

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10305 Armory Avenue, Kensington	Meeting Date:	5/22/2024
Resource:	Primary Two Resource Kensington Historic District	Report Date:	5/15/2024
Applicant:	Village Concrete (Agostino Costa, Agent)	Public Notice:	5/8/2024
Review:	Preliminary Consultation	Tax Credit:	Partial
Permit Number:	n/a	Staff:	Chris Berger
PROPOSAL:	Demolition, two-story rear addition, and various alterations.		

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions based upon the HPC’s comments and return with a second preliminary consultation.

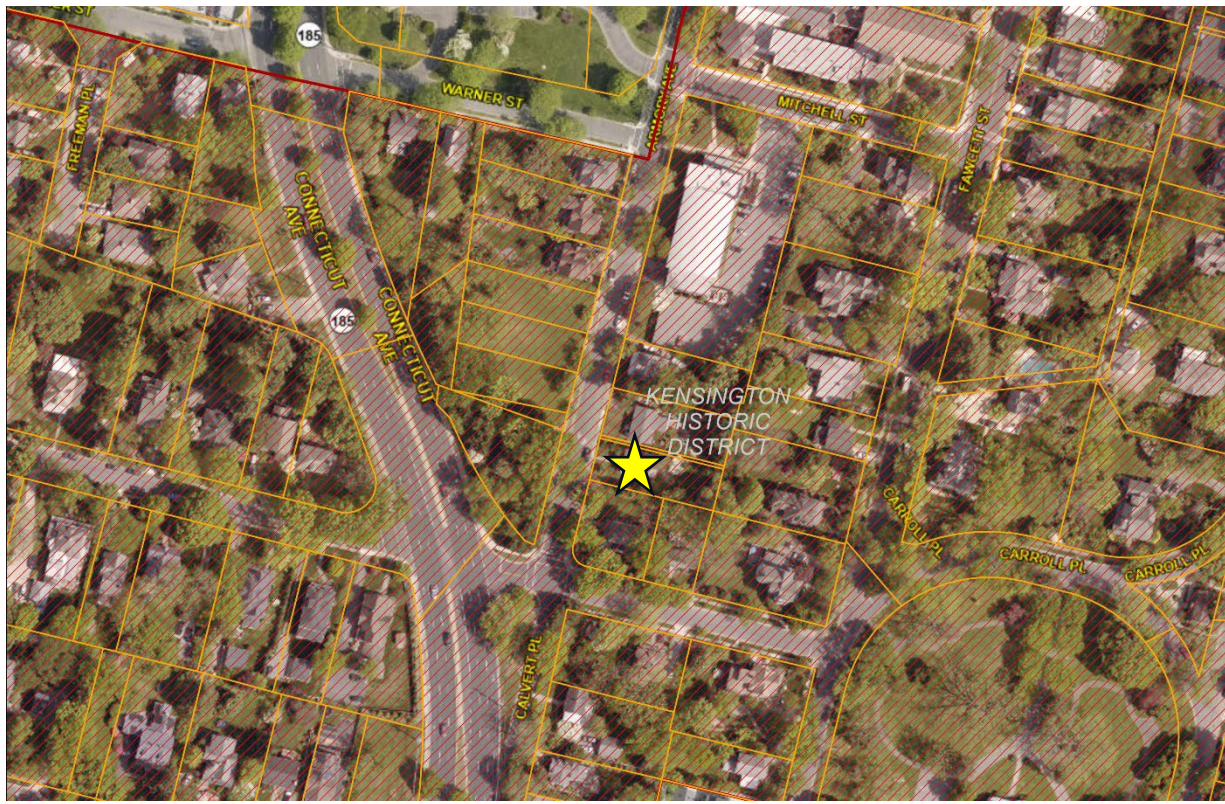


Figure 1: The subject property at 10305 Armory Avenue is indicated with a yellow star. The red cross hatch indicates the Kensington Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary Two Resource within the Kensington Historic District
 STYLE: Bungalow with later Colonial Revival elements
 DATE: Circa 1920

The building is a 1.5-story, 1,082-square-foot rectangular shaped Bungalow with Colonial Revival style elements. The pier and continuous parged foundations support the wood-frame walls, covered with horizontal vinyl siding. The side-oriented gable roof is covered with 3-tab asphalt shingles. Fenestration includes wood, aluminum clad wood and composite sash windows with 1/1 and 6/1 lite patterns; three-, four-, and six-light awning windows; 1/1 vinyl sliding windows; a wood-paneled front door; and a six-lite paneled door on the rear elevation. A decorative stained-glass window is located next to the two-lite front door. Storm windows cover most of the sash windows. The inset front porch originated as a full-width front porch before it was partially enclosed (*Figure 2*). It is likely the Doric columns and dentil cornice were added when the porch was altered.



Figure 2: The Sanborn map from 1950 to 1963 shows a full width front porch at the building.



Figure 3: The front and the right-side elevations of the residence at 10305 Armory Avenue, Kensington.



Figure 4: The rear elevation of 10305 Armory Avenue.

The landscape has established trees and bushes. A 4-foot tall wood board-abutting-board fence is found in the side yard on the right-side elevation. A brick patio is located immediately behind the residence. In 2008, the HPC approved the retroactive demolition of a garage in the southeast corner of the property and the construction of a replacement outbuilding on its footprint (HAWP # 31-06-08G¹). The new building measures 12-by-20 feet. It has Hardiplank siding, a gable roof, sash windows, egress door, and overhead door.



Figure 5: The outbuilding at 10305 Armory Avenue was constructed in 2008.

¹ The file for HAWP # 31-06-08G can be reviewed here:
https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box082/31-06-08G_Kensington%20Historic%20District_10305%20Armory%20Avenue_08-14-2008.pdf

PROPOSAL

1. Alterations to the existing house:
 - Remove existing rear elevation to build a rear addition.
 - Raise the existing roof height one foot, increasing the mean roof height to 17.5 feet.
 - Remove the chimney.
 - Replace the 3-tab shingles with architectural-grade shingles.
 - Add a one-foot wide eave on the front elevation.
 - Replace vinyl siding with wood siding.
 - Replace the wood porch floor with composite flooring.
 - Remove storm windows.
 - Infill two windows and enlarge four windows on the right-side elevation.
 - Install wood windows on the front elevation.
 - Install composite windows on the side elevations.
 - Install two basement egress window wells on right-side elevation.
 - Add new downspout.
 - Replace the front wood stairs with composite.
 - Replace front door.

2. Two-story rear addition:
 - Rectangular addition measuring either 27-by-24 or 28-by-23 feet and 27 feet, 9.5, inches tall.
 - Inset approximately a foot on each side.
 - CMU foundation.
 - Wood siding to match siding proposed for the existing construction.
 - Fenestration includes composite sash windows and a sliding door.
 - Side-oriented gable roof to match the 5.7/12 pitch of the existing gable roof.
 - Roof to be covered with architectural-grade shingles to match material proposed for existing construction.

3. Alterations to hardscape and landscape.
 - Remove brick patio.
 - Construct a 12-by-20 pressure-treated wood deck with Trex flooring and composite railing.
 - Install areaway with concrete pad along new addition.
 - Remove three trees.
 - Shift curb cut and install a new 11-foot wide concrete driveway with parking pad next to the existing outbuilding.
 - Lay stone pavers between driveway and proposed deck.
 - Remove 4-foot tall fence segment in side yard.
 - Install HVAC units.

The applicant also seeks to complete repairs to the existing residence and outbuilding, paint the existing house, proposed addition, and outbuilding in uniform colors; and either replace the French drain or install a dry well. None of this work as described requires a HAWP.

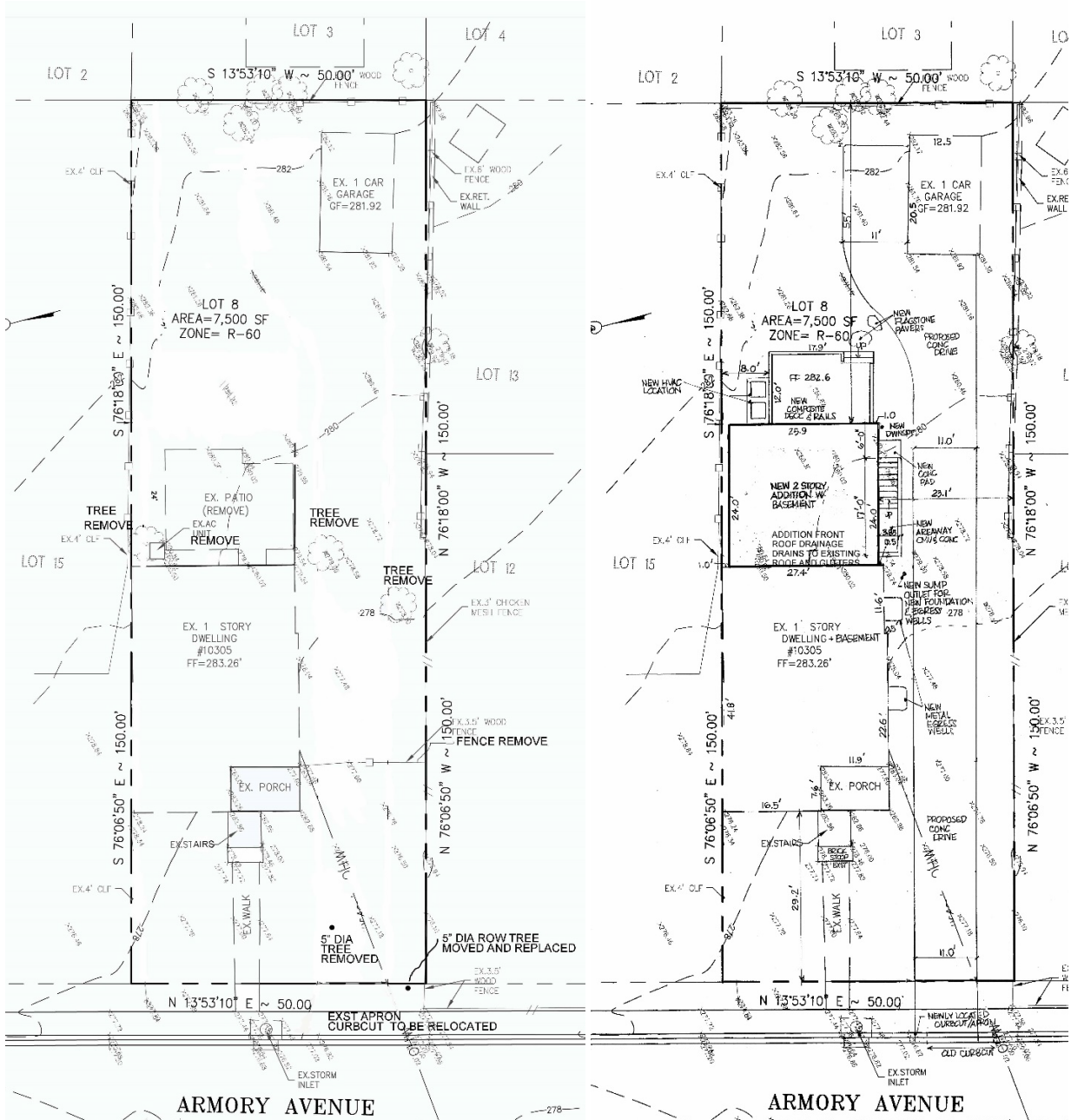
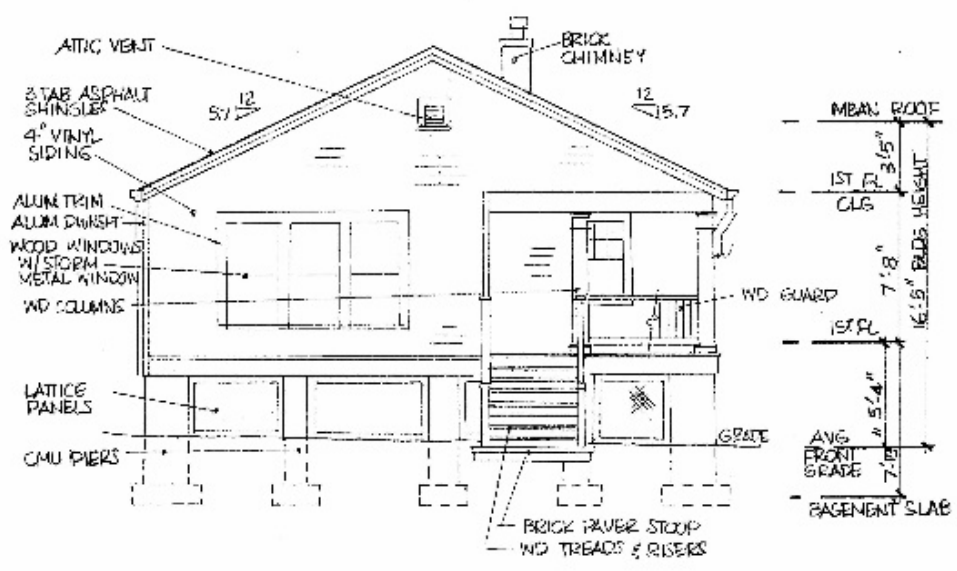
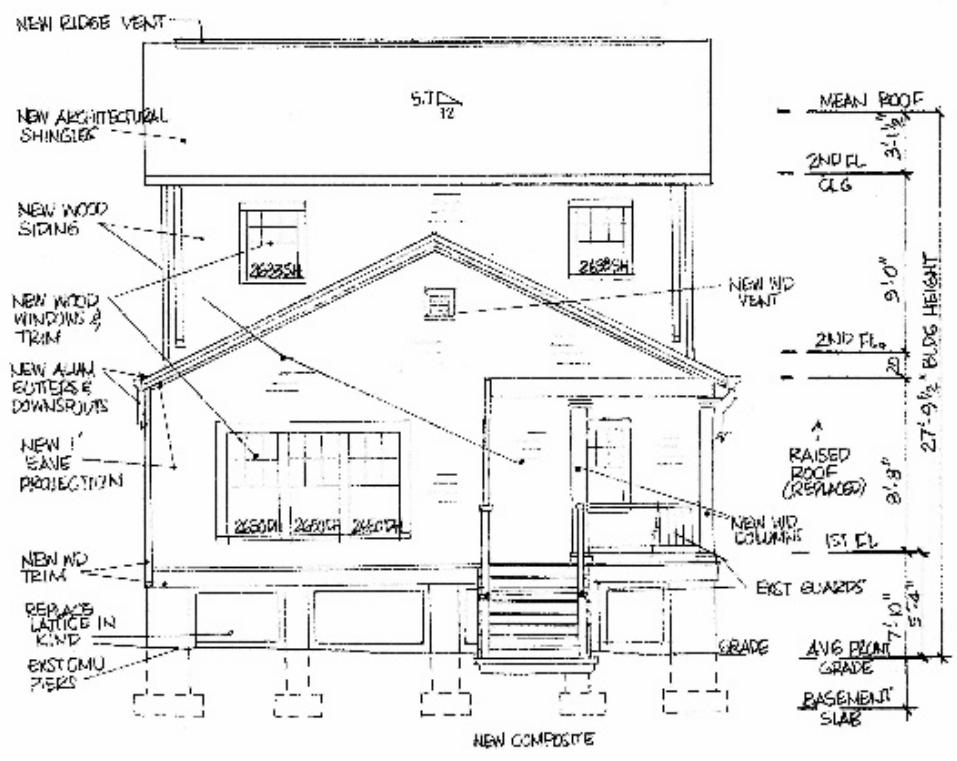


Figure 6: The existing site plan (left) and proposed site plan (right).



1 EXIST FRONT ELEVATION
 $\frac{3}{16}'' = 1'-0''$



3 PROPOSED FRONT ELEVATION
 $\frac{3}{16}'' = 1'-0''$

ALL WOOD TRIMS SHALL REPLICATE EXIST PROFILES WHICH ARE BEING REPLACED.

Figure 7: The existing and proposed front elevation.

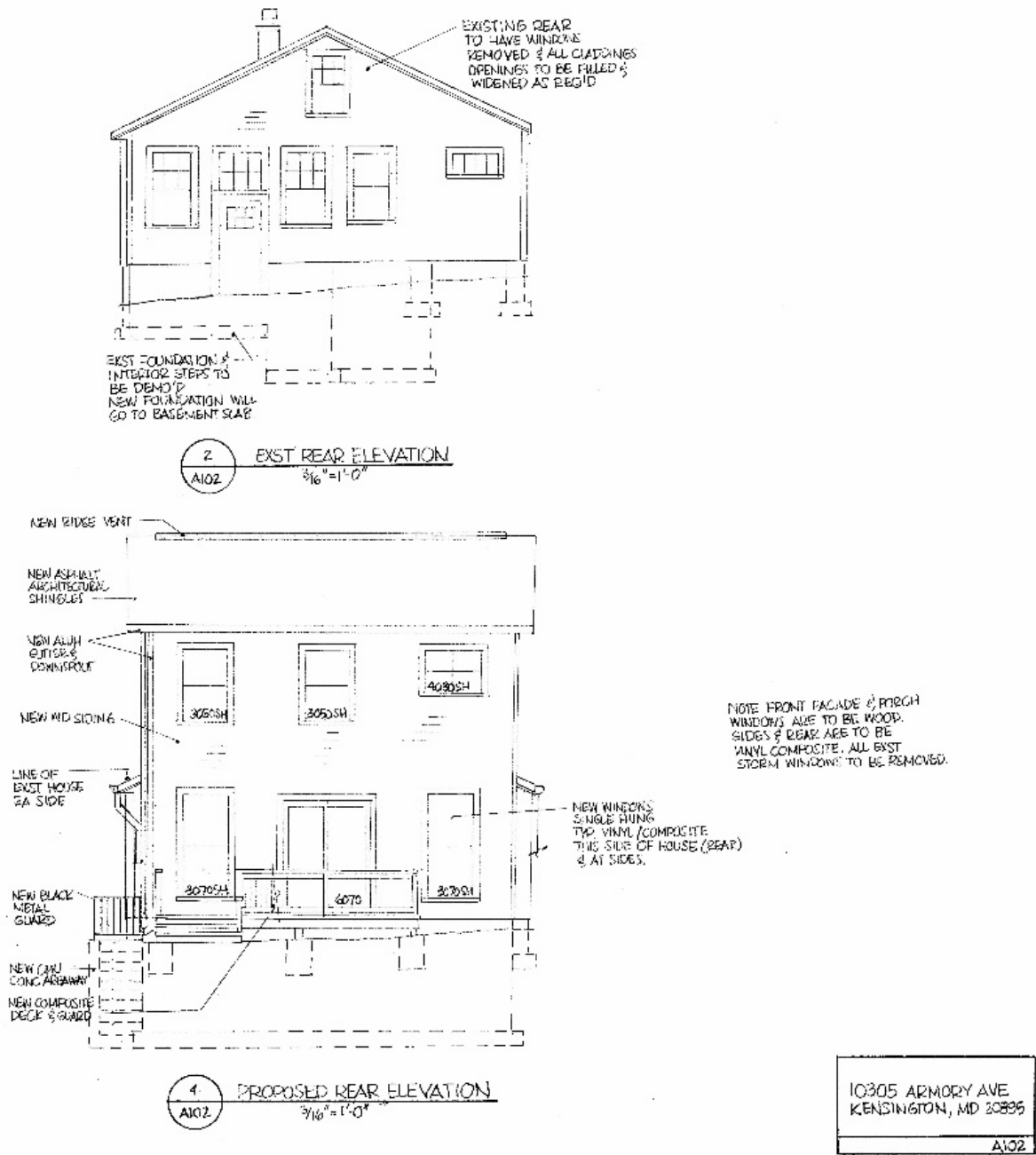


Figure 8: The existing and proposed rear elevations.

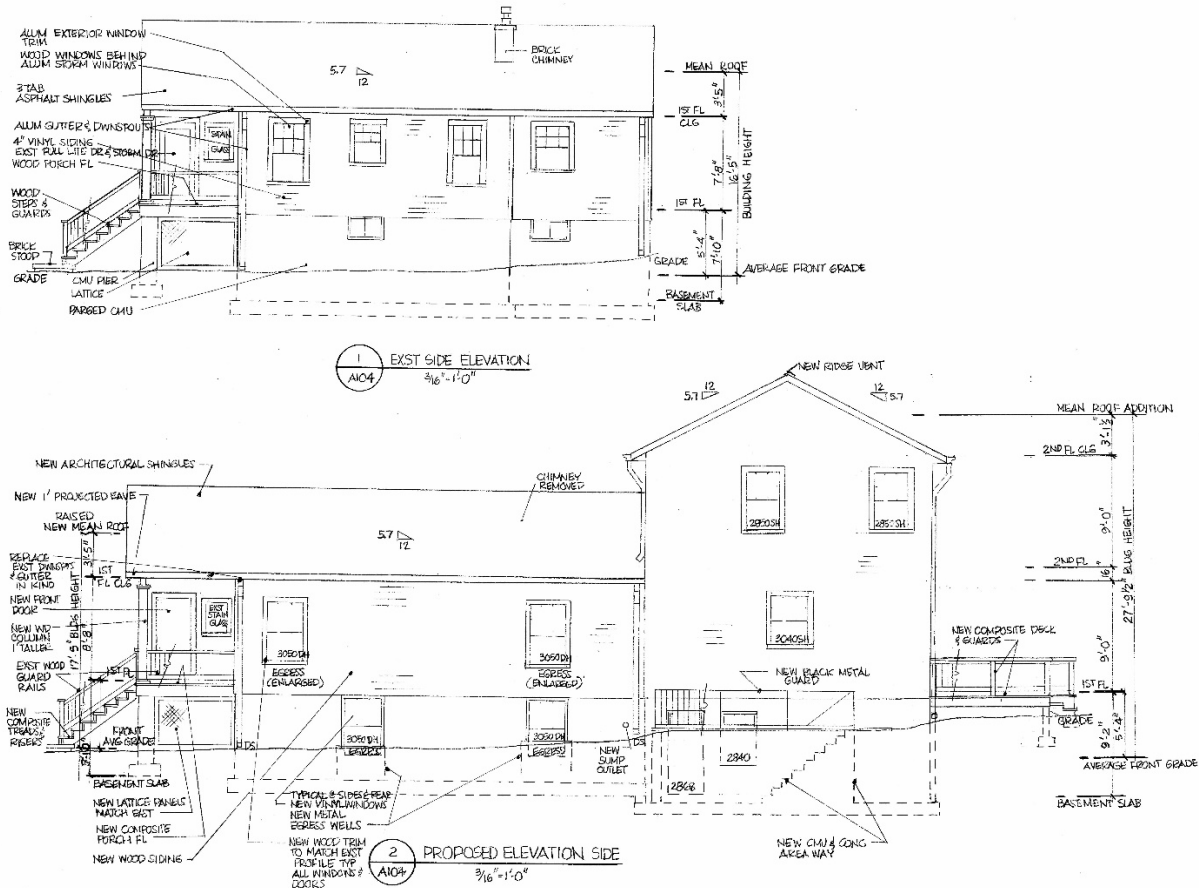


Figure 10: The existing and proposed right-side elevations.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*; *Vision of Kensington: A Long-Range Preservation Plan (Vision)*; *Montgomery County Code Chapter 24A (Chapter 24A)*; and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

The Amendment notes:

The district is architecturally significant as a collection of late 19th and early 20th Century houses exhibiting a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake and Colonial Revival. The houses share a uniformity of scale, set backs and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan as noted on Page 1 "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

The pertinent sections of the document for this proposal are as follows:

Geographic and Landscape Features

The Kensington Historic District is delineated by two important transportation features: Connecticut Avenue and the railroad. The historic district is bisected by Connecticut Avenue as it extends on a northern course through Montgomery County. A major, four-lane, commuter corridor, this over-trafficked thoroughfare is a strong visual intrusion into the district. The railroad runs parallel to Howard Avenue along the northern edge of the district. The presence of the railroad is historically significant to the town of Kensington. The earliest development in Kensington clustered around the railroad, including the first railroad station, bank and City Hall. Today, this area remains the heart of the commercial district in Kensington.

The houses to the east and west of Connecticut Avenue sited along the curvilinear streets comprise the district's most historic structures. Many of these structures are placed in the middle of two lots, with large open-space to either side of the structures. These settings are picturesque with landscaped gardens composed of shrubs and flowers. Mature trees dot the environment. The gardens encompass the historic resource and characterize the residential evolution in this section of the district, and consequently have become intrinsic character defining features. Other residential development in the district, featuring houses sited centrally on a single lot, have similar front yards to earlier resources, but smaller side yards. Landscaping is on a smaller scale, with modest parcels devoted to plantings and gardens.

Scale and Building Height

The height of buildings in Kensington varies according to the age and time of development of the area. The primary historic structures are two and two-and-one-half stories in height. Typically, towers, turrets or roof projections extend beyond the roof-line and impart the impression of much taller, more vertical structures. Twentieth century construction of modern residential structures is characterized by a smaller scale: usually one and one-and-one-half stories in height with less exuberant facade treatments and flatter more planar compositions. Thirty five percent of the structures in the district are 2 stories in height and 45% are two-and-one half stories.

Directional Expression of Building

The buildings in the Kensington Historic District are predominantly vertical in expression, reflecting the verticality inherent to the style and form of late 19th century structures. This verticality is emphasized in Kensington by the irregular roof-lines, and soaring towers and turrets common to the Queen Anne aesthetic. Horizontally composed structures reflect the emerging 20th century ideals which emphasized more regular, symmetric compositions. In Kensington, many of these more horizontally expressed

structures are designed in the Bungalow or Craftsman Cottage styles of the 1920s and 1930s. Additionally, the 1950s development of brick, rambler styled residences brings a more horizontal massing to the area.

Roof Forms and Material

The dominant roof form in Kensington is the gable roof, with 69% of the residential structures displaying gable roof forms. Numerous variations of the gable form are utilized on the Queen Anne and Shingle Style residences including end gables, cross gables and elongated gables. Thirty-eight hipped roof structures are found in the district, comprising 27% of the building stock. The hipped roof dwellings are typical of the Bungalow and American Foursquare styled buildings in the district. Seven dwellings constructed with gambrel roofs are found in the district, reflecting the influence of the Colonial Revival style, particularly the Dutch Colonial Revival. The majority of buildings have received replacement roof cladding. However, a surprising number of houses in the Kensington Historic District retain their original standing seam metal roof cladding.

Dominant Building Material

The dominant building material in Kensington is wood, executed either as clapboard and weatherboard. Thirty-five percent of the historic structures in Kensington are clad in wood, and retain much of their original wood trim. Additionally, 11 % of the structures are clad with wood shingles, typical of the Shingle and Queen Anne styles. A large number of historic resources have been clad with new building materials, and have lost much of their exuberant detailing and ornamentation. 22% percent have been clad in aluminum or asphalt siding. Sixteen brick structures are located in Kensington, or 11 % percent of the historic resources are brick. Eight stucco buildings are located in the district, comprising 5% of the residential building fabric.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* read are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

1. Alterations to the existing house

Staff supports the removal of the existing rear elevation to accommodate the proposed rear addition and finds the proposal to be compatible with the character of the historic resource. The elevation has undergone significant alterations such as the addition of openings and replacement of windows. The two-paneled, six-lite door on the rear elevation does appear to be original to the home’s construction, and staff recommends the door be salvaged and installed at either the front door, which is proposed for removal, or on the new addition.

Staff also supports replacement of the existing 3-tab asphalt shingles with architectural-grade shingles. Staff regularly administratively approves this roof change and finds the change to be compatible to the resource.

Staff finds the proposal to remove the vinyl siding and replace with wood lap siding to be compatible, but first staff would like the applicant to remove portions of the existing vinyl siding to determine if the previous siding is present on the building. If it is evident and repairable, staff recommends the applicant do so. If the previous siding is present but not repairable, the applicant should match that siding. If none of the previous siding is present, staff would support wood lap siding.

Staff supports removal of the storm windows but encourages the applicant to retain them to better protect the windows. The storms are later alterations, so their removal is compatible with the character of the resource.

Staff in theory supports installation of window wells on the right-side elevation so the applicant can add bedrooms to the basement. The changes would not substantially alter the resource and are necessary to improve the livability of the building. More detailed drawings of the wells are necessary for staff to comment on the design.

Staff supports the installation of additional downspouts and finds the work will not substantially alter the resource. This work is regularly administratively approved.

Staff supports replacement of the front door but seeks more information on the design of the proposed replacement. The existing door appears to be a replacement two-lite wood door paired with a storm door. Staff encourages the applicant to reinstall the door on the rear elevation proposed for removal in this location. If that is not possible, the new front door should closely match the design of the existing rear door.

Staff does not support a number of the alterations proposed for the existing resource, including raising the roof; removing the chimney; adding an eave on the front of the building; replacing the wood porch floor with composite; installation of wood windows on the front elevation; installation of composite windows on the side elevation; infilling two windows and enlarging four others on the right-side elevation; installation of composite windows on the side elevations; and replacing the front wood stairs with composite. While 10305 Armory Avenue is of a simple design and has been altered, it is a Primary Two Resource in the Kensington Historic District and alterations that further damage the building's form and character should be avoided. Staff finds that all this proposed work conflicts with Chapter 24A-8(b) of the County Code because they will substantially alter the exterior features of the resource and are incompatible with its character. The proposals also run counter to the *Standards*, which call for alterations that do not destroy the historic character of the property. Staff instead recommends the applicant retain and repair the chimney, porch floor, windows, and porch stairs and not complete the other work that would alter the building's appearance.

2. Two-story rear addition

Staff supports a rear addition at this property, but not as proposed. In conflict with Chapter 24A-8(b)(2), the proposal is incompatible in character with the architectural features of the historic resource. And contrary to Standards #9 for new additions, staff finds the size, scale, and architectural features incompatible to the existing 1.5-story building. The new addition will be approximately 11-feet taller than the existing construction, and staff recommends the addition be reduced in height so it does not visually overpower the existing construction—especially if the roof on the existing residence is not raised one-foot as staff recommends. Further, staff finds the front-oriented gable roof clashes with the side-oriented gable roof on the existing building and recommends the roof orientations match. Staff also seeks evenly spaced window openings on the addition, particularly on the existing side elevations.

Staff supports the pitch of the addition's roof and its covering with architectural grade shingles. Staff also supports the differentiation created by the addition's wider roof overhangs. Staff seeks wood or aluminum clad wood windows on the addition and not the composite windows as proposed. Staff is supportive of the sliding door on the new rear elevation. A window a door schedule should be provided as part of future versions of the plan.

Staff recommends the siding on the addition is varied from the siding on the existing residence. As previously mentioned, staff is hopeful the original wood siding remains under the vinyl siding and can be restored.

The applicant has not finalized the size of the building's footprint; those final dimensions are necessary before the applicant submits a HAWP.

3. Alterations to hardscape, landscape, and outbuilding

Staff supports all proposed changes to the landscaping and hardscaping and finds the work will not substantially alter the historic resource and is compatible. This includes removal of the brick patio; deck construction; areaway construction; tree removals; new curb cut and driveway; stone pavers; fence segment removal, and installation of HVAC units.

Staff requests an arborist report for the trees to be removed.

Staff encourages the applicant to reduce the driveway in width from 11 feet as proposed to minimize the amount of pavement added to the property.

Staff seeks more detailed plans for the areaway and deck in future versions of the project.

Specifications should be provided for all hardscape and landscape materials.

Items to Include in HAWP Application

Staff recommends the following items be included in the HAWP application:

- Plans and labels should be legible.
- Proposed changes to the site described in a single narrative.
- Finalize the size of the addition and drainage before submitting revised plans for a second preliminary consultation.
- Detailed drawings for proposed features such as the areaway, deck, and window wells.
- A window and door schedule that corresponds to the elevations. The new window grilles shall be either full divided lite or simulated divided lite with permanent exterior and interior grilles.
- Specification sheets for all proposed building features, including the doors, windows, siding, trim, roofing, deck flooring; railings; hardscaping, lighting, HVAC equipment, and gutters and downspouts.
- Photos and a statement on the material, design, and condition of the cladding, or lack thereof, underneath the existing vinyl siding.
- A comment response sheet that describes how each HPC and staff recommendation was addressed.
- Provide an arborists report for the three trees to be removed.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments and return with a second preliminary consultation.

Staff Requested HPC Feedback

The proposed alterations to the existing residence:

- Remove existing rear elevation to build a rear addition.

- Raise the existing roof height one foot, increasing the mean roof height to 17.5 feet.
- Remove the chimney.
- Replace 3-tab shingles with architectural-grade shingles.
- Add a one-foot wide eave on the front elevation.
- Replace vinyl siding with wood siding.
- Replace the wood porch floor with composite flooring.
- Remove storm windows.
- Infill two windows and enlarge four windows on the right-side elevation.
- Install wood windows on the front elevation.
- Install composite windows on the side elevations.
- Install two basement egress window wells on right-side elevation.
- Add new downspout.
- Replace the front wood stairs with composite.
- Replace front door.

Two-story rear addition:

- Rectangular addition measuring either 27-by-24 or 28-by-23 feet and 27 feet, 9.5, inches tall.
- Inset approximately a foot on each side.
- CMU foundation.
- Wood siding to match siding proposed for the existing construction.
- Fenestration includes composite sash windows and a sliding door.
- Side-oriented gable roof to match the 5.7/12 pitch of the existing gable roof.
- Roof to be covered with architectural-grade shingles to match material proposed for existing construction.

Alterations to hardscape and landscape:

- Remove brick patio.
- Construct a 12-by-20 pressure-treated wood deck with Trex flooring and composite railing.
- Install areaway with concrete pad along new addition.
- Remove three trees.
- Shift curb cut and install a new 11-foot wide concrete driveway with parking pad next to the existing outbuilding.
- Lay stone pavers between driveway and proposed deck.
- Remove 4-foot tall fence segment in side yard.
- Install HVAC units.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# DATE ASSIGNED

APPLICANT:

Name: Village Concrete, Inc E-mail: skhalatbari@villageconcrete.com
Address: 11250 Industrial Road City: Manassas Zip: 20109
Daytime Phone: 703-365-8544 Tax Account No.: F14414411

AGENT/CONTACT (if applicable):

Name: Agostinho Costa COSTA ENTERPRISES LLC E-mail: acosta@villageconcrete.com
Address: 13460 Saratoga Springs Way City: Nokesville Zip: 20181
Daytime Phone: 703-926-7645 Contractor Registration No.: 2705095065

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 10305 Armory Avenue

Is the Property Located within an Historic District? X Yes/District Name No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10305 Street: ARMORY AVENUE
Town/City: KENSINGTON Nearest Cross Street: BALTIMORE ST
Lot: 8 Block: 9 Subdivision: 0015 Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence (REMOVAL), Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other: DRAINAGE, SPRINKLER, APRON CURBCUT

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Agostinho Costa Date: 03.27.24

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

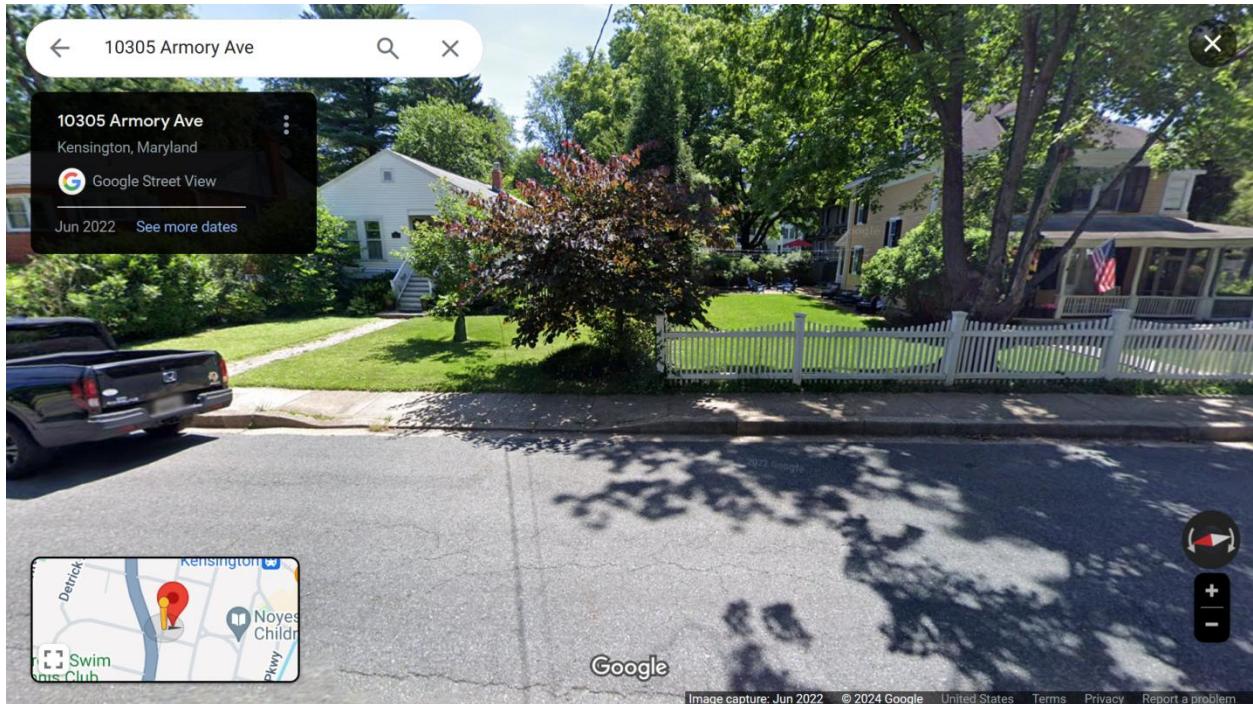
Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

OLDER PHOTO



EXISTING CURB CUT APRON PHOTO...PROPOSING SHIFTING THE APRON TO THE LEFT SO DRIVEWAY ALIGNS WITH DETACHED GARAGE FRONT AND CREATING CONCRETE DRIVE AS SHOWN ON SURVEY MARKUP. TREE IN FOREGROUND IS IN PUBLIC RIGHT OF WAY (PROPERTY LINES START ABOUT 5 FT BACK FROM SIDEWALK. OWNER TO WORK WITH KENSINGTON TO REPLACE. TREE AT LEFT IS 5" DIA TRUNK WHICH IS INTENDED TO BE REMOVED .



CLOSER PHOTO MORE CURRENT.



FRONT FACADE/GENERAL

OWNER PROPOSES TO RECLAD/REPLACE ALL EXTERIOR FINISHES . KEEPING EXISTING RAILING AND CMU AND BRICK FOUNDATIONS /PIERS. APPLYING PROPOSED PAINT COLOR TO SIDING,WITH WHITE TRIM (COLOR TBD) .

OWNER PROPOSES TO RAISE EXISTING ROOF BY 1 FT (CURRENT INTERIOR CLG 7'8"- PROPOSED 8'8") REMOVING ALL STORM WINDOW AND DOORS AND CHANGING WINDOWS AND DOORS ON ELEVATION PLANS AS NOTED.. OWNER PROPOSED TO ADD ONE FOOT GABLE EAVE PROJECTING FORWARD.

CURRENT SIDING IS VINYL - PROPOSED WOOD SAME WIDTH (4") PAINTED PROPOSED COLOR HOUSE TRIM- PROPOSED WOOD SAME PROFILE DOOR AND WINDOW TRIM- EXISTING METAL CLAD PROPOSED WOOD SAME PROFILE

PORCH AND STAIR RAILINGS- REMAIN (REMOVED AND REATTACHED) CURRENTLY BELOW CODE GUARDRAIL HEIGHT REQUIREMENT AND WILL REMAIN COLUMNS TO BE REPLACED IN KIND (DORIC-MATERIAL TBD) BUT 1' TALLER

PORCH FLOOR AND STAIR TREADS PROPOSED COMPOSITE TREX MATERIAL IN GRAY FINISH

ADDRESS PLAQUE RETAINED AND REUSED

BRICK PAVER WALK KEEP AS EXISTING

WINDOWS CURRENTLY MOST ARE WOODEN WITH METAL STORM WINDOWS..(BATHROOM AND BASEMENT ARE OTHER) . OWNER PROPOSES NEW WOOD WINDOWS ON FRONT FACADE (INCLUDING

FRONT DOOR) AND VINYL WINDOWS (MI MANUFACTURING) ELSEWHERE BLACK EXTERIOR WINDOW FINISH EXTERIOR DOOR COLOR TBD



CURRENT DETACHED GARAGE. REPAIR AND REPLACE EXISTING SIDING AS REQUIRED. POSSIBLY RESHINGLE ROOF TO MATCH HOUSE. PAINT GARAGE SIDING COLOR TO MATCH HOUSE WITH A WHITE TRIM TBD. NO PROPOSED OTHER CHANGES EXST FENCING AT LOT LINES REMAIN. THERE IS NO LONGER A BASKETBALL HOOP OR SOCCER NET (PREVIOUS OWNER)



REAR YARD PHOTO.....TERRACE SHOWN IN LEFT FOREGROUND TO BE REMOVED FOR NEW ADDITION...



EXISTING REAR HOUSE FACADE BECOMES FRONT WALL OF NEW ADDITION (EG ADDITION WALL WILL SIT ON TOP OF CURRENT REAR WALL . REAR FOUNDATION WALL TO EITHER SIDE OF REAR DOOR SHALL BE REMOVED TO PROVIDE DEEPER MECHANICAL ROOM ...UPPER REAR WALL REMAINS FILLED IN AND OPENED AS REQUIRED FOR NEW TRANSITION INTO ADDITION. AC TO BE REMOVED . ONE NEW AC AND ONE NEW HEAT PUMP WILL BE PLACED AT REAR OF NEW ADDITION MIN 5 FT FROM ADJACENT PROPERTY LINE. TREES AT LEFT AND RIGHT (AGAINST HOUSE) PROPOSED TO BE REMOVED. SEE NOTE ABOUT DRAINAGE BELOW EXISTING DOWNSPOUT LOCATIONS TO BE REUSED BUT REPLACED IN KIND (AS GUTTERS)



REAR FACADE SHOT . NOTICE BUILDING ON RIGHT IS ON PIERS. WHEN PROPOSED ADDITION PLACED DRAINAGE/GRADE OF CREATED OPEN CRAWLSPACE TO BE VERIFIED AND ADDRESSED. SHOULD REMAIN AS EXISTING CONDITION UNLESS SOME REGRADING REQUIRED



EXISTING SOUTH FACADE WINDOW CONDITIONS SEE PLANS FOR PROPOSED NEW CONDITIONS. BASEMENT WINDOWS TO HAVE NEW EGRESS WINDOWS AND GALVANIZED EGRESS WELLS PER ELEVATIONS . TWO CENTER WINDOWS TO BE CLOSED IN ON THIS SIDE TWO. TWO WINDOWS AT ENDS (BEDROOMS) ENLARGED FOR EGRESS



METER TO BE UPDATED (NO SERVICE UPGRADE 200 AMP ASSUMED- VERIFY) CABLE/DATA SERVICE TBD MOUNTED IN SIMILAR GENERAL LOCATION. FENCE SHOWN IN PHOTO WILL BE REMOVED TO ALLOW NEW PROPOSED DRIVEWAY . NO REPLACEMENT FENCE PLANNED.



SOUTH FACADE WITH VIEW OF TREE TO BE REMOVED. SEE DRAINAGE NOTE BELOW



LATTICE TO BE REPLACED IN KIND WITH WOOD (COLOR TBD) . CMU TO BE REPAINTED (GREY TBD)
PORCH CEILING FAN TO BE REMOVED AND NEW LIGHT TO BE CENTERED IN PORCH. PORCH TO RECEIVE
BEADBOARD CEILING (COLOR TBD)



CLOSE UP SHOT OF FRONT STAIRS...RAILING REMAINS , PAVERS REMAIN. STAIR TREADS PROPOSED WITH NEW TREX REPLACEMENT (MAY REQUIRE RESTRUCTURING STAIR UNDERNEATH)



FRONT DOOR TO BE REPLACED , STORM DOOR TO BE REMOVED AND STAINED GLASS WINDOW TO BE RETAINED. MAILBOX TBD DOOR BELL RING SYSTEM OR SIMILAR. ALL TRIM AND SIDING TO BE REPLACED WITH WOOD..



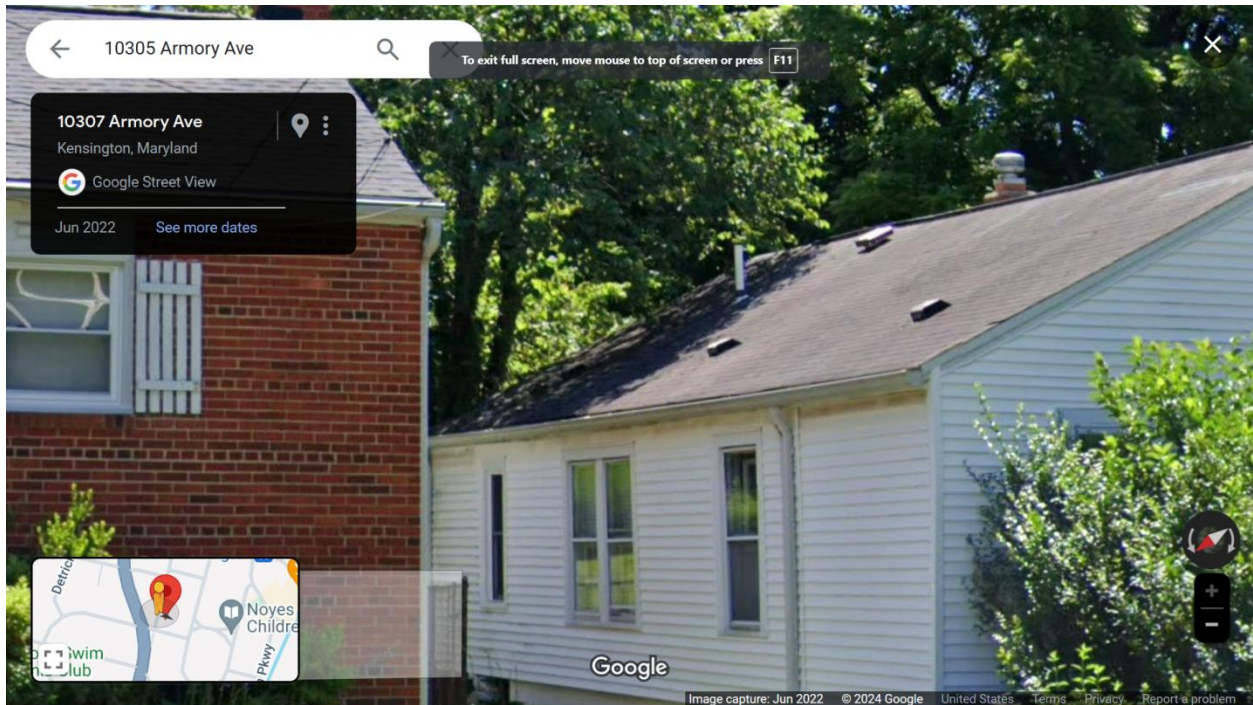
CURRENT LIVING RM WINDOW PHOTO. LATTICE TO BE REPLACED.



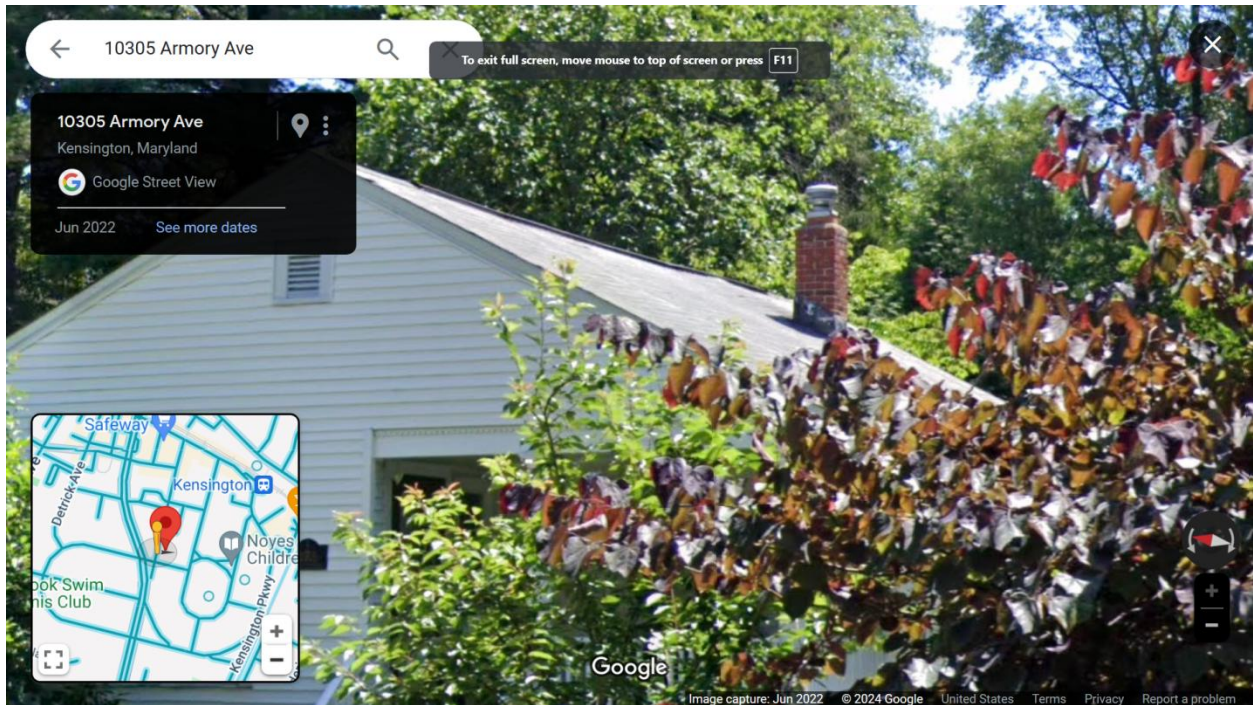
TYPICAL EXISTING WINDOW CONDITION . PROPOSED WINDOWS SHALL BE WOOD AT FRONT FACADE (THIS WINDOW PLUS LIVING RM) ACCESSORY SHOWN SHALL BE REMOVED. CURRENT ALUMINUM/METAL CLADDING SHALL BE REPLACED WITH WOOD WITH DETAILING IN KIND.



NORTH FACADE....CURRENT DOWNSPOUTS DRAIN INTO UNDERGROUND DRAINAGE CONNECTION TO FRENCH DRAIN . EXISTING SYSTEM WILL BE RETAINED WITH REPLACEMENT OF GUTTERS AND DOWNSPOUTS IN KIND. VENTINGS SHOWN IN CRAWLSPACE AREA ALONG BACK OF HOUSE SHALL BE VENTED TO ROOF AREA...NEW WINDOW IS PROPOSED AT FRONT RIGHT CORNER OF PICTURE. WINDOWS SIZES REMAIN SAME ALONG THIS SIDE OF HOUSE.



PROPOSED ROOF SHALL BE ARCHITECTURAL SHINGLES AS OPPOSED TO CURRENT 3 TAB SHINGLE. (STYLE TBD) SIMILAR CHARCOAL COLORING. WITH RAISED ROOF SIMILAR ROOF VENTS SHALL BE USED IN COORDINATION WITH RIDGE VENT (AS EXISTING) .



OWNER PROPOSES TO REMOVE EXISTING CHIMNEY AND USING DIRECT VENT EQUIPMENT THAT WOULD VENT AND INTAKE AT SOUTH FACING SIDE WALL ALONG DRIVEWAY SIDE

SW 7649
Silverplate

239-C5

PROPOSED SIDING FOR HOUSE AND GARAGE (WHITE TRIM TBD, FOUNDATION GREY TBD, LATTICE WHITE OR COLOR TBD) BLACK COMPOSITE AND METAL PICKET DECK RAILINGS AT REAR. BLACK METAL RAILING AT NEW BASEMENT AREAWAY .WHITE GUTTERS , ARCHITECTURAL CHARCOAL SHINGLES (COLOR TBD) PORCH CEILING COLOR TBD..

NEW OUTDOOR LIGHT FIXTURES TBD.

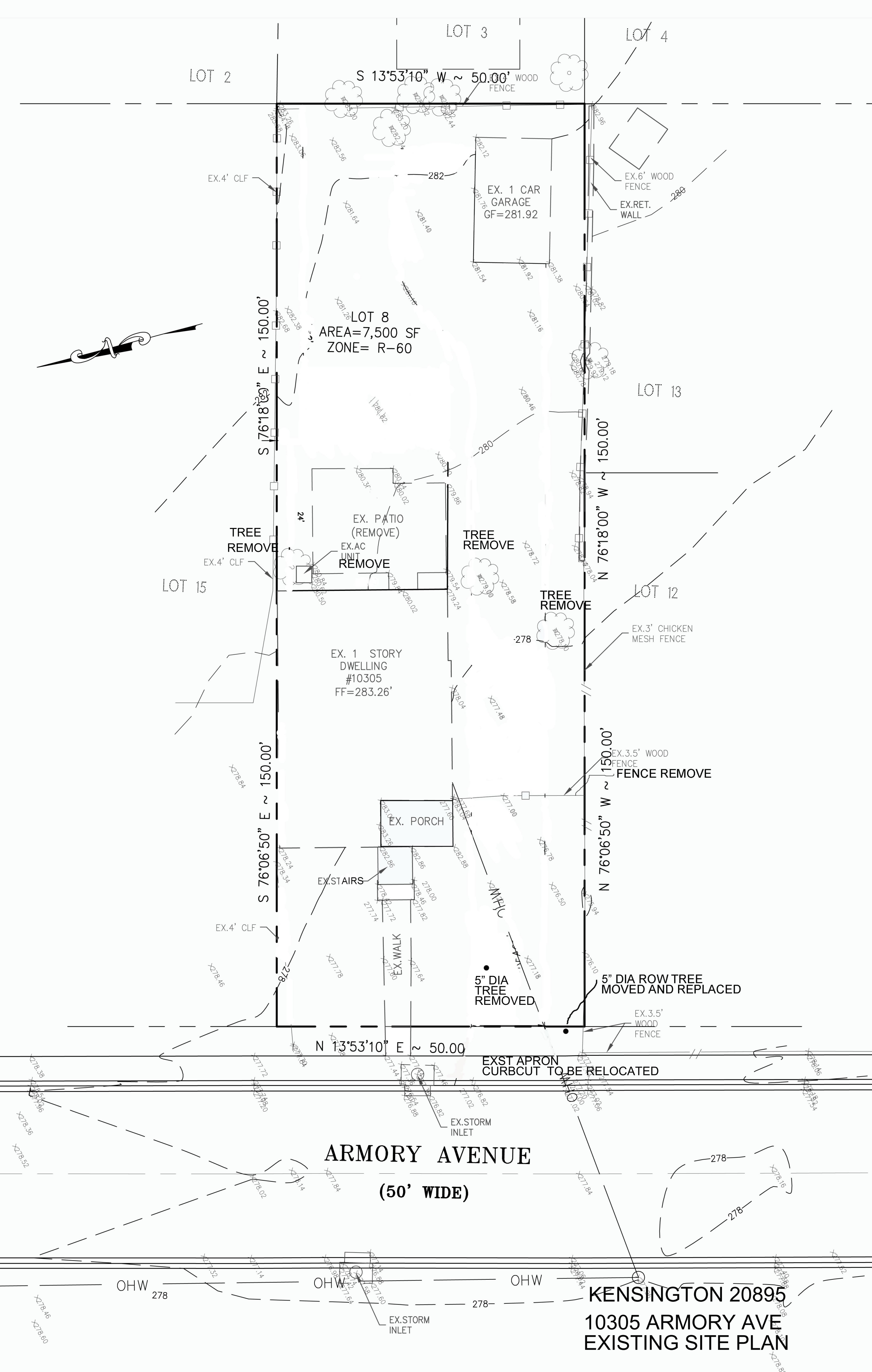
DRAINAGE- DUE TO ADDITION BEING OVER 400 SF WE ARE WORKING WITH ENGINEER, KENSINGTON AND COUNTY TO DETERMINE BEST WAY TO HANDLE NEW ROOF DRAINAGE . CURRENT SURVEY PLAT PROPOSES NEW DRYWELL AT FRONT YARD BUT EFFORTS ARE BEING MADE TO AVOID THIS FOUNDATION DRAINAGE WILL BE HANDLED BY SUMP AND WILL DRAIN/TERMINATE ALONG REAR RIGHT SIDE OF EXISTING HOUSE NEAR DRIVEWAY LINE (APPROXIMATELY 6 FT FROM HOUSE) . DOWNSPOUTS AT RIGHT SIDE OF EXISTING HOUSE DRAIN TO SURFACE GRADE AND WILL REMAIN SIMILAR....WITH ONE NEW SURFACE DOWNSPOUT TO SPLASH BLOCK AT NEW ADDITION . ROOF DRAINAGE OF LEFT SIDE OF HOUSE WILL REUSE (BUT GUTTERS/DOWNSPOUTS REPLACED IN KIND) EXISTING DOWNSPOUT LOCATIONS INTO GROUND AND FRENCH DRAIN...WITH PORTION OF NEW ADDITION ROOF ADDED TO THIS EXISTING ROOF RUN OFF.

10305 ARMORY AVE HAWP PRELIM SUBMISSION

Please find attached response to staff comments provided on April 9, 2024

We do not support raising the roof. Please provide justification why it is necessary if you would like to pursue that. As an alternative, you may consider digging a larger basement space. [THE OWNER/CONTRACTOR FEELS THE ROOF STRUCTURE NEEDS TO BE REPLACED AND NOT REPAIRED, SO WAS HOPING THERE WAS THE OPPORTUNITY TO RAISE THE ROOF BY ONE FOOT TO HAVE A SLIGHTLY HIGHER CEILING.](#)

- Inset the rear addition at least 6 inches on both sides. [EXECUTED ON DRAWINGS](#)
- You should restore the existing wood windows. Window restoration is eligible for both 20 percent state historic tax credit and 25 percent county historic tax credit. [THE OWNER /CONTRACTOR FEELS THE WINDOWS NEED TO BE REPLACED AND IS HOPING TO PROVIDE ALL NEW WITH WOOD ONLY ON THE FRONT.](#)
- Staff encourages you to restore the original siding on the house and garage, assuming it is wood and present beneath the vinyl. It also would be eligible for the tax credits. [THE OWNER/CONTRACTOR FEELS THE EXISTING WOOD SIDING WOULD NEED TO BE REPLACED AND IS PROPOSING NEW WOOD SIDING ON EXISTING AND NEW ADDITION ALONG WITH NEW WOOD TRIM.](#)
- Provide justification for the 1-foot eave extension. We prefer it not be extended but are open to your rationale. [OVER TIME THERE TENDS TO BE DAMAGE TO GABLE WALLS WHEN NO EAVE EXSTS \(CURRENT HOUSE SHOWS THIS\) , SO OWNER/CONTRACTOR WAS TRYING TO AVOID.](#)
- Window sizes should be maintained on the front elevation. Ideally, the windows on the side elevations will remain unchanged as well. [WINDOW SIZES RETAINED EXCEPT AT EGRESS WINDOWS FOR BEDROOMS AT FIRST FLOOR AND BASEMENT.](#)
- Consider additional windows on the upper levels of the side elevations on the addition. [ONE WINDOW ADDED ON NORTH 2ND FLOOR SIDE](#)
- Consider retention of the brick chimney. [OWNER/CONTRACTOR STILL HOPES TO BE ABLE TO REMOVE CHIMNEY](#)
- Keep the stained-glass window in its existing location or find a location elsewhere on the house to reinstall it. [WINDOW NOW SHOWN IN EXISTING LOCATION](#)
- Add dimensions on the elevations. The height of the existing residence and proposed addition would be particularly helpful. [DIMENSIONS ADDED](#)
- A page should be provided for each elevation that shows the existing conditions and then the proposed alterations and addition for easy comparison. [EXST AND PROP ELEVATIONS NOW INCL](#)
- Include existing and proposed roof pitches on the elevations. [NOW INCLUDED](#)
- Include a detailed existing site plan with dimensions showing the current conditions and a proposed site plan. Include any changes to the site, including tree removals, drainage, etc. [EXISTING AND PROPOSED SITE PLAN NOW INCLUDED.](#)
- Increase the line weight on the elevations so they are easier to see. [ELEVATIONS DARKENED](#)
- A 3-D streetscape showing the proposed addition in scale to the adjacent properties would be helpful. [AT THIS POINT NOT PROVIDED BUT LOOKING INTO IF IT BECOMES NECESSARY.](#)



LOT 2

LOT 3

LOT 4

S 13°53'10" W ~ 50.00' WOOD FENCE

EX. 4' CLF

EX. 1 CAR GARAGE
GF=281.92

EX. 6' WOOD FENCE

EX. RET. WALL

LOT 8
AREA=7,500 SF
ZONE= R-60

LOT 13

S 76°18'00" E ~ 150.00'

N 76°18'00" W ~ 150.00'

TREE REMOVE

TREE REMOVE

TREE REMOVE

LOT 15

LOT 12

EX. 4' CLF

EX. PATIO (REMOVE)
EX. AC UNIT REMOVE

EX. 3' CHICKEN MESH FENCE

EX. 1 STORY DWELLING
#10305
FF=283.26'

EX. 3.5' WOOD FENCE
FENCE REMOVE

S 76°06'50" E ~ 150.00'

N 76°06'50" W ~ 150.00'

EX. 4' CLF

EX. PORCH

EX. STAIRS

EX. WALK

5" DIA TREE REMOVED

5" DIA ROW TREE MOVED AND REPLACED

N 13°53'10" E ~ 50.00'

EXST APRON CURBCUT TO BE RELOCATED

EX. STORM INLET

ARMORY AVENUE

(50' WIDE)

OHW

OHW

OHW

KENSINGTON 20895

10305 ARMORY AVE
EXISTING SITE PLAN

EX. STORM INLET

PROPOSED INCREASED IN ROOF AREA= 697.5SF ()

DRYWELL SIZING (Chapter 8 .Section 8-29B, Montgomery county code)	
Roof Square footage(SF)	Drywell Size (FT)
100	3 X 3 X 3.5
200	4 X 4 X 3.5
400	6 X 6 X 3.5
500	6 X 6 X 4
1000	9 X 9 X 4

SAND SPECIFICATIONS:

WASHED ASTM C33 FINE AGGREGATE CONCRETE SAND IS UTILIZED FOR STORMWATER MANAGEMENT APPLICATIONS IN MONTGOMERY COUNTY. IN ADDITION TO THE ASTM C33 SPECIFICATION, SAND MUST MEET ALL OF THE FOLLOWING CONDITIONS:

1. SAND MUST MEET GRADATION REQUIREMENTS FOR ASTM C-33 FINE AGGREGATE CONCRETE SAND. AASHTO M-6 GRADATION IS ALSO ACCEPTABLE.
2. SAND MUST BE SILICA BASED, NO LIMESTONE BASED PRODUCTS MAY BE USED. IF THE MATERIAL IS WHITE OR GRAY IN COLOR, IT IS PROBABLY NOT ACCEPTABLE.
3. SAND MUST BE CLEAN. NATURAL, UNWASHED SAND DEPOSITS MAY NOT BE USED. LIKEWISE, SAND THAT HAS BECOME CONTAMINATED BY IMPROPER STORAGE OR INSTALLATION PRACTICES WILL BE REJECTED.
4. MANUFACTURED SAND OR STONE DUST IS NOT ACCEPTABLE UNDER ANY CIRCUMSTANCE

PROJECT NARRATIVE :

THIS PROJECT WORK INVOLVES ADDITION OF THREE LEVEL STRUCTURE AT REAR OF EXISTING 1.5 STORY PLUS BASEMENT. EXISTING DETACHED GARAGE REMAINS W/NEW DRIVE REAR PATIO. EXTERIOR AC. FENCE BETWEEN FRONT AND SIDE YARD SHALL BE REMOVED ALONG WITH 3 TREES OVER 6" DIA TRUNKS AS SHOWN. THE PROJECT SITE IS KNOWN AS 10305 ARMORY AVENUE, KENSINGTON, MD 20895. THIS PROPERTY ALSO KNOWN AS LOT 8 BLOCK 9, KENSINGTON SUBDIVISION. THE SITE CONTAINS 7500 SF OF LAND. THE PROPOSED DEVELOPMENT WILL INCREASE 697.50 SF (27.9'X25') OF ROOF AREA. THE DISTURBED DUE TO PROPOSED ADDITION WORK IS _____ SF. THE INCREASED IN RUNOFF VOLUME GENERATED BY PROPOSED ADDITIONS WILL BE CONTROLLED ONSITE BY INSTALLATION OF ONE (1) DRYWELL. THE PROPOSED DRYWELL WILL CONTROL ROOF AREA OF _____. THE PROPOSED ADDITIONS WILL HONOR NATURAL DRAINAGE PATTERN. THERE WILL NOT BE NEGATIVE IMPACT ON ADJACENT PROPERTY.

MAXIMUM ALLOWABLE LOT COVERAGE

LOT AREA = 7,500 SF
 MINUS = - 6,000 SF
 = 1,500 SF
 MULTIPLY TIMES * 0.001
 = 1.5 %

ALLOWABLE LOT COVERAGE = 30-1.5= 28.50%
 MAXIMUM ALLOWABLE BUILDING AREA = 2,137.5 SF

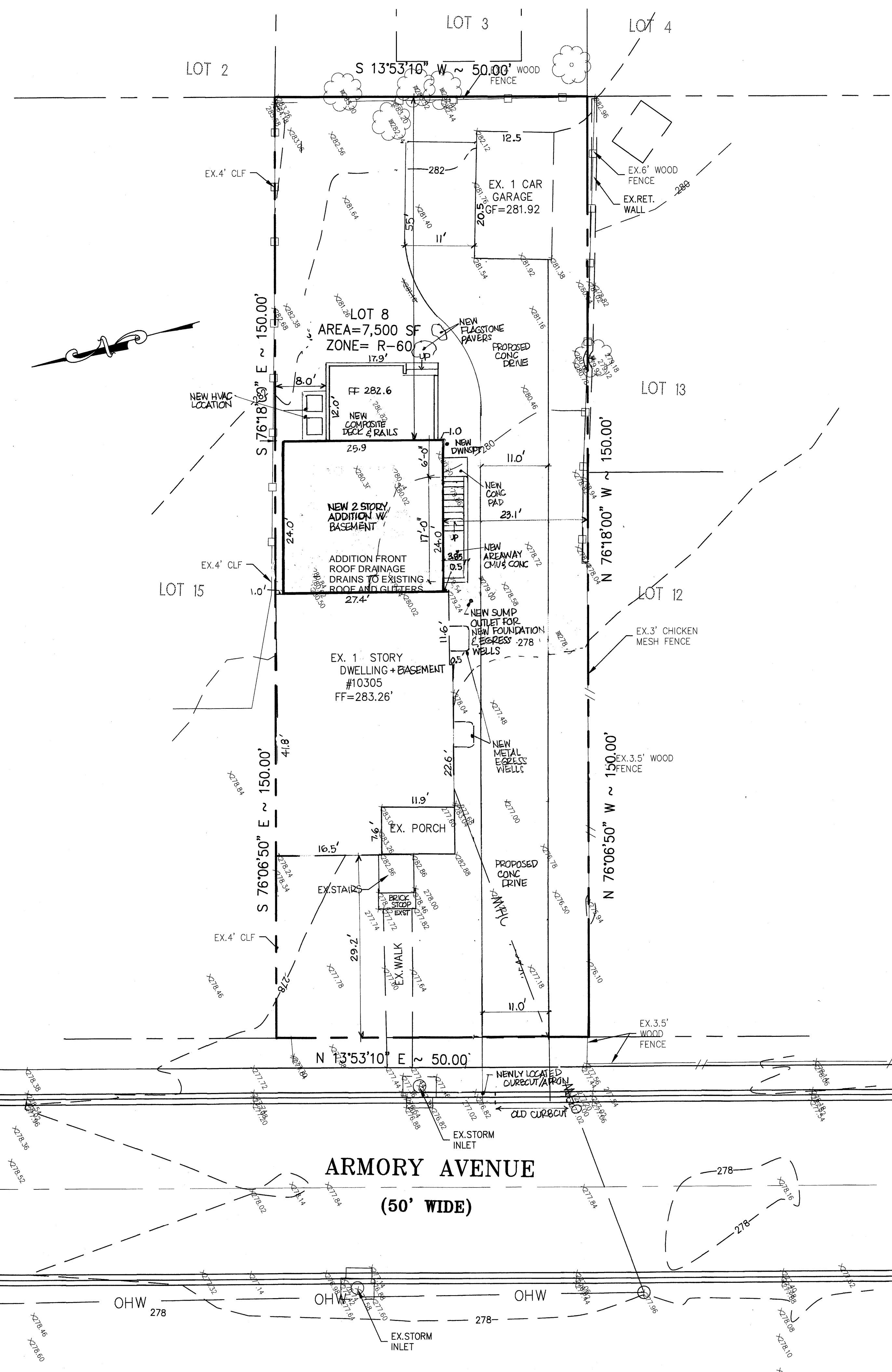
EX. BUILDING = 1,085 SF
 EX. PORCH = 90.5 SF

SUB TOTAL = 1,175.5 SF
 NEW ADDITION = 622 SF

TOTAL = 1,797.5 SF

DETACHED GARAGE = 256.25 SF

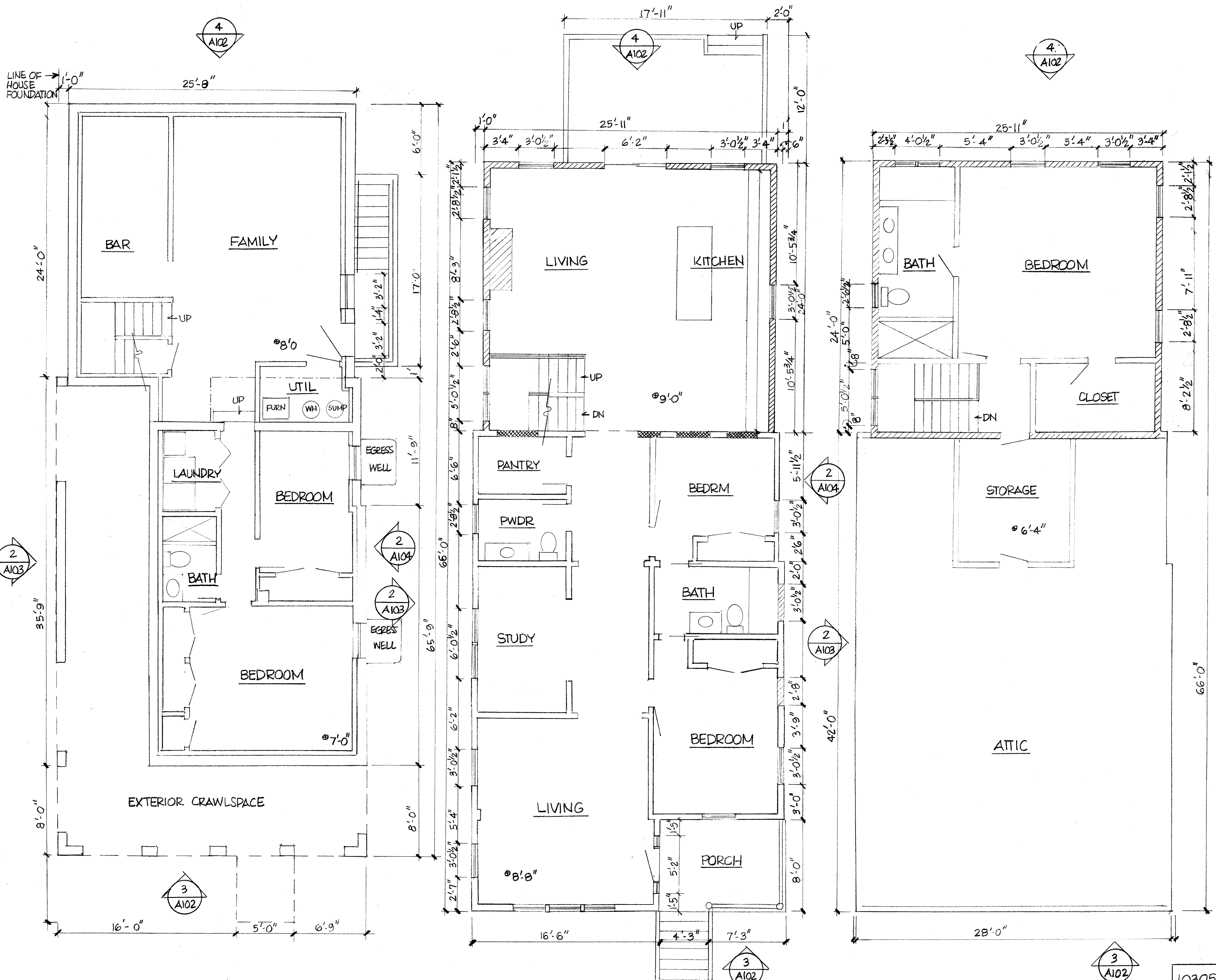
LOT COVERAGE = 2053.25/7,500= 27.38 < 28.50 % OK



10305 ARMORY AVE
 KENSINGTON MD 20895

1"=10'

PROPOSED

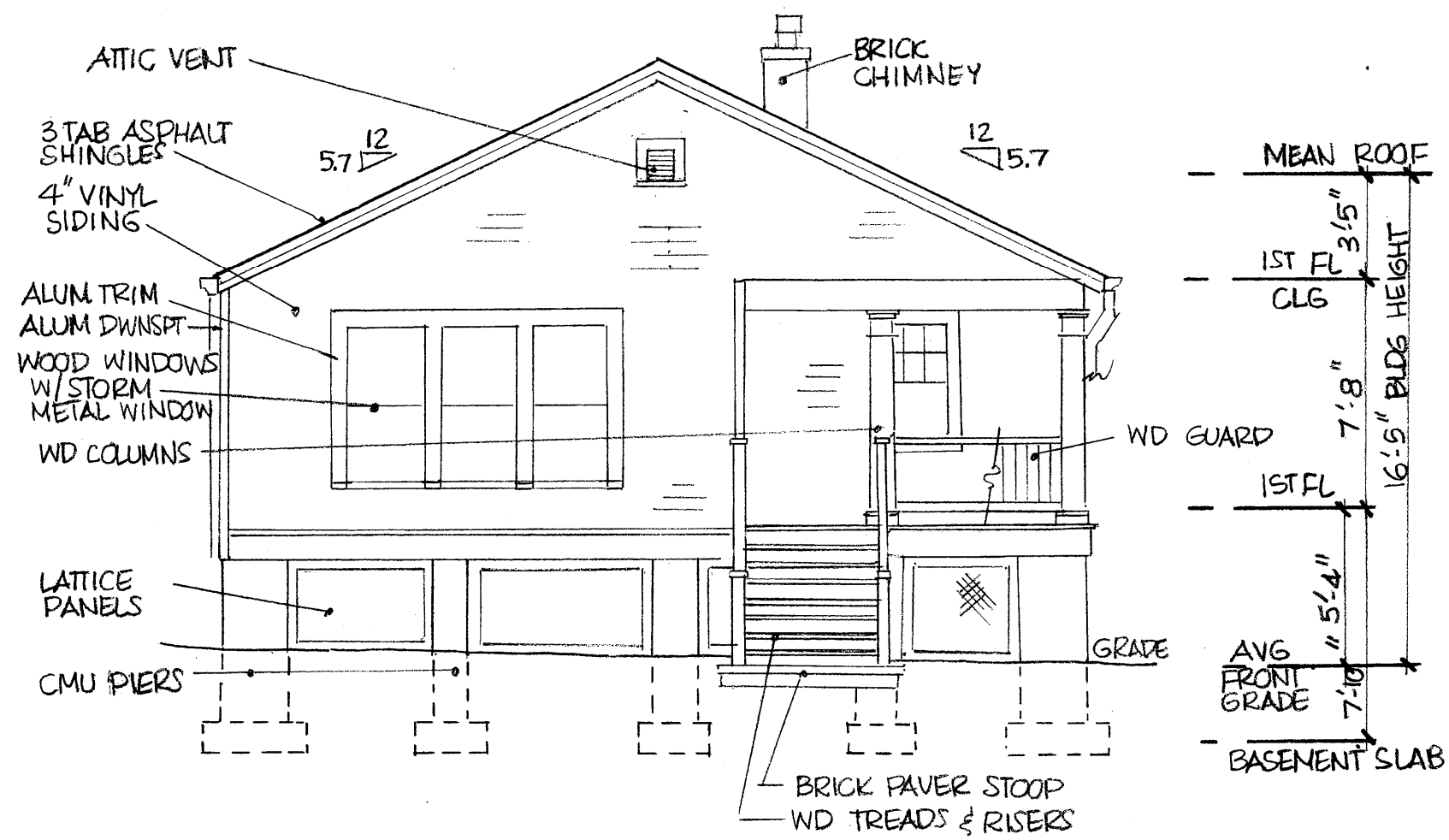


1 BASEMENT FL PLAN
 A101 3/16" = 1'-0"

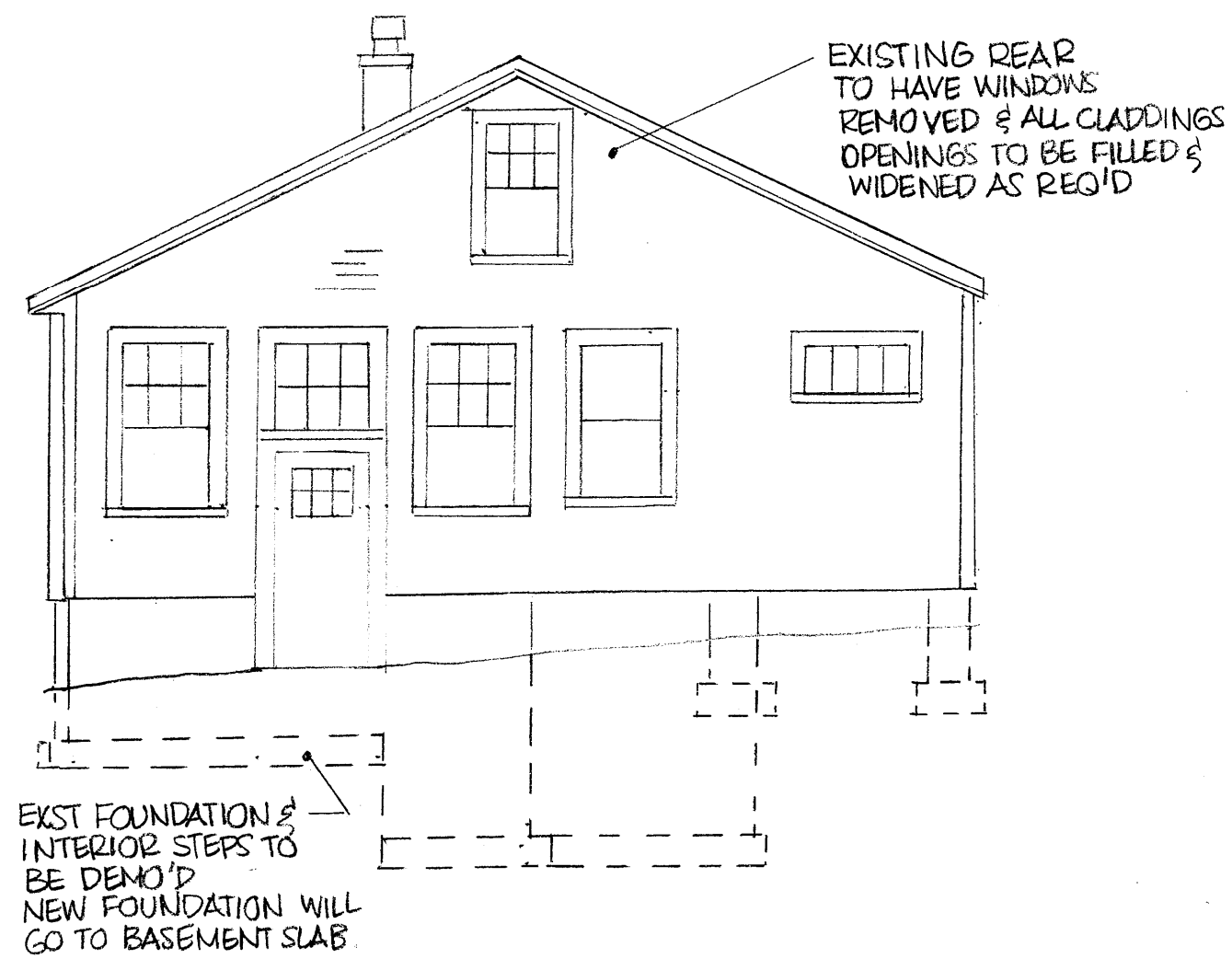
2 1ST FLOOR PLAN
 A101 3/16" = 1'-0"

3 2ND FL PLAN
 A101 3/16" = 1'-0"

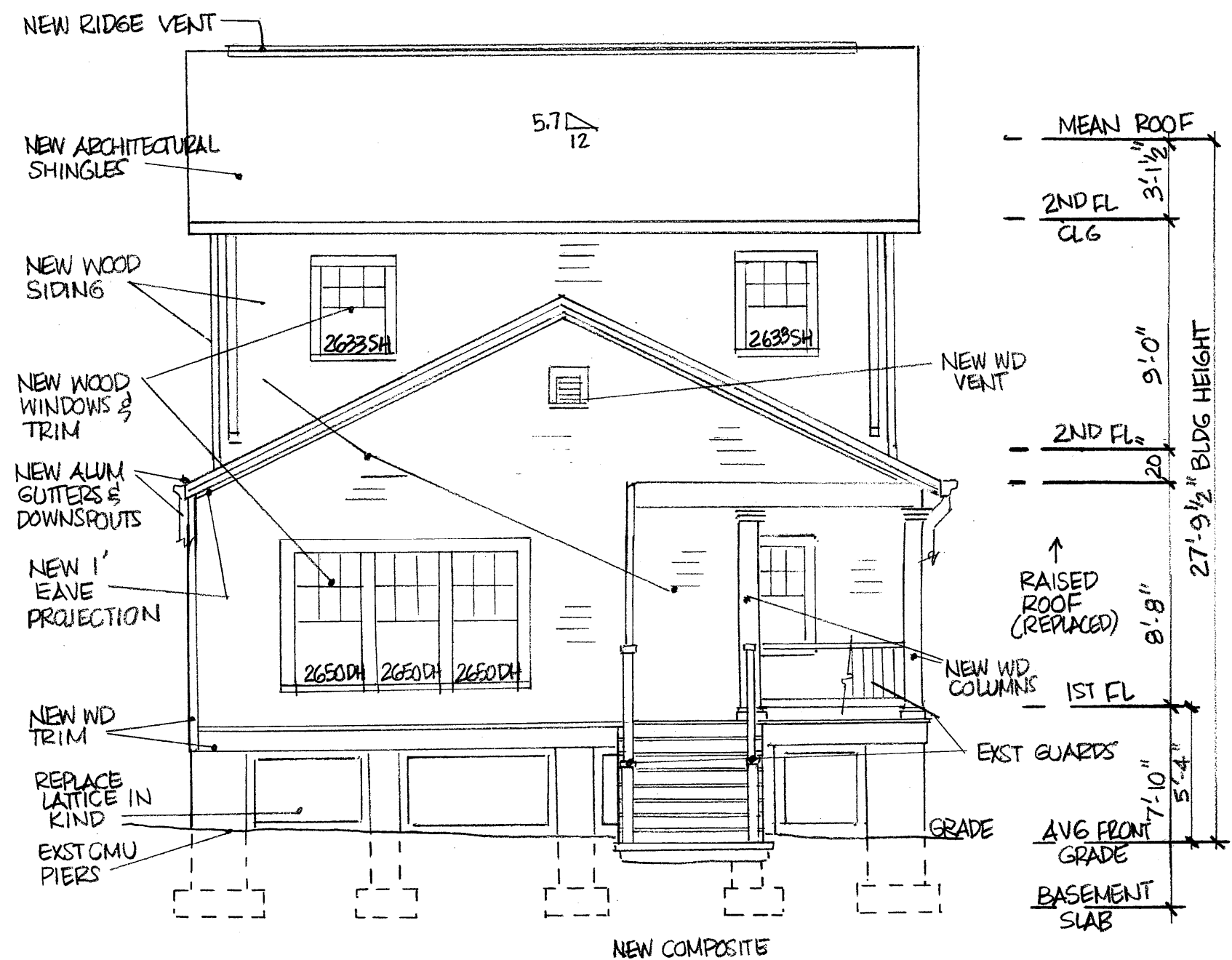
10305 ARMORY AVE
 KENSINGTON MD
 20895
 A101



1 EXST FRONT ELEVATION
A102
3/16" = 1'-0"

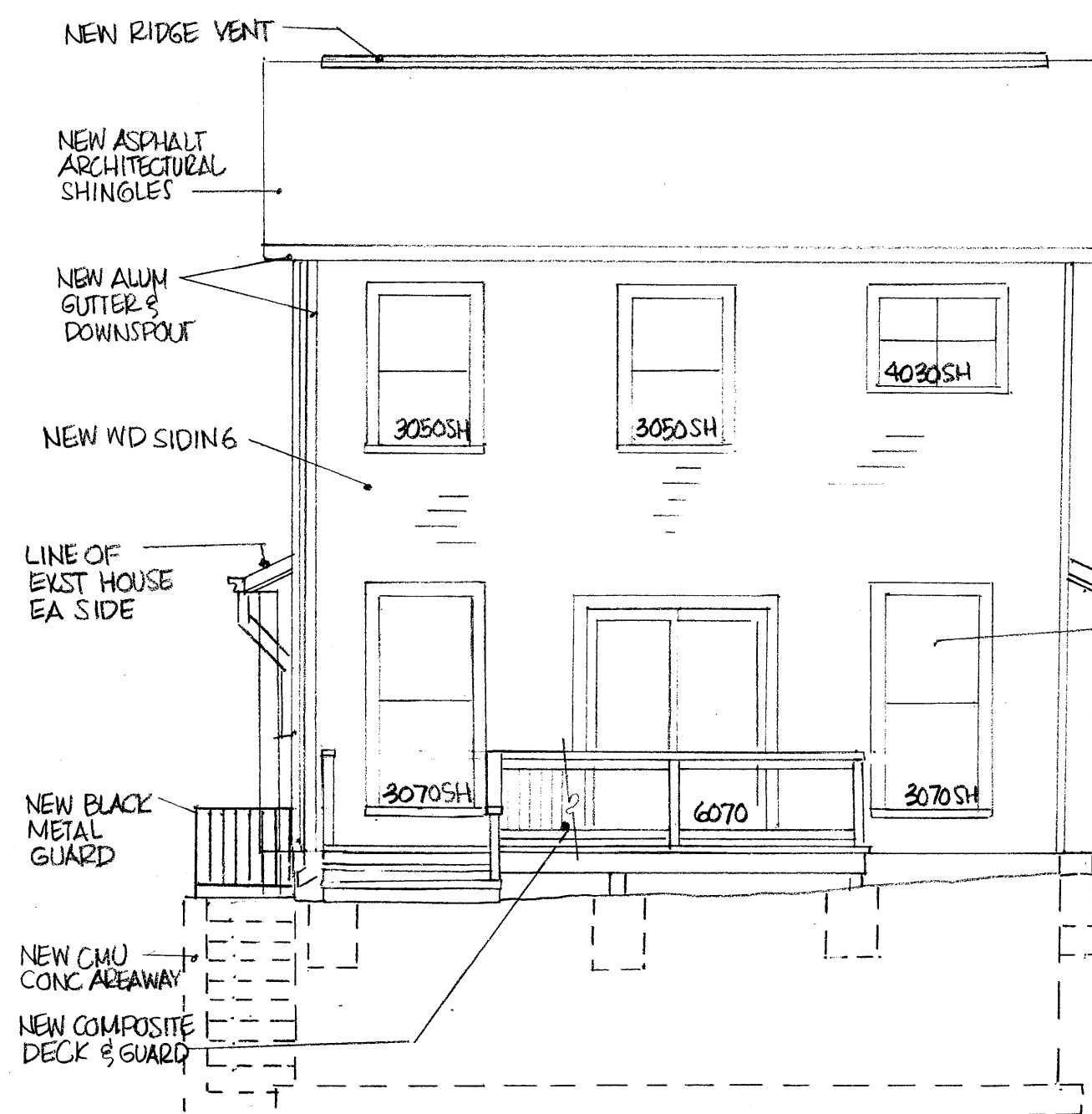


2 EXST REAR ELEVATION
A102
3/16" = 1'-0"



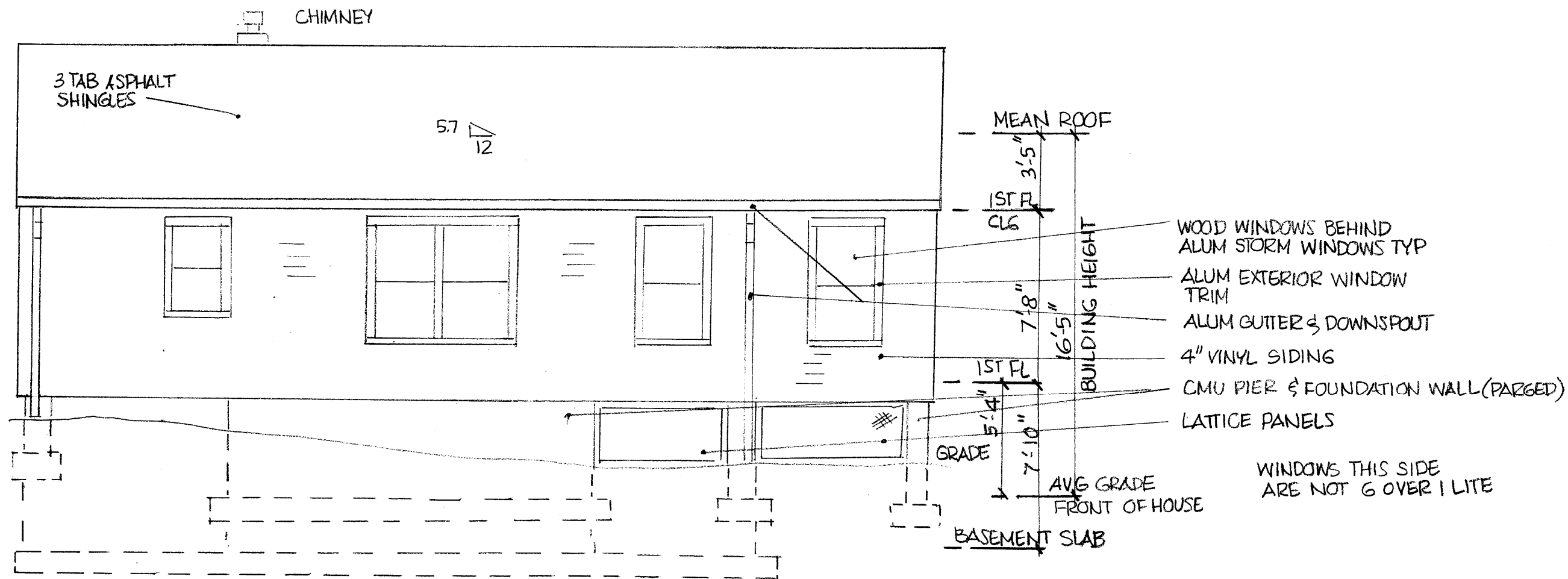
3 PROPOSED FRONT ELEVATION
A102
3/16" = 1'-0"

ALL WOOD TRIMS SHALL REPLICATE EXST PROFILES WHICH ARE BEING REPLACED.

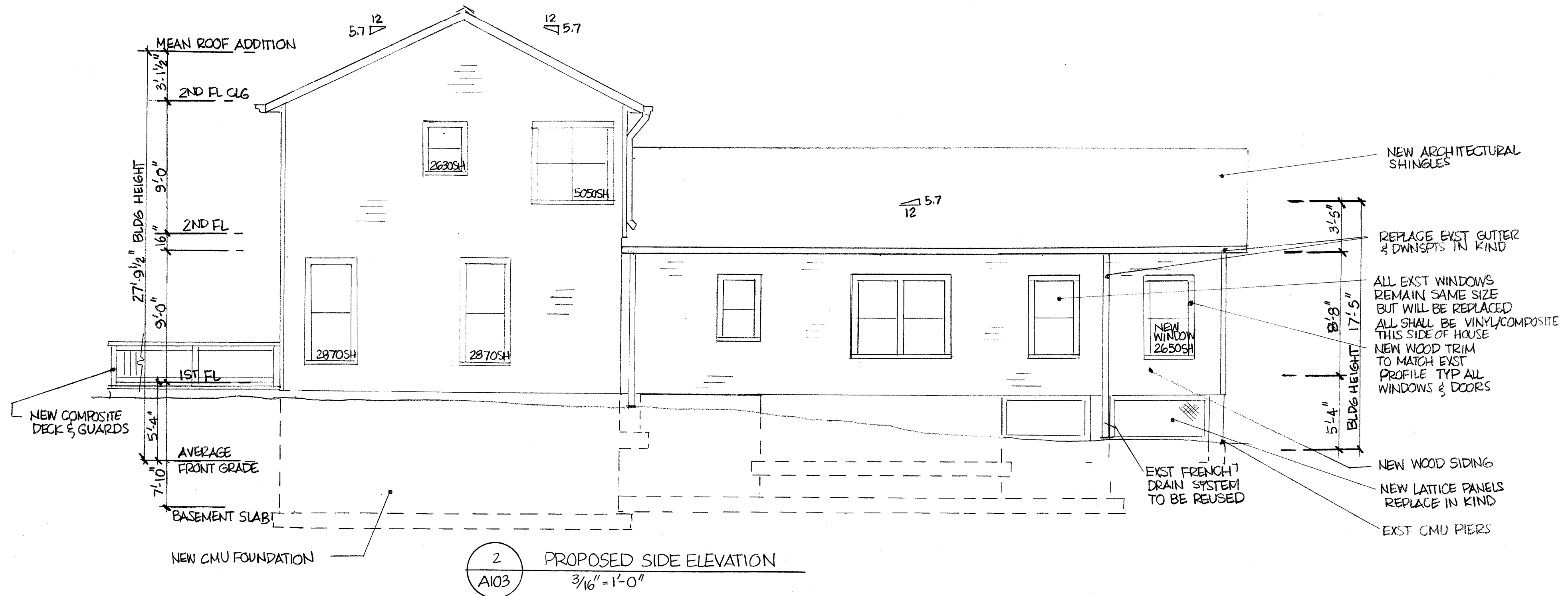


4 PROPOSED REAR ELEVATION
A102
3/16" = 1'-0"

NOTE FRONT FACADE & PORCH WINDOWS ARE TO BE WOOD. SIDES & REAR ARE TO BE VINYL COMPOSITE. ALL EXST STORM WINDOWS TO BE REMOVED.

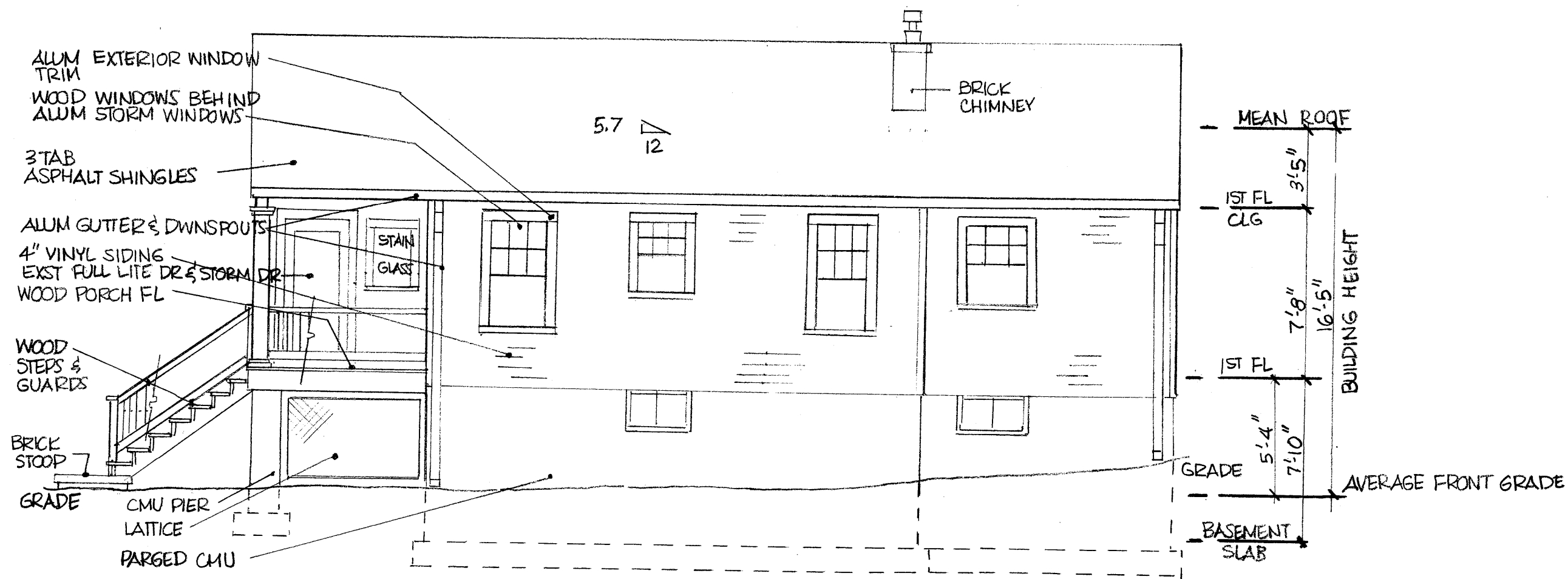


1 EXST SIDE ELEVATION
A103 3/16" = 1'-0"

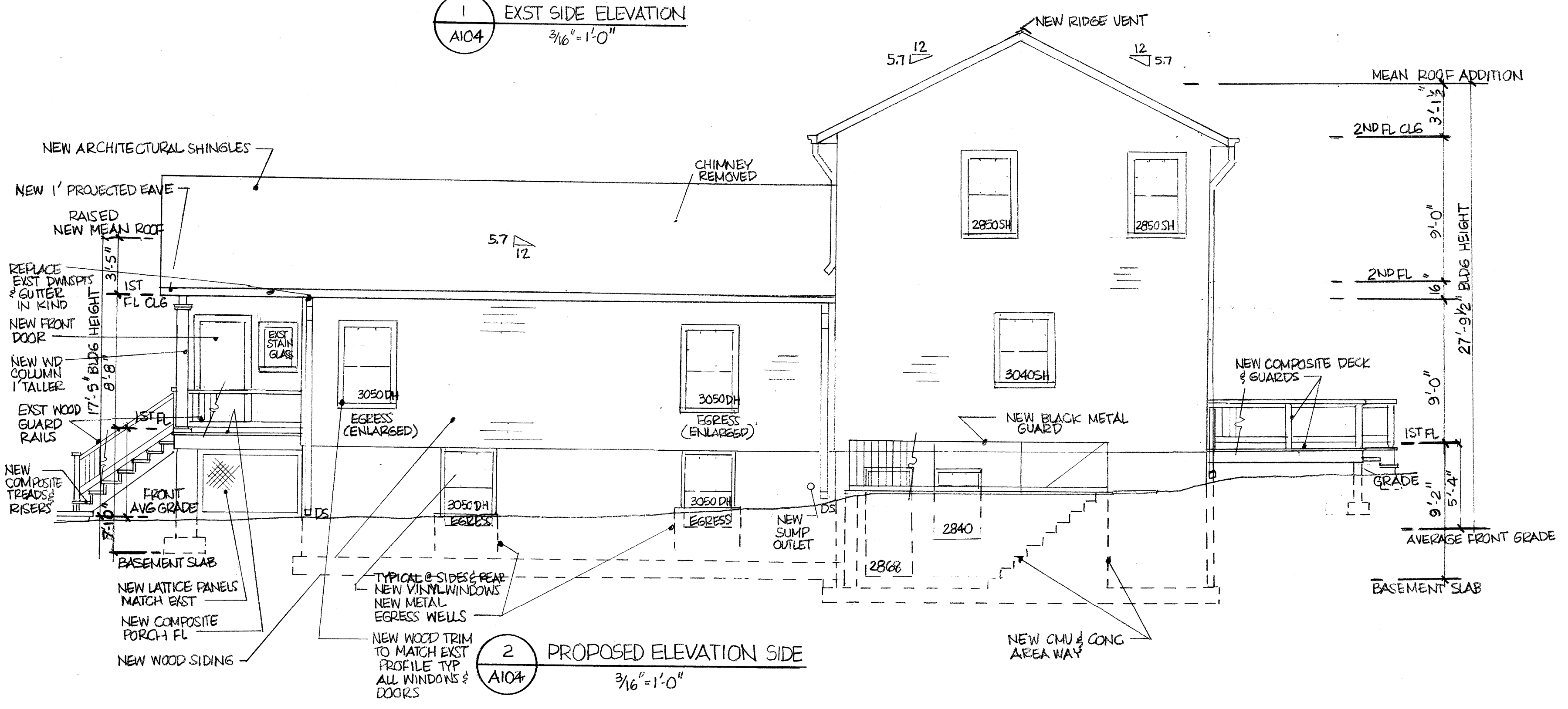


2 PROPOSED SIDE ELEVATION
A103 3/16" = 1'-0"

10305 ARMORY AVE
KENSINGTON MD 20895
A103



1 EXIST SIDE ELEVATION
A104 3/16" = 1'-0"



2 PROPOSED ELEVATION SIDE
A104 3/16" = 1'-0"

10305 ARMORY AVE
KENSINGTON, MD 20895
A104

WORK ITEM 4- DETACHED GARAGE

EXIST GARAGE TO HAVE SIDING AND TRIM REPAIRED IN KIND WHERE NEEDED AND PAINTED TO MATCH PROPOSED HOUSE COLORS. SHINGLES TO BE INVESTIGATED AND DETERMINE WHETHER TO REPLACE TO MATCH PROPOSED HOUSE SHINGLES.

WORK ITEM 5 DRIVEWAY ...

EXISTING LAWN FENCE AND 3 TREES (2 NEAR ADJACENT)... NEW 11' WIDE CONC DRIVE AND NEW RELOCATED CURB CUT (COORDINATE WITH KENSINGTON) TO ALIGN WITH EXST DETACHED GARAGE FRONT

WORK ITEM 6 TREE REMOVAL

REMOVAL OF 3 TREES OVER 6" DIA (ONE AT NEW ADDITION LOCATION) , 1 HOUSE AND NEW DRIVEWAY NEAR ADJACENT AND ONE NEAR DRIVEWAY ADJACENT. SEE SITE PLAN FOR MORE INFO (NOT ALL INFORMATION YET INCLUDED FOR PRELIMINARY SUBMITTAL) REMOVE ONE TREE FRONT YARD UNDER 6" DIAMETER IN LOCATION OF PROPOSED DRIVE. COORDINATE REMOVAL AND REPLACEMENT OF ROW TREE WITH KENSINGTON. TREE REPLACEMENTS AND LOCATIONS TBD.

WORK ITEM 7 PAINT PAINT NEW ADDITION EXSTING HOUSE AND GARAGE PROPOSED SIDING COLOR , NEW WHITE TRIM TBD, LATTICE SCREENING TBD, FRONT DOOR TBD, DECK AND PORCH FL TBD (COMPOSITE PROPOSED) , NEW PORCH CLG TBD , NEW FOUNDATION COLOR TBD (GRAY)

WORK ITEM 8 FENCE REMOVAL

EXISTING FENCE 4' WOOD DIVIDING FRONT AND BACK YARD , REMOVE FOR NEW DRIVEWAY ACCESS TO DETACHED GARAGE

WORK ITEM 9 DRAINAGE

REPLACE IN KIND EXISTING FRENCH DRAIN AT LEFT SIDE OF HOUSE. WORKING WITH COUNTY ENGINEER AND KENSINGTON ON WHETHER OR NOT DRYWELL WILL BE REQUIRED FOR PROPERTY TIE IN NEW ADDITION ROOF DRAINAGE TO

EXISTING ROOF DRAINAGE WHERE POSSIBLE , ADDING ONE NEW DOWNSPOUT TO GRADE AT RIGHT REAR CORNER.

WORK ITEM 10 LANDSCAPE HARDSCAPE...MINIMAL CHANGES

COUPLE STONE PAVERS FROM NEW REAR DECK STEPS TO DRIVE , NEW CONCRETE PAD AT TOP OF BASEMENT AREAWAY. GENERAL MAINTENANCE OF EXISTING BEDS AND PERIMETER SCREENING/PLANTINGS. REPAIR LAWN AS NEEDED WITH NEW GRASS.

WORK ITEM 11

EXISTING AND NEW STRUCTURE TO BE SPRINKLERED TO ALLOW WINDOW OPENING NEAR PROPERTY LINE . EXSTING WATER SERVICE MAY NEED UPGRADE.