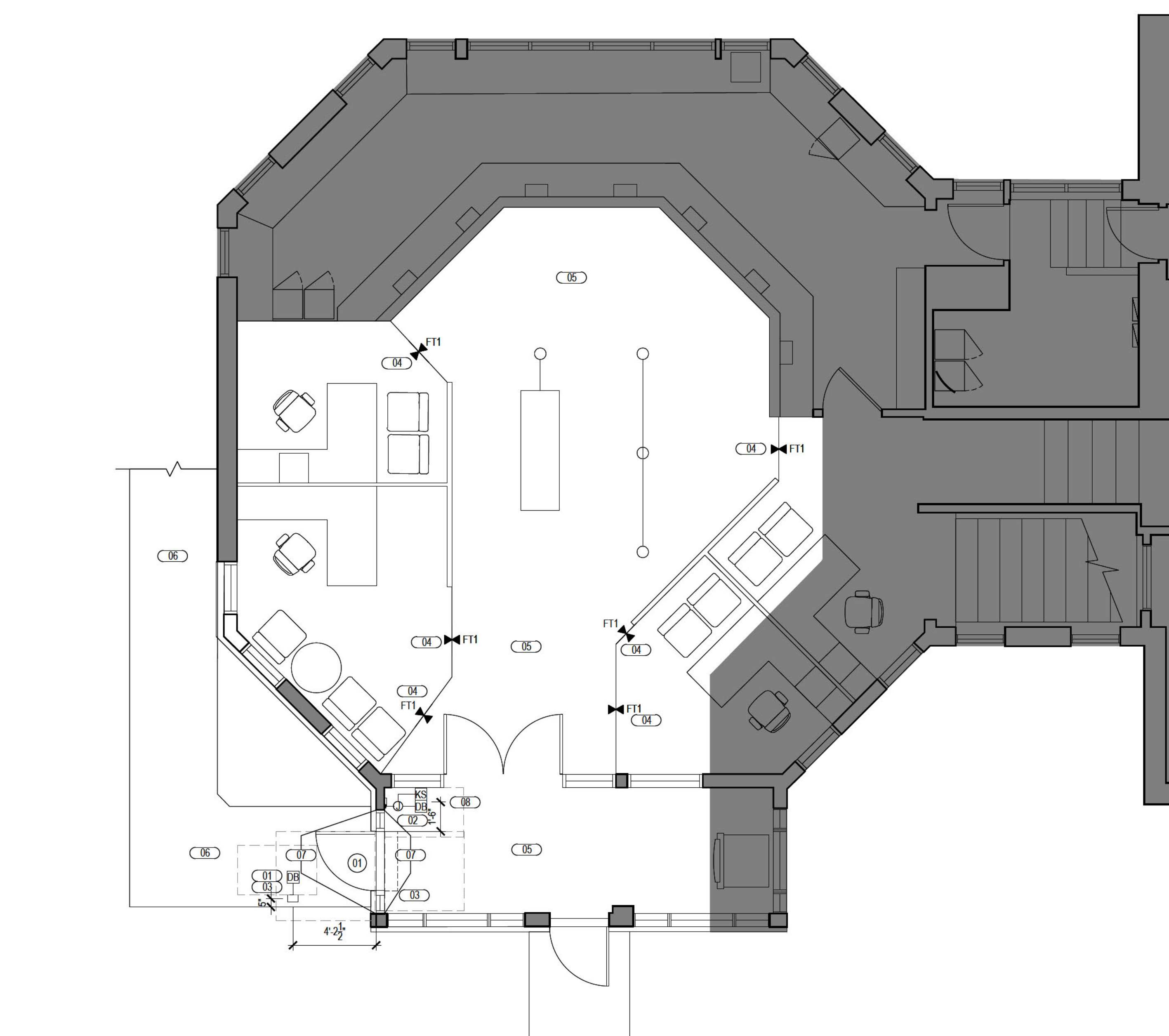
- FINAL PLACEMENT OF ALL PARTITIONS SHALL BE APPROVED IN THE FIELD BY THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TAPING AND SPACKLING (3) COATS MINIMUM ON ALL GYPSUM BOARD, AS WELL AS PATCHING AND REPAIRING ALL WALLS, CEILING, AND COLUMNS TO REMAIN AS EXISTING.
- ALIGN PARTITIONS WHERE NEW WALLS ADJACENT TO EXISTING COLUMN AND/OR WALLS.
 - 1. DRYWALL TO PLASTER OR DRYWALL - REMOVE EXISTING CORNER BEAD TAPE AND SPACKLE JOINT (3) COATS MINIMUM EXCEPT AT COLUMN WHERE GYPSUM BOARD WILL PASS OVER COLUMN FACE.
 - 2. PLASTER TO PLASTER - REMOVE EXISTING CORNER BEAD REINFORCE JOINT WITH WIRE MESH AND PLASTER TO FORM A SMOOTH, PLUMB, CONTINUOUS SURFACE.
- ALL SURFACES OR FINISHES TO REMAIN DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK SHALL BE REPAIRED BY THE CONTRACTOR AT THE OWNER'S EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS REGARDING THE LOCATIONS AND EXTENT OF BLOCKING OR GROUNDS, AS WELL AS ANY STRUCTURAL STEEL OR SUPPORTS AS MAY BE REQUIRED INSIDE WALLS FOR ANY PURPOSES THE CONTRACTOR SHALL ENSURE THAT THE COSTS OF SUCH BLOCKING, GROUNDS, AND/OR STRUCTURAL SUPPORTS ARE CARRIED IN THE CARPENTRY OR MISCELLANEOUS ARCHITECTURAL METALS SUBCONTRACTORS' SCOPE OF WORK.
- NEW SOME TYPE OF NOTE ABOUT A PROPOSED LINTEL TO BE INCLUDED IN THE COST OF THE SCOPE OF WORK AND A PROBE.

POWER & COMMUNICATION GENERAL NOTES

- ELECTRICAL CONTRACTOR SHALL DISCONNECT, CONNECT, AND PROVIDE NECESSARY ELECTRIC RUNS IN ORDER TO CONFORM WITH NEW PLAN.
- SWITCHES, DUPLEX OUTLETS, AND FLOOR MOUNTED OUTLETS SHALL BE INSTALLED BY COMPETENT MECHANICS IN A FIRST CLASS MANNER.
- ALL BACK-TO-BACK OUTLETS IN ADJOINING ROOMS TO BE STAGGERED.
- ALL EXISTING ELECTRICAL DEVICES SHALL BE RE-FITTED WITH A NEW RECEPTACLE AND A NEW COVER PLATE.
- ALL EXISTING ELECTRICAL DEVICES SHALL BE RE-FITTED WITH THE ELECTRICAL DEVICE, BACKBOX AND ALL THE WIRING REMOVED. PATCH HOLE TO MATCH ADJACENT FINISH.
- GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED CONDUIT, CABLES AND VOICE/DATA WIRING COMPLETELY FROM AREAS IN SCOPE OF THIS CONTRACT.
- SHOULD JOB CONDITIONS REQUIRE RELOCATION OF PLANNED VOICE/DATA OR ELECTRICAL OUTLETS FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S FIELD REPRESENTATIVE FOR APPROVAL OF ALTERNATE LOCATION PRIOR TO THE START OF ANY WORK.
- ALL EXISTING WALL OUTLETS WHICH DO NOT INTERFERE WITH NEW CONSTRUCTION SHALL REMAIN.
- ANY EXISTING FIRE ALARM SPEAKERS, PULL BOXES AND/OR THERMOSTATS WHICH INTERFERE WITH NEW PARTITION WORK SHALL BE RELOCATED TO A LOCATION APPROVED BY THE ARCHITECT.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL AND MILLWORK CONTRACTORS TO PROVIDE CUTOUTS IN FIELD, AS REQUIRED, FOR EXTENSION OF ELECTRICAL OUTLETS, CABLES, ETC. INTO MILLWORK AS SPECIFIED.
- ELECTRICAL CONTRACTOR SHALL INCLUDE AND COORDINATE ELECTRICAL REQUIREMENTS FOR ALL DOOR HARDWARE, HVAC EQUIPMENT, EXHAUST FANS, WATER HEATERS, AND SPECIAL EQUIPMENT, ETC.
- MOUNTING HEIGHTS: ALL STROBES, PULL BOXES, FIRE EXTINGUISHERS, SIGNAGE, INCLUDING ALL ELEVATOR CALL BUTTONS AND INDICATOR LIGHTS, ETC. TO REMAIN ARE TO BE RAISED OR LOWERED TO SPECIFIED MOUNTING HEIGHTS IN AREAS OF WORK, AS PER CODE.

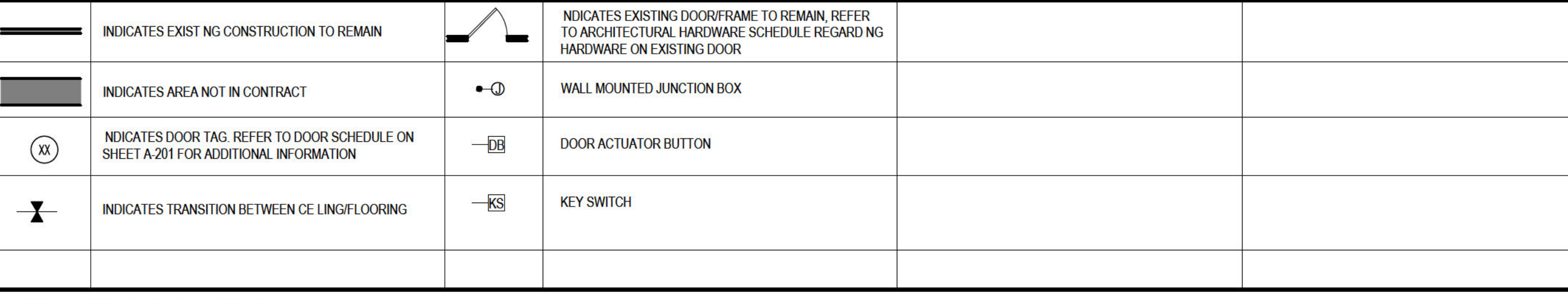
FINISH PLAN GENERAL NOTES

- REFER TO DRAWINGS G-001 AND G-002 FOR ADDITIONAL NOTES AND SPECIFICATIONS.
- ALL GLUES, SEALANTS, AND PAINT TO BE LOW OR NO VOC, TYP.
- ALL VINYL/RUBBER WALL BASE TO BE CONTINUOUS ROLLS.
- FLOORS: GENERAL CONTRACTOR TO PATCH, REPAIR, AND CLEAN NEW FLOOR PRIOR TO INSTALLING FLOOR FINISH BY SCARIFYING, SHOT BLASTING OR SIMILAR METHOD TO ACHIEVE A SMOOTH AND CLEAN SLAB READY FOR THE NEW FINISH. THERE WILL BE NO DEVIATIONS OR SUBSTITUTIONS. ANY DISCREPANCIES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR RECORD.
- SAMPLES OF ALL FINISHES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF THE WORK AND/OR ORDERING OF MATERIALS. CARPET, WALL COVERING & WOOD FINISH SAMPLES TO BE A MINIMUM OF 12" X 12". PAINT SAMPLES FOR GYPSUM BOARD SURFACES TO BE 12" X 12".
- GENERAL CONTRACTOR IS RESPONSIBLE FOR BEING FAMILIAR WITH THE BUILDING RULES AND REGULATIONS BEFORE AND DURING THE COURSE OF THIS PROJECT. SHOULD A CONFLICT ARISE BETWEEN THE CONSTRUCTION DOCUMENTS AND THE BUILDING RULES, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY. BUILDING RULES AND REGULATIONS SHALL GOVERN EXCEPT WHERE THEY ARE IN CONFLICT WITH APPLICABLE CODES.
- GENERAL CONTRACTOR SHALL PROPERLY PREPARE, SPACKLE, PASTER, SAND, AND ETC. ALL NEW & EXISTING DRYWALL, MASONRY SURFACES FOR PAINTING OR WALL COVERING AS PER MANUFACTURER'S RECOMMENDATION PRIOR TO PAINTING ANY AND ALL DENTS, CORNER BEADS, JOINTS, IRREGULARITIES IN NEW OR EXISTING PARTITIONS, CEILINGS, DOORS, FRAMES, ETC. GENERAL CONTRACTOR SHALL FIX WITH AN APPROPRIATE FILLER SUITABLE FOR THE MATERIAL.
- GENERAL CONTRACTOR SHALL PROVIDE CARPET PROTECTION IMMEDIATELY AFTER INSTALLATION.
- ALL FINISHES TO BE PURCHASED AT THE SAME TIME TO ENSURE UNIFORMITY OF COLOR.
- SEE NOTED DRAWINGS FOR TYPICAL TRANSITION DETAILS BETWEEN DIFFERENT FLOOR FINISHES. INCLUDE FLOOR PREP AND FEATHERING AS REQUIRED TO PROVIDE FLUSH CONDITIONS AT ALL LOCATIONS.
- ALL CARPET INSTALLATIONS TO BE APPROVED BY THE ARCHITECT. ANY DOMING, CUPPING, OR EXAGGERATED SEAMS ARE UNACCEPTABLE.
- GENERAL CONTRACTOR TO VERIFY STOCK OF ALL FLOORING MATERIALS AND NOTIFY THE ARCHITECT OF ANY DISCONTINUED OR LONG LEAD ITEMS THAT COULD AFFECT THE PROJECT SCHEDULE.
- UPON COMPLETION OF THE WORK, THE GENERAL CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WAREHOUSES, AND CADDINGS, ETC. AS GENERATED BY FINISH MATERIALS.
- GENERAL CONTRACTOR TO REMOVE EXISTING WINDOW TREATMENT DURING CONSTRUCTION, STORE AND CLEAN ALL SHADINGS AND REINSTALL AFTER WORK IS COMPLETE (TYP.).
- ALL SUBSTRATES TO BE RE-RETAINED AND FIRE PROOF.
- ALL WOOD-BASED MATERIALS & PRODUCTS INCLUDING FRAMING, SUB-FLOORING, & WOOD DOORS TO BE FSC CERTIFIED.
- ALL WOOD PRODUCTS & LAMINATE ADHESIVES MUST CONTAIN NO ADDED UREA FORMALDEHYDE RESIN.
- ALL NEW SURFACES WHICH ARE TO BE PAINTED SHALL RECEIVE (1) COAT OF PRIMER AND (2) COATS OF FINISH PAINT. (3) COATS TOTAL.
- A METAL EDGE OR TERRAZZO STRIP MUST BE USED AT TRANSITIONS BETWEEN FLOORING MATERIALS OF ANY KIND. USE OF VINYL, PLASTIC OR RUBBER TRANSITION STRIPS IS STRICTLY PROHIBITED. ALL FLOORING TRANSITIONS MUST BE SMOOTH, LEVEL AND FLUSH WITH FLOORING.
- WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.13.



1 FLOOR PLAN

CONSTRUCTION PLAN



CONSTRUCTION KEY NOTES

- GC TO INSTALL NEW LCN 8310-866 BOLLARD POST IN 689 ALUMINUM FINISH. BOLLARD POST TO BE SECURED TO NEW CONCRETE WALKWAY AND NEW LCN 8310-853T ACTUATOR PLATE HARDWIRED TO POWER OPERATOR. INSTALLED AT PUSH SIDE OF EXISTING ENTRANCE DOOR PER MANUFACTURER'S INSTRUCTIONS. TOP AND BOTTOM OF OPERABLE PART OF ACTUATOR PLATE TO BE NO HIGHER THAN 48" AFF AND NO LOWER THAN 34" AFF, RESPECTIVELY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- GC TO INSTALL NEW ACTUATOR PLATE, SURFACE MOUNTED COVER, KEY SWITCH AND POWER OPERATOR AT VENT EXISTING ENTRANCE DOOR. ACTUATOR PLATE TO BE HARDWIRED TO POWER OPERATOR INSTALLED AT PUSH SIDE OF EXISTING ENTRANCE DOOR PER MANUFACTURER'S INSTRUCTIONS. TOP AND BOTTOM OF OPERABLE PART OF ACTUATOR PLATE AND KEY SWITCH TO BE NO HIGHER THAN 48" AFF AND NO LOWER THAN 34" AFF, RESPECTIVELY. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- REFER TO DETAIL 3/A-101 FOR BOLLARD INSTALLATION DETAILS.
- GC TO INSTALL NEW FLOORING TRANSITION STRIP ALONG ALL BANK LOBBY TRANSITIONS BETWEEN CARPET AND CERAMIC TILE. GC TO CLEAN FLOORS ONCE NEW TRANSITION STRIP IS INSTALLED. REFER TO DETAIL FT1/A-101 FOR ADDITIONAL INFORMATION.
- GC TO PROTECT EXISTING FURNITURE, WALLS, FLOORING, AND EQUIPMENT TO REMAIN THROUGHOUT THE BRANCH DURING DEMOLITION AND NEW CONSTRUCTION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR THE SCOPE OF WORK ALONG THE ACCESSIBLE PATH OF TRAVEL.
- GC TO REPAINT EXISTING DOOR & STOREFRONT FRAMES TO MATCH EXISTING COLOR AT THIS LOCATION.
- GC TO REPAINT EXISTING WALL TO MATCH EXISTING PAINT COLOR AT THIS LOCATION.

NO	REVISION	DATE	BY
01	ISSUED FOR CLIENT REVIEW	08/15/23	TPG

TPG Architecture

TPG ARCHITECTURE, LLP
 31 PENN PLAZA
 132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001
 212.768.0800 | TPGARCHITECTURE.COM

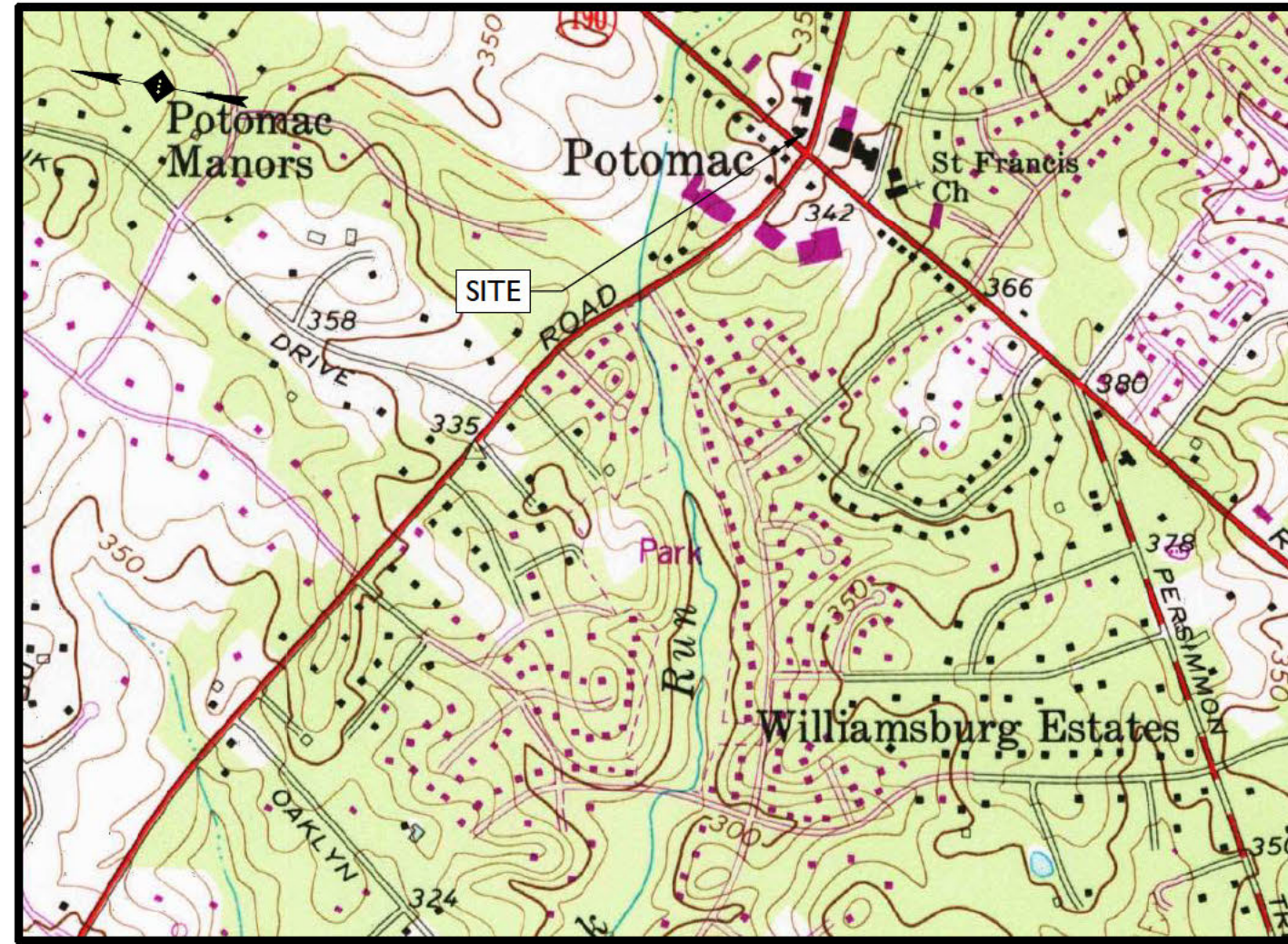
IN CONSIDERATION OF RECEIVING DRAWINGS FROM TPG ARCHITECTURE LLP IN AN ELECTRONIC FORM, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY TPG ARCHITECTURE LLP FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, RE-USE, MISUSE, MODIFICATION, OR MISINTERPRETATION OF THE MACHINE-READABLE INFORMATION PROVIDED BY TPG ARCHITECTURE LLP UNDER THIS AGREEMENT.

PROJECT
CAPITAL ONE - POTOMAC ADA PASS
 10211 RIVER ROAD
 POTOMAC, MD 20854

DRAWING
FLOOR PLAN, DOOR & HARDWARE SCHEDULE, FLOOR TRANSITION & BOLLARD DETAIL & NOTES

SEAL	DATE	PROJECT NO	SCALE	DWG NO	CAD FILE NO	PAGE
	08/15/2023	1522996-00	AS NOTED	A-101	A-101.DWG	of

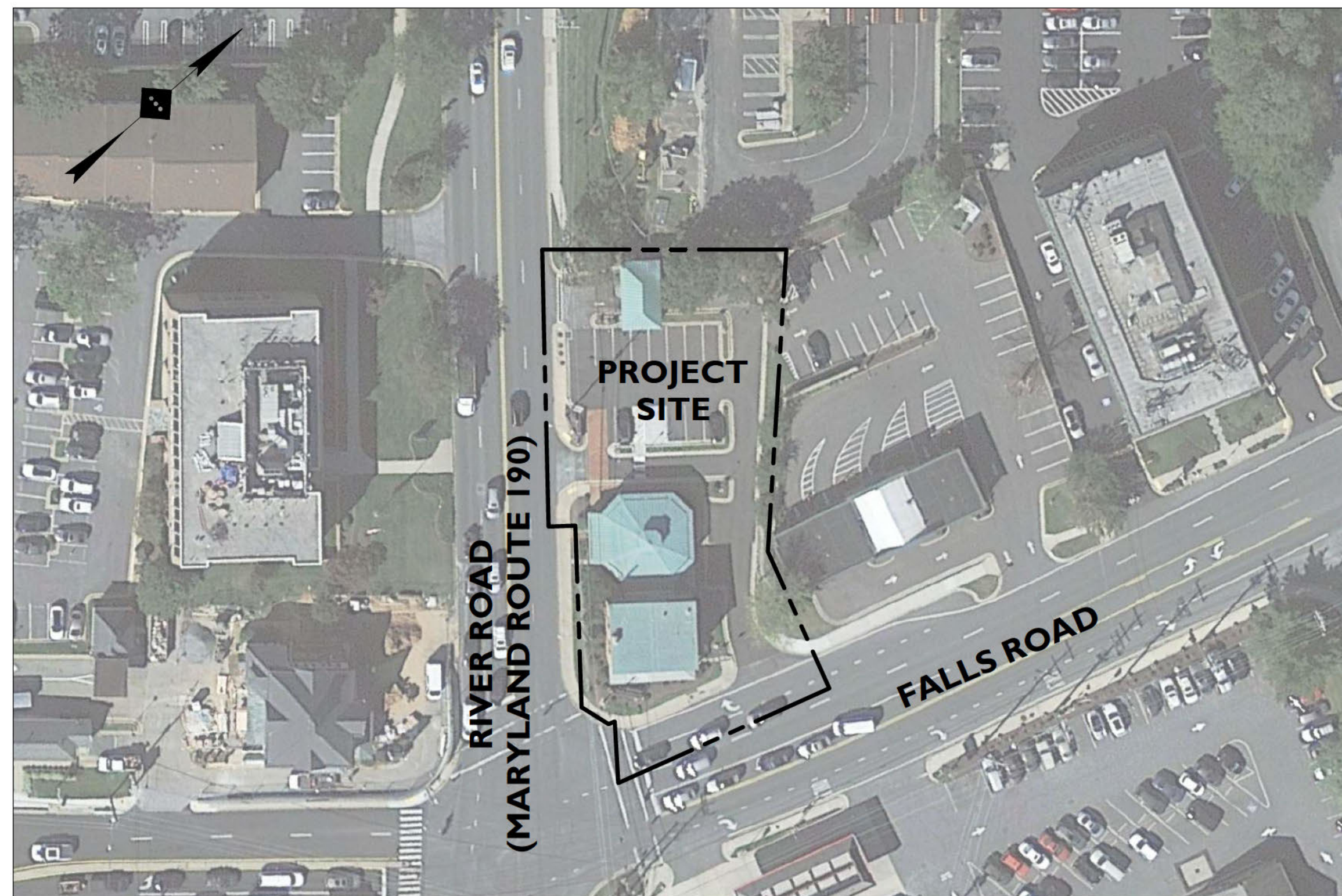
K:\212996-00\08 DRAWINGS\CAD\02 SHEETS\A-101 DWG / Plot Date: Aug. 15, 2023 - 3:49 PM
 Last Saved By: BARRAMS / Save Date: 8/14/2023 3:17:44 PM



SOURCE: USGS TOPO, JAMAICA QUADRANGLE, 7.5 MINUTE SER ES, NEW YORK 2023

LOCATION MAP

SCALE: 1" = 1000'



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

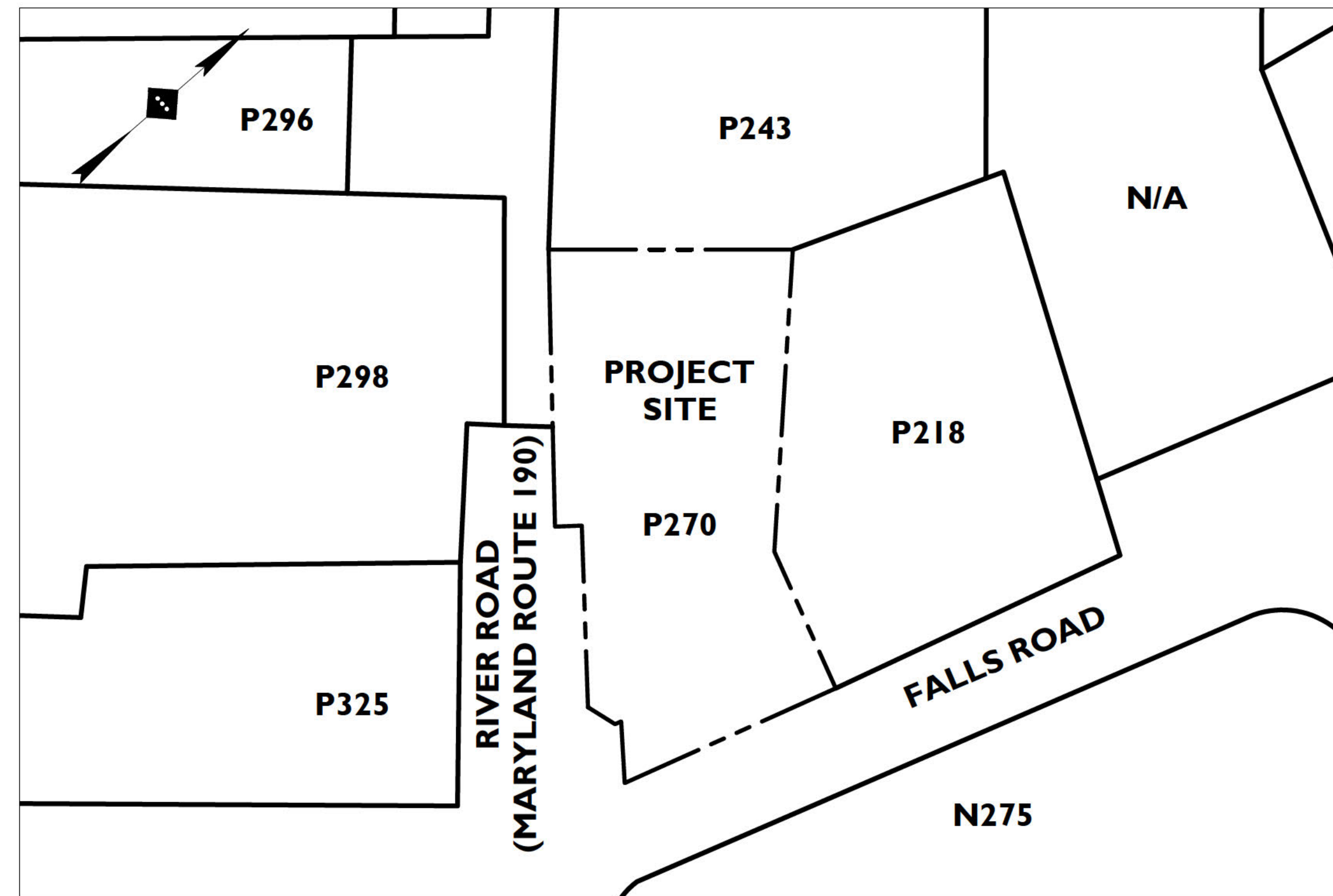
SCALE: 1" = 50'



AREA DESIGNATED FOR DPS BATCH ELECTRONIC STAMP

ADA IMPROVEMENTS PLAN

PARCEL NUMBER P270
 9900 FALLS ROAD
 ROCKVILLE, MARYLAND 20854



SOURCE: MONTGOMERY COUNTY ZONING, MCA TLAS

TAX MAP

SCALE: 1" = 50'

PLANS PREPARED BY:



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 Princeton, NJ · Tampa, FL · Detroit, MI
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 Phone 718.606.8305

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO
 - BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY VALLEY LAND SERVICES, LLC, DATED 08/08/2023.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO LAND SATELLITE IMAGERY, DATED 04/23/2024.
 - LOCATION MAP OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES TOPOGRAPHIC MAP, ROCKVILLE-MD
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
PARKING LOT - DEMOLITION, SITE, GRADING PLAN	C-3
SIDEWALK - DEMOLITION, SITE, GRADING PLAN	C-4
CONSTRUCTION DETAILS & NOTES	C-5 & C-6



Know what's below
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1	06/27/2024	SI	ISSUED FOR HAWP REVIEW

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ADA IMPROVEMENTS PLAN



PROPOSED SITE IMPROVEMENTS

PARCEL NUMBER P270
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 ROCKVILLE
 MARYLAND 20854

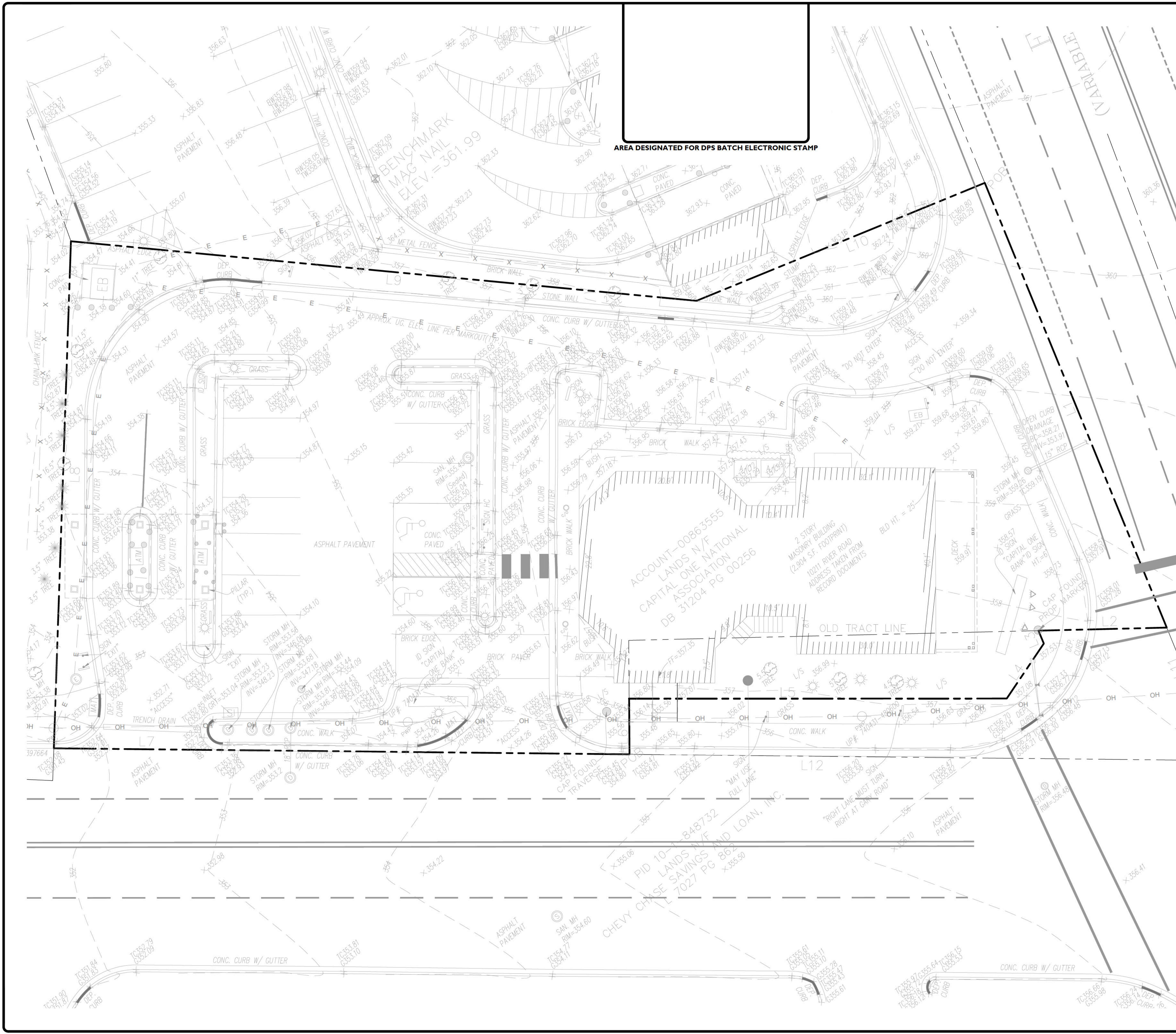


SCALE: AS SHOWN PROJECT ID: PRI-230019

TITLE:
COVER SHEET

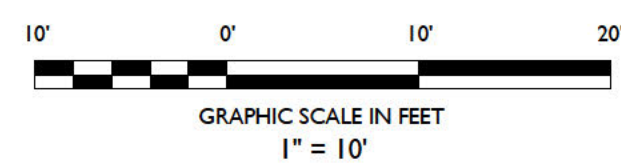
DRAWING:

C-1



SYMBOL	DESCRIPTION
	BUILDING
	ASPHALT / CONCRETE CURB
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	FENCE
	GUIDE RAIL
	UTILITY POLE
	SIGN
	FIRE HYDRANT
	INLET
	MAN HOLE
	BOLLARDS
	EDGE OF PAVEMENT
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE SPOT SHOT
	TOP OF CURB SHOT
	BOTTOM OF CURB SHOT
	TOP OF WALL SHOT
	BOTTOM OF WALL SHOT
	HANDICAP PARKING
	LANDSCAPING
	GAS METER
	DECIDUOUS TREE - DIAMETER NOTED
	PINE TREE - DIAMETER NOTED
	CLEAN OUT
	SURVEY MONUMENT
	BENCH MARK
	DETECTABLE WARNING STRIP

SURVEY NOTES:
 1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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ADA IMPROVEMENTS PLAN

CapitalOne

PROPOSED SITE IMPROVEMENTS

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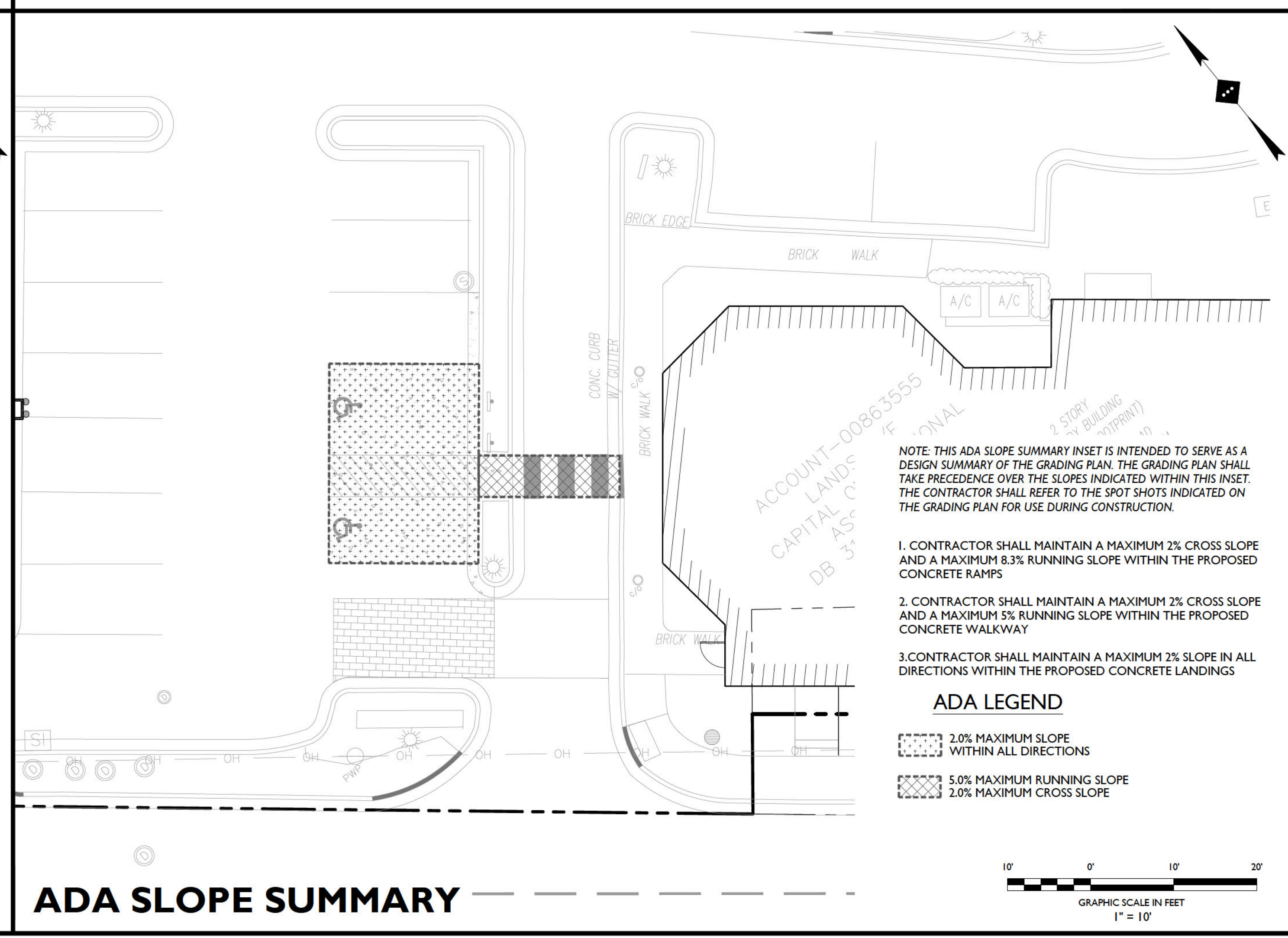
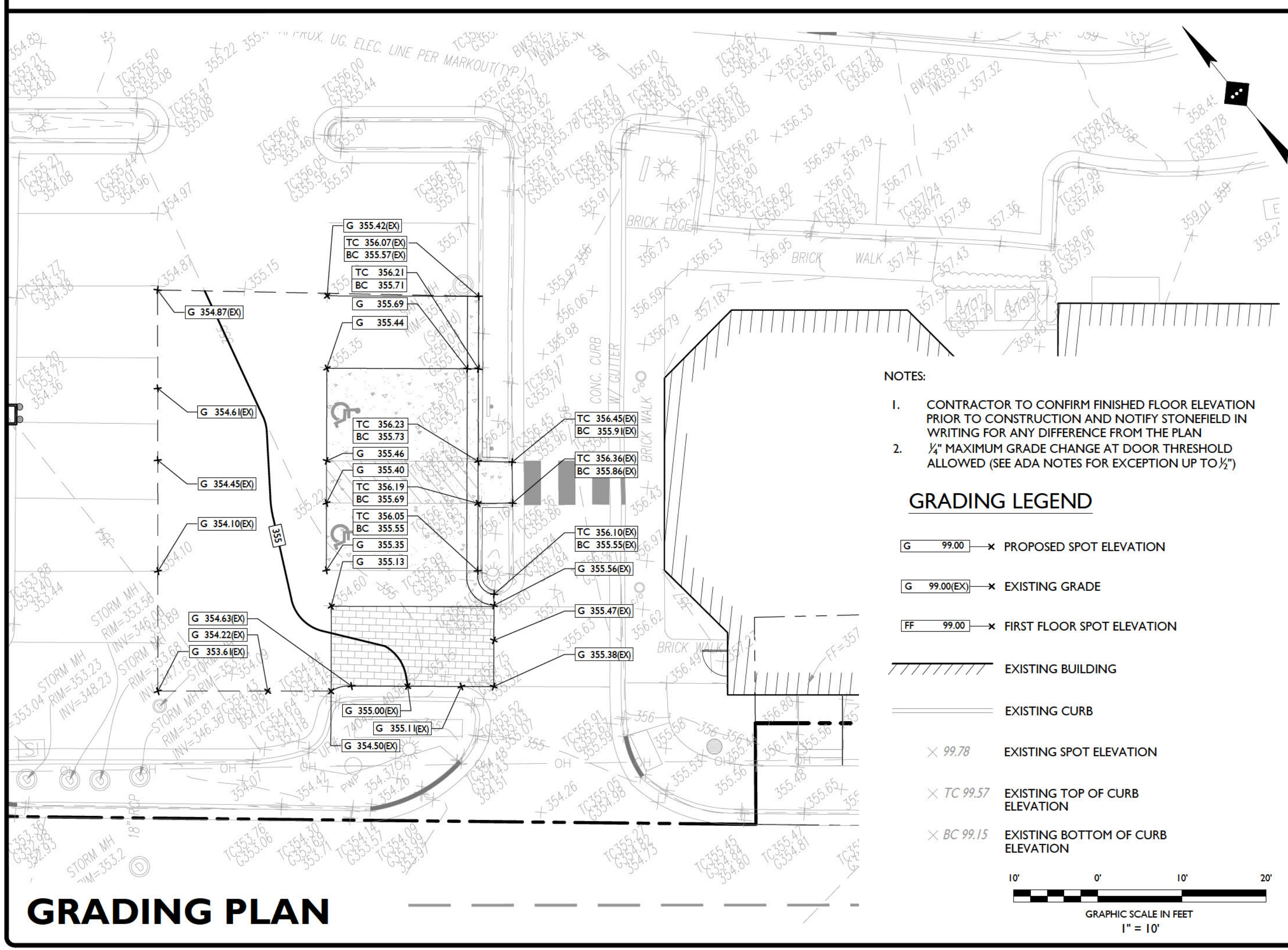
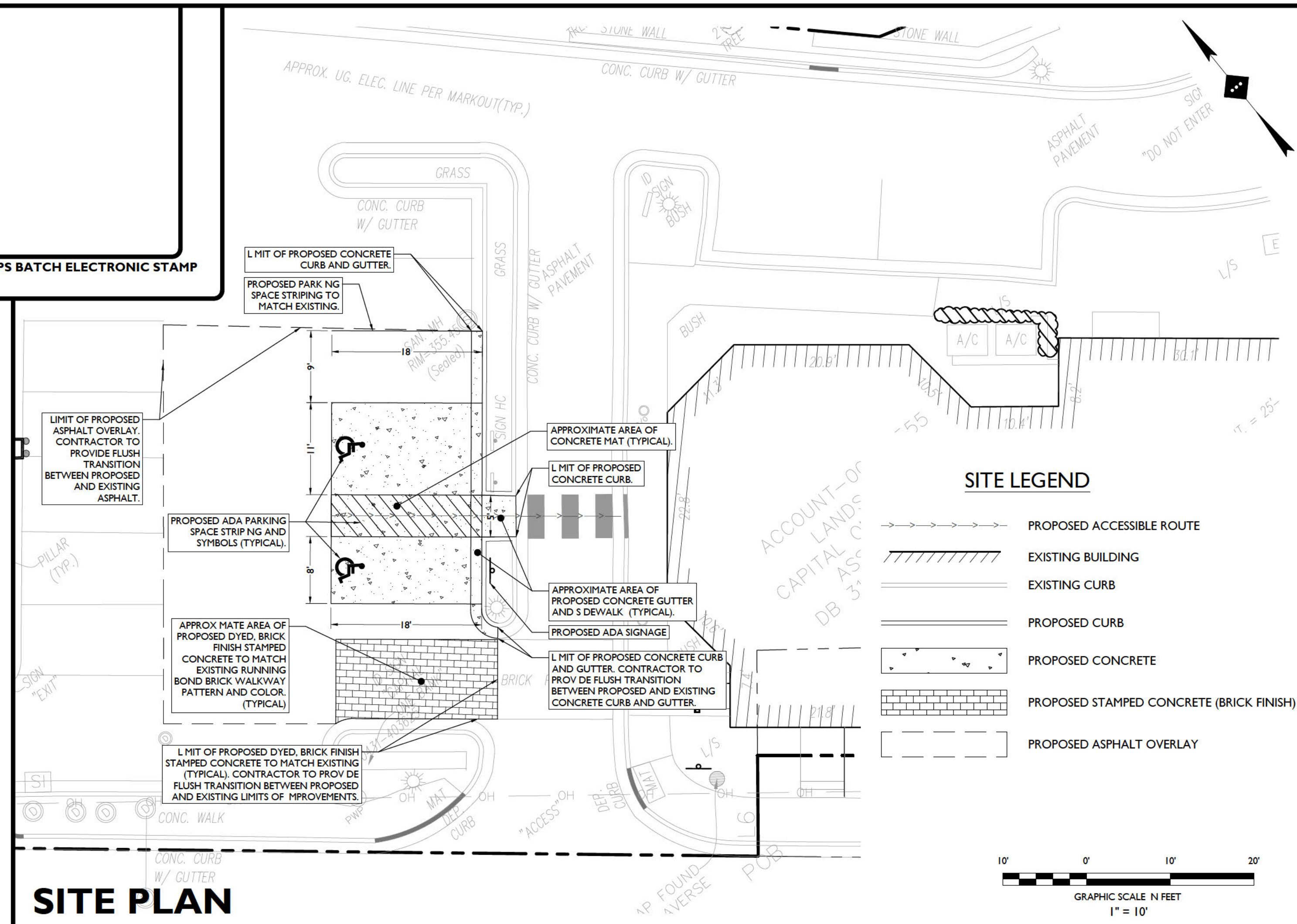
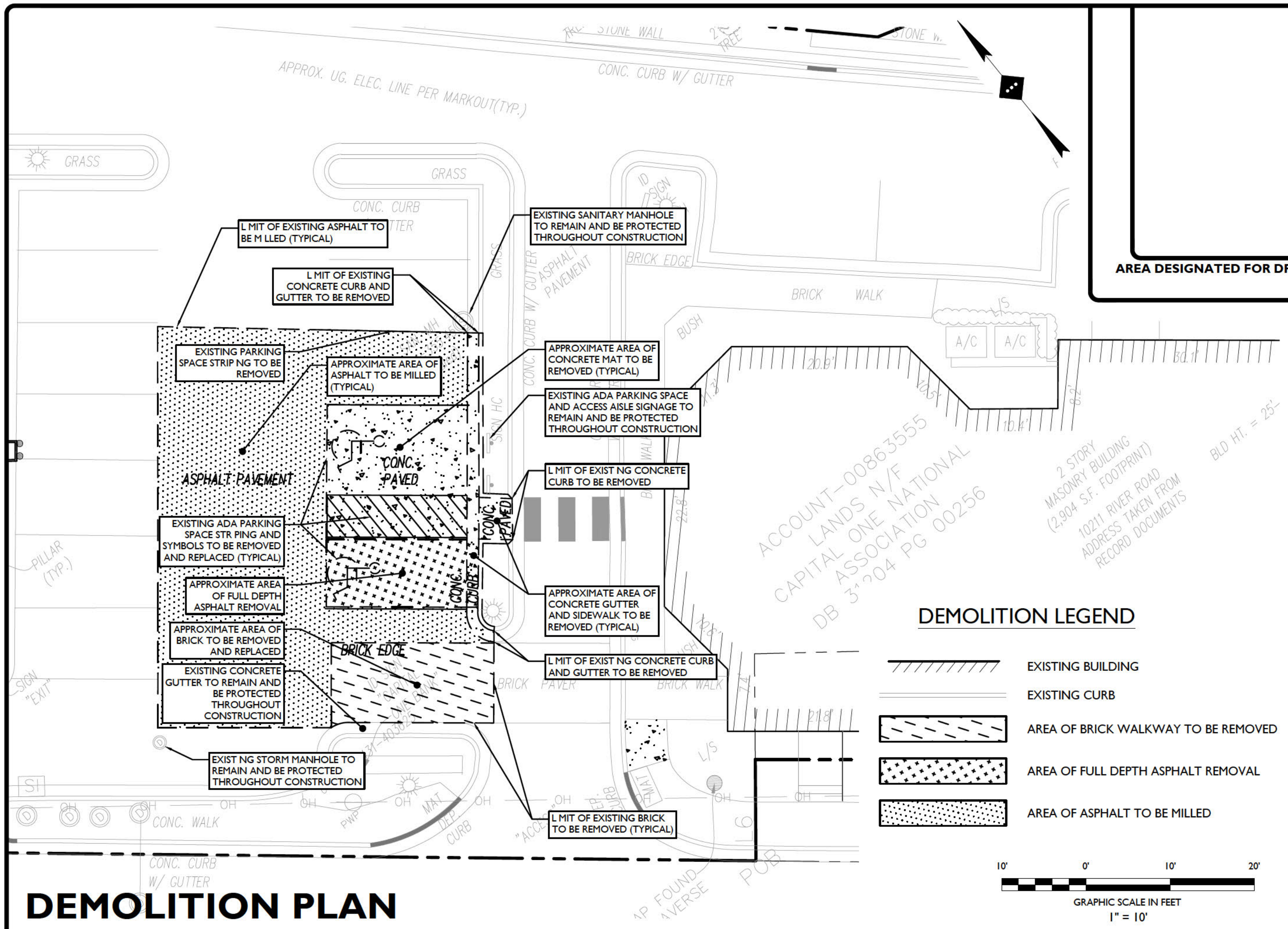


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SCALE: 1" = 10' PROJECT ID: PRI-230019

TITLE:
EXISTING CONDITIONS PLAN

DRAWING:
C-2



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1	08/22/2019	SI	ISSUED FOR HANWP REVIEW

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ROCKVILLE MARYLAND 20854

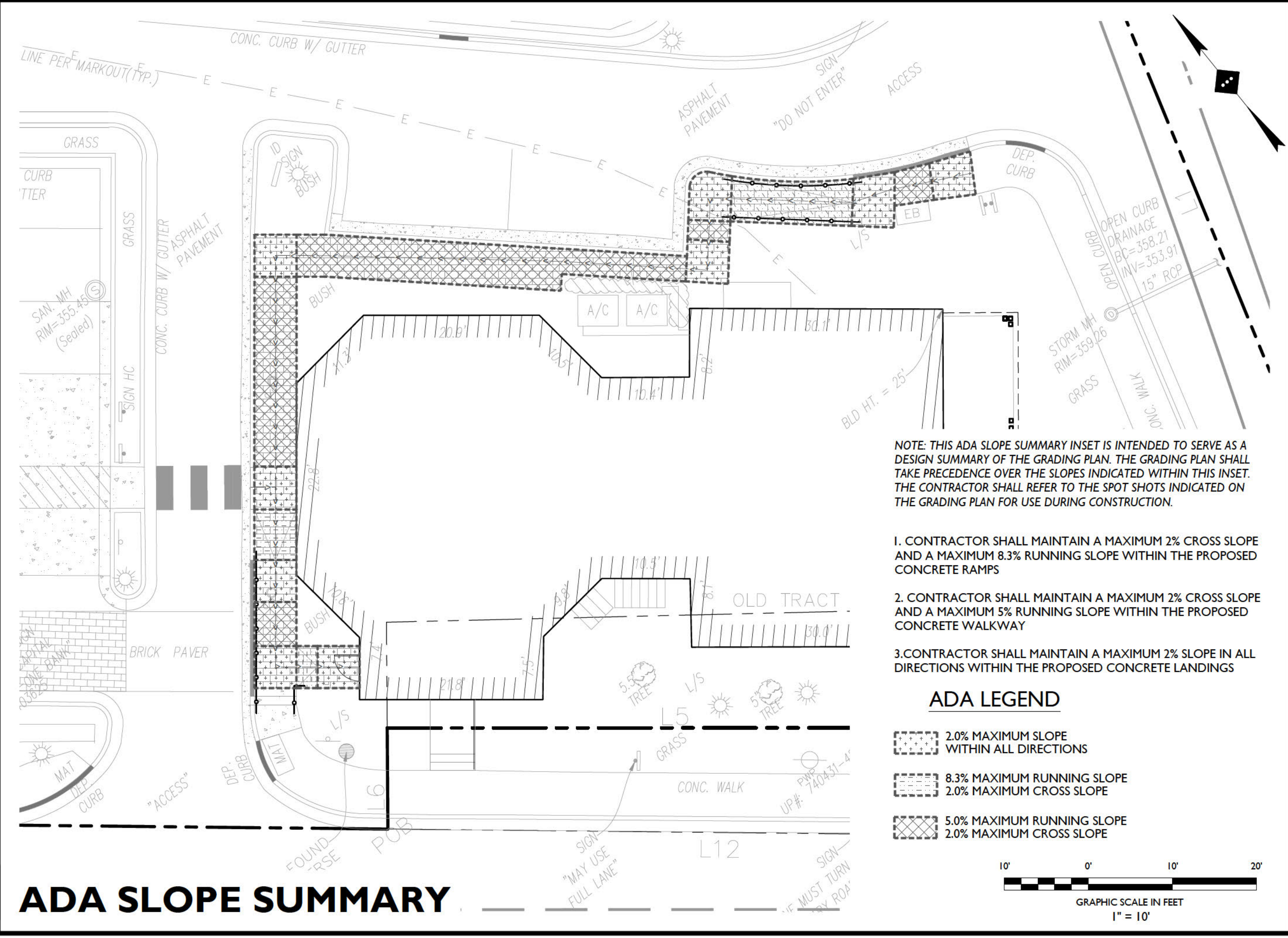
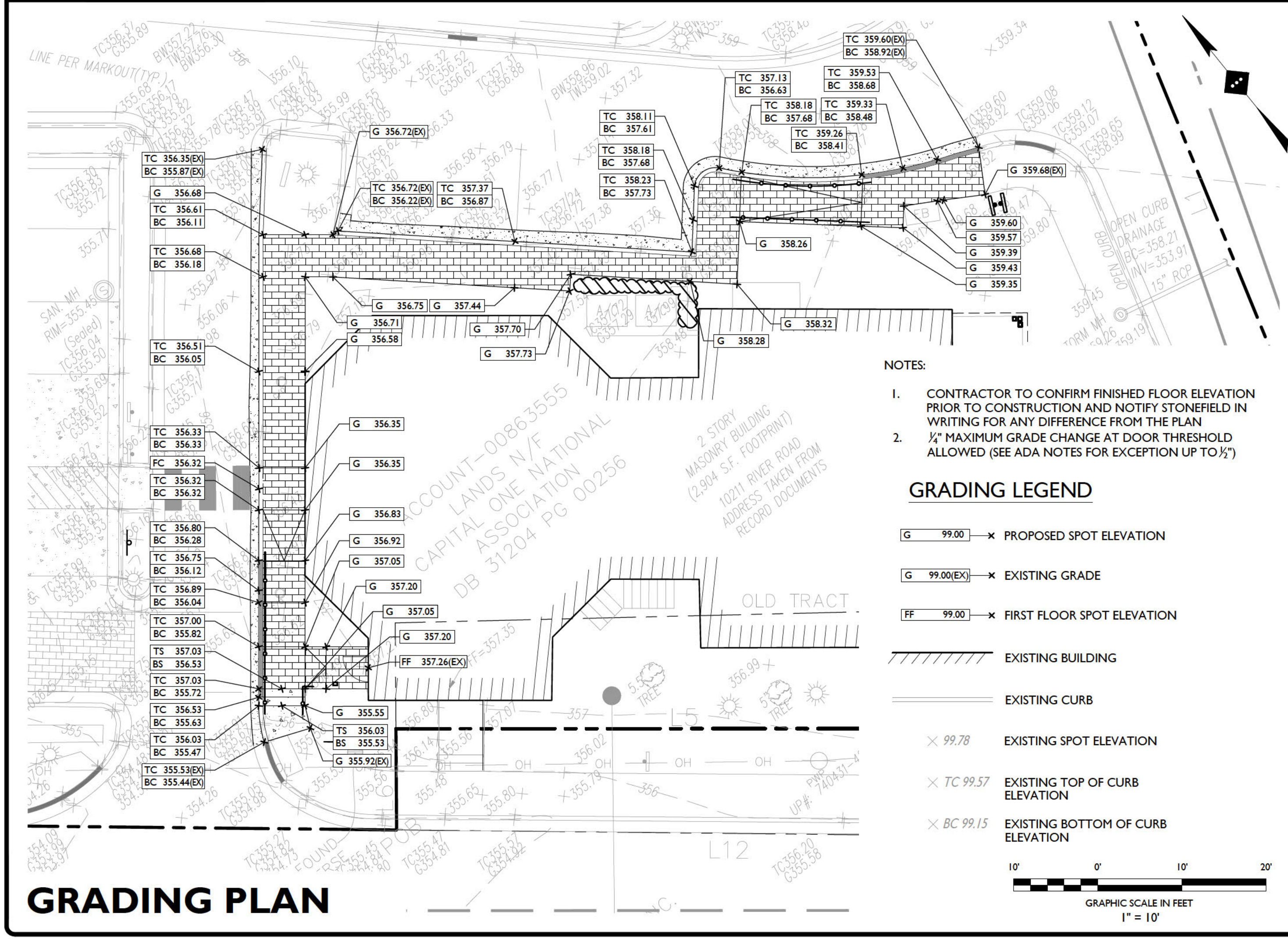
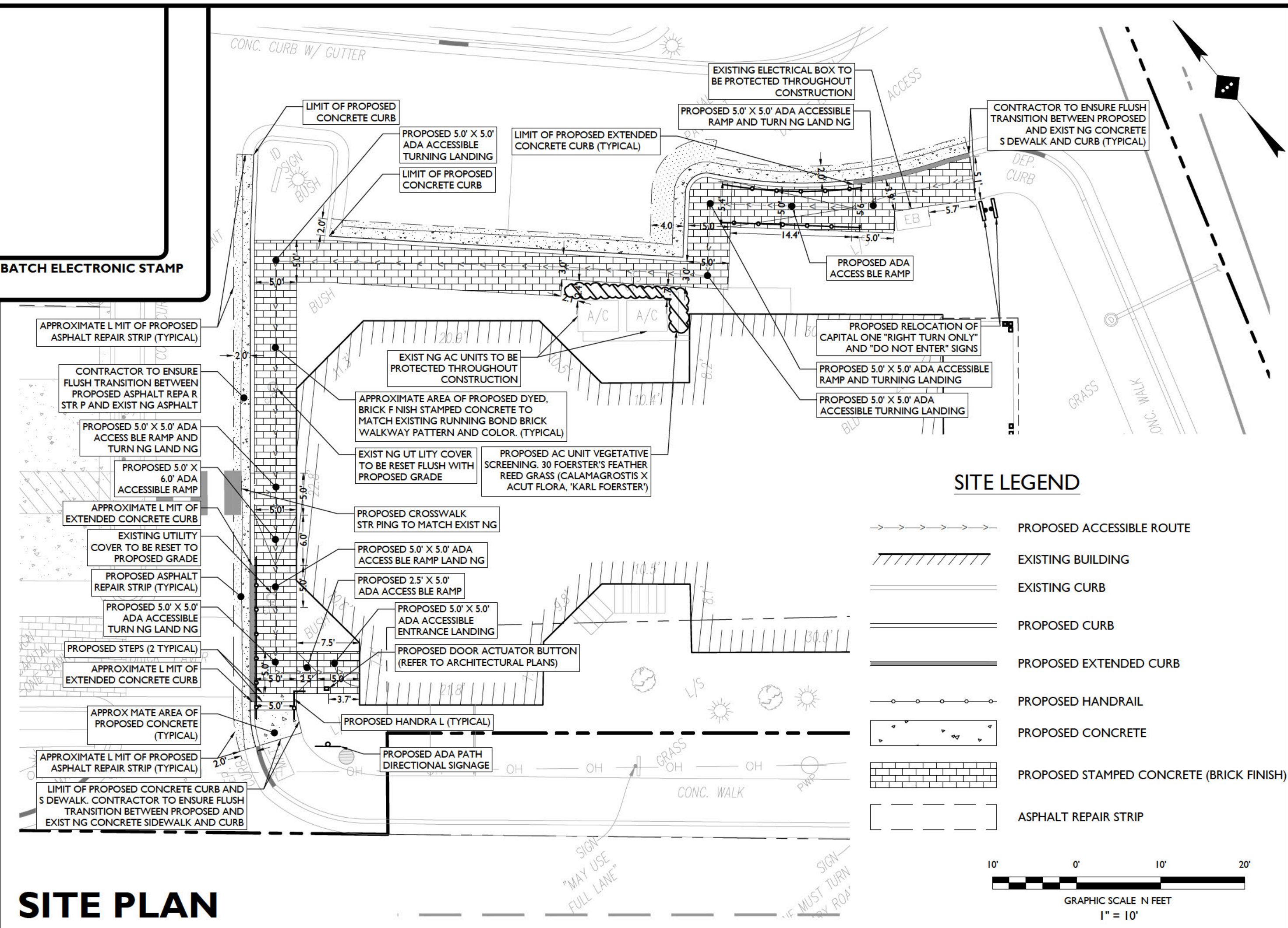
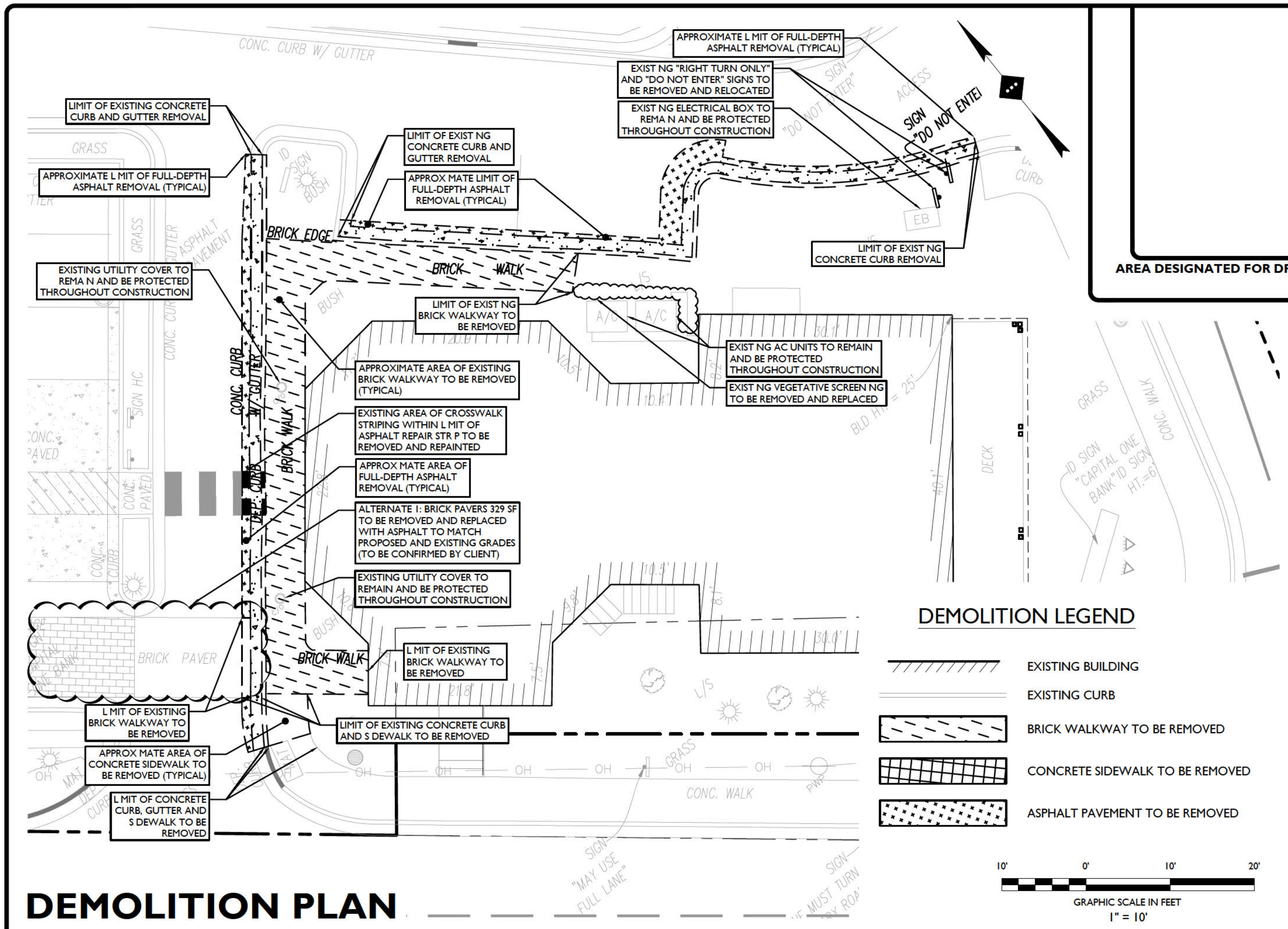
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CHARLES C. BOYD
MARYLAND LICENSE # 170117
GRADING ENGINEER
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 10' PROJECT ID: PRI-230019

TITLE: **PARKING LOT DEMOLITION, SITE AND GRADING PLAN**

DRAWING: **C-3**



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1	ISSUED FOR PLAN REVIEW	08/27/2014	SI	

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ADA IMPROVEMENTS PLAN

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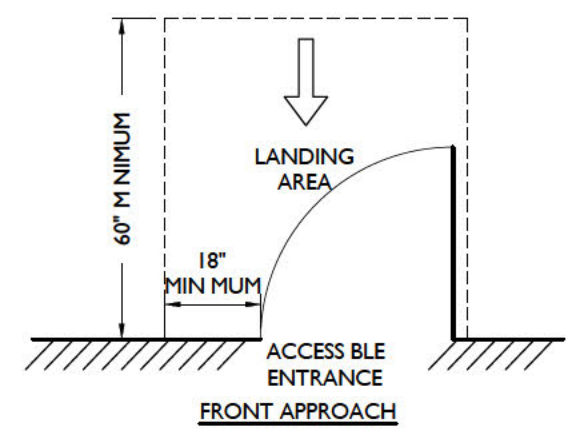
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CHARLES C. BOYD
MARYLAND LICENSE # 00177
GRADING ENGINEER
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 10' PROJECT ID: PRI-23019

TITLE: **SIDEWALK DEMOLITION, SITE AND GRADING PLAN**

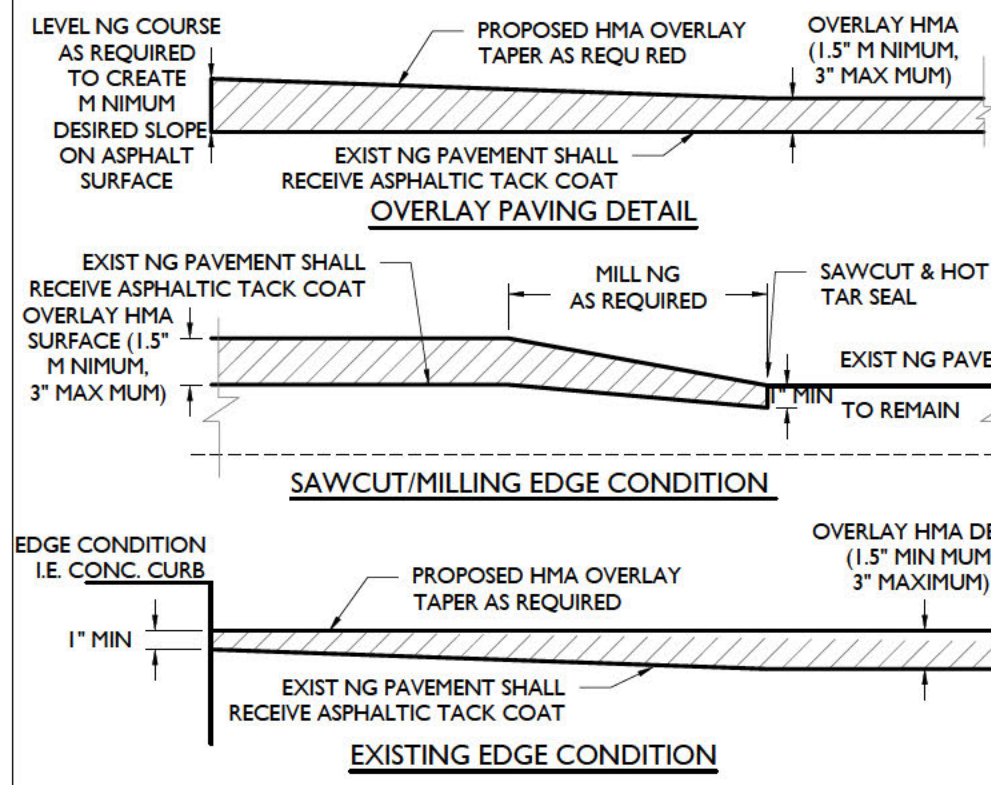
DRAWING: **C-4**



ACCESSIBLE ENTRANCE LANDING DETAIL

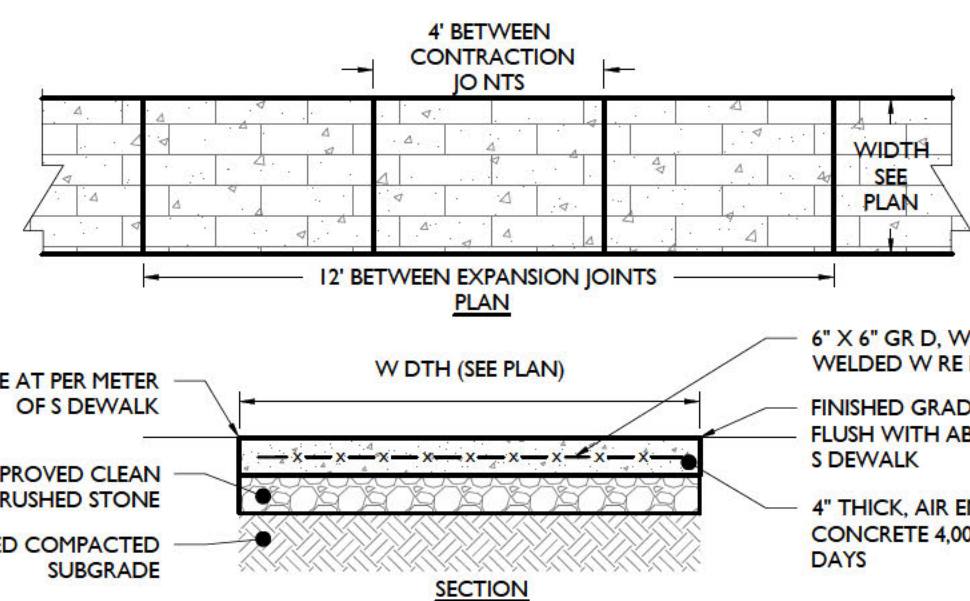
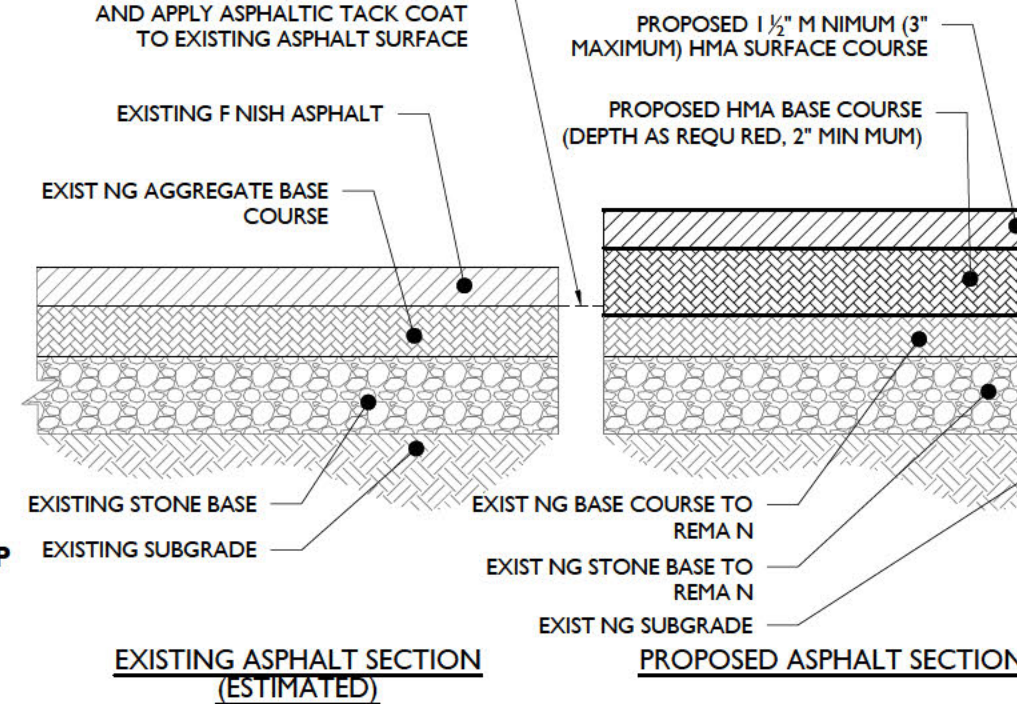
- NOTES:
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS.
2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.

NOT TO SCALE



PAVEMENT MILLING & OVERLAY DETAIL

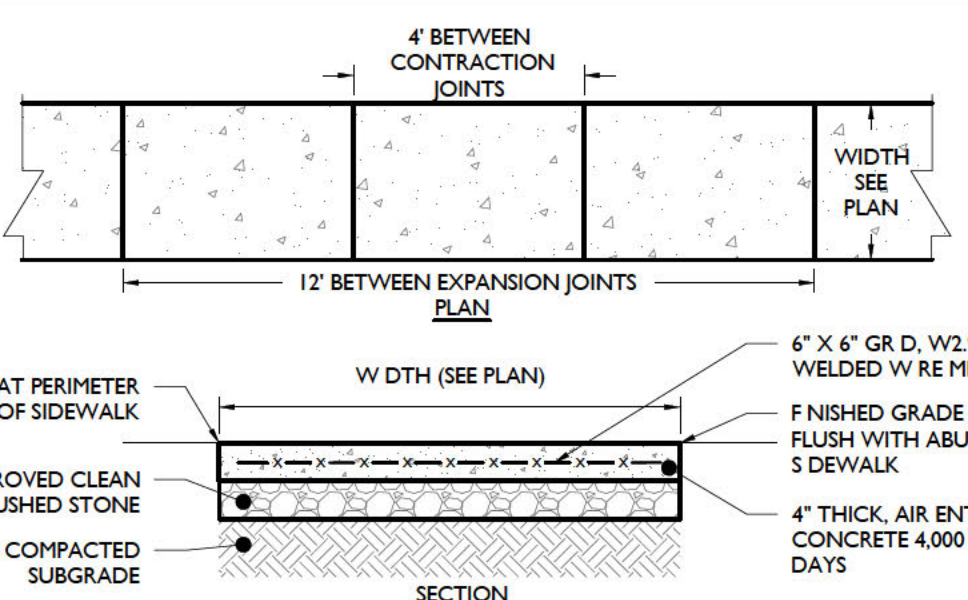
NOT TO SCALE



REINFORCED STAMPED & DYED CONCRETE WALKWAY DETAIL

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE.
3. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.
5. STAMPED & DYED CONCRETE FINISH TO MATCH EXISTING RUNNING BOND BRICK WALKWAY PATTERN AND COLOR.

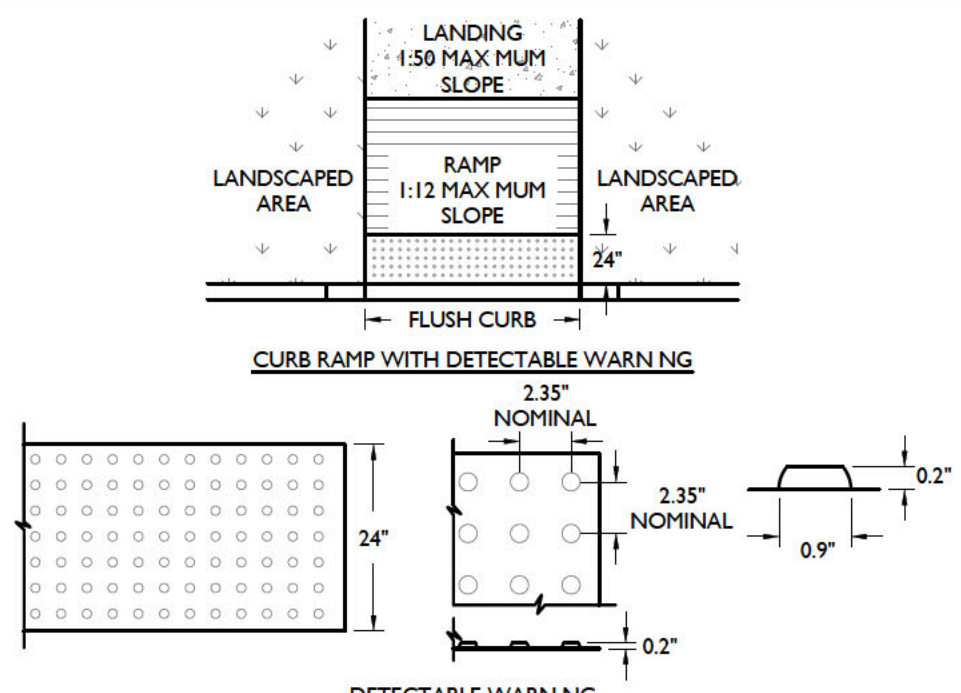
NOT TO SCALE



REINFORCED CONCRETE WALKWAY DETAIL

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE.
3. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

NOT TO SCALE

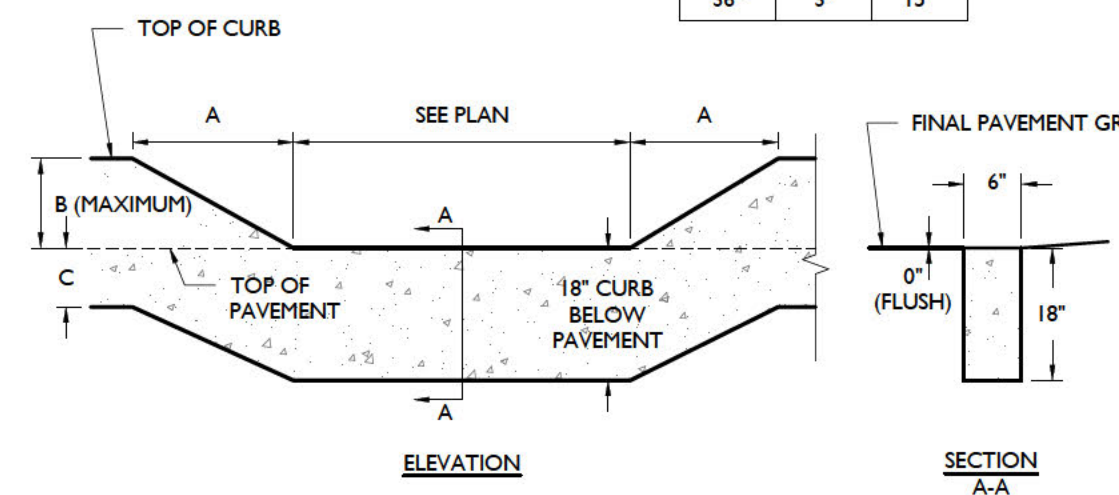


CURB RAMP DETAIL

- NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
4. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
5. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
6. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

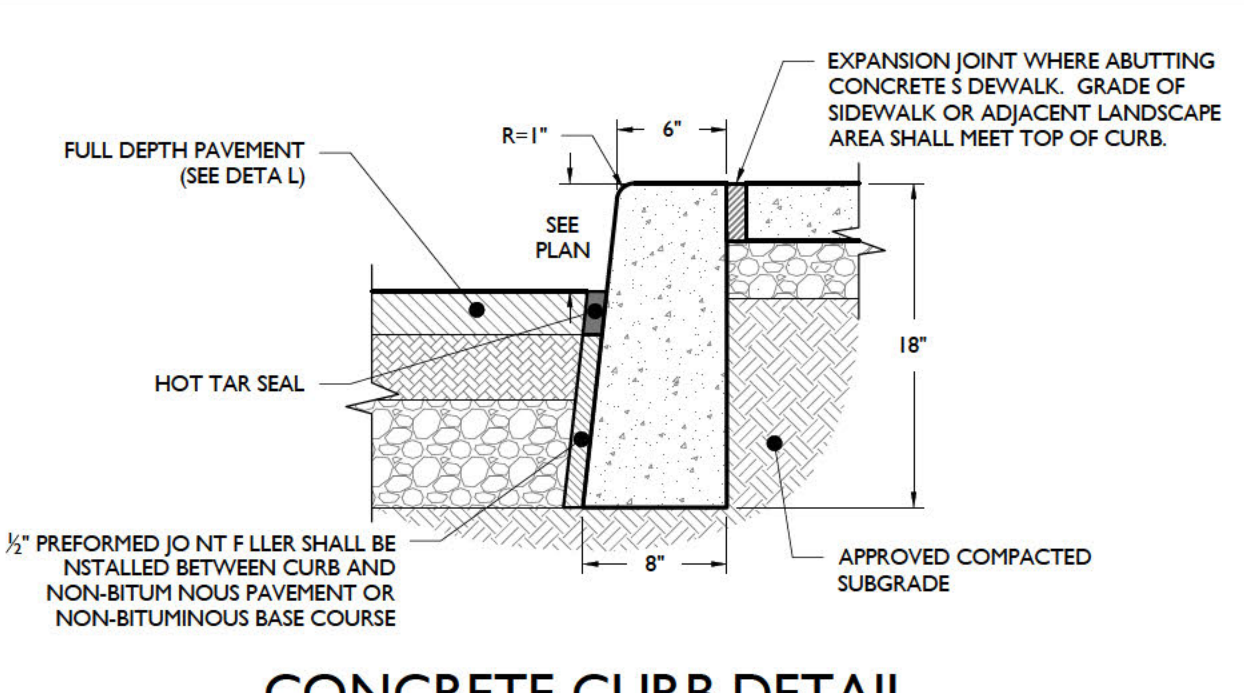
NOT TO SCALE

FLUSH CURB DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"



FLUSH CURB DETAIL

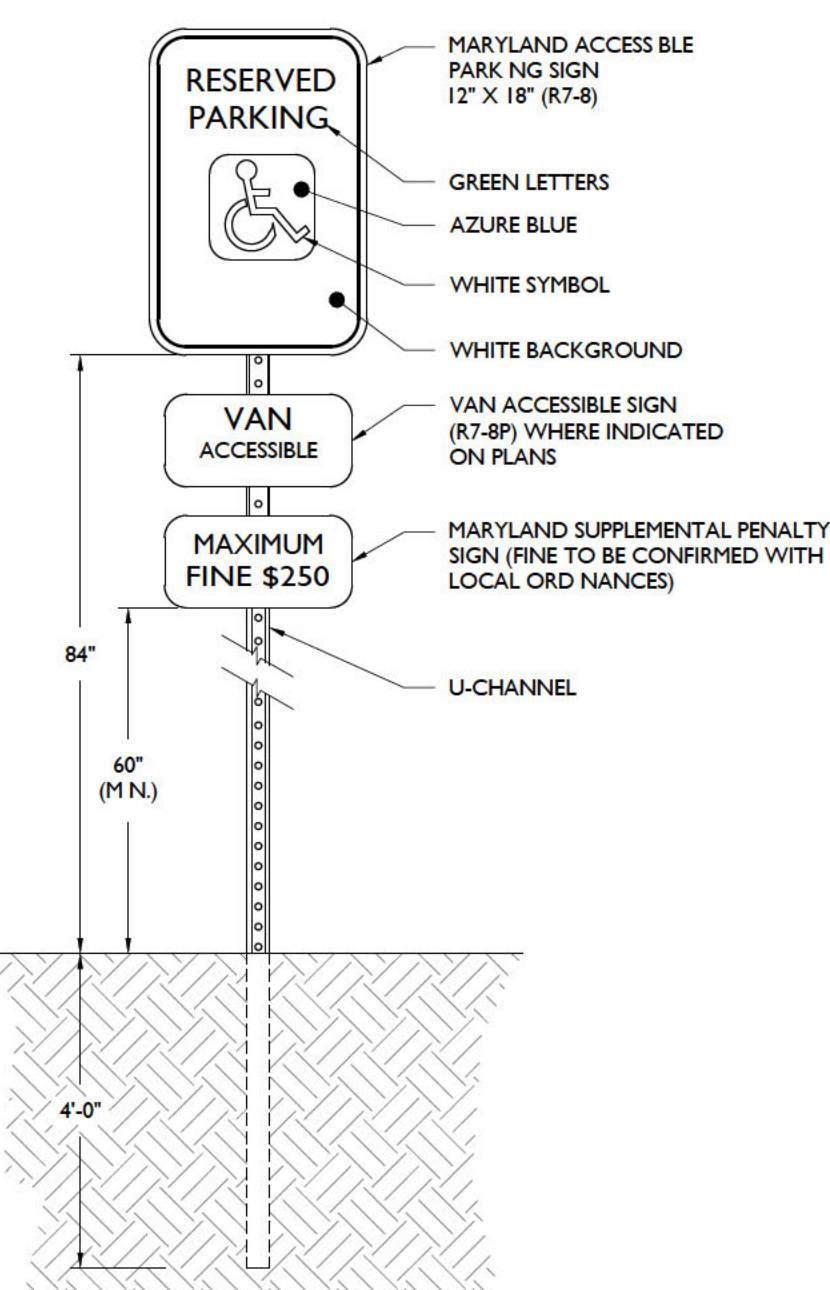
NOT TO SCALE



CONCRETE CURB DETAIL

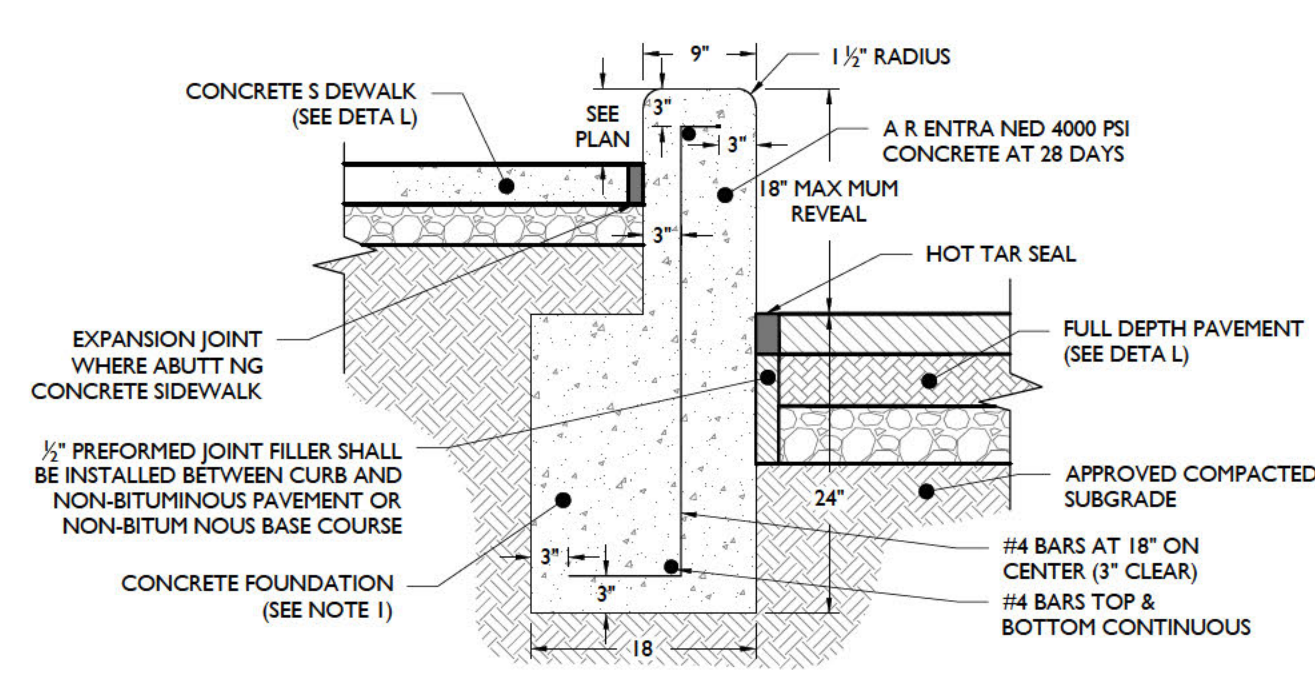
- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

NOT TO SCALE



ACCESSIBLE PARKING SIGN DETAIL

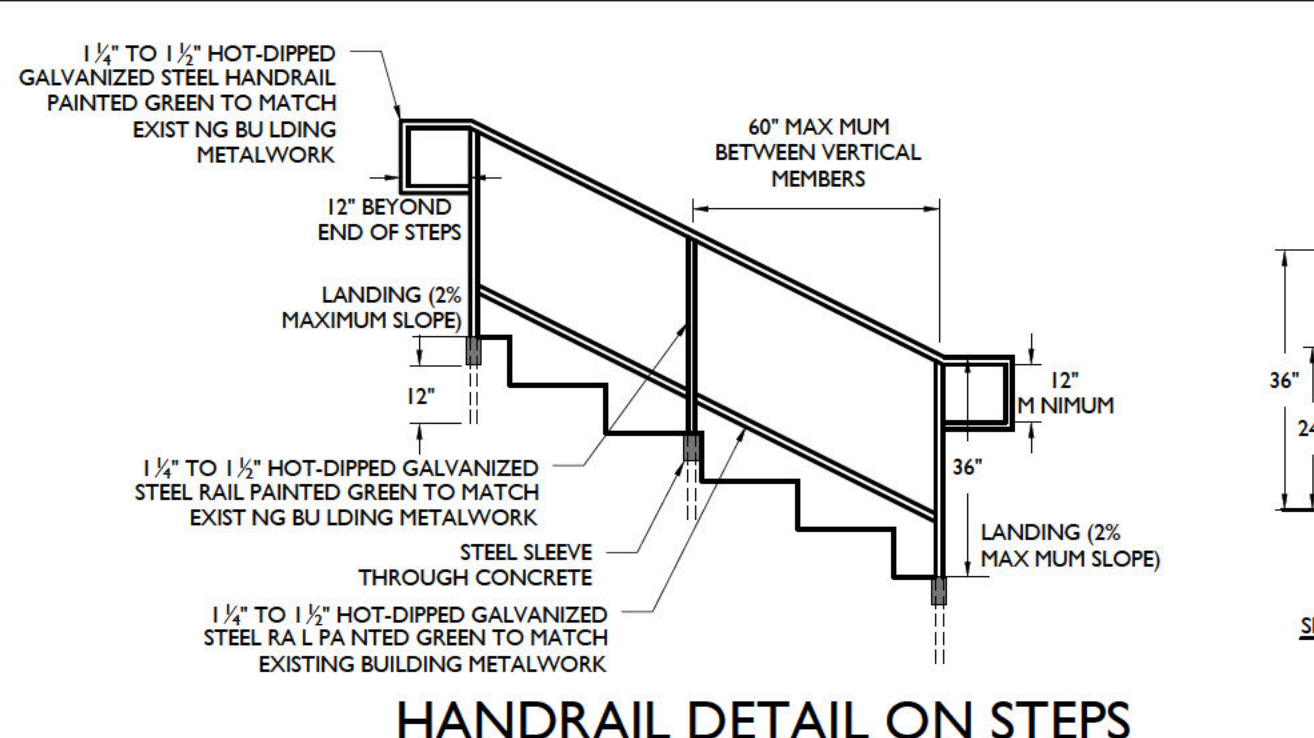
NOT TO SCALE



EXTENDED CONCRETE CURB DETAIL

- NOTES:
1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS, AIR-ENTRAINED.
2. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 50 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
3. 1" DEEP AND 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS, OR 30 FOOT MAX.

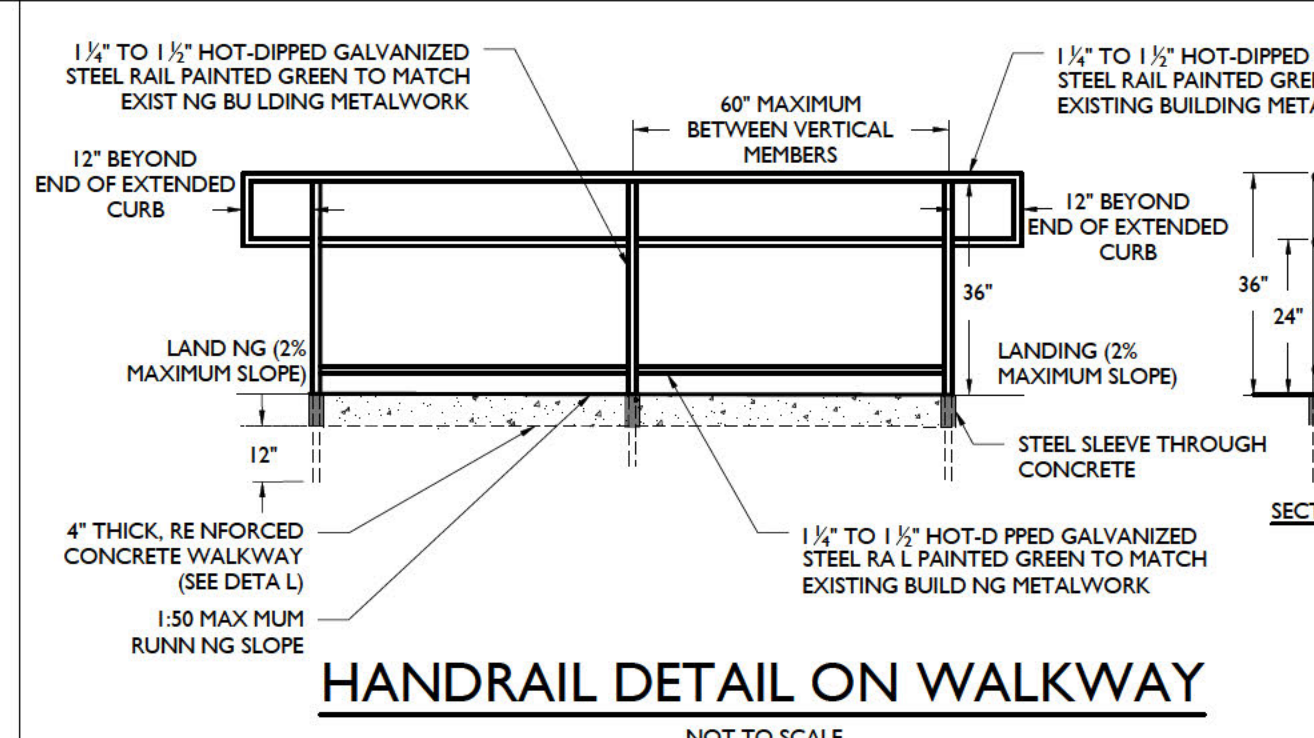
NOT TO SCALE



HANDRAIL DETAIL ON STEPS

- NOTES:
1. SEE PLAN FOR STEP DIMENSIONS.
2. GRIND ALL WELDS SMOOTH.
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE.
4. STEPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.
5. VERTICAL RAIL REQUIRED AT TOP AND BOTTOM OF STEPS.
6. STEEL RAILING TO BE PAINTED GREEN TO MATCH EXISTING BUILDING METALWORK.

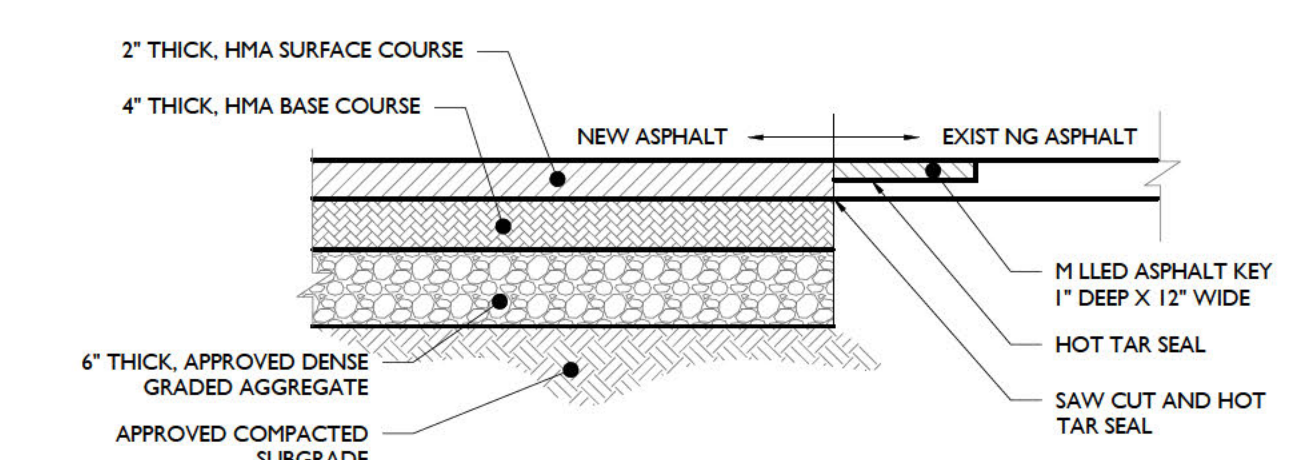
NOT TO SCALE



HANDRAIL DETAIL ON WALKWAY

- NOTES:
1. SEE PLAN FOR RAMP DIMENSIONS.
2. GRIND ALL WELDS SMOOTH.
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE.
4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS.
5. RAILS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.
6. STEEL RAILING TO BE PAINTED GREEN TO MATCH EXISTING BUILDING METALWORK.

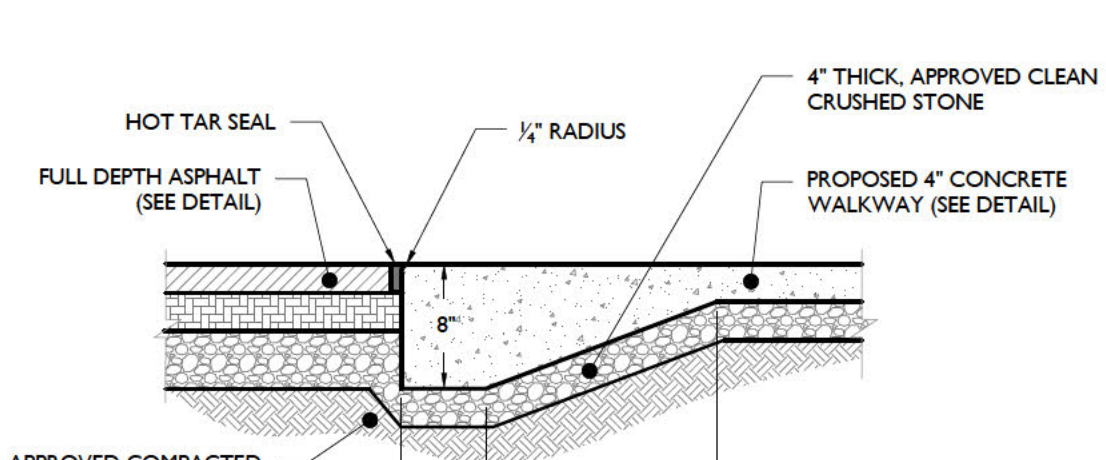
NOT TO SCALE



FULL DEPTH ASPHALT PAVEMENT DETAIL

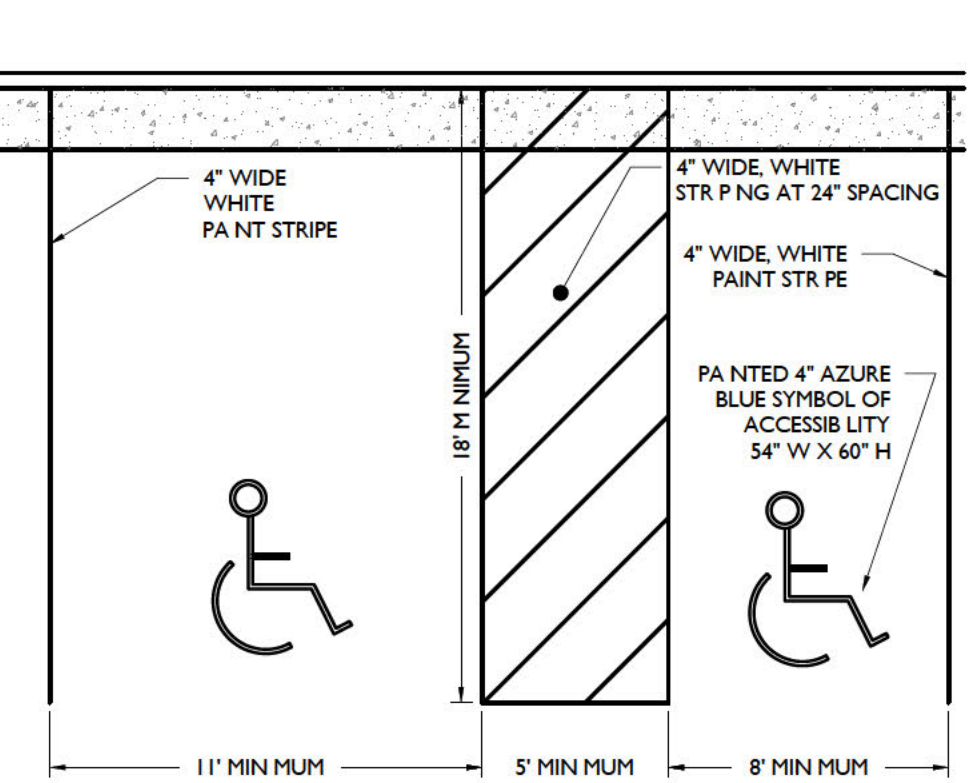
- NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

NOT TO SCALE



CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL

NOT TO SCALE



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

ISSUE	DATE	BY	DESCRIPTION
1	10/27/2024	SI	ISSUED FOR HAWP REVIEW

NOT APPROVED FOR CONSTRUCTION

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Rutherford, NJ • New York, NY • Boston, MA
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584 Broadway, Suite 310, New York, NY 10012
Phone 718.606.8305

ADA IMPROVEMENTS PLAN

CapitalOne

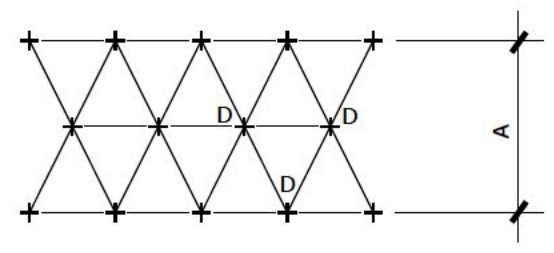
PROPOSED SITE IMPROVEMENTS

PARCEL NUMBER P270
9900 FALLS ROAD
ROCKVILLE
MARYLAND 20854

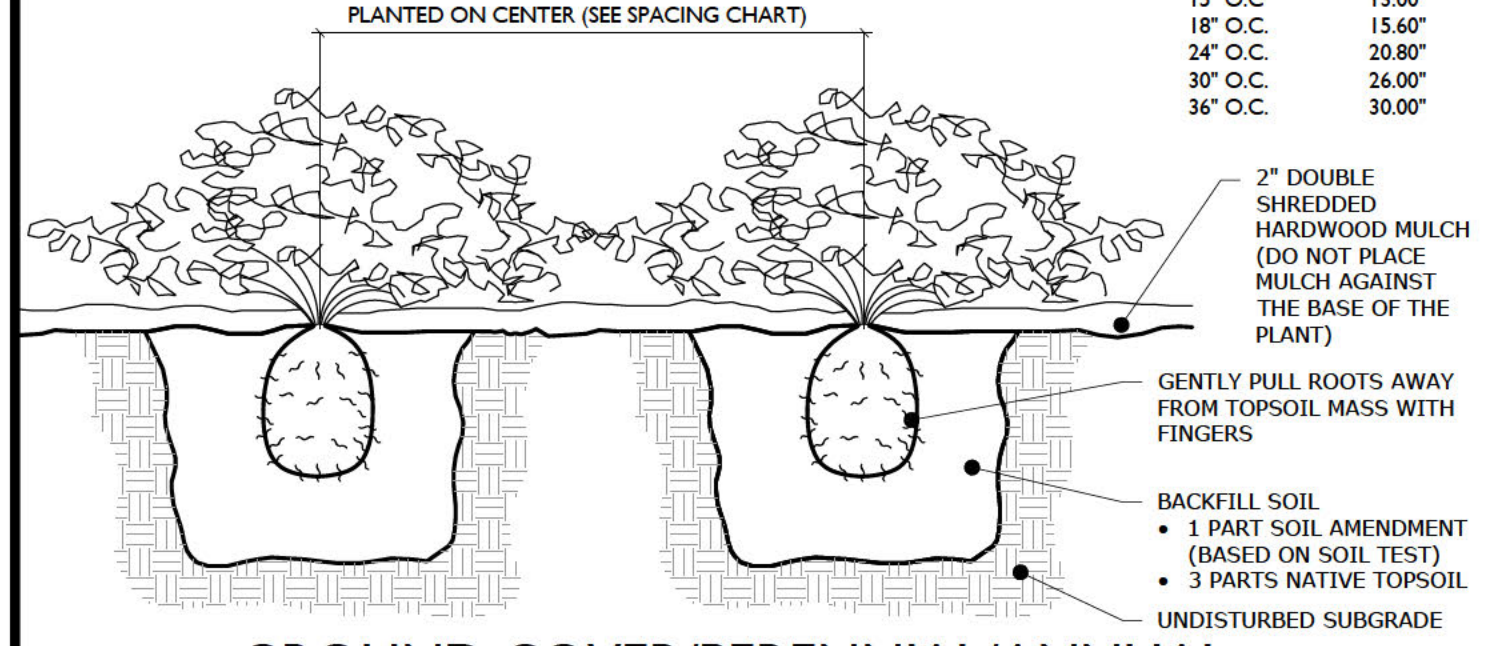
STATE OF MARYLAND
CHARLES B. BOYD
MARYLAND LICENSE NUMBER 0017
GRAND JUROR
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: NOT TO SCALE PROJECT ID: PRI-230019
TITLE:
CONSTRUCTION DETAILS & NOTES
DRAWING:
C-5



SPACING "D"	ROW "A"
6" O.C.	5.20"
8" O.C.	6.93"
10" O.C.	8.66"
12" O.C.	10.40"
15" O.C.	13.00"
18" O.C.	15.60"
24" O.C.	20.80"
30" O.C.	26.00"
36" O.C.	30.00"



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

- NOTES:**
- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS

AREA DESIGNATED FOR DPS BATCH ELECTRONIC STAMP

- GENERAL NOTES**
- THE CONTRACTOR SHOULD FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND PROPOSED SITE WORK (DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY EXISTING SITE CONDITIONS DIFFER FROM THOSE IDENTIFIED HEREIN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION.
 - ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - ALL CONCRETE WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD WILL REVIEW IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING AND DESIGN LLC BE PRESENT ON-SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

- DEMOLITION NOTES**
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE OTHER SITE PLAN AND GEOTECHNICAL DOCUMENTS AND ASSOCIATED REPORTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - UNLESS AT THE WRITTEN CONSENT OF BOTH THE OWNER AND GOVERNING AGENCIES, EXPLOSIVES SHALL NOT BE USED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 - ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 - DEMOLISHED DEBRIS SHALL NOT BE BURIED ON-SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING THE SITE PLAN IMPROVEMENTS.

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL THE MATERIAL BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF SURROUNDING STRUCTURES AND STABILITY OF SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" TO 7" ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. CONTRACTOR TO SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - ELEVATIONS ON RETAINING WALLS ARE FOR THE EXPOSED PORTION OF THE WALL AND DOES NOT INCLUDE THE FOOTING ELEVATION. FOOTING ELEVATIONS SHALL BE DETERMINED BY THE WALL DESIGNER LICENSED IN THE STATE UPON WHICH THE WORK OCCURS.
 - POSITIVE DRAINAGE OF 1% MINIMUM SLOPE SHALL BE PROVIDED AWAY FROM ALL BUILDING.

- ADA NOTES**
- CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE/FEDERAL GUIDELINES, WHICHEVER IS MORE STRINGENT.
 - CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 5% RUNNING SLOPE AND A MAXIMUM OF 1.5% CROSS SLOPE ALONG THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR LOCATION OF THE ACCESSIBLE PATH). THE ACCESSIBLE PATH OF TRAVEL SHALL BE 36" WIDE OR GREATER.
 - CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, TOP OF ACCESSIBLE RAMP, BOTTOM OF ACCESSIBLE RAMP, BUILDING ENTRANCES, AREA IN FRONT OF WALK-UP ATM, AND TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A CLEAR AREA OF 60" X 60" UNLESS INDICATED OTHERWISE ON THE SITE PLAN.
 - CURB RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.33% IN THE DIRECTION OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10% WHERE A LANDING EXISTS AT THE TOP OF THE RAMP. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% WHERE A LANDING IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RAISE MORE THAN 6" IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36" WIDE.
 - BUILT UP RAMPS WITH A RISE GREATER THAN 6" SHALL CONTAIN HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RAISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - ALL SURFACES ALONG THE ACCESSIBLE PATH AND PARKING AREAS SHALL BE CONSTRUCTED WITH A SLIP RESISTANT SURFACE.
 - CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
 - OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4".

- EROSION AND SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.

- LANDSCAPING NOTES**
- CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS.
 - DISTURBED LAWN AREAS SHALL BE RESTORED WITH 4" OF TOPSOIL AND SEED.
 - MULCH AREAS SHALL BE RESTORED WITH A MINIMUM OF 3" OF MULCH.
 - MAX 3:1 SLOPE ALLOWED IN LANDSCAPE RESTORATION AREAS.
 - CONTRACTOR REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF DISTURBANCE PRIOR TO CONSTRUCTION. CONTRACTOR TO RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 - CONTRACTOR TO RE-GRADE DISTURBED LANDSCAPED AREAS TO MEET GRADE AT WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT WHERE A WALL IS NOTED ON PLANS. NO ABRUPT CHANGES IN GRADE PERMITTED IN DISTURBED AREAS.

ISSUED FOR	DATE	BY	DESCRIPTION
ISSUED FOR DRAWING REVIEW	10/27/2024	SI	

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Phone: 718.606.8305

ADA IMPROVEMENTS PLAN

CapitalOne

PROPOSED SITE IMPROVEMENTS

PARCEL NUMBER P270
9900 FALLS ROAD
ROCKVILLE
MARYLAND 20854



STONEFIELD
engineering & design

SCALE: NOT TO SCALE PROJECT ID: PRI-230019

TITLE:
**CONSTRUCTION
DETAILS & NOTES**

DRAWING:
C-6

Z:\PROJECTS\2023\230019\230019_1717.dwg - 10/21/2024 10:20:46 AM - PLOT DATE: 10/20/2024 10:20:46 AM - PLOT SCALE: 1.00

HISTORIC AREA WORK PERMIT

PROPOSED SITE WORK FOR
CAPITAL ONE BRANCH AT
EDGAR PERRY STORE

9900 FALLS ROAD
ROCKVILLE, MD 20854

DATE: 5/22/2024



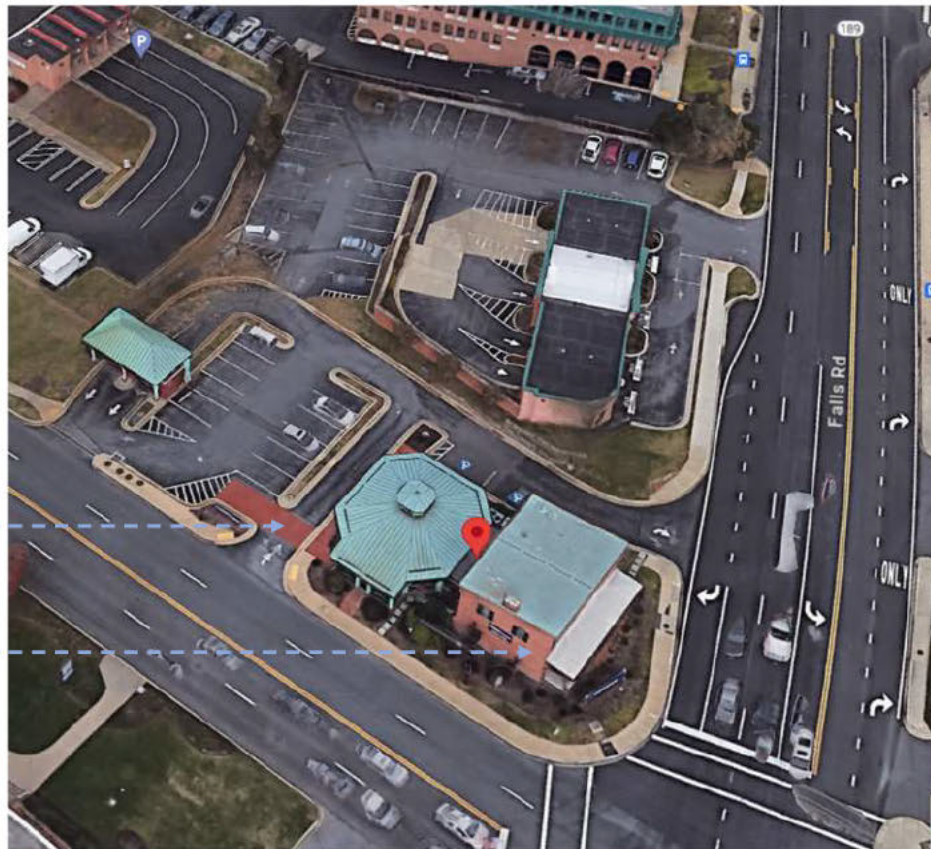
Agenda

- I. Table of Contents
- II. Aerial View
- III. Existing Conditions Photos – Edgar Perry Store
- IV. Proposed Site Plan
- V. Details & Finishes

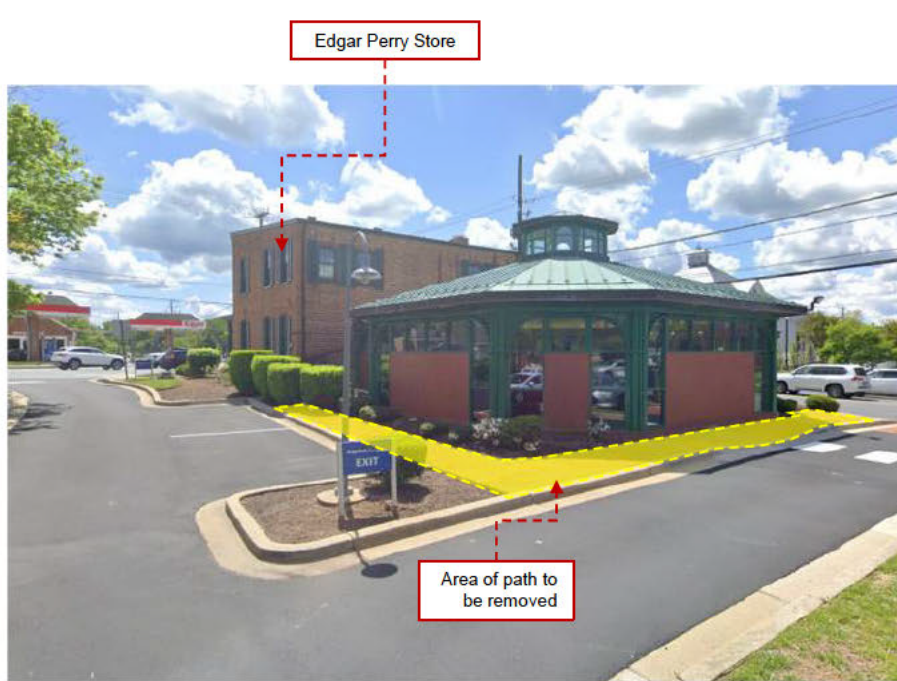
EXISTING AERIAL VIEW – EDGAR PERRY STORE

EXISTING NON-ADA
COMPLIANT ENTRANCE &
PARKING

EDGAR PERRY STORE



EXISTING CONDITIONS PHOTOS- EDGAR PERRY STORE



EXISTING CONDITIONS PHOTOS- EDGAR PERRY STORE



PROPOSED SITE PLAN OVERVIEW- EDGAR PERRY STORE



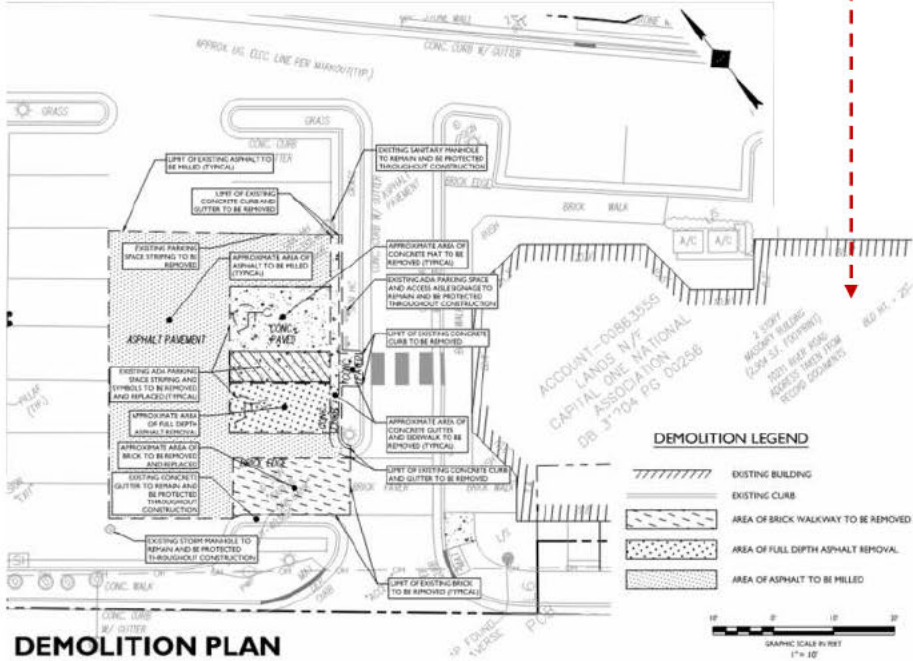
EDGAR PERRY STORE LOCATION

PROPOSED ACCESSIBLE RIGHT-OF-WAY SCOPE AREA

PROPOSED PARKING LOT SCOPE AREA

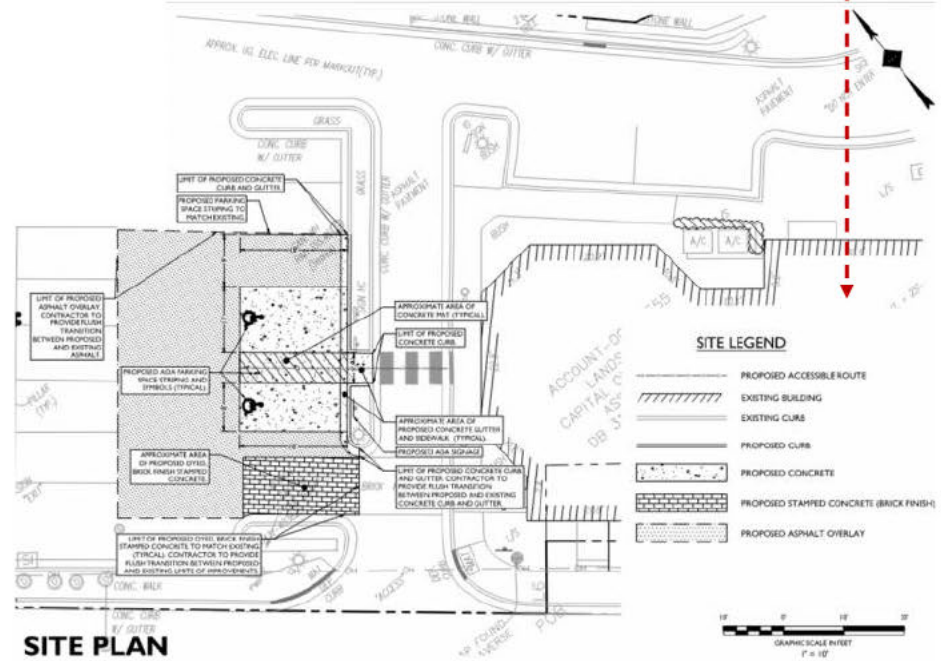
PROPOSED PARKING LOT SITE PLAN- EDGAR PERRY STORE

Edgar Perry Store



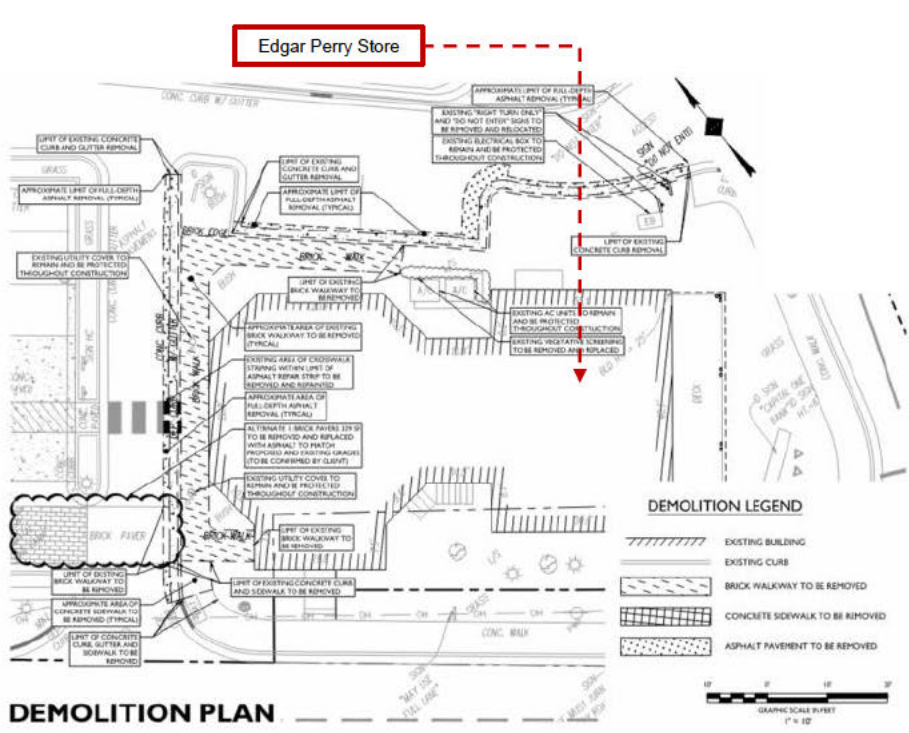
SITE DEMOLITION PLAN – PARKING LOT

Edgar Perry Store

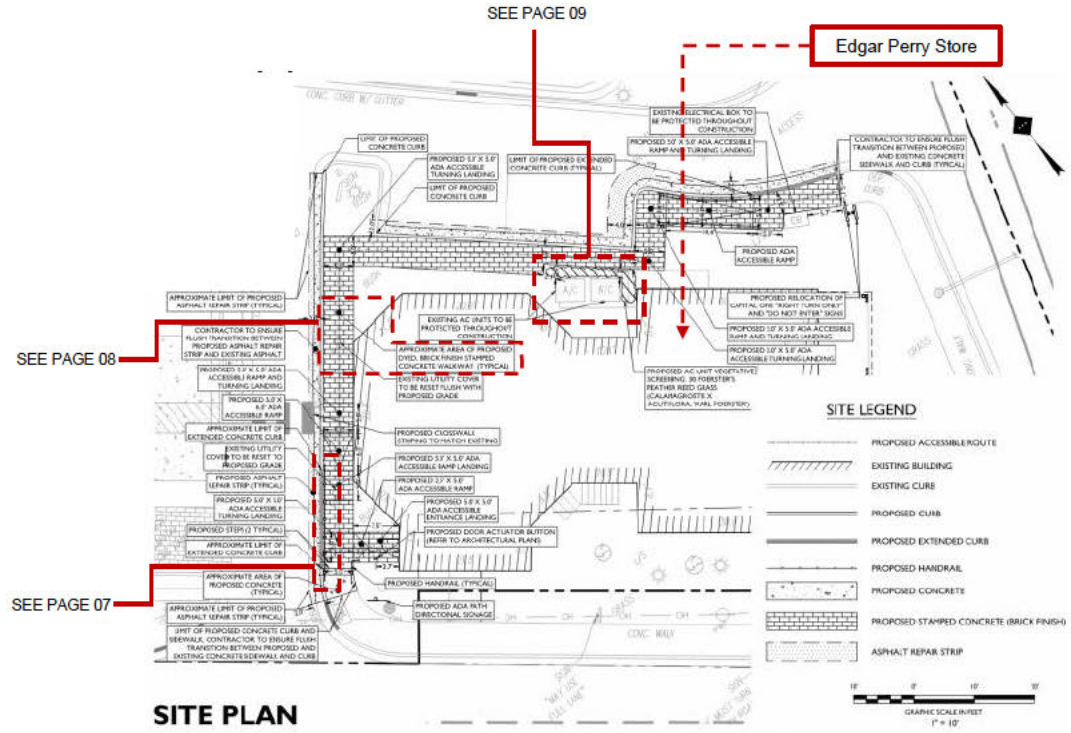


PROPOSED SITE PLAN – PARKING LOT

PROPOSED ACCESSIBLE RIGHT-OF-WAY PATH SITE PLAN- EDGAR PERRY STORE

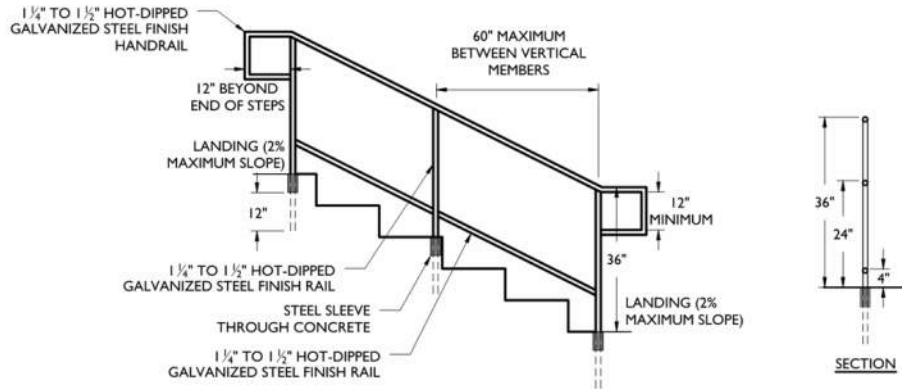


SITE DEMOLITION PLAN – ACCESSIBLE RIGHT-OF-WAY PATH



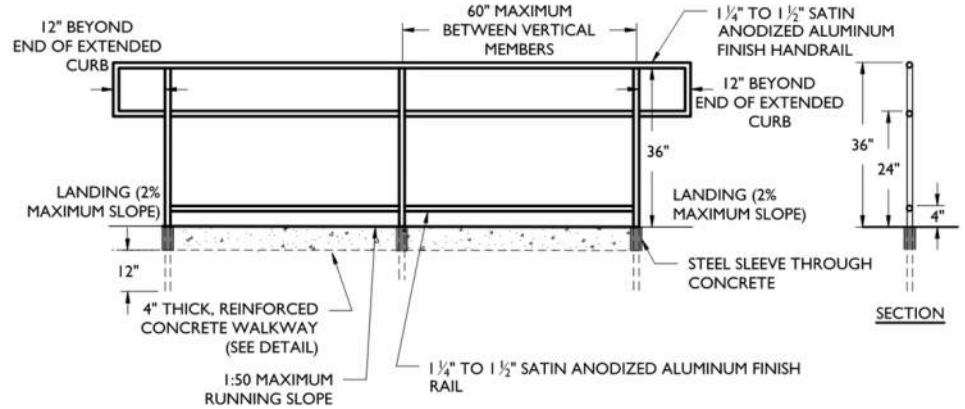
PROPOSED SITE PLAN – ACCESSIBLE RIGHT-OF-WAY PATH

PROPOSED HANDRAIL DETAILS– EDGAR PERRY STORE



HANDRAIL DETAIL ON STEPS

NOT TO SCALE



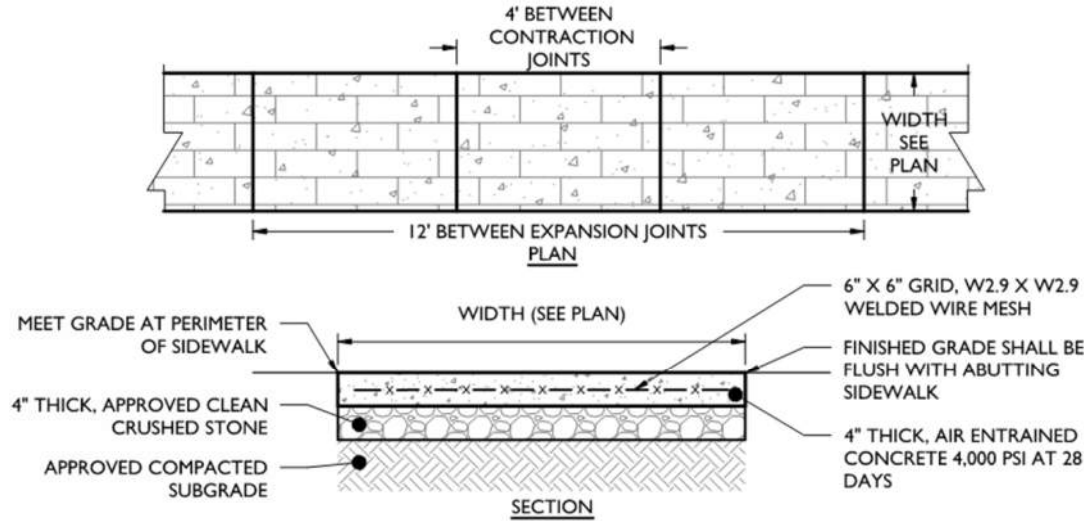
HANDRAIL DETAIL ON WALKWAY

NOT TO SCALE

HANDRAIL FINISH – GREEN PAINT TO MATCH EXISTING BUILDING METALWORK



PROPOSED STAMPED CONCRETE DETAILS– EDGAR PERRY STORE



REINFORCED STAMPED & DYED CONCRETE WALKWAY DETAIL

NOT TO SCALE

STAMPED & DYED CONCRETE FINISH



EXISTING BRICK –MATCH PATTERN & COLOR

PROPOSED SCREENING DETAILS– EDGAR PERRY STORE

EXISTING SCREENING PHOTO:



PROPOSED EXAMPLE:







Capital One
Bank

WELCOME TO
CAPITAL ONE BANK

LOBBY HOURS	Mon-Fri	9:00am - 5:00pm
	Sat	9:00am - 12:00pm
DRIVE UP HOURS	Mon-Fri	9:00am - 5:00pm
	Sat	9:00am - 12:00pm

24 HOUR ATM


PLEASE RING BELL
FOR ASSISTANCE

Actuators and accessories

4 3/4" Square surface and flush mounts



8310-853

Hard Wired Wall Mount, Logo, 4 3/4" x 4 3/4"

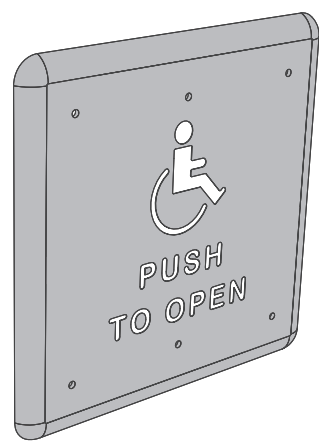
- Hardwired low voltage actuator with stainless steel touch plate in 4 3/4" (121mm) square
- Engraved blue filled handicap symbol conforms to most accessibility codes
- Designed to mount in a flush or surface mount box (sold separately) in/on a vertical surface near the controlled door
- Optional mounting in single gang electrical box (by others) or double gang box (4" x 4" by others) or on an 8310-866 bollard post
- Heavy industrial grade components provide vandal resistant mounting and weather resistant switch standard



8310-853WP

Wireless Wall Mount Actuator Package, Logo, 4 3/4" x 4 3/4"

- Wireless, low profile, low voltage actuator with square, stainless steel touch plate in 4 3/4" (121mm) square
- Engraved blue filled handicap symbol conforms to most accessibility codes
- Surface mount box includes integral transmitter w/battery and actuator switch
- Heavy industrial grade components provide vandal resistant mounting and weather resistant switch standard
- Requires 8310-865 Receiver



8310-853T

Hard Wired Wall Mount, Logo and Text, 4 3/4" x 4 3/4"

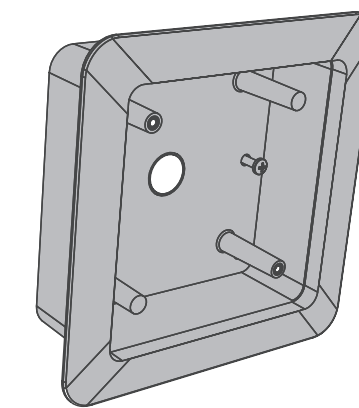
- Same as the 8310-853, with the added engraving of "Push to Open"



8310-853TWP

Wireless Wall Mount Actuator Package, Logo and Text, 4 3/4" x 4 3/4"

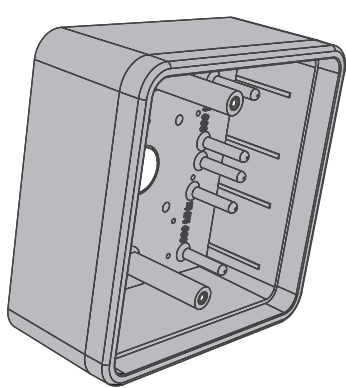
- Same as the 8310-853WP, with the added engraving of "Push to Open"



8310-867F

Flush Mounted Actuator

- Rugged Plastic Box, 4 3/4" Square
- Optional accessory - can be used w/any 4 3/4" square actuator



8310-867S

Surface Mount Box

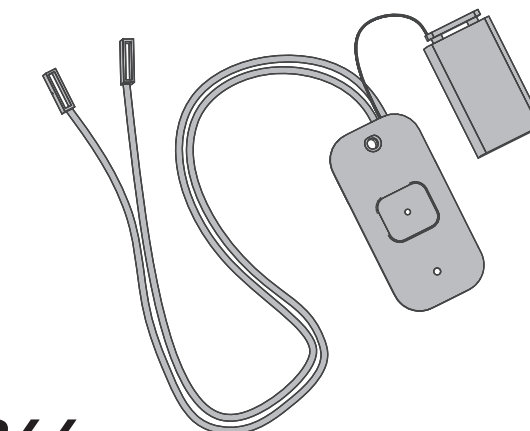
- Rugged Plastic Box, 4 3/4" Square
- Optional accessory - can be used w/any 4 3/4" square actuator



8310-801

Weather/Trim Ring

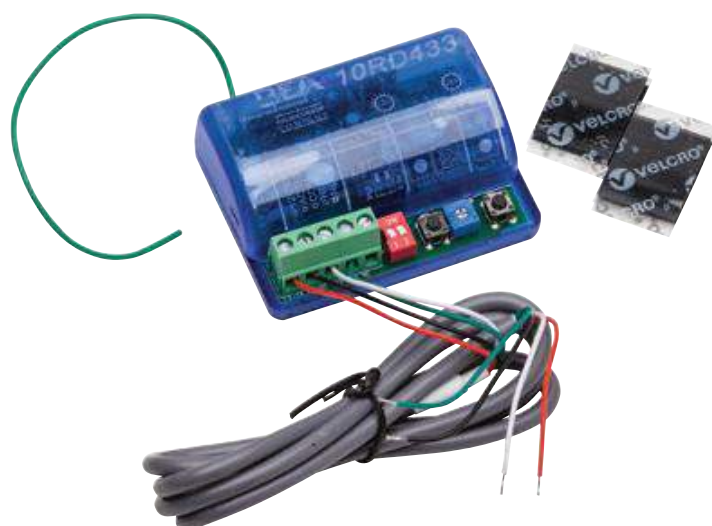
- Plastic Weather Ring, 4 3/4" Square
- Optional accessory - can be used w/any 4 3/4" square plastic mounting box



8310-844

Transmitter, Wireless, 1 Channel, Wall Mount, 9V

- Transmitter, Wireless, 1 Channel, 9V battery included
- Use to convert standard wall mount actuator to wireless
- Requires 8310-865 Receiver



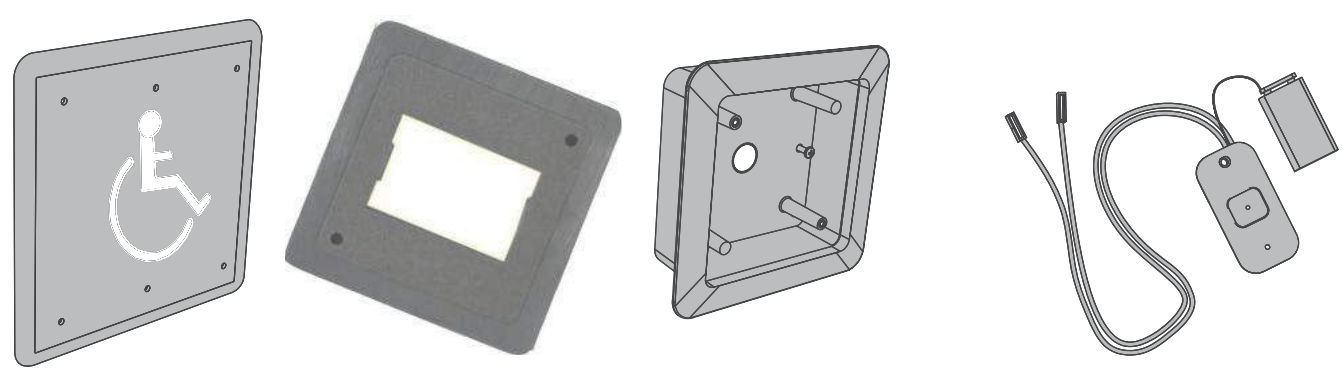
8310-865

Wireless Receiver

- Receiver, Wireless, 1 Channel, w/Sequencing Feature
- Used in conjunction w/ Wireless Actuators and Transmitter(s) for push plate applications

Actuators and accessories

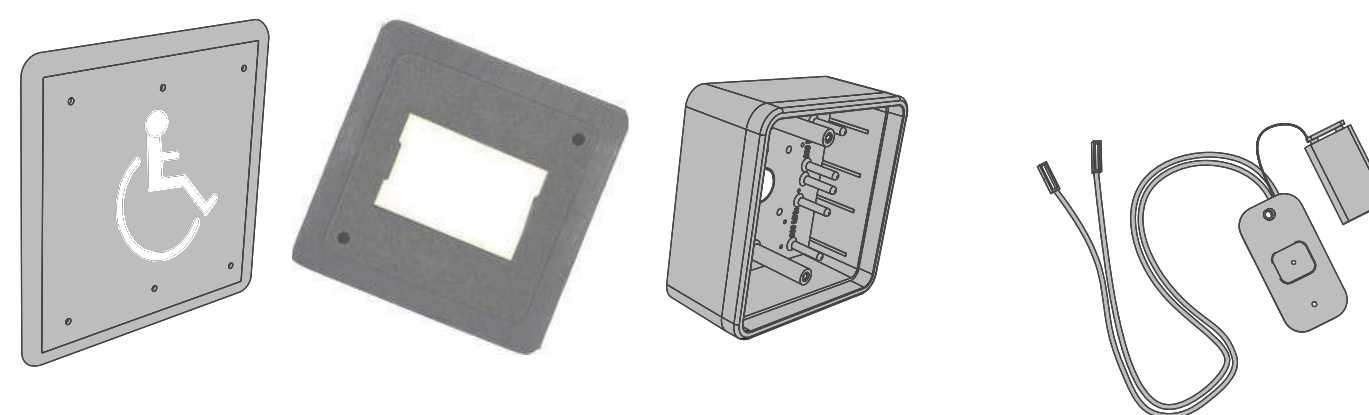
4 3/4" Square surface and flush mounts



8310-3853WF

Wireless Actuator, Wall Mount and Flush, Logo, 4 3/4" x 4 3/4"

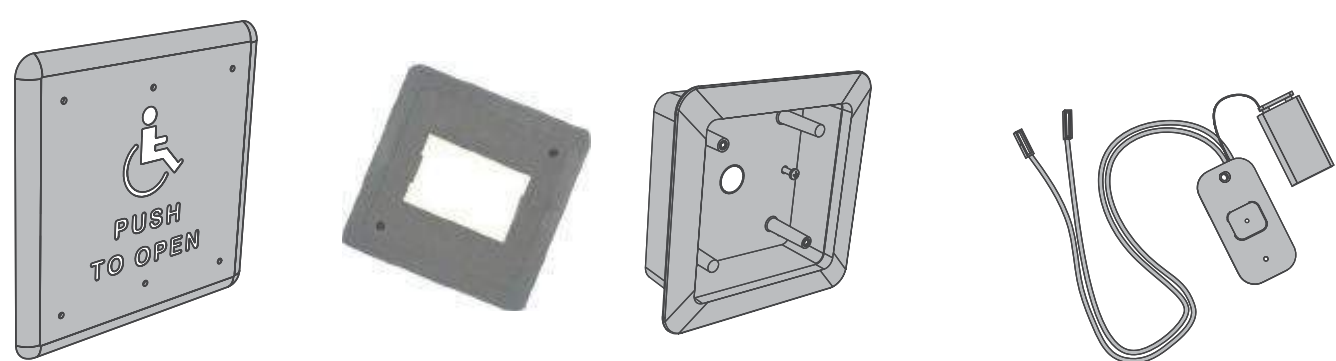
- Actuator, 4 3/4" Square, Logo, Wireless
- Includes 8310-853, 8310-844 Transmitter, 8310-867F Flush Box, 8310-801 Weather/Trim Ring
- Requires 8310-865 Receiver (not part of kit)



8310-3853WS

Wireless Actuator, Wall Mount and Surface, Logo, 4 3/4" x 4 3/4"

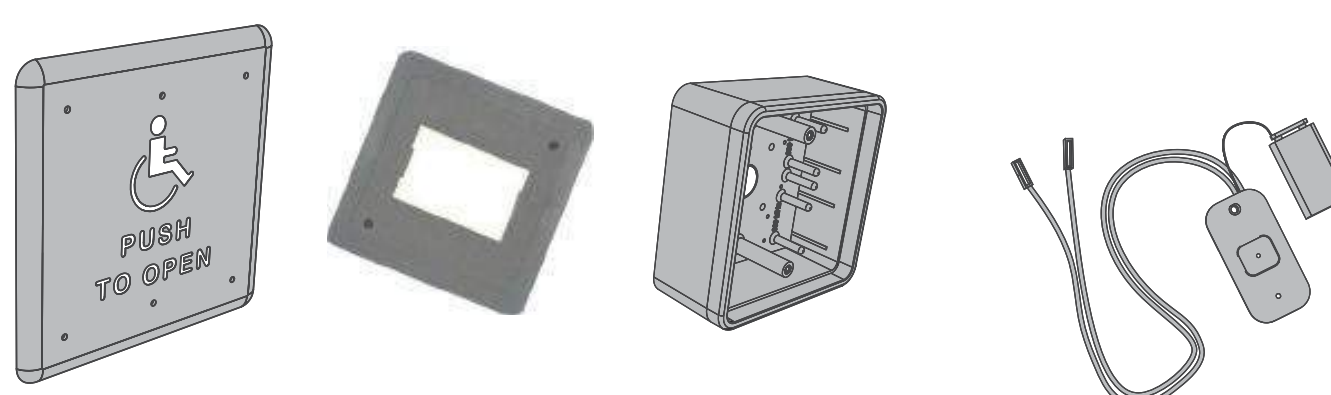
- Actuator, 4 3/4" Square, Logo, Wireless
- Includes 8310-853, 8310-844 Transmitter, 8310-867S Surface Box, 8310-801 Weather/Trim Ring
- Requires 8310-865 Receiver (not part of kit)



8310-3853TWF

Hard Wired Actuator, Wall Mount and Flush, Logo and Text, 4 3/4" x 4 3/4"

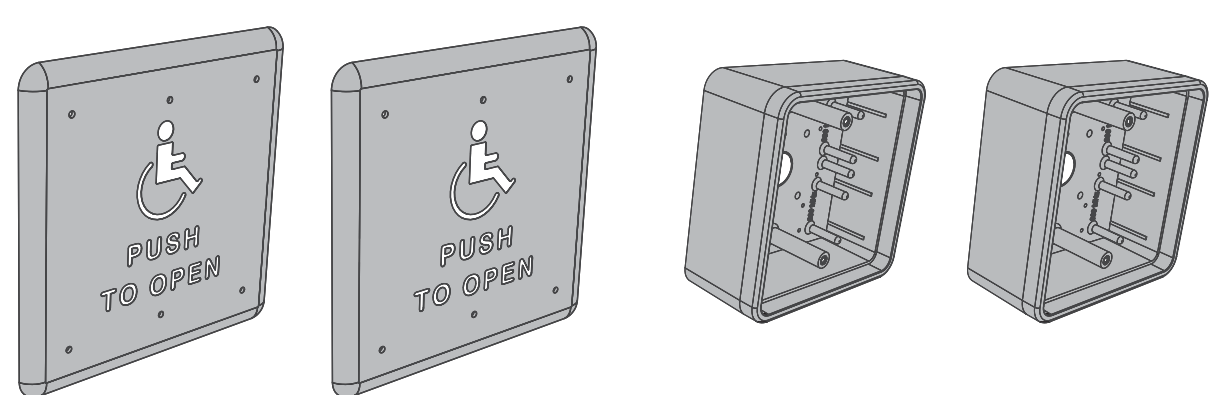
- Actuator, 4 3/4" Square, Logo, Text, Wireless
- Includes 8310-853T, 8310-844 Transmitter, 8310-867F Flush Box, 8310-801 Weather/Trim Ring
- Requires 8310-865 Receiver (not part of kit)



8310-3853TWS

Hard Wired Actuator, Wall Mount and Surface, Logo and Text, 4 3/4" x 4 3/4"

- Actuator, 4 3/4" Square, Logo, Text, Wireless
- Includes 8310-853T, 8310-844 Transmitter, 8310-867S Surface Box, 8310-801 Weather/Trim Ring
- Requires 8310-865 Receiver (not part of kit)

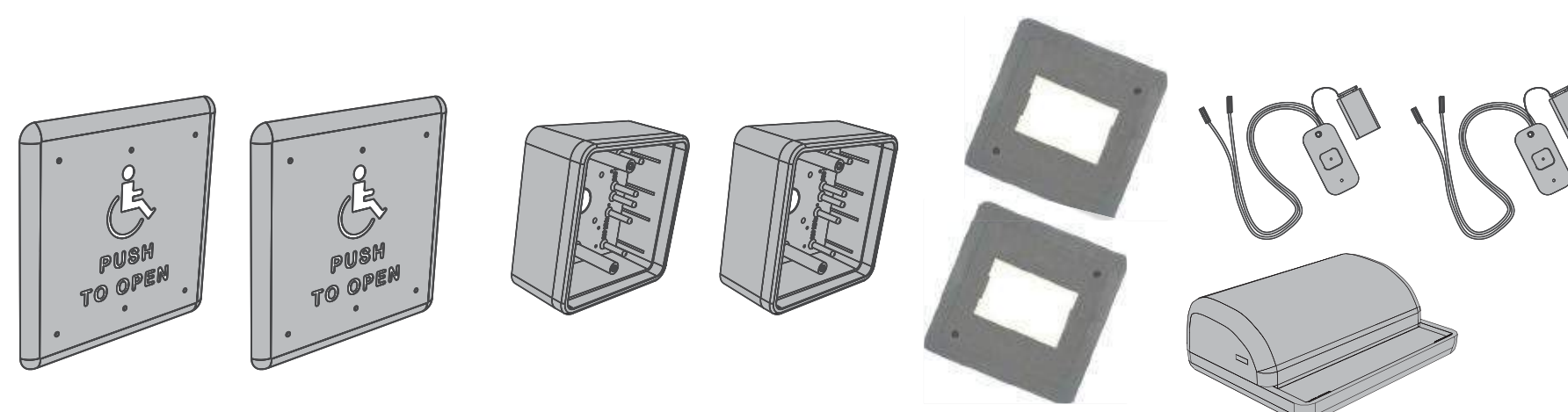


8310-3857T

Hard Wired Actuator Package, Logo and Text, 4 3/4" x 4 3/4"

- Actuator Package, 4 3/4" Square
- Includes 8310-853T (2) Wall Mount Actuator, 8310-867S (2) Surface Mount Box
- Surface Mount Box

Note: Weather/Trim Rings are sold separately



8310-3857TW

Wireless Actuator Package, Logo and Text, 4 3/4" x 4 3/4"

- Actuator Package, 4 3/4" Square
- Includes 8310-853T (2) Wall Mount Actuator, 8310-867S (2) Surface Mount Box, 8310-801 (2) Weather/Trim Ring, 8310-844 (2) Transmitter, 8310-865 Receiver

Actuators and accessories

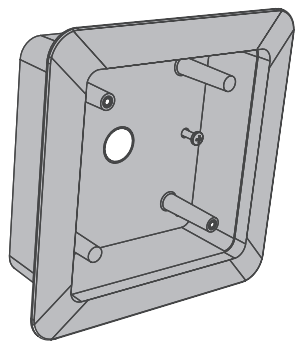
4 3/4" Dual square surface and flush mounts



8310-855

Hard Wired Wall Mount Actuator, Logo, Double Vestibule

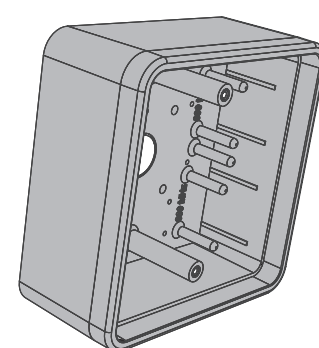
- Hardwired low voltage actuator with dual rectangle, stainless steel touch plate in 4 3/4" (121mm) square
- Engraved blue filled handicap symbol w/text, conforms to most accessibility codes
- Designed to mount in a flush or surface mount box (sold separately) in/on a vertical surface near the controlled door
- Optional mounting in double gang box (4" x 4" by others) or on an 8310-866 bollard post
- Heavy industrial grade components provide vandal resistant mounting and weather resistant switch standard



8310-867F

Flush Mounted Actuator

- Rugged Plastic Box, 4 3/4" Square
- Optional accessory - can be used w/any 4 3/4" square actuator



8310-867S

Surface Mount Box

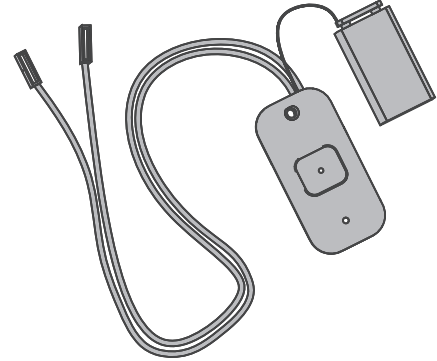
- Rugged Plastic Box, 4 3/4" Square
- Optional accessory - can be used w/any 4 3/4" square actuator



8310-801

Weather/Trim Ring

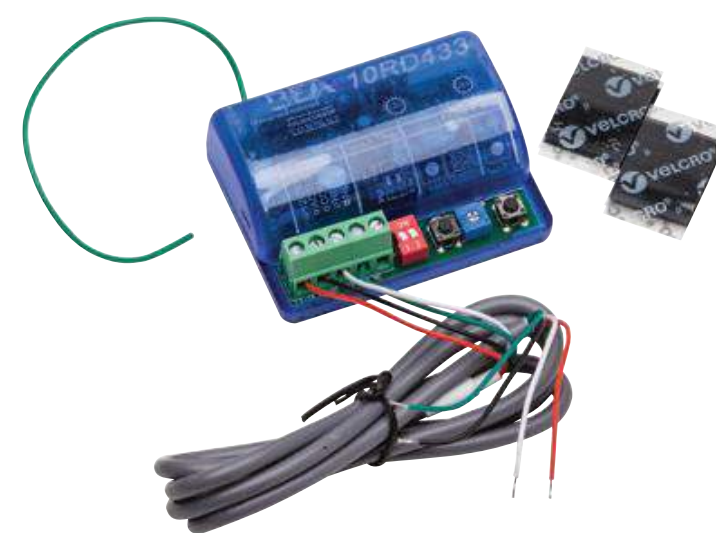
- Plastic Weather Ring, 4 3/4" Square
- Optional accessory - can be used w/any 4 3/4" square plastic mounting box



8310-844

Transmitter, Wireless, 1 Channel, Wall Mount, 9V

- Transmitter, Wireless, 1 Channel, 9V battery included
- Use to convert standard wall mount actuator to wireless
- Requires 8310-865 Receiver



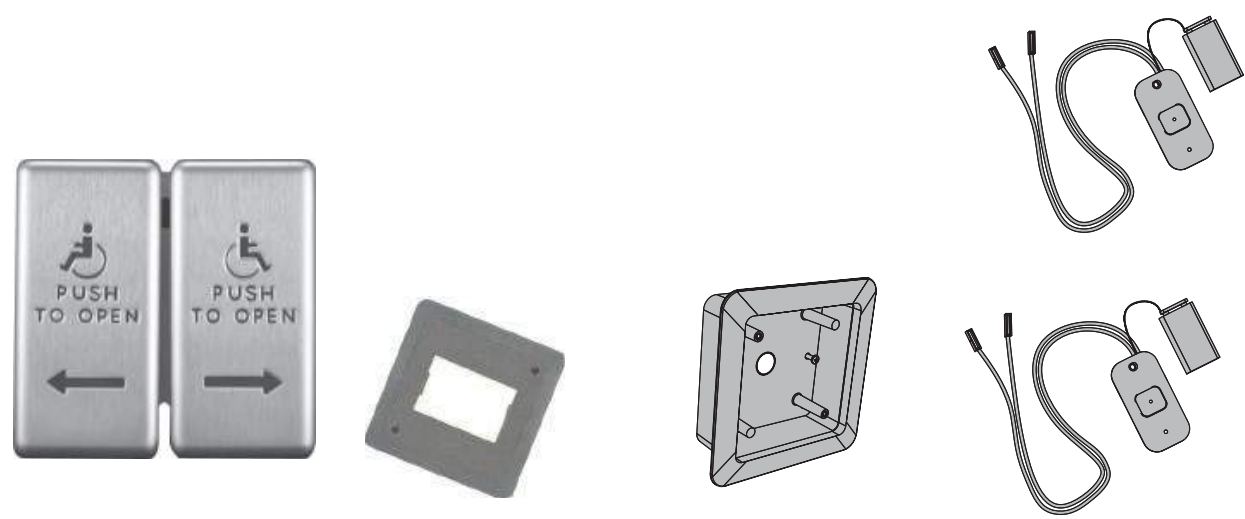
8310-865

Wireless Receiver

- Receiver, Wireless, 1 Channel, w/Sequencing Feature
- Used in conjunction w/ Wireless Actuators and Transmitter(s) for push plate applications

Actuators and accessories

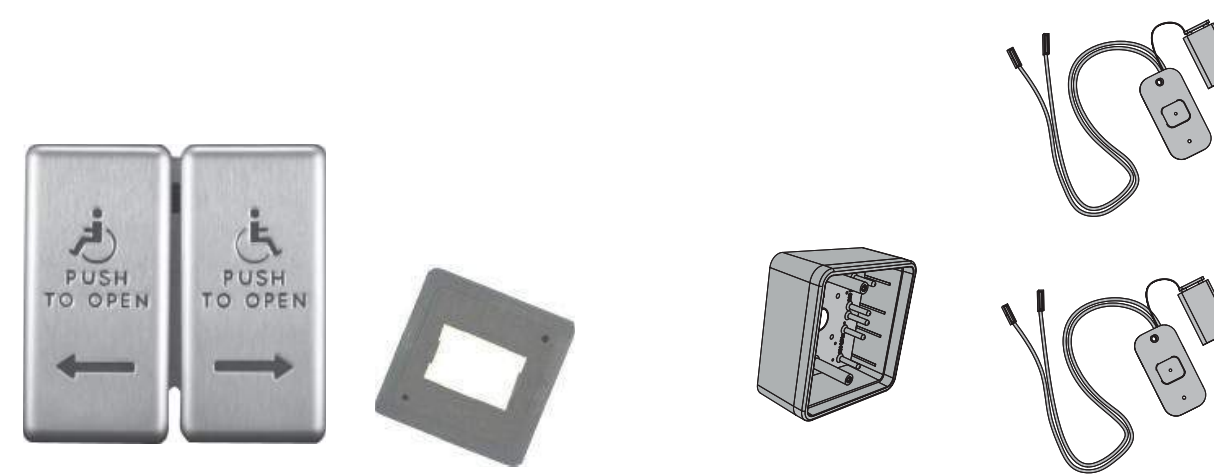
4 3/4" Dual square surface and flush mounts



8310-3855WF

Wireless Actuator, Wall Mount and Flush, Dual Vestibule, Logo, 4 3/4" x 4 3/4"

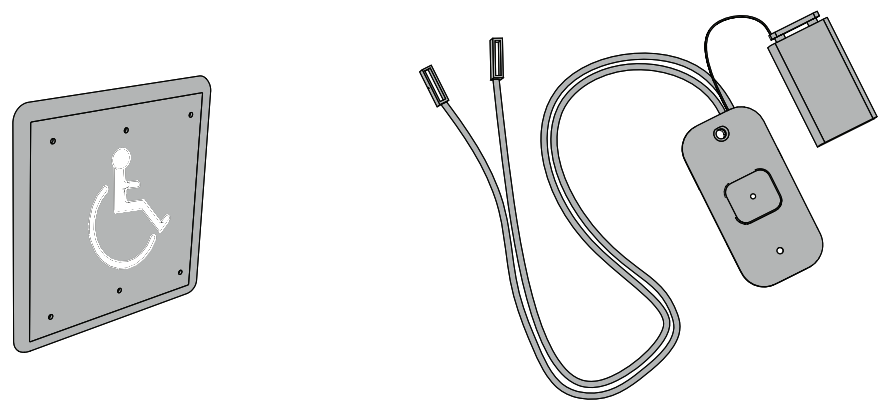
- Actuator, 4 3/4" Square, Logo, Text, Dual Vestibule, Wireless
- Includes 8310-855 Actuator, 8310-844 Transmitter (2), 8310-867F Flush Box, 8310-801 Weather/Trim Ring
- Requires 8310-865 Receiver (2) (not part of kit)



8310-3855WS

Wireless Actuator, Wall Mount and Surface, Dual Vestibule, Logo, 4 3/4" x 4 3/4"

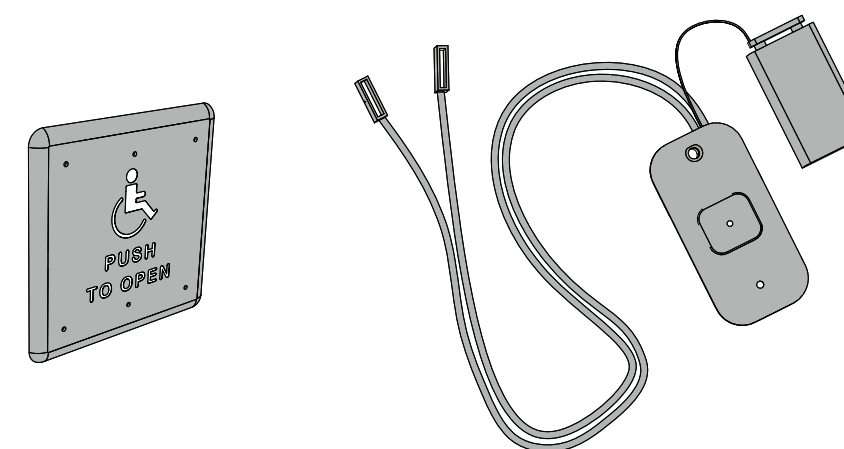
- Actuator, 4 3/4" Square, Logo, Text, Dual Vestibule, Wireless
- Includes 8310-855 Actuator, 8310-844 Transmitter (2), 8310-867S Surface Box, 8310-801 Weather/Trim Ring
- Requires 8310-865 Receiver (2) (not part of kit)



8310-3853WB

Wireless Bollard Actuator, Logo, 4 3/4" Square

- 4 3/4" Square w/Logo, Wireless actuator
- Use w/ 8310-866 Bollard (not included)
 - Includes 8310- 853 actuator, 8310-844 transmitter
- Requires 8310-865 Receiver (not part of kit)



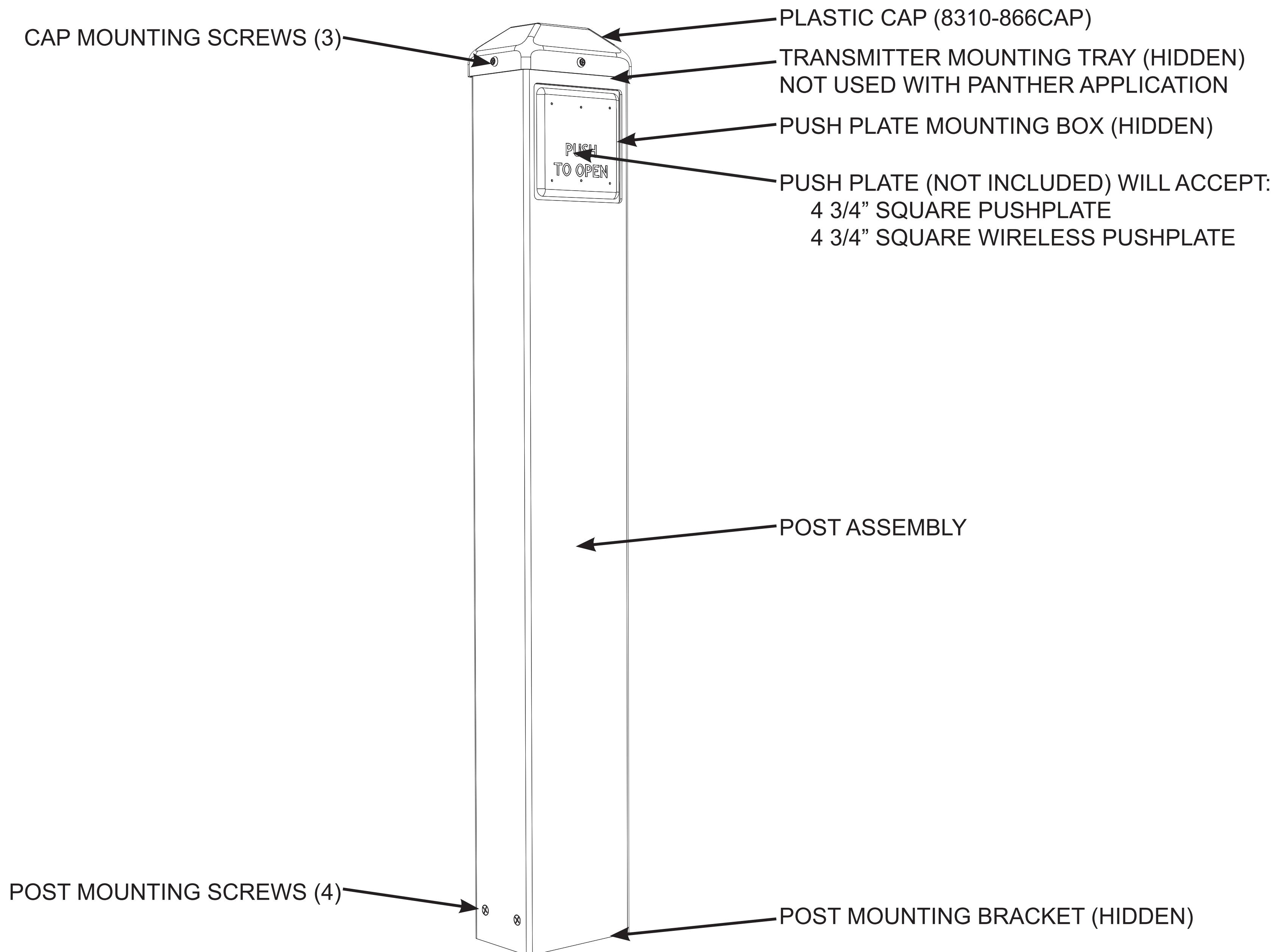
8310-3853TWB

Wireless Bollard Actuator, Logo and Text, 4 3/4" Square

- 4 3/4" Square w/Logo, Wireless actuator
- Use w/8310-866 Bollard (not included) - Includes 8310- 853T actuator, 8310-844 Transmitter
- Requires 8310-865 Receiver (not part of kit)

1 Description

The Bollard (8310-866) is used for mounting pushplates that activate automatic doors. It will accept LCN's 4 3/4" Square Pushplate and 4 3/4" Square Wireless Pushplate. The post is made of durable carbon steel and the mounting bracket is made of stainless steel for strength. It can be mounted on either existing concrete or newly poured concrete.



2 Specifications

DESCRIPTION	SPECIFICATION
Dimensions (with cap attached)	41 1/2"H x 6 1/4" W x 4 1/4"D
Material <ul style="list-style-type: none"> • Post • Cap • Mounting Bracket 	Powder-Coated (Inside and Out) Carbon Steel UV-Resistant ABS Plastic Stainless Steel
Pushplate Options	4 3/4" Square and 4 3/4" Square Wireless Pushplates
Weight	35 lbs (16 kilos)
Color	Aluminum or Dark Bronze
Mounting Hardware	L-Anchors, Expansion Anchors, Split Washers and Nuts (Included)

3 Precautions



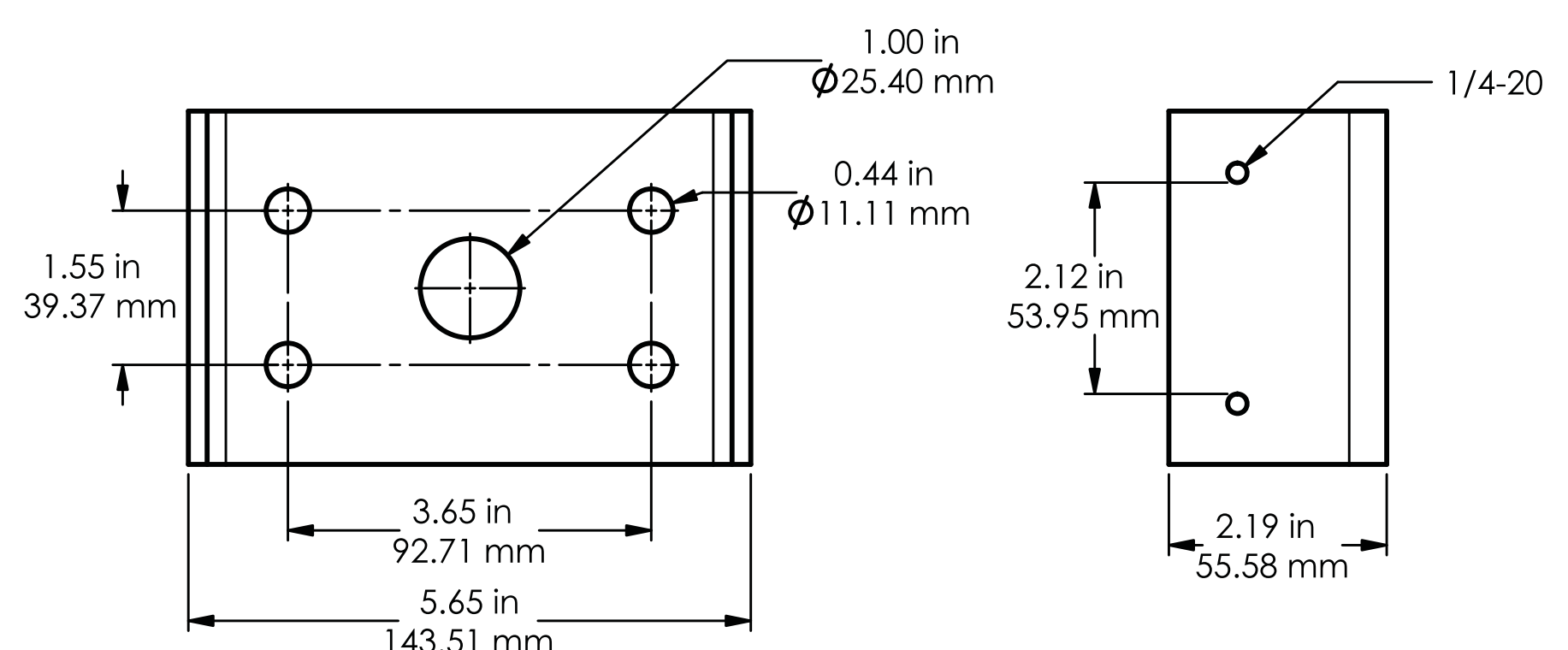
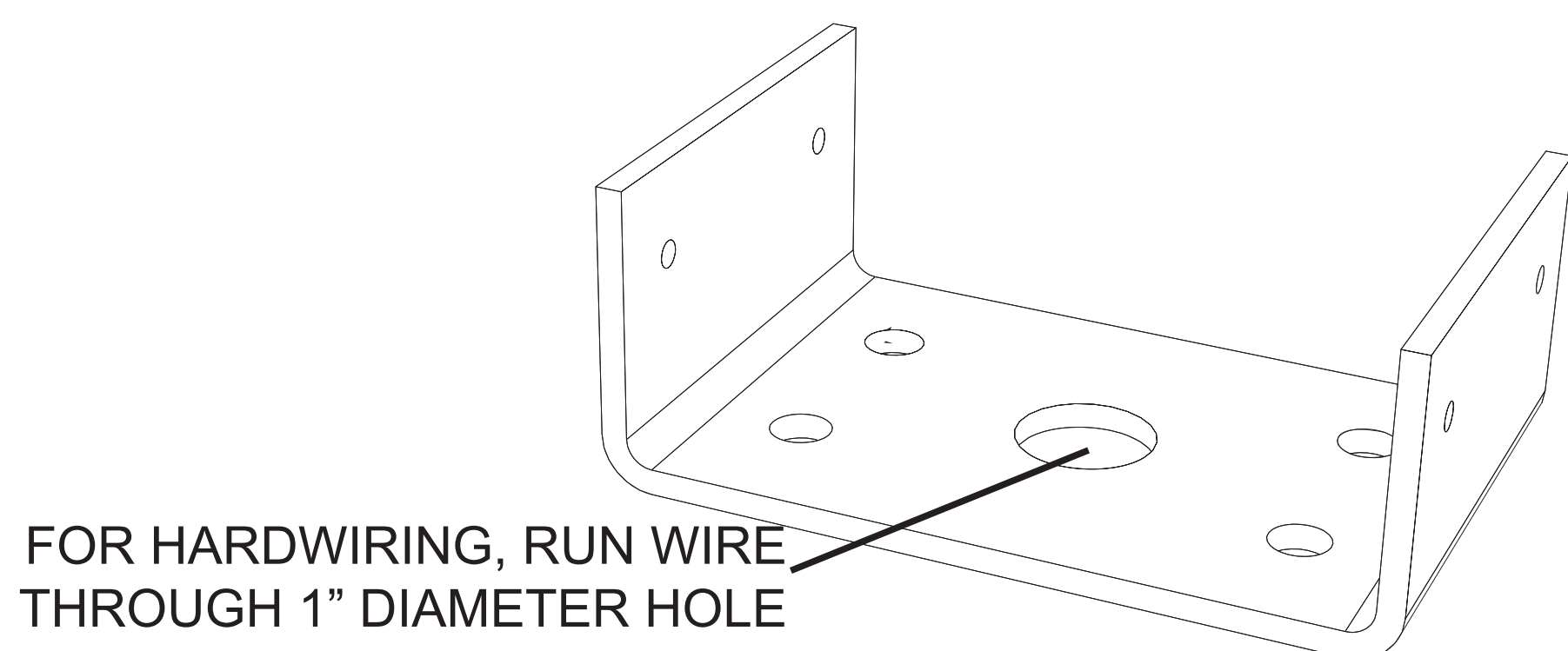
- ❑ Shut off all power going to header before attempting any wiring procedures.
- ❑ Maintain a clean & safe environment when working in public areas.
- ❑ Constantly be aware of pedestrian traffic around the door area.
- ❑ Always stop pedestrian traffic through the doorway when performing tests that may result in unexpected reactions by the door.
- ❑ Always check placement of all wiring before powering up to insure moving door parts will not catch any wires and cause damage to equipment.
- ❑ Ensure compliance with all applicable safety standards (example: ANSI A156.19 / A156.10) upon completion of installation.
- ❑ DO NOT attempt any internal repair of the sensor. All repairs and/or component replacements must be performed by LCN.
 - Unauthorized disassembly or repair:
 1. May jeopardize personal safety and may expose one to the risk of electrical shock.
 2. May adversely affect the safe and reliable performance of the product will result in a voided product warranty.

4 Pre Installation Check

1. When preparing to wire multiple devices together for a 'system' configuration, it is best to ensure the correct operation of each device independently before starting to help reduce troubleshooting time later in the event of a discrepancy.
2. Prior to installing any equipment, ensure correct line voltage and stability. When applying equipment on a new installation utilizing new electrical supply circuits, always ensure correct line voltage exists and is stable. Remember to shut the power back off after this is checked and before performing any wiring to the system.

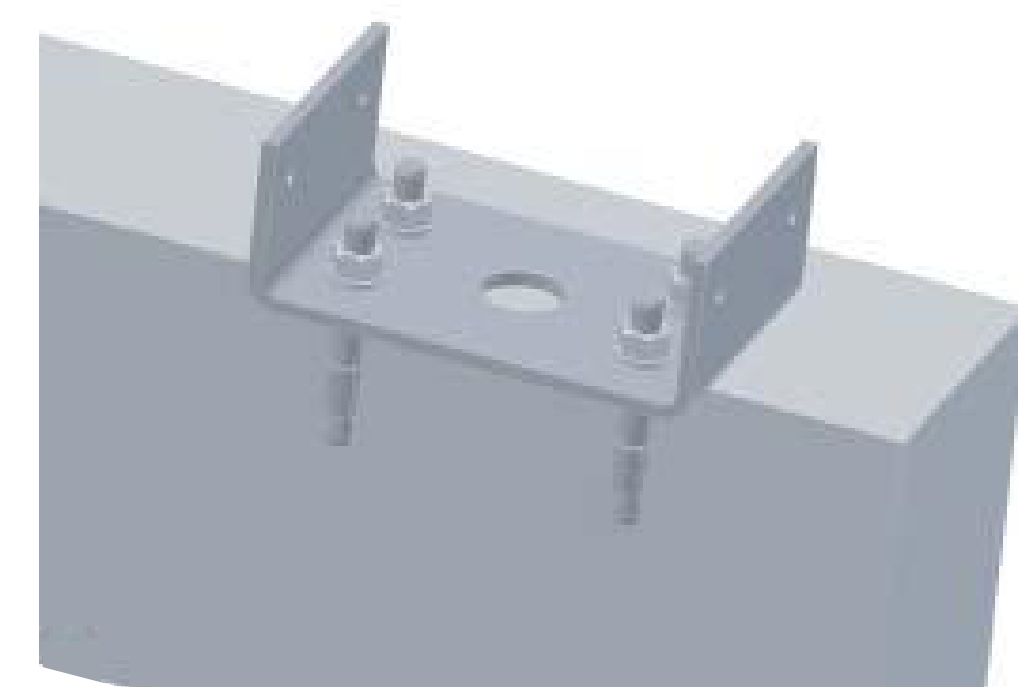
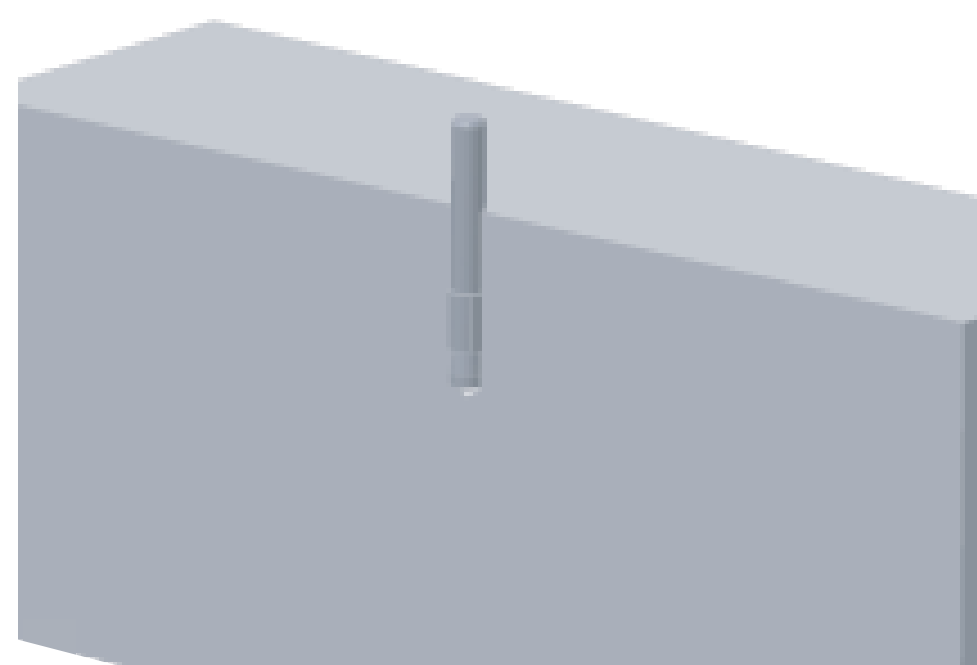
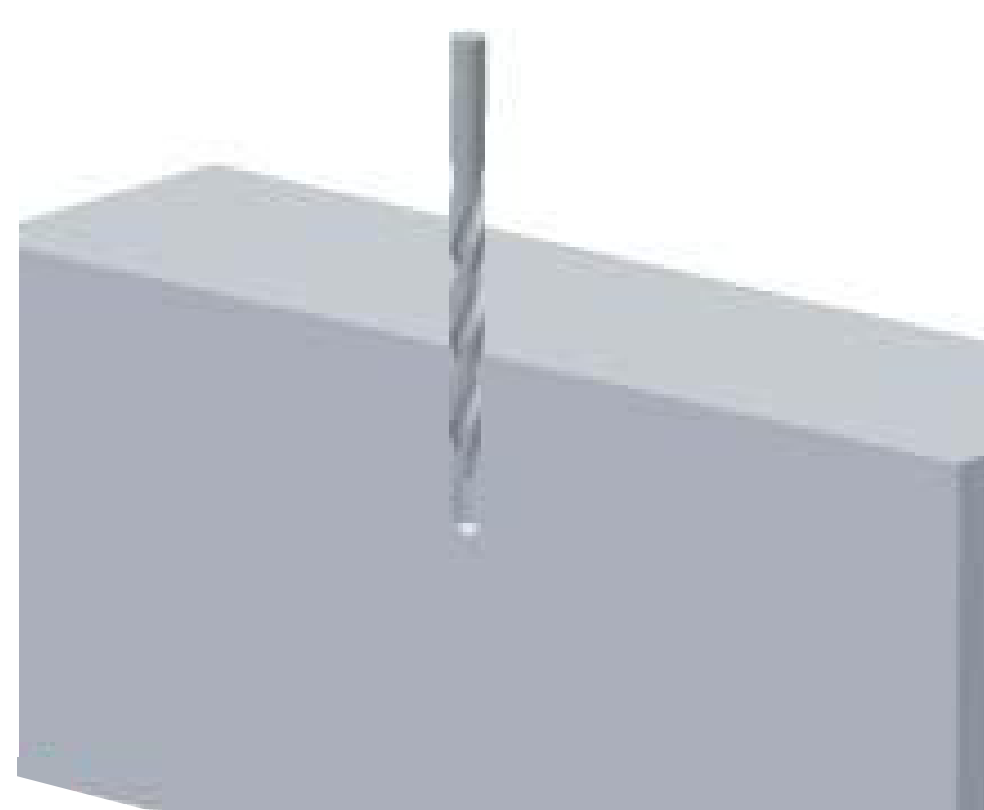
5 Installation

1 Hardwire Bracket - Optional



1. The Bollard is designed to house a pushplate used to activate a door by either a remote controlled transmitter or hardwired directly to the door control. If the door is hardwired, pass the wire through the 1 inch diameter hole in the mounting bracket.

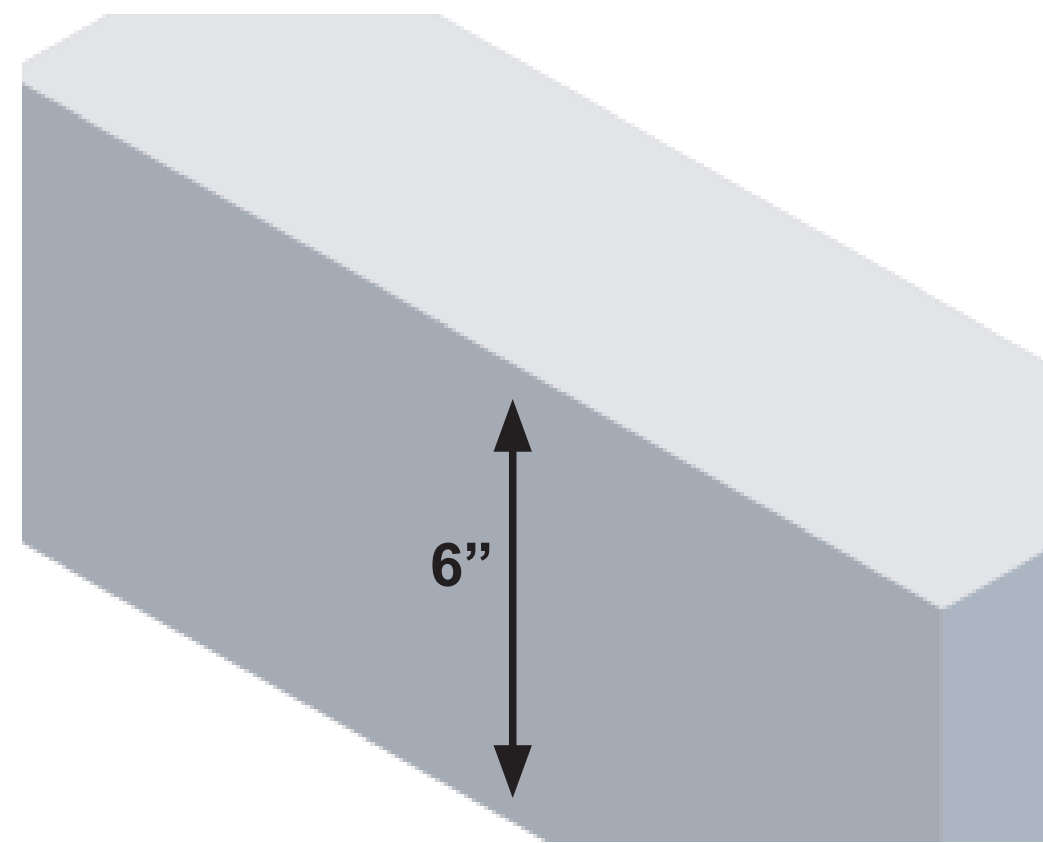
2 Attach Mounting Bracket Using Expansion Anchors - Existing Concrete



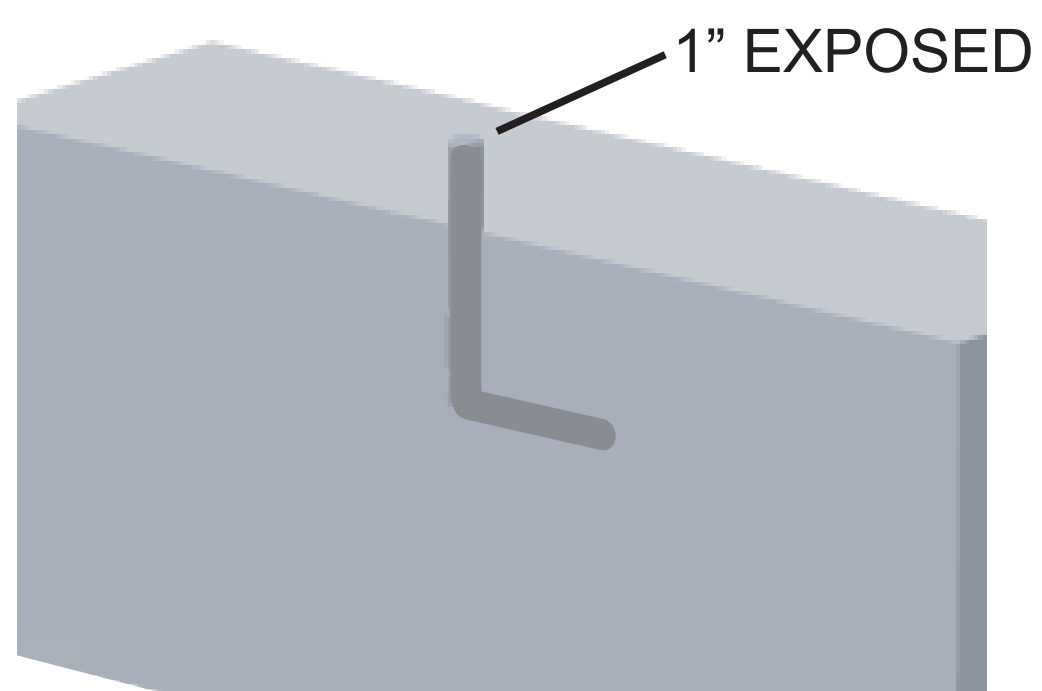
1. Mark and drill 3/8" diameter hole in four locations.
2. Hammer in and set anchor in four hole locations.
3. Install and tighten nuts to secure mounting bracket.

5 Installation (Continued)

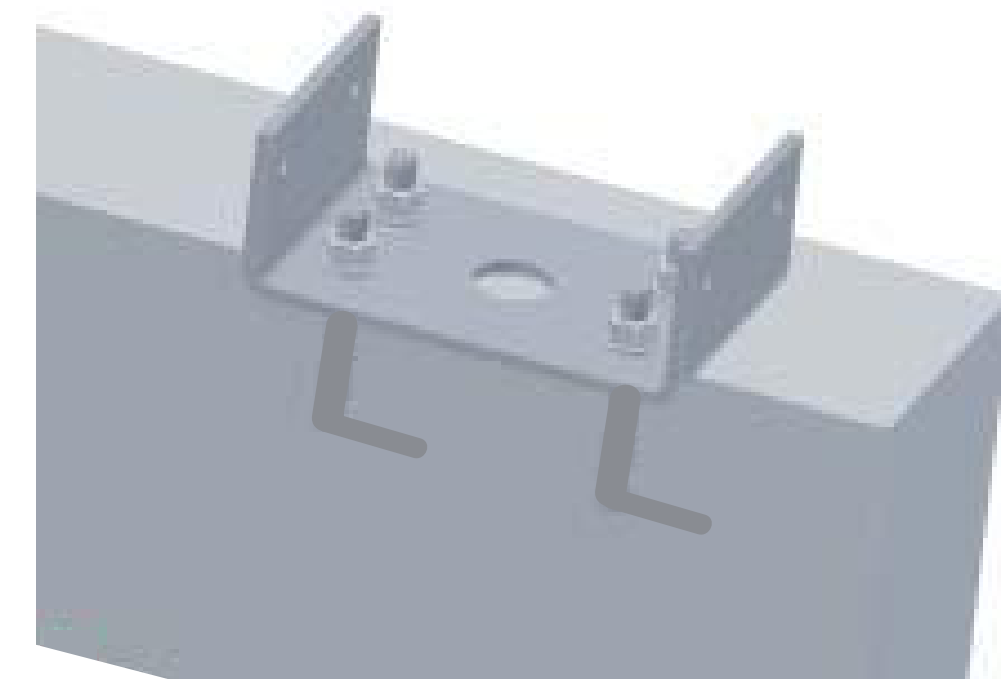
3 Attach Mounting Bracket Using 'L' Shaped Anchors - New Concrete



1. Pour concrete at least 6 inches deep.

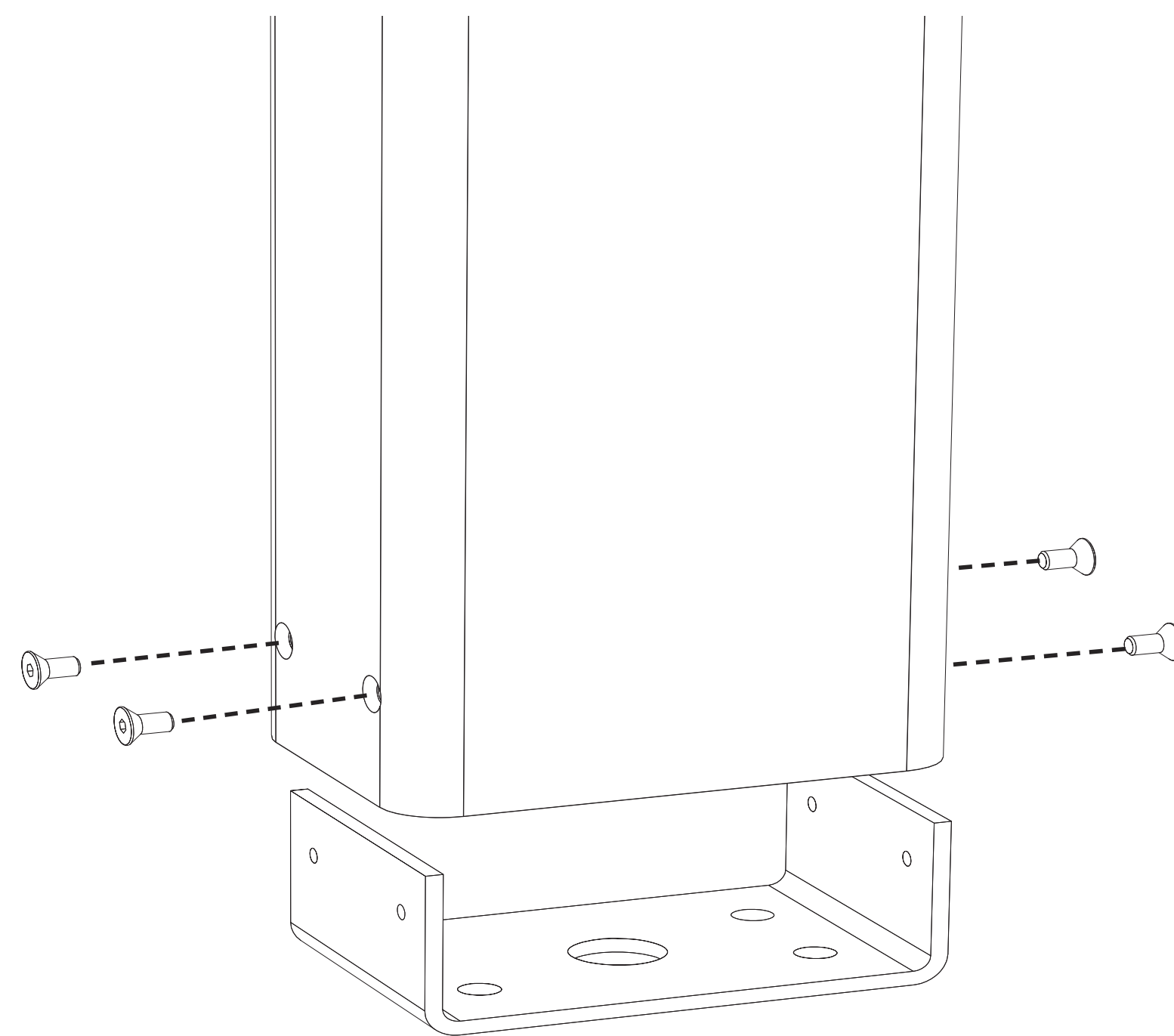


2. Insert anchors into curing concrete. Leave at least 1 inch exposed.



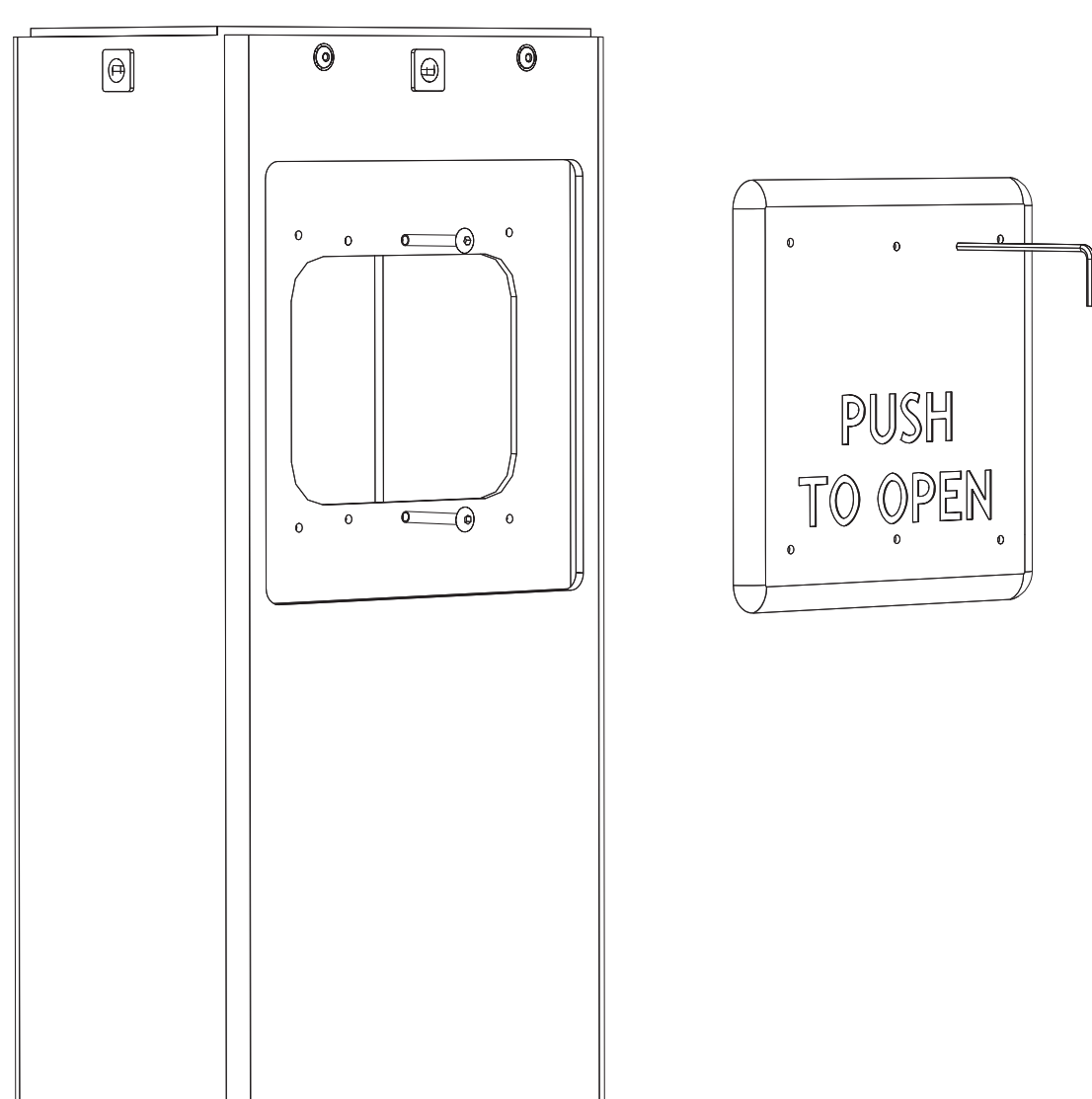
3. Once concrete has cured attach anchor and tighten nuts onto mounting bracket.

4 Attach Post to Mounting Bracket

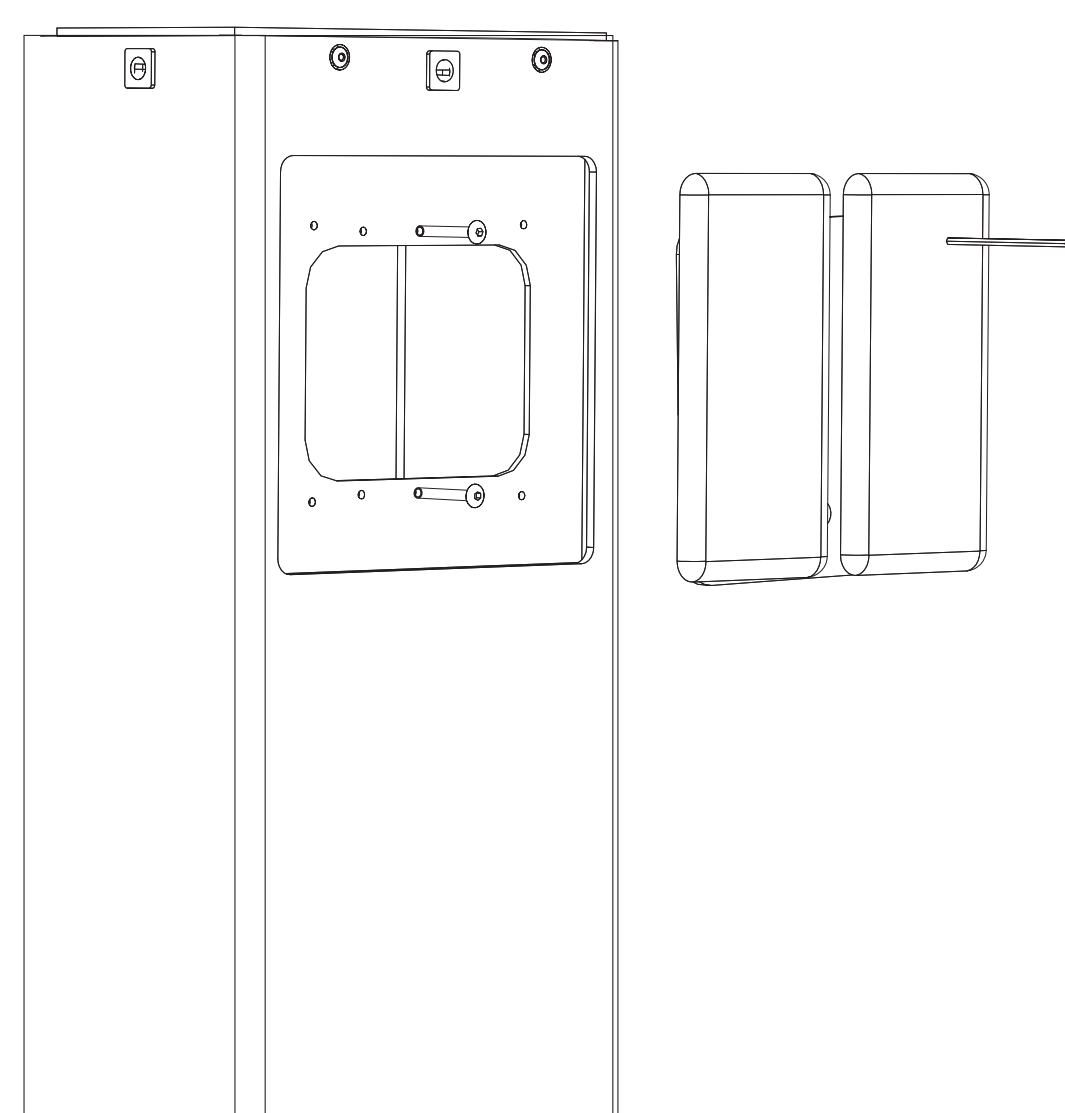


1. Align post to mounting bracket and attach post to mounting bracket with four post mounting screws.

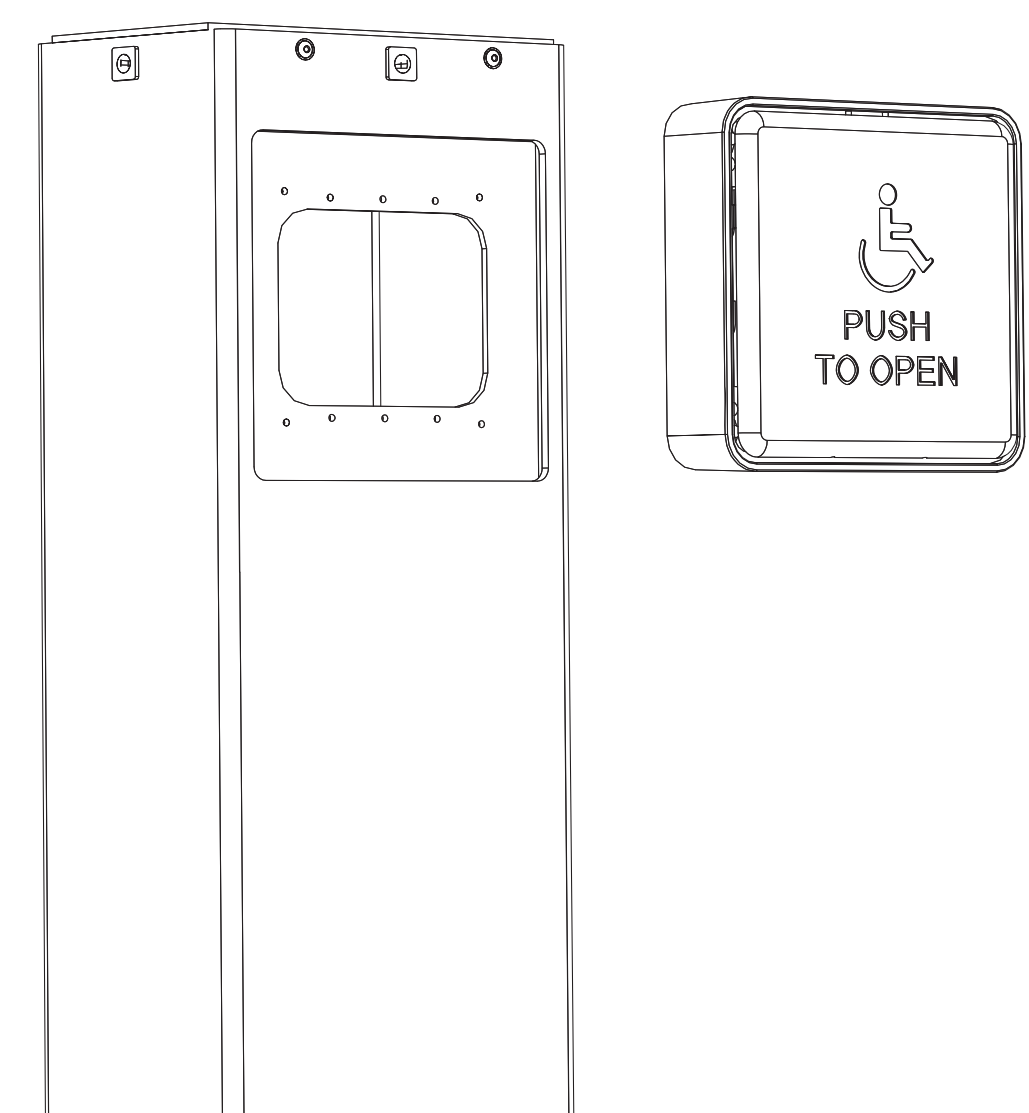
5 Install Push plate



PUSHPLATE INSTALLATION



DUAL VESTIBULE INSTALLATION

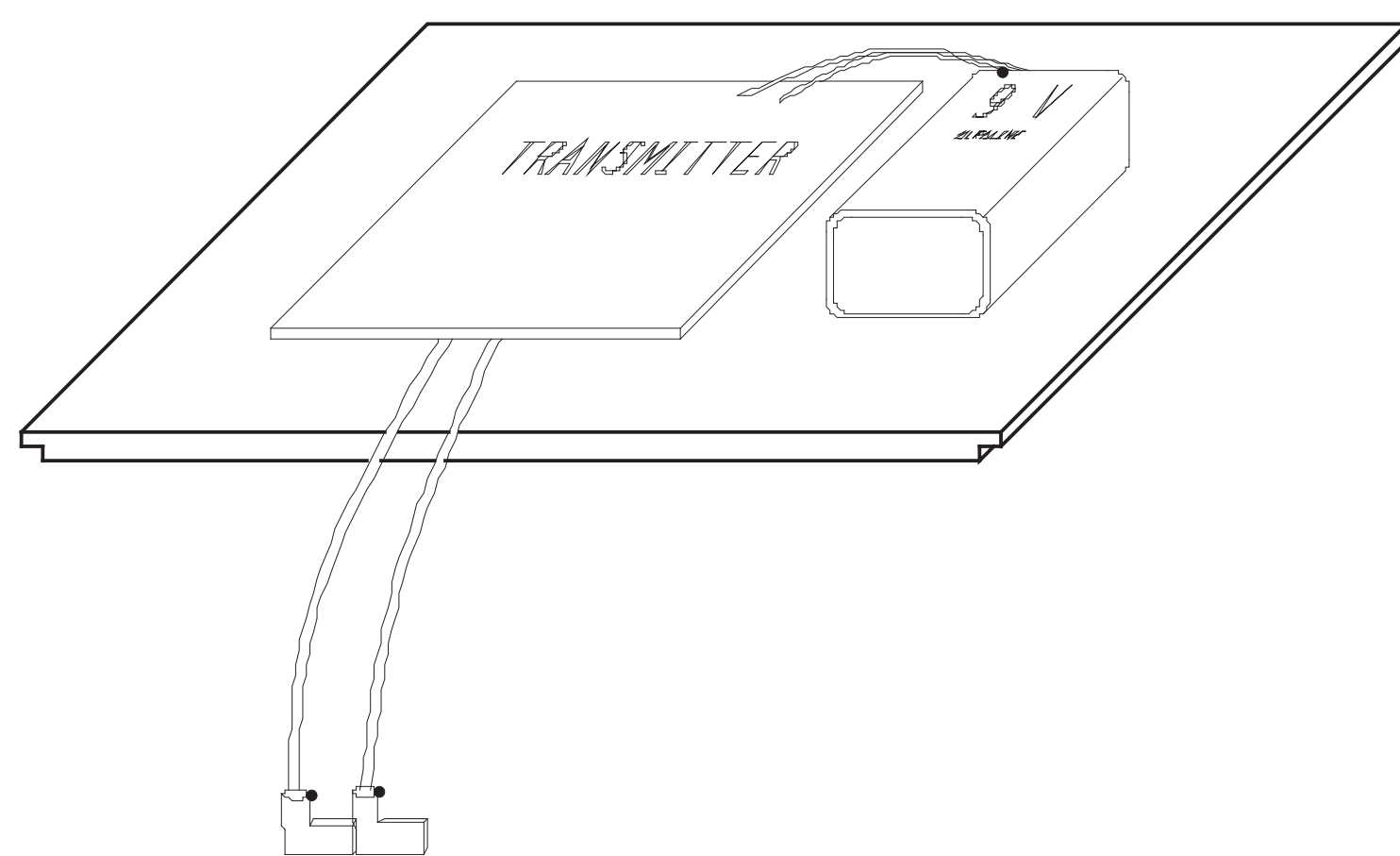


PANTHER PUSHPLATE INSTALLATION

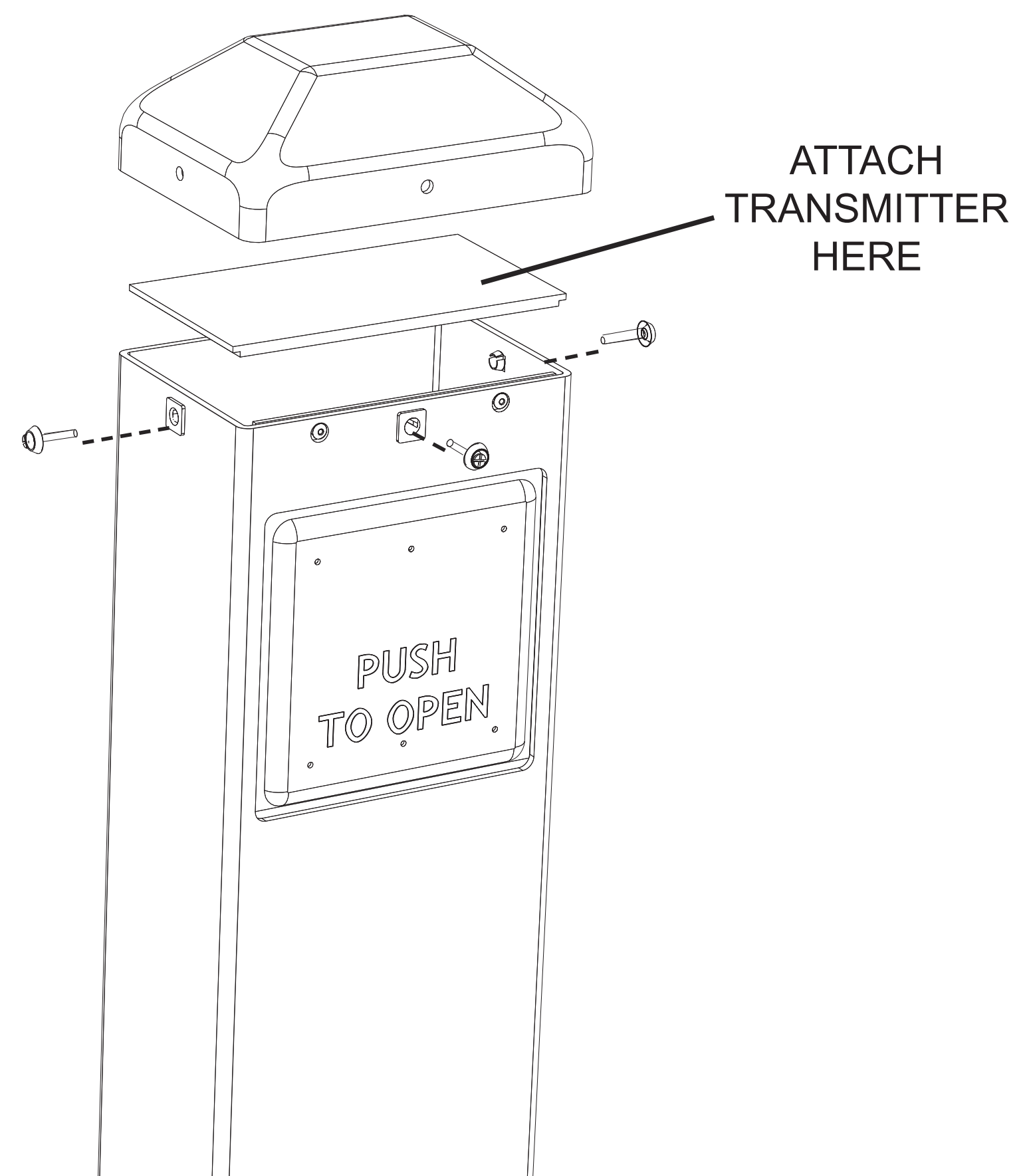
1. Thread the push plate screws into the mounting box leaving a majority of the screw exposed. Attach the pushplate to the mounting screws, then use the hex key provided to fully tighten the screws. Refer to the appropriate pushplate User's Guide for detailed installation and setup instructions.

5 Installation (Continued)

6 Attach Transmitter



TRANSMITTER MOUNTING TRAY



CAUTION: IF THE TRANSMITTER IS ALLOWED TO HANG DOWN INSIDE THE BOLLARD, ERRATIC OPERATION MAY OCCUR.

1. If using the transmitter for this application, attach transmitter to mounting tray with velcro pad included in the package. Hardwired systems do not require this step.
2. Attach plastic cap to top of the post with three cap mounting screws. Tighten screws with hex key included in the pushplate package.

6 Company Contact

LCN[®]



Do not leave problems unresolved. If a satisfactory solution cannot be achieved after troubleshooting a problem, please contact LCN at 1-800-526-2400. If you must wait for the following workday to call LCN, leave the door inoperable until satisfactory repairs can be made. Never sacrifice the safe operation of the automatic door or gate for an incomplete solution.

For more information, visit www.lcn.ingersollrand.com.