

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6700 Needwood Road, Derwood	Meeting Date:	6/12/2024
Resource:	Master Plan Site #22/35 Needwood Mansion	Report Date:	6/5/2024 <u>6/7/2024</u>
Applicant:	Montgomery Parks (Eileen Emmett, Agent)	Public Notice:	5/29/2024
Review:	Preliminary Consultation	Tax Credit:	N/A
Permit Number:	1071486	Staff:	Chris Berger
Proposal:	Building alterations for ADA accessibility improvements, tree removals, and other alterations.		

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon Historic Preservation Commission (HPC) comments and return with an Historic Area Work Permit (HAWP).



Figure 1: The Needwood Mansion is indicated with a gold star at the Needwood Master Plan Historic Site, shaded in red.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Master Plan Historic Site (*Needwood 22/35*)

STYLE: Federal

DATE: ca. 1856

From *Places from the Past*:

This three-story, late-Federal brick residence, the main block of the present building, is a locally early example of a formal, consciously styled dwelling. William George Robertson built the house in 1856. An insurance policy, which he took the following year, described the residence as “a new two-story brick dwelling with slate, and adjoining former wooden buildings—five rooms and 2 passages—2 chimneys—built and finished in a substantial manner.” The three-bay, double-pile house has a side entrance. Parapets on each gable end link paired chimneys. Brick is laid in common bond, lintels are wooden with a raised molding, and sills are stone. Three-part windows are found on each level above the front entrance. The original doorway had sidelights that were replaced in 1948 by the present doorframe.



Front (North) Elevation



Rear (South) Elevation – Primary Entrance at Center Porch Steps



East Elevation



East Elevation (from Parking Lot)

Figure 2: The applicant provided these photos of the front (north), rear (south), and left-side (east) elevations of the Needwood Mansion.



Basement Entry



Basement Entry



West Porch Stair



View East towards Dairy and Parking

Figure 3: The applicant provided these photos of the porch and entrances at the rear of the mansion where the ramp will be constructed.



Entry Drive



East Side Lawn



East Elevation



Proposed ADA Parking Area

Figure 4: The applicant provided these photos of the area to the west east of the mansion where the path will be constructed.



Figure 5: The applicant provided these photos of the mansion's screened porch.

BACKGROUND

The following HAWPs have been approved at the Needwood Mansion:

- HAWP #22/35-95A in 1995 to demolish a frame shed and two 20th century concrete block sheds.¹
- HAWP #1028557 in 2023 for the installation of a metal handrail at the rear porch.²

PROPOSAL

There are two components to the project: alterations to the Needwood Mansion and ADA accessibility improvements.

Mansion Alterations

The applicant's agent described the changes as follows:

The work will provide grading and landscape alterations, including the removal of shrubs and trees, to reduce water infiltration into the basement (**Figure 6**). New perimeter

¹ The file for HAWP #22-35-95A are available here:
https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640010/Box081/22-35-95A_Needwood%20Mansion_6700%20Needwood%20Road_01-25-1995.pdf

² The approved plans for HAWP #1028557 are available here:
https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/HAWP/5-10-2023/6700%20needwood%20road,%20derwood%20-%201028557%20-%20approval.pdf

drainage will collect and transfer roof and ground water away from the foundation of the building (Work Items 9 and 10 on **Figure 9**). The work will update and repair the building envelope, primarily to improve climate control for occupants and archaeological and artifact archives (**Figures 7-11**). It will also repair and reconfigure specific second floor rooms to provide space for additional staff. Central air-conditioning will be added throughout, and individual window AC units will be removed. A new dehumidification system will be installed in the basement for the archival storage. The work will include window repairs (Work Item 4 on **Figures 8-11**), storm window repairs (Work Item 16 on **Figures 8-11**), window replacement (Work Item 6 on **Figure 8** and Work Item 11 on **Figure 10**), alterations at entrance doors to provide ADA access, miscellaneous existing wood frame and screen repairs at rear porch and a ramp inside the porch to transition from the porch floor to the main first floor (Work Item B on **Figure 10**) (Work Item 10 on **Figure 14**).

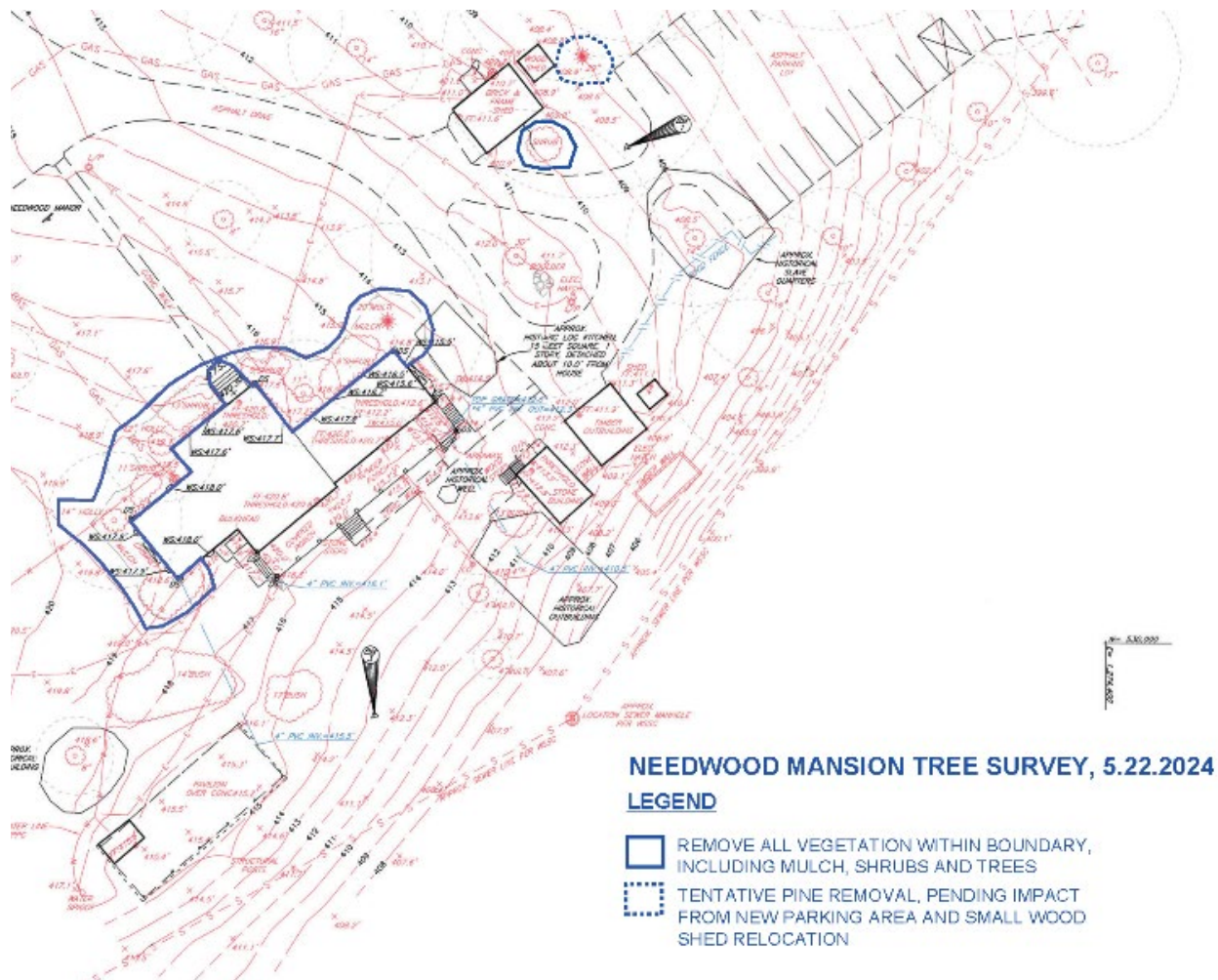


Figure 6: The tree survey plan for the subject property with proposed removals circled in blue.

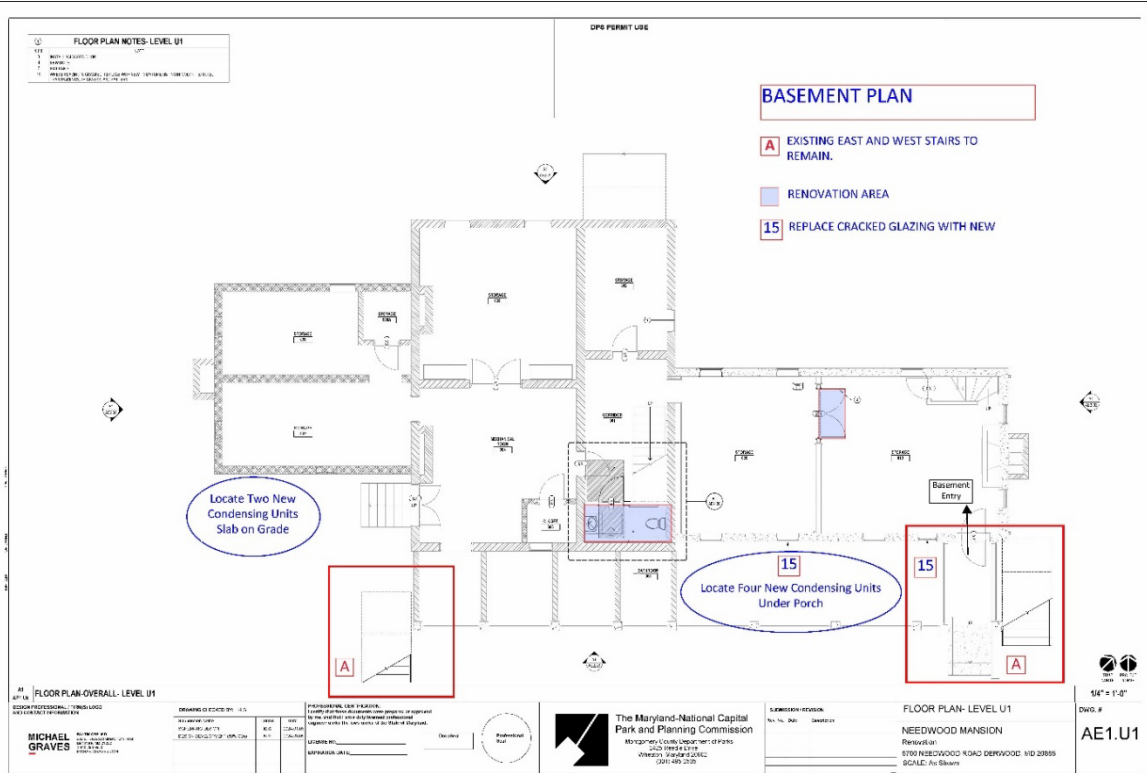


Figure 7: The proposed basement floor plan will include two pads for condensing units.

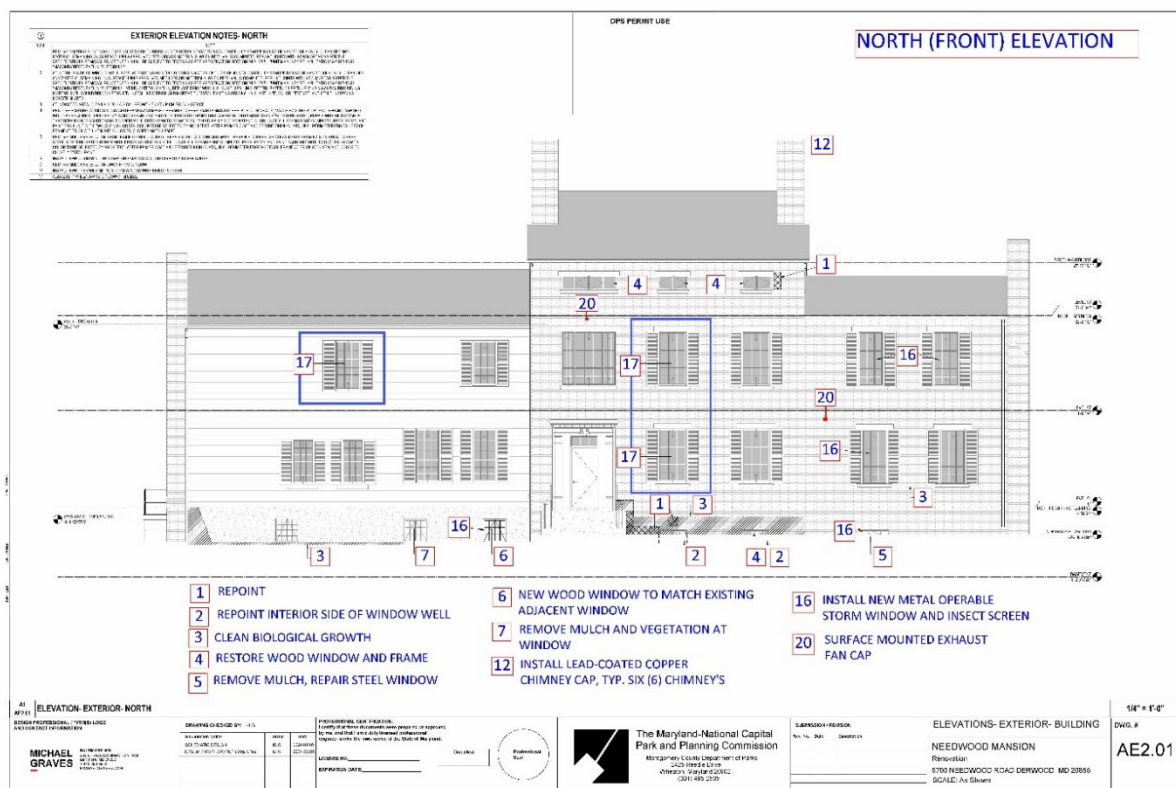


Figure 8: The proposed alterations to the front elevation.

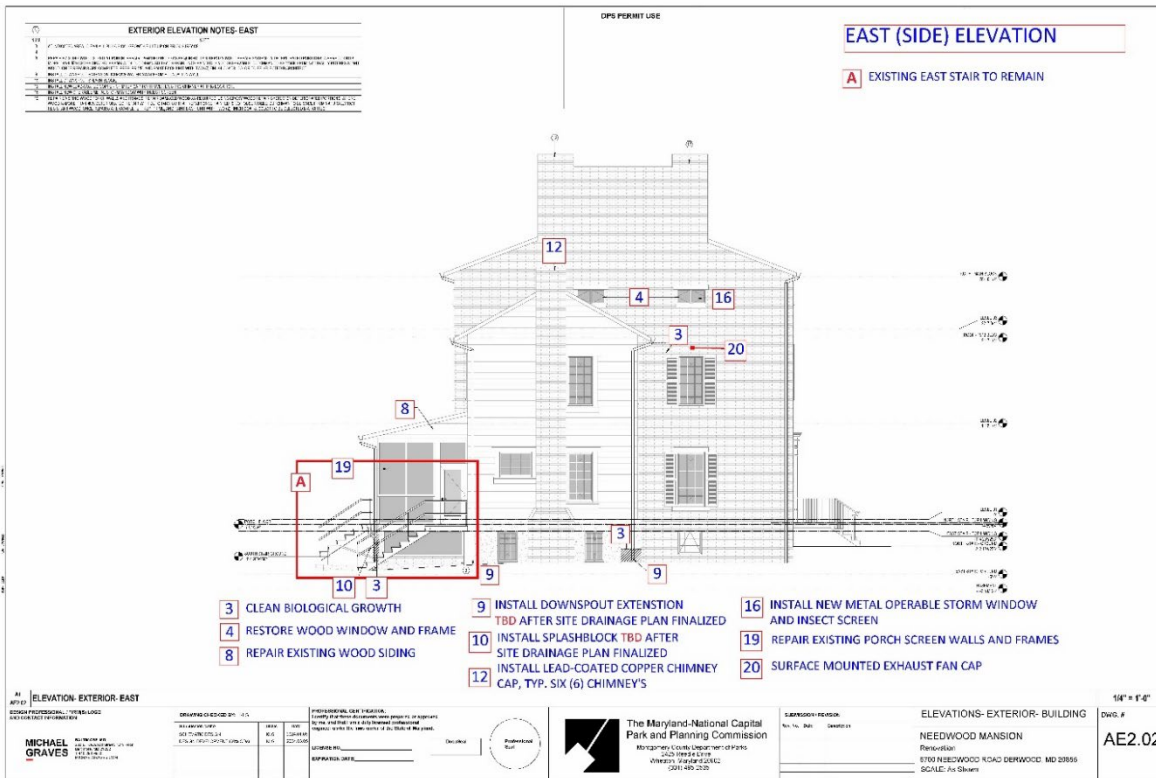


Figure 9: The proposed alterations to the left-side elevation.

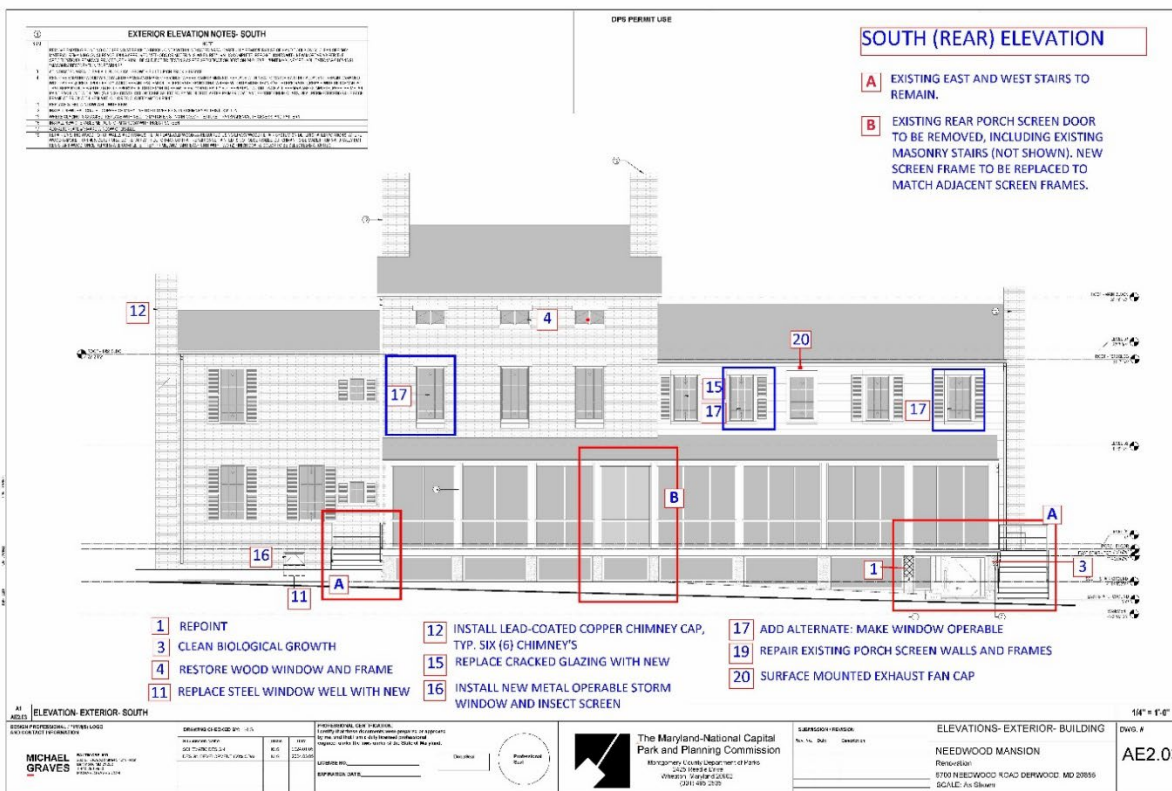


Figure 10: The proposed alterations to the rear elevation.

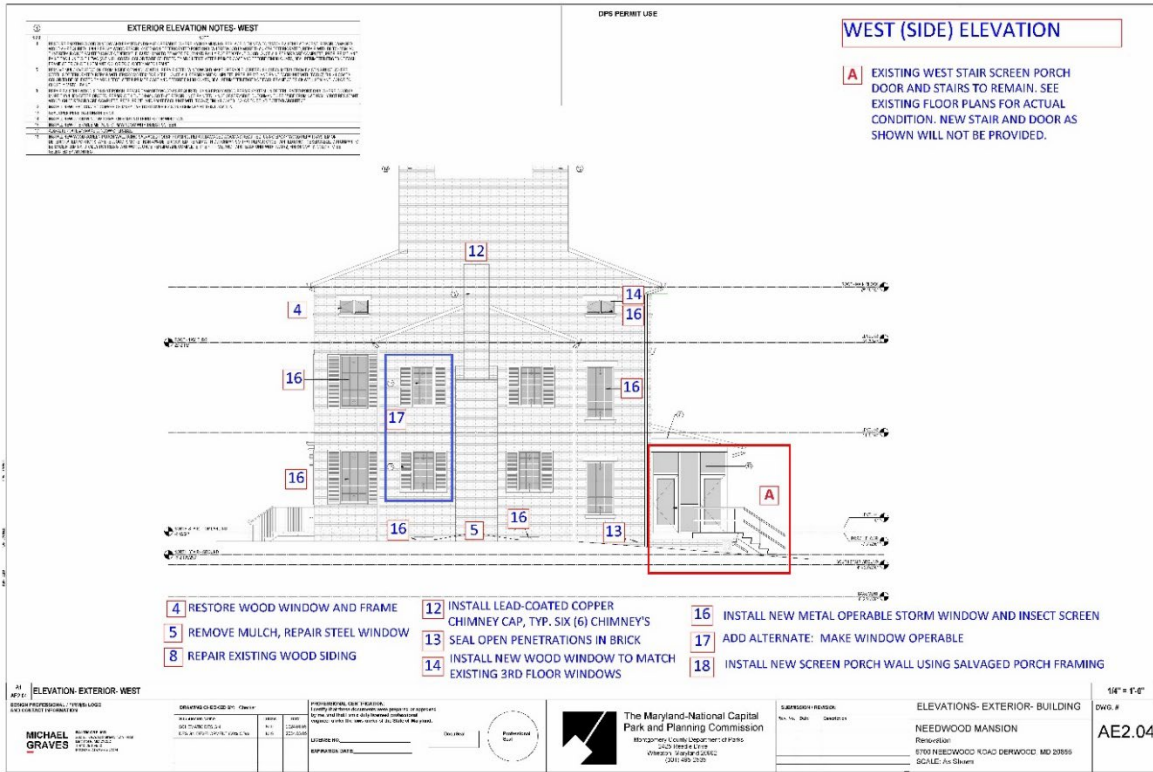


Figure 11: The proposed alterations to the right-side elevation.

ADA Accessibility Improvements

The applicant described the work as follows:

This work includes landscape alterations that provide an ADA-accessible route to the house: one accessible parking space, an access aisle, a portable toilet pad, and a path from parking to the main rear entrance of the house inside the porch (Figures 13 and 14). There are two parts to the overall accessible route:

- Driveway Crossing Path (going east): This crosses both drive aisles surrounding the tree island and connects to the proposed parking area between the Dutch-gabled shed (non-contributing) and the existing asphalt parking lot. This path rises in elevation approximately 3-ft.
- Path from Driveway to House: (going west): Several options were studied. Each one must traverse an 8-ft elevation rise from the west edge of the driveway (El. 412.50) to the house’s porch (El. 420.0), then to the finished floor of the house (El. 420.8).

We are proposing a design for a ramp at the back of the house. The design provides:

- An initial 5-ft wide concrete path on grade (see Plan Note 4 on Figure 13 and Plan Note 6 on Figure 14). It will slope up less than 5% where it meets a new landing at the basement intersection. Either side this path, grading will be slightly adjusted to make a smooth transition to the path.
- When the path reaches the basement areaway, a new landing will be provided at a lower elevation (see Plan Note 7 on Figure 14). It also requires the areaway steps to be reduced from four (2-ft rise) to two (1-ft rise). These two steps will be moved outboard of the porch

edge above to provide more headroom at the areaway.

- Once past the basement landing, a series of 6-ft wide concrete ramps on grade will continue to the west end of the porch where the path will turn east to a new landing and door into the porch (see Plan Notes 8 and 9 on **Figure 14**). These ramps rise at 7.8% slopes and have three-rail handrails either side (36-in high). In addition, the long ramp abutting the porch requires a guardrail on the south side (42-in. high). The landings on the south sections of ramp meet grade where a person can step off the landing to the grass. Code requires a minimum of 4-ft clear between railings. Currently 5-ft is provided, however we will be studying ways to reduce the ramps' widths, which may produce a gap between the north and south ramp runs. The north ramp run will be supported on brick piers in alignment with the spacing between porch piers (generally 10-ft apart).

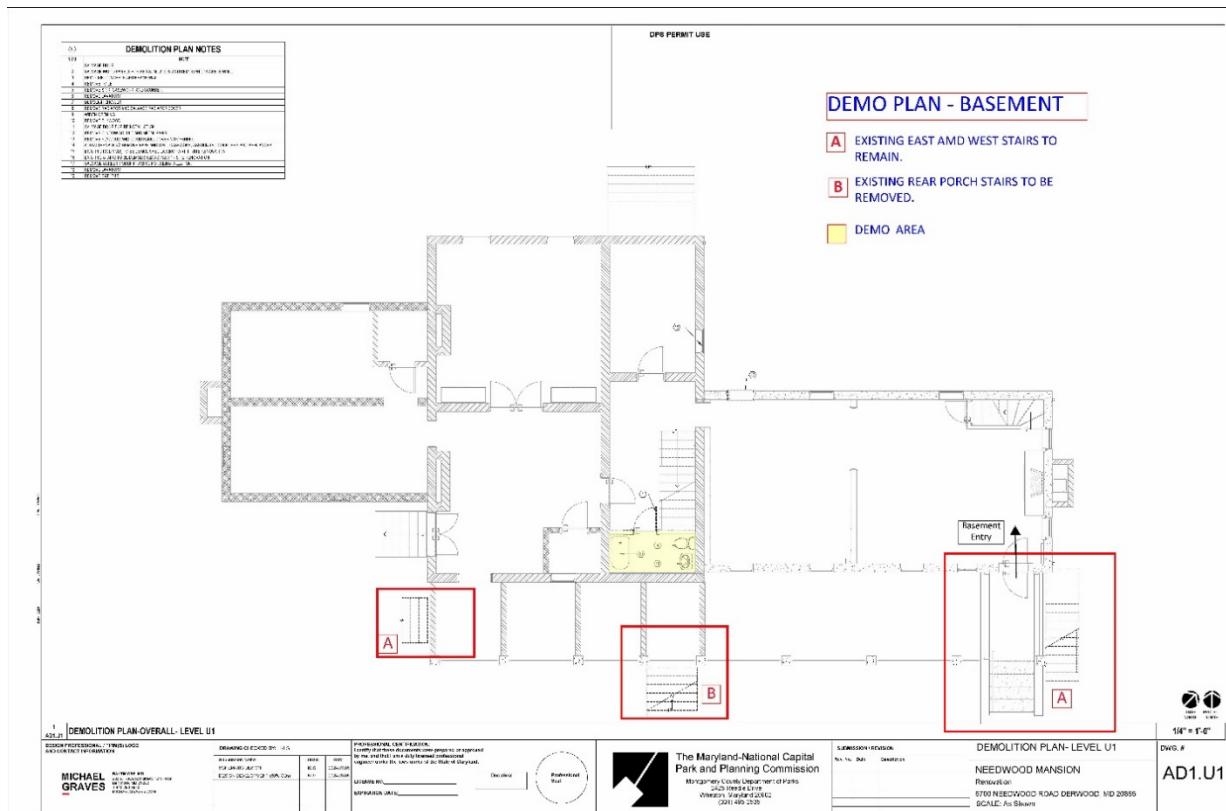


Figure 12: The central stairs on the rear elevation (B) will be removed to accommodate the proposed ramp.

APPLICABLE GUIDELINES

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) (“Regulations”), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site, the Commission uses the *Montgomery County Code* (“Chapter 24A”), the *Secretary of the Interior’s Standards and Guidelines for Rehabilitation (Standards)*, and pertinent guidance in applicable master plans. [Note: where guidance in an applicable master plan is inconsistent with the Standards, the master plan guidance shall take precedence (section 1.5(b) of the Regulations).] The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Montgomery County Code Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied.

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Mansion Improvements

Staff supports the removal of all the trees, vegetation, and mulch at the front and side sides of the house to accommodate the installation of a trench drain and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. According to the tree survey (**Figure 6**), the largest of the trees is a holly with a diameter at breast height of 14 inches, so none of the vegetation is a longtime established visual feature. The removals are necessary to keep moisture away from the masonry building and to accommodate the trench to be dug to improve drainage around the foundation.

Staff supports the installation of new wood window at the basement on the front elevation (Work Item 6 on **Figure 8**) and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. The replacement window is to match the others wood windows at the basement found on the elevation, so it will be compatible to the historic site.

Staff supports the installation of downspout extensions and splash blocks on the left-side elevation (Work Items 9 and 10 on **Figure 9**) and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. The elements are necessary to move water away from the foundation to help protect the historic site from water damage. Staff seeks specifications for both features.

Staff supports installation of a new steel window well on the rear elevation (Work Item 11 on **Figure 10**) and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. According to the applicant, the existing well is in good condition but must be removed so the drainage improvements can be undertaken. If the existing well can be salvaged, staff recommends that it be reinstalled instead. If it cannot be salvaged, staff seeks specifications for the replacement.

Staff supports the installation of lead-coated copper caps on each of the six chimneys (Work Item 12 on **Figures 8-11**) and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. According to the applicant, the chimneys are not capped, so the caps are necessary to prevent moisture and wildlife from gaining entry into the chimney stacks. Staff seeks a detail or specification for the proposed caps.

Staff supports installation of the wood window on the third floor on the right-side elevation where the window is missing (Work Item 14 on **Figure 11**) and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. The replacement window will match the design of the existing third floor wood windows, so it will be compatible with the historic site.

Staff supports installation of the metal storm windows with insect screens at various windows on all four sides (Work Item 16 on **Figures 8-11**) and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. The windows will both help protect the existing windows and improve functionality so staff can open the windows.

Staff supports alterations to the screen porch wall on the ~~west~~ right-side elevation to accommodate the ADA improvements (Work Item 18 on **Figure 11**) and finds the work meets both Chapter 24A-8(b) and the applicable *Standards*. The porch is a later alteration to the building, added in the 20th century, and is located on the rear of the building. The modification is necessary to accommodate the ADA accessibility improvements. According to the applicant, as much of the existing material as possible will be salvaged to be reused in the reconstruction of the wall.

Staff seeks more information on the installation of exhaust fan louvers proposed on **Figures 8-10** (Work Item 20). Staff prefers the vents not be punched through the historic masonry, as is proposed on the front

and left-side elevations, and seeks an alternative solution that will not damage the character-defining brick in conformance with *Standard #9*. Specifications and measurements of the louvers and openings will be necessary for the HAWP.

As part of the HAWP, staff seeks specifications and a drawing on the proposed ADA hardware proposed for the rear main entry door. The screen door at that entrance also will be removed to improve ADA accessibility; staff supports the removal because the door is not a substantial alteration. The two proposed condenser unit locations should be added to the site plan for the HAWP review. The pad dimensions and material should be included on the plan. Staff supports the alteration of the rear stairs on the left-side elevation.

The following work to the mansion is considered maintenance or repair work and not subject to a HAWP:

- Repoint mortar (Work Items 1 and 2 on *Figures 8 and 10*).
- Clean biological growth (Work Item 3 on *Figures 8-10*).
- Restore wood windows (Work Item 4 on *Figures 8-11*).
- Repair steel windows (Work Item 5 on *Figures 8 and 11*).
- Remove mulch at window (Work Item 7 on *Figure 8*).
- Repair wood siding (Work Item 8 on *Figures 9 and 11*).
- Partially seal pipe hole in brick (Work Item 13 on *Figure 11*).
- Replace cracked window glazing (Work Item 15 on *Figure 10*).
- Return jammed wood windows to operation (Work Item 17 on *Figures 10-11*).
- Repair screen porch walls and frames (Work Item 19 on *Figures 9-10*).

ADA Accessibility Improvements

Staff supports the various improvements, including:

- a van accessible parking space and adjacent access aisle with signage (*Figure 13*);
- an accessible portable toilet pad (*Figure 13*);
- an accessible path from the ADA accessible space to the rear porch with signage (*Figures 13 and 14*);
- a pedestrian path from the parking lot drive aisle to the building's rear entrance (*Figures 13 and 14*);
- the removal of the rear porch stairs (*Figures 12 and 14*);
- the construction of a ramp at the rear porch (*Figure 14*); and
- a ramp at the existing rear entrance within the porch (*Figure 14*).

The site improvements are necessary to meet ADA requirements and will not substantially alter the exterior features of an historic site in conformance with Chapter 24A-8(b)(1). The full-width rear porch was constructed sometime from 1913 to 1947, so was not an original feature of the circa 1856 building. Per Chapter 24A-8(b)(3), the changes will aid in the public and private utilization of the historic site in a manner that is compatible with its historical value. The work is also necessary to remedy unsafe conditions and meets Chapter 24A-8(b)(4). In compliance with the *Standards*, the historic character of the property will be retained and preserved by the site improvements, because none of the work will damage historic fabric. The project will not destroy historic materials that characterize a property, and if the construction is removed in the future the essential form and integrity of the property and its environment will be unimpaired.

Items to Include in HAWP Application

Staff recommends the following items be included in the HAWP application:

- The numbered labels for both the building alterations and ADA accessibility improvements should correlate.
- A rear elevation drawing that includes the proposed ramps.
- A completed drainage plan.
- Revised site plan to include the pads for the condenser units with the dimensions and material labeled.
- A statement on alternative solutions to the louvered vents proposed for the historic masonry on the front and left-side elevations.
- Specifications or details for the the proposed building elements: the wood window to be installed on the front elevation; downspouts; splash blocks; metal window to be installed on the rear elevation; window well; chimney caps; wood window to be installed on right-side elevation; metal storm windows and screens; exhaust fan louvers; ramps; railings; pavers; and hardware on the rear entrance door.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based upon the HPC's comments and return with an Historic Area Work Permit.

Staff Requested HPC Feedback on Mansion Improvements

- Vegetation removal (**Figure 6**).
- Trench drain installation (**Figure 13**).
- Installation of new metal window at the basement on the front elevation (Work Item 6 on **Figure 8**).
- Installation of downspout extensions and splash blocks on the left-side elevation (Work Items 9 and 10 on **Figure 9**).
- Installation of a new steel window well on the rear elevation (Work Item 11 on **Figure 10**).
- Installation of lead-coated copper caps on each of the six chimneys (Work Item 12 on **Figures 8-11**).
- Installation of the wood window on the third floor on the right-side elevation where the window is missing (Work Item 14 on **Figure 11**).
- Installation of the metal storm windows with insect screens at various windows on all four sides (Work Item 16 on **Figures 8-11**).
- Alterations to the screen porch wall on the ~~west~~ right-side elevation to accommodate the ADA improvements (Work Item 18 on **Figure 11**).
- Installation of fan exhausts louvers proposed on the front, left, and rear elevations (Work Item 20 on **Figures 8-10**).
- Screen door removal at rear door.
- Installation of two pads to hold condenser units (**Figure 7**).

Staff Requested HPC Feedback on ADA Accessibility Improvements

- Van accessible parking space and adjacent access aisle (**Figure 13**);
- Accessible portable toilet pad (**Figure 13**);
- Accessible path from the ADA accessible space to the rear porch (**Figures 13 and 14**);

- Pedestrian path from the parking lot drive aisle to the building's rear entrance (*Figures 13 and 14*);
- Removal of the rear porch stairs (*Figure 12 and 14*);
- Construction of a ramp at the rear porch (*Figure 14*); and
- Ramp at the existing rear entrance within the porch (*Figure 14*).



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1071486
DATE ASSIGNED

APPLICANT:

Name: E-mail:
Address: City: Zip:
Daytime Phone: Tax Account No.:

AGENT/CONTACT (if applicable):

Name: E-mail:
Address: City: Zip:
Daytime Phone: Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Needwood Mansion – List of Adjacent and Confronting Property Owners, May 17, 2024

PHAN, HUY D and
NGUYEN, QUYEN T
16417 EQUESTRIAN LN
ROCKVILLE, MD 20855

16112 Deer Lake Drive
Rockville, Md 20855

PETTIT, RICHARD B & C B
16413 EQUESTRIAN LN
ROCKVILLE, MD 20855

16116 Deek Lake Road
Rockville, MD 20885

SAGAYADAN, GRACE E ET AL TR
16409 EQUESTRIAN LN
DERWOOD, MD 20855

16120 Deer Lake Road
Rockville, MD 20855

BEVERLY, WENDELL H ET AL
16401 EQUESTRIAN LN
ROCKVILLE, MD 20855

SCHAEFER AHREN J and
SCHAEFER ALLISON A
16400 EQUESTRIAN LN
ROCKVILLE, MD 20855

NORRIS JON and DEBORAH
16301 JOUSTING TER
ROCKVILLE, MD 20855

BERNSTEIN, SPAULDING TR
16300 JOUSTING TER
ROCKVILLE, MD 20855

CASILLA, ERNIE and
ROCCIA, JENNIFER PFENING
6801 NEEDWOOD RD
DERWOOD, MD 20855

SENATORE, MICHAEL P & ANNE M
6825 NEEDWOOD RD
DERWOOD, MD 20855

MATHUR, SANKET and
DHARIWAL, NEEVA
6837 NEEDWOOD RD
ROCKVILLE, MD 20855

BASS FREDERICK & MARCIA
16201 OAK MEADOW DR
ROCKVILLE, MD 20855

SZENTENDREI, TIBOR and
JULIANNA KELETI
6930 NEEDWOOD RD
ROCKVILLE, MD 20855

Written Description of Project—Needwood Mansion House and Site Improvements, Resource #22/35

May 22, 2024

1a. Description of existing structure, environmental setting, including their historical features and significance:

Environmental Setting: Needwood Mansion resides within an 11.12-acre Montgomery Parks sub-park called Needwood Mansion. It is part of a 234.36-acre historic environmental setting that also includes the abutting Needwood Golf course within Rock Creek Regional Park.

The sub-park surrounding the mansion includes these contributing outbuildings: a two-story stone Dairy that may have been a slave quarters upstairs and a one-story log shed that is now a Garage. Other non-contributing structures include a wood privy structure, a 1-1/2 story Dutch-gabled shed, a portable storage shed, and a pavilion shelter used for archaeology camp programs.

History: The original Needwood land patent of 1,000 acres was granted to John Cooke in 1758. It became part of a prosperous farm established on the site by his granddaughter, Harriet Cooke Robertson and her husband, William. Their son, William George Robertson, named the farm Sunnyside and built the existing brick structure shortly before his death from lightning at the outbreak of the civil war. The George Washington Columbus Beall family owned the property from 1881 to 1948. Needwood became part of Rock Creek Regional Park in 1962 and became a designated historic resource in the mid 1980's, individual Resource #22/35 on the Montgomery County Master Plan for Historic Preservation. For many years, the Mansion was the primary office location for Montgomery Parks Historian Michael F. Dwyer.

Exterior Description: The late-Federal house is three stories. The main center brick block was completed in 1856 and has the main historic entry door. The two-story, east frame block was added in 1913 and the two-story, west brick block was added in 1958. The entire building has slate roofing. The rear, south side of the house has a 10-ft deep x 72-ft long, wood frame screen porch with high ceiling. It extends the full length of the middle and east blocks and is subdivided into two asymmetrical sections. The porch has three stairs: a wood stair parallel to the east wall, a perpendicular masonry stair at the middle of the south elevation and a perpendicular masonry stair on the west.

The north and west elevations of the building have several large hollies and herbaceous shrubs. There is one large multi-trunk Leland Cypress at the northeast front corner of the house. A large asphalt parking lot to the east has 22 parking spaces and a trail entrance to the surrounding park. There are two known, uninvestigated archaeology areas to the east of the house. The first is approximately 10-feet east of the east block, where a "15-foot square one-story detached log kitchen" was once located. The other is at the entrance to the parking lot, to the right (south) as one drives in. It's the approximate location of a slave quarter. There is one known, uninvestigated archaeology area approximately 10-ft to the south of the rear screened porch, where the historical well is located. Should any work disturb these areas, archaeology will be performed.

Occupancy: Needwood Mansion is occupied by staff and volunteers of the Cultural Resources Stewardship Section, a group under the Park Planning and Stewardship Division of Montgomery Parks. Six career and one seasonal staff work in the building, including archaeologists, historians, cultural resource managers and numerous archaeology volunteers. The basement level houses the Montgomery Parks historical archives. The first floor is used for sorting and cataloging of archival materials and public

meetings, the second floor is used for staff offices, and the third floor has storage. The front door to the house is rarely used. The primary staff and visitor entrance is through the rear frame porch into the main north-south center hall.

The ancillary buildings are used for programs and storage. Some ground areas are used for archaeology summer camp programs and camp participants also meet in the pavilion shelter.

1b. General description of the project and its effect on the resource.

Project Description: There are two parts to the work: Part A: Mansion Improvement and Part B: Site Improvements

Part A, Mansion Improvements, are being designed by a consultant to Montgomery Parks. Sixty percent (60%) completion is being submitted for Approval. The work will provide grading and landscape alterations, including the removal of shrubs and trees, to reduce water infiltration into the basement. New perimeter drainage will collect and transfer roof and ground water away from the foundation of the building. The work will update and repair the building envelope, primarily to improve climate control for occupants and archaeological and artifact archives. It will also repair and reconfigure specific second floor rooms to provide space for additional staff. Central air-conditioning will be added throughout, and individual window AC units will be removed. A new dehumidification system will be installed in the basement for the archival storage. The work will include window repairs, storm window repairs, window replacement, alterations at entrance doors to provide ADA access, miscellaneous existing wood frame and screen repairs at rear porch and a ramp inside the porch to transition from the porch floor to the main first floor.

Part B, Site Improvements, are being completed by Montgomery Parks, Park Development Division Staff. This work includes landscape alterations that provide an ADA-accessible route to the house: one accessible parking space, an access aisle, a portable toilet pad, and a path from parking to the main rear entrance of the house inside the porch. There are two parts to the overall accessible route:

1. Driveway Crossing Path (going east): This crosses both drive aisles surrounding the tree island and connects to the proposed parking area between the Dutch-gabled shed (non-contributing) and the existing asphalt parking lot. This path rises in elevation approximately 3-ft.
2. Path from Driveway to House: (going west): Several options were studied. Each one must traverse an 8-ft elevation rise from the west edge of the driveway (El. 412.50) to the house's porch (El. 420.0), then to the finished floor of the house (El. 420.8).

We are proposing a design for a ramp at the back of the house. The design provides:

- a. An initial 5-ft wide concrete path on grade. It will slope up less than 5% where it meets a new landing at the basement intersection. Either side this path, grading will be slightly adjusted to make a smooth transition to the path.
- b. When the path reaches the basement areaway, a new landing will be provided at a lower elevation. It also requires the areaway steps to be reduced from four (2-ft rise) to two (1-ft rise). These two steps will be moved outboard of the porch edge above to provide more headroom at the areaway.
- c. Once past the basement landing, a series of 6-ft wide concrete ramps on grade will continue to the west end of the porch where the path will turn east to a new landing and door into the

porch. These ramps rise at 7.8% slopes and have three-rail handrails either side (36-in high). In addition, the long ramp abutting the porch requires a guardrail on the south side (42-in. high). The landings on the south sections of ramp meet grade where a person can step off the landing to the grass. Code requires a minimum of 4-ft clear between railings. Currently 5-ft is provided, however we will be studying ways to reduce the ramps' widths, which may produce a gap between the north and south ramp runs. The north ramp run will be supported on brick piers in alignment with the spacing between porch piers (generally 10-ft apart).

Conclusion:

Before proceeding to detailed design, Parks is seeking consultation from Historic Preservation Commissioners to confirm the proposed site plan and accessible route path are acceptable.

All work will be completed according to the *Secretary of the Interior's Standards for Rehabilitation* and according to the attached plans. There will be no adverse effect to the house or grounds. We intend to maintain the integrity of the location, design, setting, materials, workmanship, feeling and association.

Effect on Environmental Setting: The project will be limited to the building envelope, perimeter landscaping, and existing driveway east of the house; there is no adverse effect to the environmental setting.

Attachments:

- A. HAWP Application
- B. Written Description of the Project
- C. Work Item List
- D. Photographs
- E. Address of Adjacent and Confronting Property Owners
- F. Tree Survey
- G. Plans
 - 1. Overall Site Plan
 - 2. Accessible Route Ramp Plan
 - 3. 60% Design Markup of Elevations and Plans, corresponding to Work Items List
 - 4. 60% Design Documents, House Improvements, Michael Graves Architecture

NEEDWOOD MANSION – EXTERIOR WORK ITEMS FOR HAWP APPLICATION, May 22, 2024

Part A: Needwood Mansion, House Improvements – Exterior Work Items

Work Item #A– Vegetation Removal / Foundation Drainage	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
The house is surrounded by trees, shrubs and mulch that are too close to the house, retaining moisture, impeding positive drainage away from the foundation. Downspouts do not adequately shed roof water away from the building. Evidence of water infiltration and damage is visible on interior side of basement walls.	Remove all mulch and vegetation on the north, east and west sides of the house. Install perimeter foundation drainage trench on the west and north of the house, to move moisture away from the building via an underground drainpipe. The pipe will cross the driveway to the east (north of the Gabled Shed) and into the back yard to the south. Waterproofing membrane will be connected with a termination bar installed in mortar joint; membrane will NOT be adhered to structure. Two downspouts on the west elevation, north and south of the existing east stair to the porch, will remain as existing conditions with splash blocks added as needed.
Work Item #1 and #2 – Repoint	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Mortar at various locations is failing.	Remove existing pointing at brick-to-brick joints in locations indicated. Carefully remove by use of hand tools. Repoint per specifications and in accordance with NPS Preservation Brief #2 “Repointing Mortar Joints in Historic Masonry Buildings.”
Work Item #3 – Clean Biological Growth	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Proximity of vegetation over the years has resulted in potentially damaging biological growth on brick surfaces.	Provide a water cleaning of the façade to reveal areas needing repointing and remove biogrowth via the gentlest means possible.
Work Item #4 – Restore Wood Window and Frame	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Existing Windows are wood on the first through third floors and have various levels of deterioration.	Restore existing wood window and frames and make operable were noted on the drawings. Where sash is missing, replace with new to match existing adjacent. Repair damaged wood as required and specified per NPS Preservation Brief #9 “The Repair of Historic Wooden Windows.” Paint as specified.
Work Item #5 – Repair Steel Window	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Existing steel windows are rusted.	Remove rust. Repair steel window and make operable. As needed, repair with epoxy system as specified. Paint as specified.

Work Item #6 – New Wood Window to Match Existing Adjacent Window	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Existing window is missing.	Install new metal window to match existing window directly to the south.
Work Item #7 – Remove Mulch at Windows	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Mulch build-up is blocking light and trapping unwanted water at windows.	Remove mulch/ vegetation away from window.
Work Item #8 – Repair Existing Wood Siding	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Siding shows signs of rot.	Repair existing wood siding at porch. Repair damaged wood as required using epoxy wood repair system on deteriorated portions. Where wood is more than 40% deteriorated, use naturally rot resistant wood and repair with dutchman so the repair once painted is not observable. Paint as specified.
Work Item #9 and #10 – Install Downspout Extensions and Splash blocks (TBD)	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Roof drainage from downspouts is causing moisture to build up and seep through the foundation wall.	At the southeast corner of the house, install a splash block to move water away from the foundation. At the southeast corner of the house, the basement areaway gutter and southeast downspout to remain and outfall across the new concrete path.
Work Item #11 – Replace Steel Window Well with New	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Existing still window wells are in good condition but will be removed to facilitate perimeter drainage excavation.	Replace steel window well with new to match existing size and configuration.
Work Item #12 – Install Lead-coated Copper Chimney Cap	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
The Chimneys are not capped and are not in use permitting moisture and wildlife infiltration.	Install new lead-coated copper chimney cap to fit over existing chimney at locations indicated. Cap will permit ventilation of chimney.
Work Item #13 – Seal Open Penetrations in Brick	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
A pipe hole through the masonry wall is too large for the pipe.	Seal open penetrations
Work Item #14 – Install New Wood Window to Match Existing 3rd Floor Windows	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Third floor window is missing and currently infilled with plywood.	Install new wood window to match existing third floor windows.

Work Item #15 – Replace Cracked Glazing with New	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Cracked window glazing in existing window.	Where glazing is cracked, replace with new to match existing in color, texture, transparency, thickness, and pattern.
Work Item #16 – Install New Metal Operable Storm Window and Insect Screen	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Storm window is missing.	Install new operable metal storm window with insect screen.
Work Item #17 (ADD-ALTERNATE) – Make Window Operable	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Window is inoperable.	Repair window and hardware to make window operable.
Work Item #18 – Install New Screen Porch Wall Using Salvaged Porch Framing	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Screen porch wall will require modification to coordinate with selected ADA access approach.	Where new screen porch wall is required to coordinate with selected ADA access approach, porch pieces will be salvaged and repaired for use in the new wall to the greatest extent possible. Where salvaged material is not sufficient, new framing to match the existing in layout and size will be installed.
Work Item #19 – Repair Existing Porch Screen Walls and Frames	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Screen porch wall is in fair condition with areas of deteriorated wood framing and damaged and/or missing screen.	Repair existing wood porch walls and frames. Repair damaged wood as required using epoxy wood repair system on deteriorated portions. Where wood is more than 40% deteriorated, use naturally rot resistant wood and repair with dutchman so the repair once painted is not observable. Paint as specified.
Work Item #20 – Exhaust Louvers	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Existing and proposed restroom require exhaust ventilation.	Install through-wall exhaust louvers on the building façade adjacent to each restroom.
Work Item #20 – Exterior House Door	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
The main rear door to the house is comprised of two in swinging leaves. The historic door hardware is not ADA-compliant.	Provide new ADA-complaint door hardware to meet code requirements.

Continued...

Part B: Needwood Mansion, Site Improvements

Work Item #B– Accessible Parking, Portable Toilet and Path to House	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
<p>The house does not meet current ADA accessibility requirements, because an accessible route from parking to a public restroom inside the house does not exist. Proposed renovations require the house to be made accessible as part of the building permitting process. There is an 8-foot grade change from the east side of the driveway to the house that poses a challenge to all available solutions. There is a</p>	<p>Provide: 1) an accessible van-parking space with required signage, 2) an abutting access aisle, 3) accessible portable toilet pad and 4) accessible path below 5% (without railings) or an accessible path below 8% (a ramp with railings) from the parking space to the public entrance to the house (inside the rear porch). To avoid significant regrading of the existing single lane driveways and existing gravel parking lot, and also to avoid impacts to historic outbuildings on the east edge of the driveway, the ADA parking area is proposed between the Gable Shed and the existing parking lot, to the east side of the driveway fork.</p>

NEEDWOOD MANSION M22-35



Front (North) Elevation



Rear (South) Elevation – Primary Entrance at Center Porch Steps



East Elevation



East Elevation (from Parking Lot)



Basement Entry



Basement Entry



West Porch Stair



View East towards Dairy and Parking



Entry Drive



East Side Lawn



East Elevation



Proposed ADA Parking Area



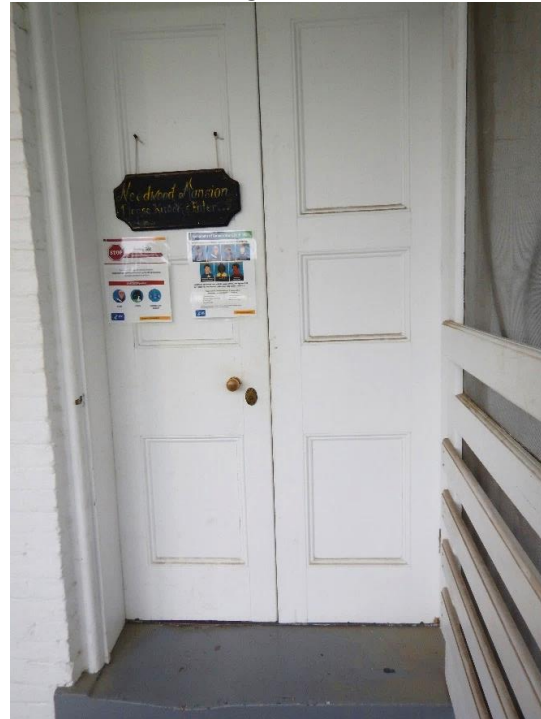
East Porch Entry, Looking towards Dairy and Parking



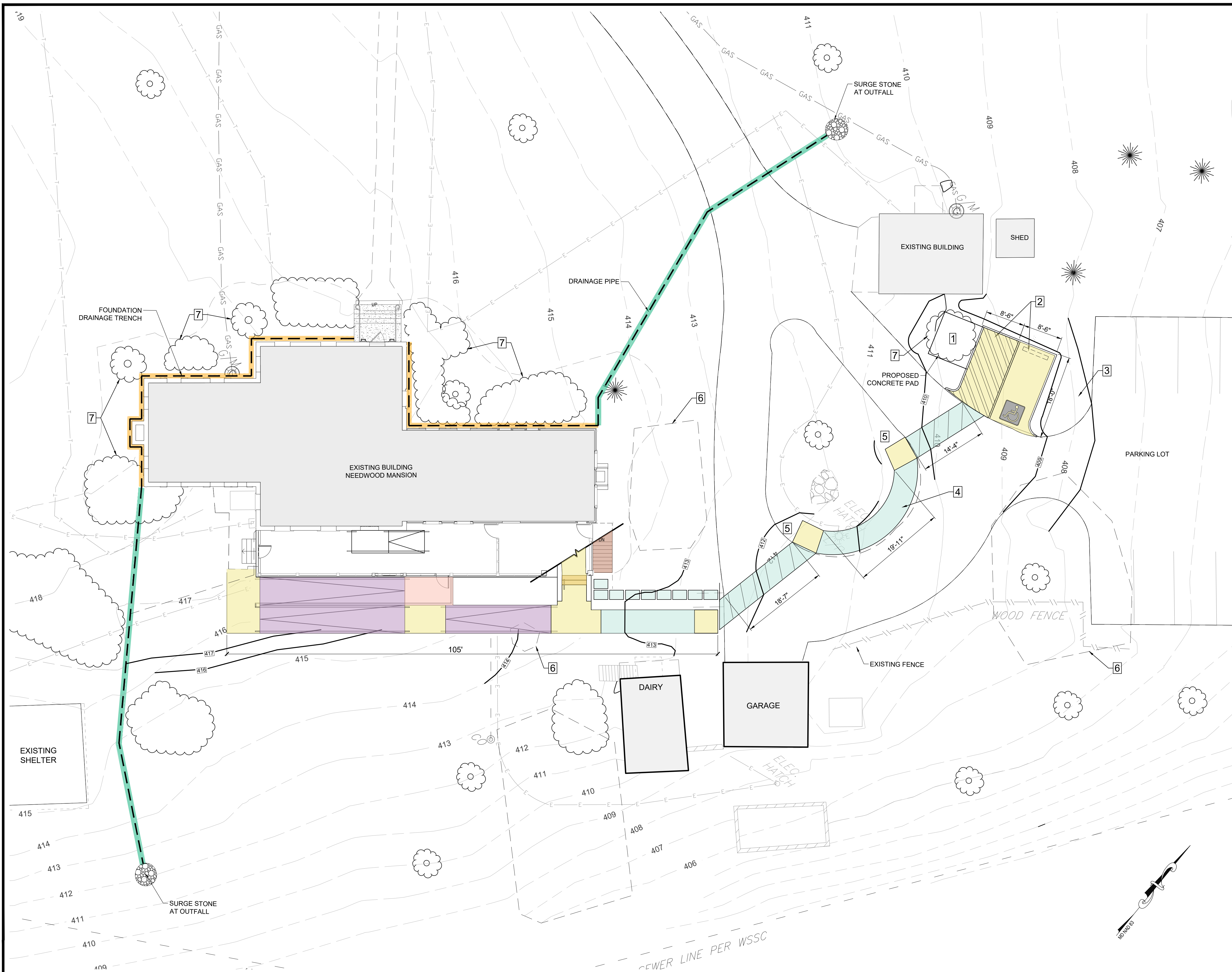
East Porch, Looking West to Kitchen Door



Main Porch Area at Center Block, Main House Entry on Left



Main House Entry Door



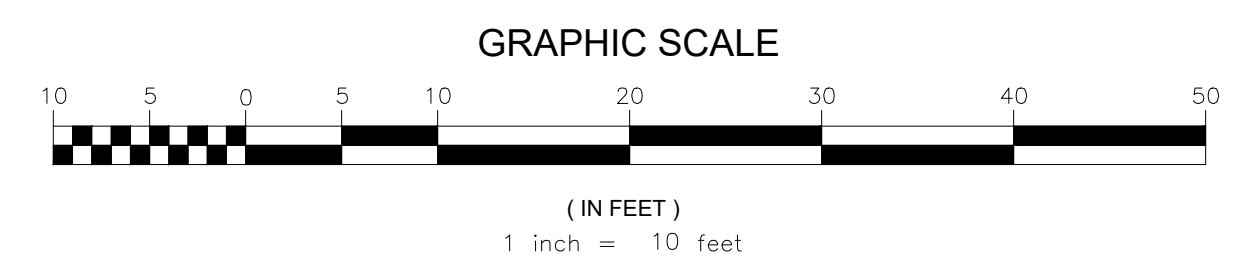
- PLAN NOTES.**
1. Concrete pad for portable toilet.
 2. New accessible concrete parking space and aisle, van parking signage.
 3. Perimeter retaining wall at grade change.
 4. New on grade accessible concrete path, 5- ft wide to cross drive aisle.
 5. ADA entrance directional sign.
 6. Archeology area.
 7. Remove tress & shrubs.

GRAPHIC LEGEND

- LANDING: MAX. 1.5% SLOPE
- RAMP: MAX. 7.8% SLOPE W/RAILINGS
- ON-GRADE PATH: MAX. 4.5% SLOPE
- PORCH FLOOR: EL. 420.2
- CONCRETE STEPS
- ARCHAEOLOGY AREA
- DRAINAGE PIPE
- FOUNDATION DRAINAGE TRENCH

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ARCHAEOLOGY AREA
- EXISTING TREE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STORM DRAIN STRUCTURE
- EXISTING WOOD FENCE
- PROPOSED WATER LINE
- EXISTING MINOR CONTOURS
- PROPOSED CONTOURS
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING BOLLARD
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING SIGN
- EXISTING SEWER MANHOLE
- EXISTING WATER MANHOLE
- EXISTING SEWER
- EXISTING WATER
- EXISTING GAS
- EXISTING ELECTRIC
- SURGE STONE AT OUTFALL



Designer's Name	
Address	
City/State/Zip	
Telephone Number	

DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. _____

Expiration Date _____



The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks
2425 Reedie Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2535

REVIEW AND APPROVAL	
Project Manager	Date
Construction Manager	Date
Park Manager	Date

ISSUED FOR PROCUREMENT ON _____		
REVISIONS		
Rev. No.	Date	Description

SITE PLAN

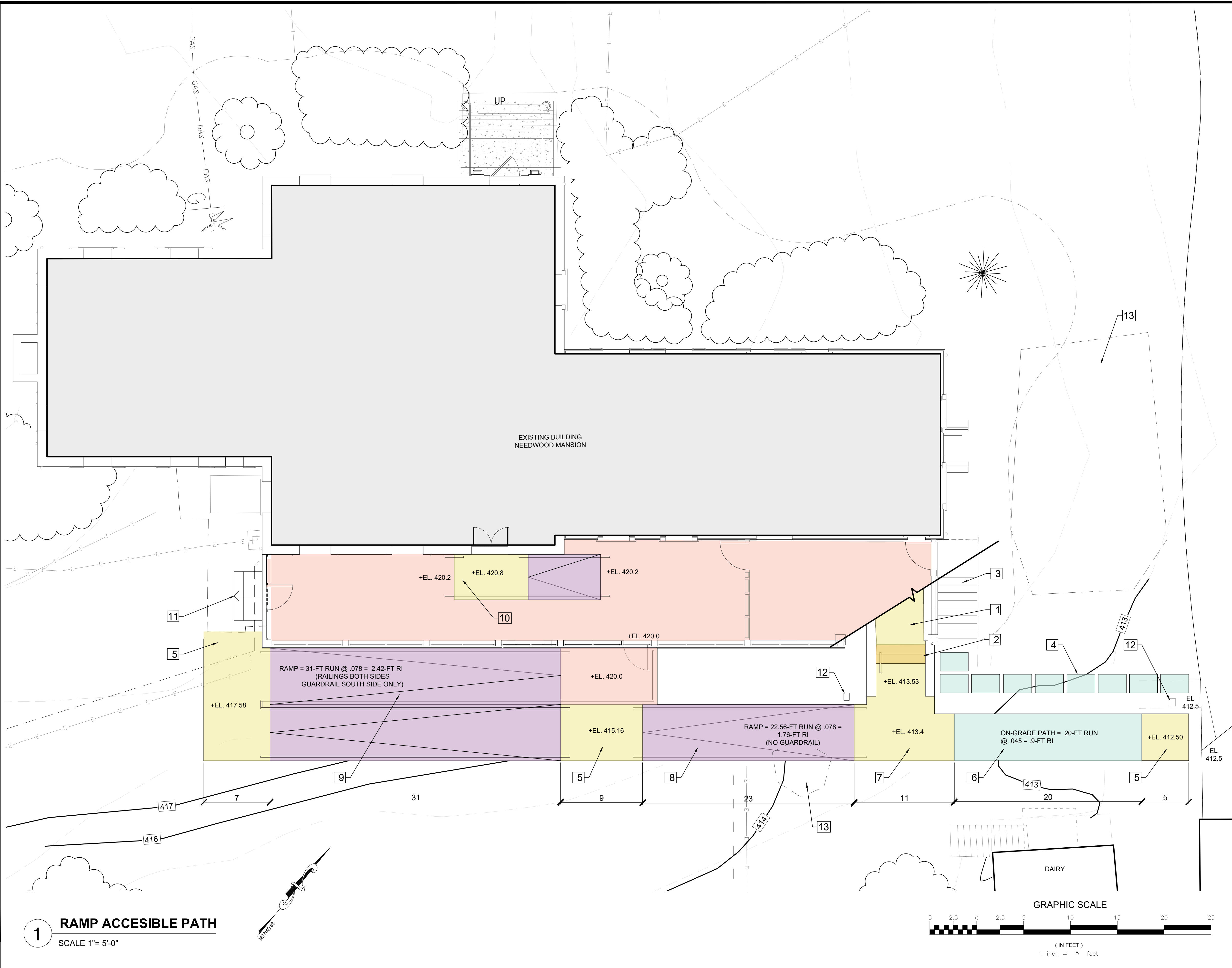
HISTORIC NEEDWOOD MANSION
Building and Site Improvements

6700 NEEDWOOD RD DERWOOD, MD 20855
SCALE: As Shown

DWG.

C-1

DATE: 5.22.2024

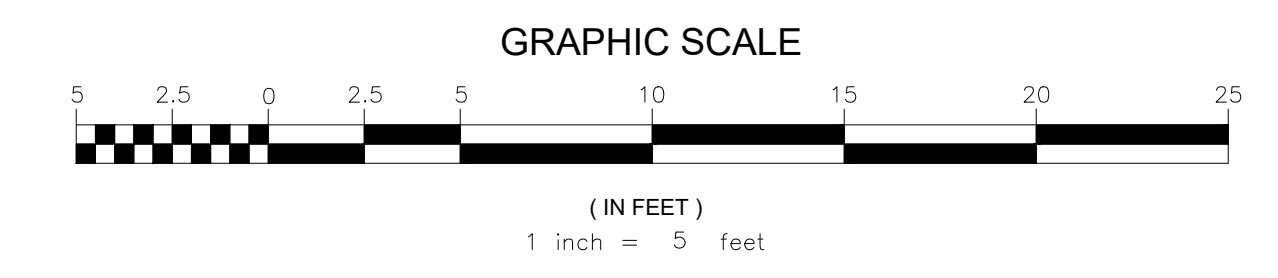


GRAPHIC LEGEND

- LANDING: MAX. 1.5% SLOPE
- RAMP: MAX. 7.8% SLOPE W/RAILINGS
- ON-GRADE PATH: MAX. 4.5% SLOPE
- PORCH FLOOR: EL. 420.2
- CONCRETE STEPS
- ARCHAEOLOGY AREA
- 413 GRADE CHANGE

- PLAN NOTES.**
1. Basement areaway with existing retaining walls.
 2. Remove four concrete steps and replace with two concrete steps.
 3. Existing wood stairs to remain.
 4. New stepping stones on grass.
 5. Accessible path on grade concrete landing.
 6. 5- Ft wide, on grade concrete path.
 7. New concrete landing to meet new basement steps.
 8. Ramp with railing, typical.
 9. Ramp with railing & guardrail.
 10. New wood landing and ramp at main entry.
 11. Existing masonry stairs to remain.
 12. ADA Entrance directional sign.
 13. Archaeology area.

1 RAMP ACESIBLE PATH
SCALE 1"= 5'-0"



Designer's Name
Address
City/State/Zip
Telephone Number

DESIGN		
Landscape Architect	Date	Checked By:
Architect	Date	Checked By:
Engineer	Date	Checked By:
Drawn by	Date	Checked By:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. _____

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RAMP ACCESSIBLE PATH

HISTORIC NEEDWOOD MANSION Building and Site Improvements

6700 NEEDWOOD RD DERWOOD, MD 20855
SCALE: As Shown

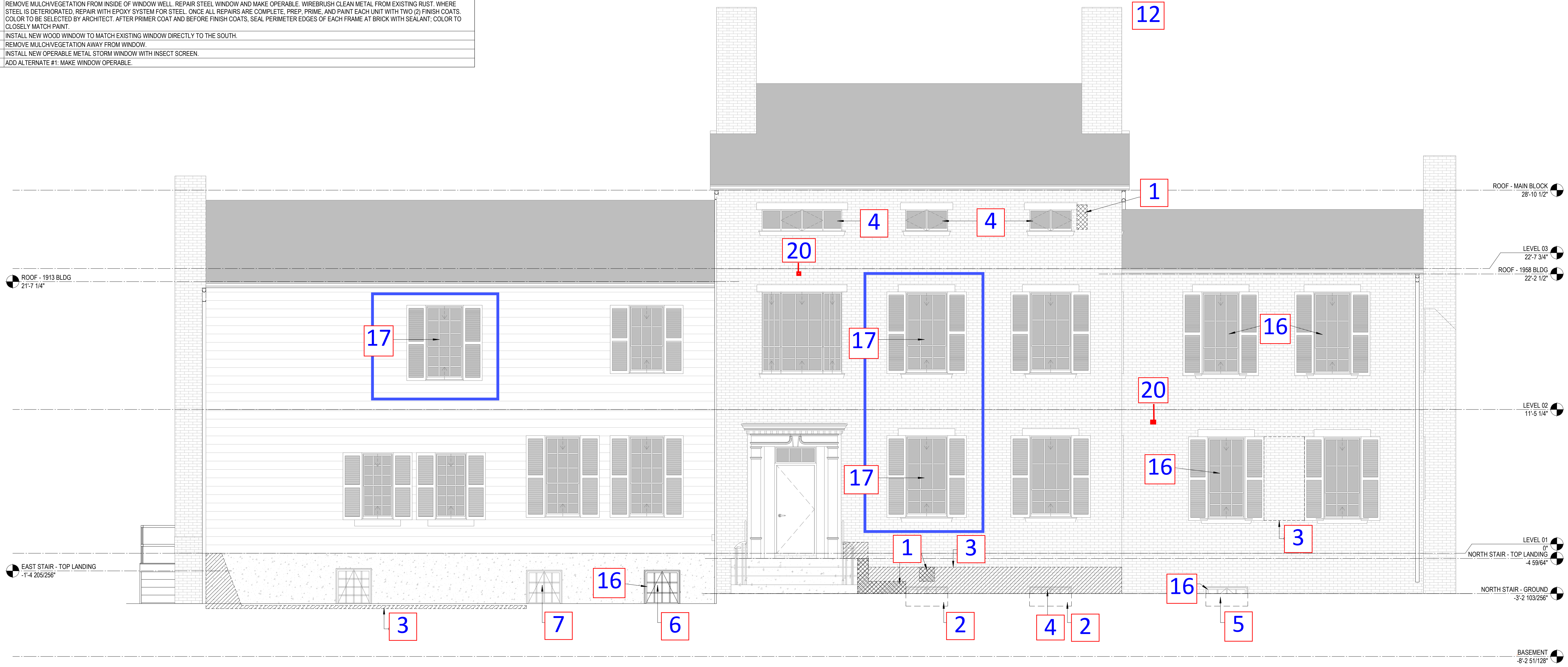
DWG. **A**

DATE: 5.22.2024

DPS PERMIT USE

NORTH (FRONT) ELEVATION

EXTERIOR ELEVATION NOTES- NORTH		
NUM.	NOTE	
1	REMOVE EXISTING POINTING OCCURRING AT BRICK TO BRICK JOINTS WITHIN INDICATED AREA. CAREFULLY REMOVE BY USE OF HAND TOOLS ONLY. CLEAN OFF ANY MATERIAL REMAINING ON SURFACE USING APPROVED METHODS OR MATERIALS. WHEN REMOVAL IS COMPLETE, REPOINT JOINTS WITH NEW MORTAR AS PER THE SPECIFICATIONS. REMOVAL PROCEDURES SHALL BE SUBJECT TO TESTING AS PER SPECIFICATION SECTION 04.01.20-71-"UNIT MASONRY REHABILITATION" & 04.05.13.91 - "MASONRY RESTORATION MORTARING."	
2	AT INTERIOR SIDE OF WINDOW WELL, REMOVE EXISTING POINTING OCCURRING AT BRICK TO BRICK JOINTS. CAREFULLY REMOVE BY USE OF HAND TOOLS ONLY. CLEAN OFF ANY MATERIAL REMAINING ON SURFACE USING APPROVED METHODS OR MATERIALS. WHEN REMOVAL IS COMPLETE, REPOINT JOINTS WITH NEW MORTAR AS PER THE SPECIFICATIONS. REMOVAL PROCEDURES SHALL BE SUBJECT TO TESTING AS PER SPECIFICATION SECTION 04.01.20-71-"UNIT MASONRY REHABILITATION" & 04.05.13.91 - "MASONRY RESTORATION MORTARING." AT INDICATED LOCATION, REPLACE BRICK WHICH IS LOOSE, SPALLING, DETERIORATED, CHIPPED OR MISSING AND SURROUNDING MORTAR UNTIL SOUND BRICK IS REACHED. INSTALL NEW BRICK AND MORTAR TO MATCH EXISTING ORIGINAL IN SHAPE, SIZE, COLOR, TEXTURE, AND STYLE, INCLUDING MOLDED SHAPES.	
3	AT INDICATED AREA, CLEAN ALL BIOLOGICAL GROWTH BUILT UP ON BRICK SURFACE.	
4	RESTORE EXISTING WOOD WINDOW AND FRAMES AND MAKE OPERABLE. WHERE SASH IS MISSING, REPLACE WITH NEW TO MATCH EXISTING ADJACENT. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.	
5	REMOVE MULCH/VEGETATION FROM INSIDE OF WINDOW WELL. REPAIR STEEL WINDOW AND MAKE OPERABLE. WIREBRUSH CLEAN METAL FROM EXISTING RUST. WHERE STEEL IS DETERIORATED, REPAIR WITH EPOXY SYSTEM FOR STEEL. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.	
6	INSTALL NEW WOOD WINDOW TO MATCH EXISTING WINDOW DIRECTLY TO THE SOUTH.	
7	REMOVE MULCH/VEGETATION AWAY FROM WINDOW.	
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.	
17	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.	



- 1** REPOINT
- 2** REPOINT INTERIOR SIDE OF WINDOW WELL
- 3** CLEAN BIOLOGICAL GROWTH
- 4** RESTORE WOOD WINDOW AND FRAME
- 5** REMOVE MULCH, REPAIR STEEL WINDOW
- 6** NEW WOOD WINDOW TO MATCH EXISTING ADJACENT WINDOW
- 7** REMOVE MULCH AND VEGETATION AT WINDOW
- 12** INSTALL LEAD-COATED COPPER CHIMNEY CAP, TYP. SIX (6) CHIMNEY'S
- 16** INSTALL NEW METAL OPERABLE STORM WINDOW AND INSECT SCREEN
- 20** SURFACE MOUNTED EXHAUST FAN CAP

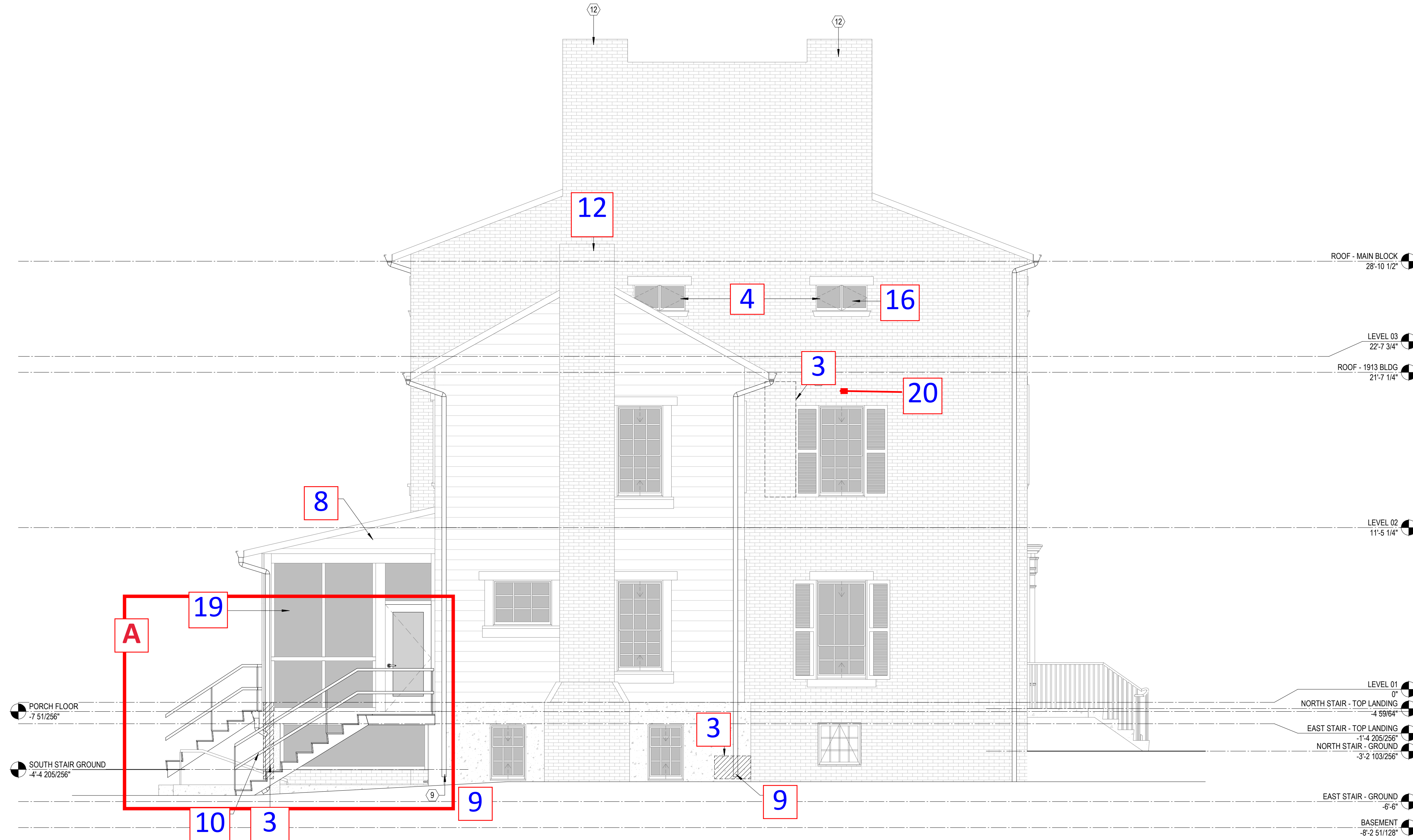
<p>A1 AE2.01</p>	<p>ELEVATION- EXTERIOR- NORTH</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <p>MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410.390.9680 MICHAELGRAVES.COM</p>	<p>DRAWING CHECKED BY: KLG</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLK</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLK</td> <td>2024.03.05</td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLK	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05	<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p>	<p>DocuSeal</p> <p>Professional Seal</p>	<p>The Maryland-National Capital Park and Planning Commission</p> <p>Montgomery County Department of Parks 2425 Reedie Drive Wheaton, Maryland 20902 (301) 495-2535</p>	<p>SUBMISSION / REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description										<p>ELEVATIONS- EXTERIOR- BUILDING</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>1/4" = 1'-0"</p> <p>DWG. #</p> <p>AE2.01</p>
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EXTERIOR ELEVATION NOTES- EAST	
NUM.	NOTE
3	AT INDICATED AREA, CLEAN ALL BIOLOGICAL GROWTH BUILT UP ON BRICK SURFACE.
4	
8	REPAIR EXISTING WOOD SIDING AT PORCH. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
9	INSTALL DOWNSPOUT EXTENSION TO MOVE WATER AWAY FROM FOUNDATION WALL.
10	INSTALL DOWNSPOUT SPLASH BLOCK.
12	INSTALL NEW LEAD-COATED COPPER CHIMNEY CAP TO FIT OVER EXISTING CHIMNEY AT THIS LOCATION.
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.
19	REPAIR EXISTING WOOD PORCH WALLS AND FRAMES. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.

DPS PERMIT USE

EAST (SIDE) ELEVATION

A EXISTING EAST STAIR TO REMAIN



- 3 CLEAN BIOLOGICAL GROWTH
- 9 INSTALL DOWNSPOUT EXTENSION
TBD AFTER SITE DRAINAGE PLAN FINALIZED
- 16 INSTALL NEW METAL OPERABLE STORM WINDOW
AND INSECT SCREEN
- 4 RESTORE WOOD WINDOW AND FRAME
- 10 INSTALL SPLASHBLOCK TBD AFTER
SITE DRAINAGE PLAN FINALIZED
- 19 REPAIR EXISTING PORCH SCREEN WALLS AND FRAMES
- 8 REPAIR EXISTING WOOD SIDING
- 12 INSTALL LEAD-COATED COPPER CHIMNEY
CAP, TYP. SIX (6) CHIMNEY'S
- 20 SURFACE MOUNTED EXHAUST FAN CAP

A1 AE2.02	ELEVATION- EXTERIOR- EAST	1/4" = 1'-0"															
DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION	DRAWING CHECKED BY: KLG	ELEVATIONS- EXTERIOR- BUILDING															
BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05							DWG. # AE2.02
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EXTERIOR ELEVATION NOTES- SOUTH	
NUM.	NOTE
1	REMOVE EXISTING POINTING OCCURRING AT BRICK TO BRICK JOINTS WITHIN INDICATED AREA. CAREFULLY REMOVE BY USE OF HAND TOOLS ONLY. CLEAN OFF ANY MATERIAL REMAINING ON SURFACE USING APPROVED METHODS OR MATERIALS. WHEN REMOVAL IS COMPLETE, REPOINT JOINTS WITH NEW MORTAR AS PER THE SPECIFICATIONS. REMOVAL PROCEDURES SHALL BE SUBJECT TO TESTING AS PER SPECIFICATION SECTION 04.01.20-71-"UNIT MASONRY REHABILITATION" & 04.05.13.91-"MASONRY RESTORATION MORTARING."
3	AT INDICATED AREA, CLEAN ALL BIOLOGICAL GROWTH BUILT UP ON BRICK SURFACE.
4	RESTORE EXISTING WOOD WINDOW AND FRAMES AND MAKE OPERABLE. WHERE SASH IS MISSING, REPLACE WITH NEW TO MATCH EXISTING ADJACENT. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
11	REPLACE STEEL WINDOW WELL WITH NEW.
12	INSTALL NEW LEAD-COATED COPPER CHIMNEY CAP TO FIT OVER EXISTING CHIMNEY AT THIS LOCATION.
15	WHERE GLAZING IS CRACKED, REPLACE WITH NEW TO MATCH EXISTING IN COLOR, TEXTURE, TRANSPARENCY, THICKNESS, AND PATTERN.
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.
17	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.
19	REPAIR EXISTING WOOD PORCH WALLS AND FRAMES. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.

DPS PERMIT USE

SOUTH (REAR) ELEVATION

- A** EXISTING EAST AND WEST STAIRS TO REMAIN.
- B** EXISTING REAR PORCH SCREEN DOOR TO BE REMOVED, INCLUDING EXISTING MASONRY STAIRS (NOT SHOWN). NEW SCREEN FRAME TO BE REPLACED TO MATCH ADJACENT SCREEN FRAMES.



- 1** REPOINT
- 3** CLEAN BIOLOGICAL GROWTH
- 4** RESTORE WOOD WINDOW AND FRAME
- 11** REPLACE STEEL WINDOW WELL WITH NEW
- 12** INSTALL LEAD-COATED COPPER CHIMNEY CAP, TYP. SIX (6) CHIMNEY'S
- 15** REPLACE CRACKED GLAZING WITH NEW
- 16** INSTALL NEW METAL OPERABLE STORM WINDOW AND INSECT SCREEN
- 17** ADD ALTERNATE: MAKE WINDOW OPERABLE
- 19** REPAIR EXISTING PORCH SCREEN WALLS AND FRAMES
- 20** SURFACE MOUNTED EXHAUST FAN CAP

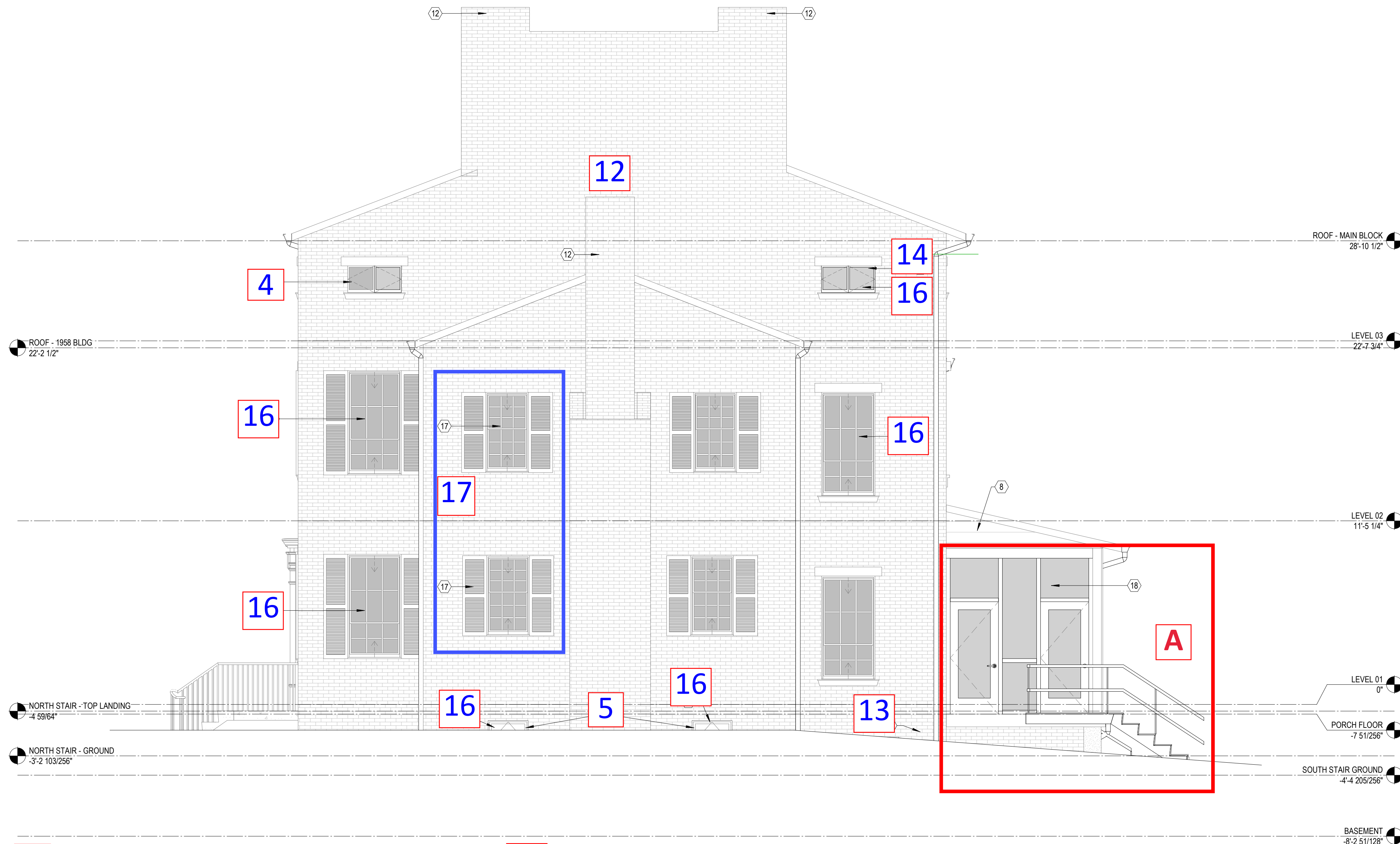
A1 AE2.03		ELEVATION- EXTERIOR- SOUTH		1/4" = 1'-0"																		
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SUBMISSION / REVISION																						
Rev. No.	Date	Description																				

DPS PERMIT USE

WEST (SIDE) ELEVATION

A EXISTING WEST STAIR SCREEN PORCH DOOR AND STAIRS TO REMAIN. SEE EXISTING FLOOR PLANS FOR ACTUAL CONDITION. NEW STAIR AND DOOR AS SHOWN WILL NOT BE PROVIDED.

EXTERIOR ELEVATION NOTES- WEST	
NUM.	NOTE
4	RESTORE EXISTING WOOD WINDOW AND FRAMES AND MAKE OPERABLE. WHERE SASH IS MISSING, REPLACE WITH NEW TO MATCH EXISTING ADJACENT. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
5	REMOVE MULCH/VEGETATION FROM INSIDE OF WINDOW WELL. REPAIR STEEL WINDOW AND MAKE OPERABLE. WIREBRUSH CLEAN METAL FROM EXISTING RUST. WHERE STEEL IS DETERIORATED, REPAIR WITH EPOXY SYSTEM FOR STEEL. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
8	REPAIR EXISTING WOOD SIDING AT PORCH. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
12	INSTALL NEW LEAD-COATED COPPER CHIMNEY CAP TO FIT OVER EXISTING CHIMNEY AT THIS LOCATION.
13	SEAL OPEN PENETRATIONS IN BRICK.
14	INSTALL NEW WOOD WINDOW TO MATCH EXISTING THIRD FLOOR WINDOWS.
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.
17	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.
18	INSTALL NEW WOOD SCREEN PORCH WALL USING SALVAGED PORCH FRAMING. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.



- 4** RESTORE WOOD WINDOW AND FRAME
- 5** REMOVE MULCH, REPAIR STEEL WINDOW
- 8** REPAIR EXISTING WOOD SIDING
- 12** INSTALL LEAD-COATED COPPER CHIMNEY CAP, TYP. SIX (6) CHIMNEY'S
- 13** SEAL OPEN PENETRATIONS IN BRICK
- 14** INSTALL NEW WOOD WINDOW TO MATCH EXISTING 3RD FLOOR WINDOWS
- 16** INSTALL NEW METAL OPERABLE STORM WINDOW AND INSECT SCREEN
- 17** ADD ALTERNATE: MAKE WINDOW OPERABLE
- 18** INSTALL NEW SCREEN PORCH WALL USING SALVAGED PORCH FRAMING

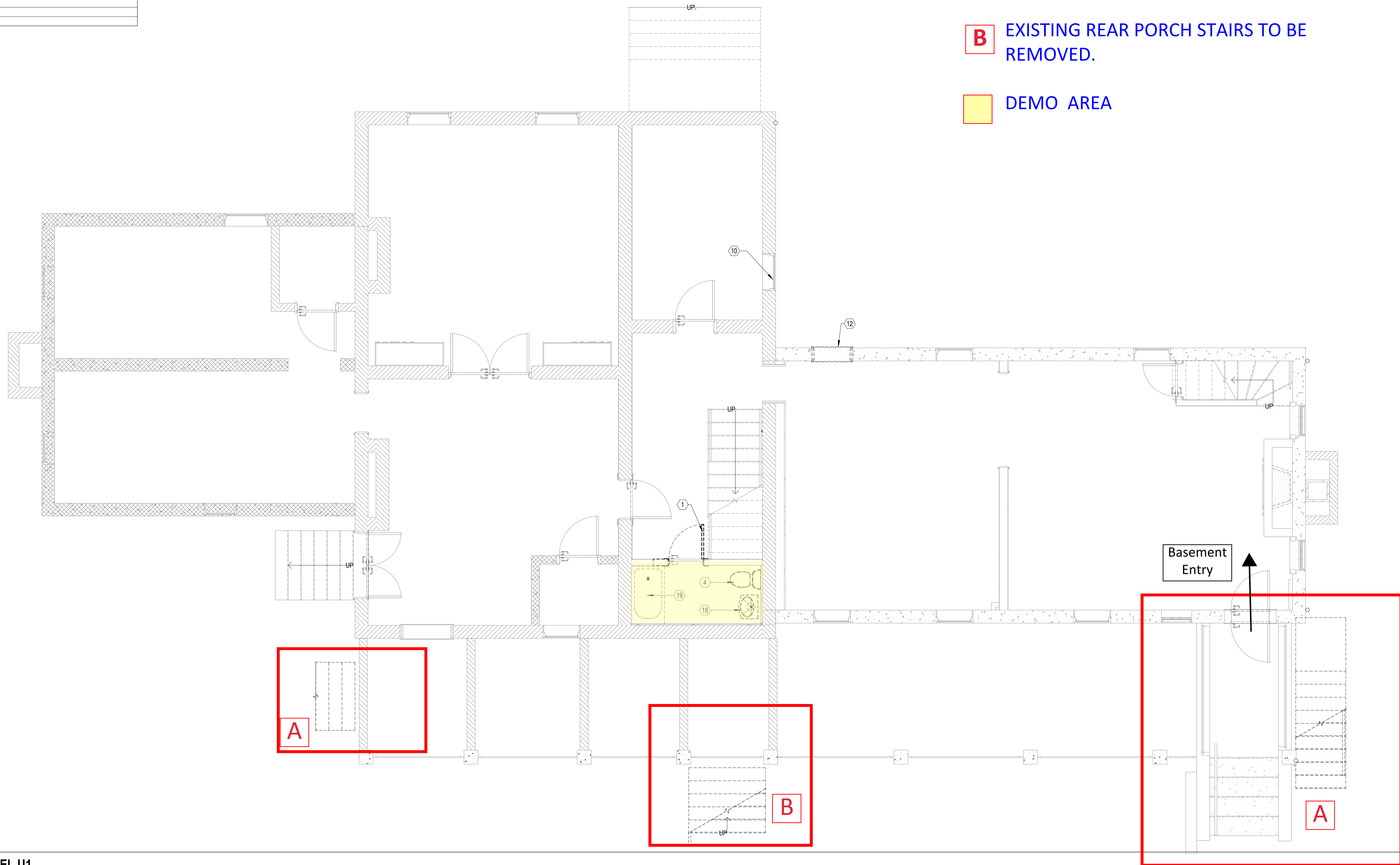
<p>A1 AE2.04</p>	<p>ELEVATION- EXTERIOR- WEST</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <div style="display: flex; align-items: center;"> <div style="margin-right: 10px;"> <p>MICHAEL GRAVES</p> <p>BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p> </div> <div> <p>DRAWING CHECKED BY: Checker</p> <table border="1" style="font-size: 8px;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> </tbody> </table> </div> </div> <p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; align-items: center; margin-top: 10px;"> <div style="border: 1px solid black; padding: 2px; margin-right: 10px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center; margin-left: 10px;">Professional Seal</div> </div>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05	<p>1/4" = 1'-0"</p>	<p>SUBMISSION / REVISION</p> <table border="1" style="font-size: 8px;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description										<p>ELEVATIONS- EXTERIOR- BUILDING</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>DWG. #</p> <p style="font-size: 24px; font-weight: bold;">AE2.04</p>
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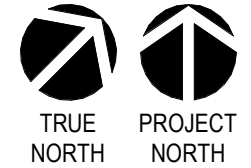
DEMOLITION PLAN NOTES	
NUM.	NOTE
1	SALVAGE DOOR
2	SALVAGE WOOD PANELS FOR REINSTALLATION AND DEMOLISH CONCRETE WALL
3	DEMOLISH CONCRETE AND FRAME WALL
4	REMOVE TOILET
5	REMOVE SINK, CASEWORK, AND COUNTER
6	REMOVE LAVATORY
7	DEMOLISH SHOWER
8	REMOVE RADIATOR AND SALVAGE RADIATOR COVER
9	WIDEN OPENING
10	REMOVE PLYWOOD
11	SALVAGE DOOR FOR REINSTALLATION
12	REMOVE WINDOW AC UNIT AND METAL PANEL
13	REMOVE PLYWOOD AND WOOD PANEL COVERING OPENING.
14	ADD ALTERNATE #2: REMOVE BASE AND WALL CASEWORK, ASSOCIATED COUNTERS, AND APPLIANCES.
15	EXISTING RAILING(S) TO BE DEMOLISHED DURING PART 1 - SITE RENOVATION
16	EXISTING STAIRS TO BE DEMOLISHED AS PART 1 - SITE RENOVATION
17	SALVAGE SCREEN PORCH FRAMING FOR REINSTALLATION.
18	REMOVE LAVATORY
19	REMOVE BATHTUB

DEMO PLAN - BASEMENT

- A** EXISTING EAST AND WEST STAIRS TO REMAIN.
- B** EXISTING REAR PORCH STAIRS TO BE REMOVED.
- DEMO AREA



PLAN SHOWN
PARK CODE



1
AD1.U1 DEMOLITION PLAN-OVERALL- LEVEL U1

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES
BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM

DRAWING CHECKED BY: KLG

Submission Name	Initials	Date
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The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

DEMOLITION PLAN- LEVEL U1

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

1/4" = 1'-0"

DWG. #
AD1.U1

FLOOR PLAN NOTES- LEVEL U1	
NUM.	NOTE
3	INSTALL SALVAGED DOOR
4	NEW DOOR
7	NOT USED
10	WHERE GLAZING IS CRACKED, REPLACE WITH NEW TO MATCH EXISTING IN COLOR, TEXTURE, TRANSPARENCY, THICKNESS, AND PATTERN.

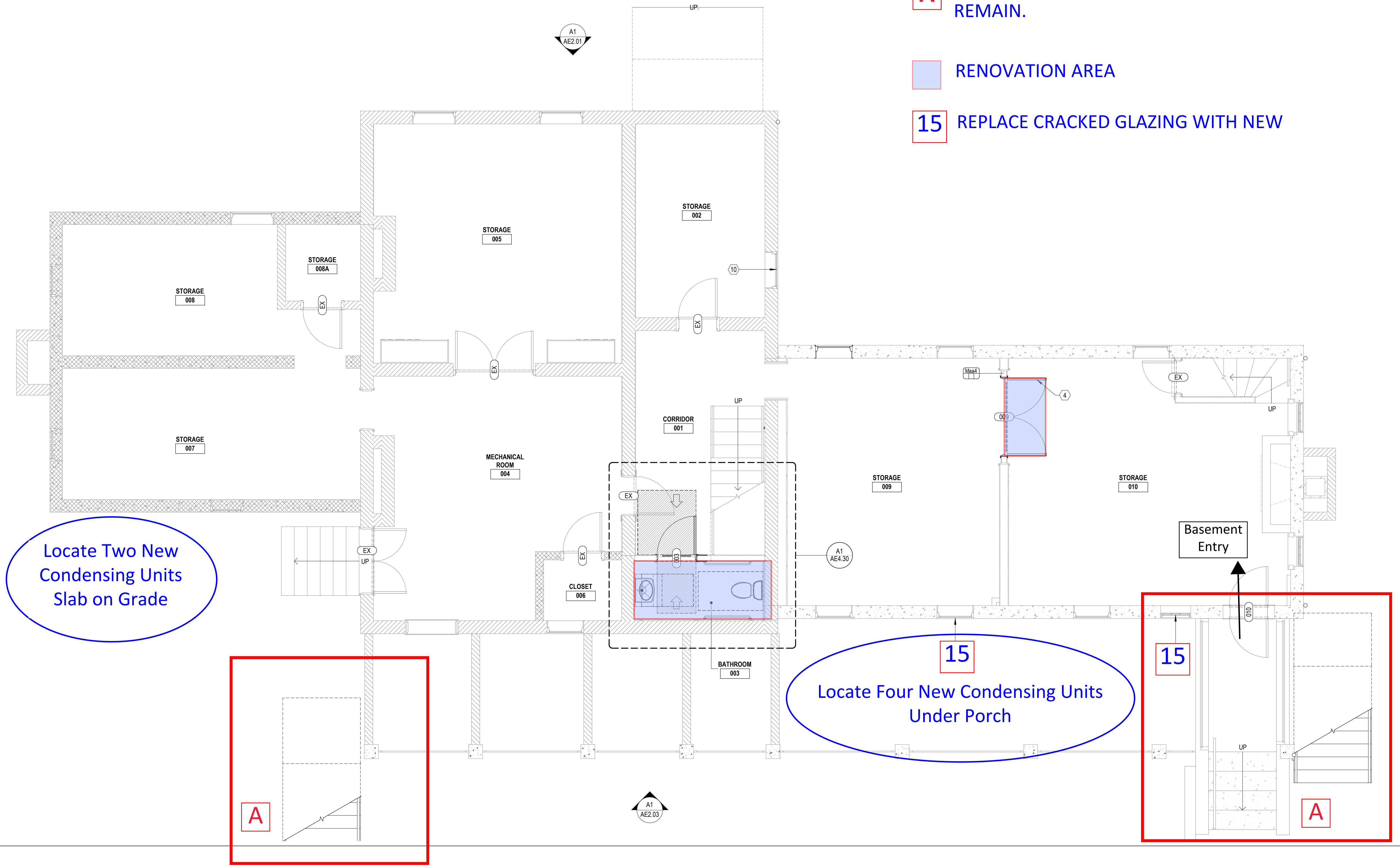
DPS PERMIT USE

BASEMENT PLAN

A EXISTING EAST AND WEST STAIRS TO REMAIN.

RENOVATION AREA

15 REPLACE CRACKED GLAZING WITH NEW



Locate Two New Condensing Units Slab on Grade

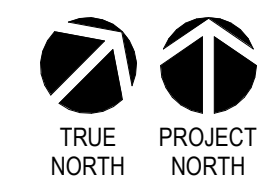
15
Locate Four New Condensing Units Under Porch

A

15
A

A1 AE1.U1		FLOOR PLAN-OVERALL- LEVEL U1		1/4" = 1'-0"																		
DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM		DRAWING CHECKED BY: KLG <table border="1"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> </tbody> </table>		Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05	PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland. LICENSE NO. _____ EXPIRATION DATE: _____ DocuSeal Professional Seal		SUBMISSION / REVISION <table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		Rev. No.	Date	Description			
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FLOOR PLAN- LEVEL U1 NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown				DWG. # AE1.U1																		

The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Parks
 2425 Reedie Drive
 Wheaton, Maryland 20902
 (301) 495-2535



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DEMOLITION PLAN NOTES	
NUM.	NOTE
1	SALVAGE DOOR
2	SALVAGE WOOD PANELS FOR REINSTALLATION AND DEMOLISH CONCRETE WALL
3	DEMOLISH CONCRETE AND FRAME WALL
4	REMOVE TOILET
5	REMOVE SINK, CASEWORK, AND COUNTER
6	REMOVE LAVATORY
7	DEMOLISH SHOWER
8	REMOVE RADIATOR AND SALVAGE RADIATOR COVER
9	WIDEN OPENING
10	REMOVE PLYWOOD
11	SALVAGE DOOR FOR REINSTALLATION
12	REMOVE WINDOW AC UNIT AND METAL PANEL
13	REMOVE PLYWOOD AND WOOD PANEL COVERING OPENING.
14	ADD ALTERNATE #2: REMOVE BASE AND WALL CASEWORK, ASSOCIATED COUNTERS, AND APPLIANCES.
15	EXISTING RAILING(S) TO BE DEMOLISHED DURING PART 1 - SITE RENOVATION
16	EXISTING STAIRS TO BE DEMOLISHED AS PART 1 - SITE RENOVATION
17	SALVAGE SCREEN PORCH FRAMING FOR REINSTALLATION.
18	REMOVE LAVATORY
19	REMOVE BATHTUB

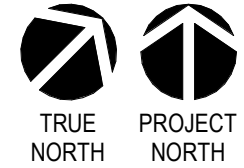
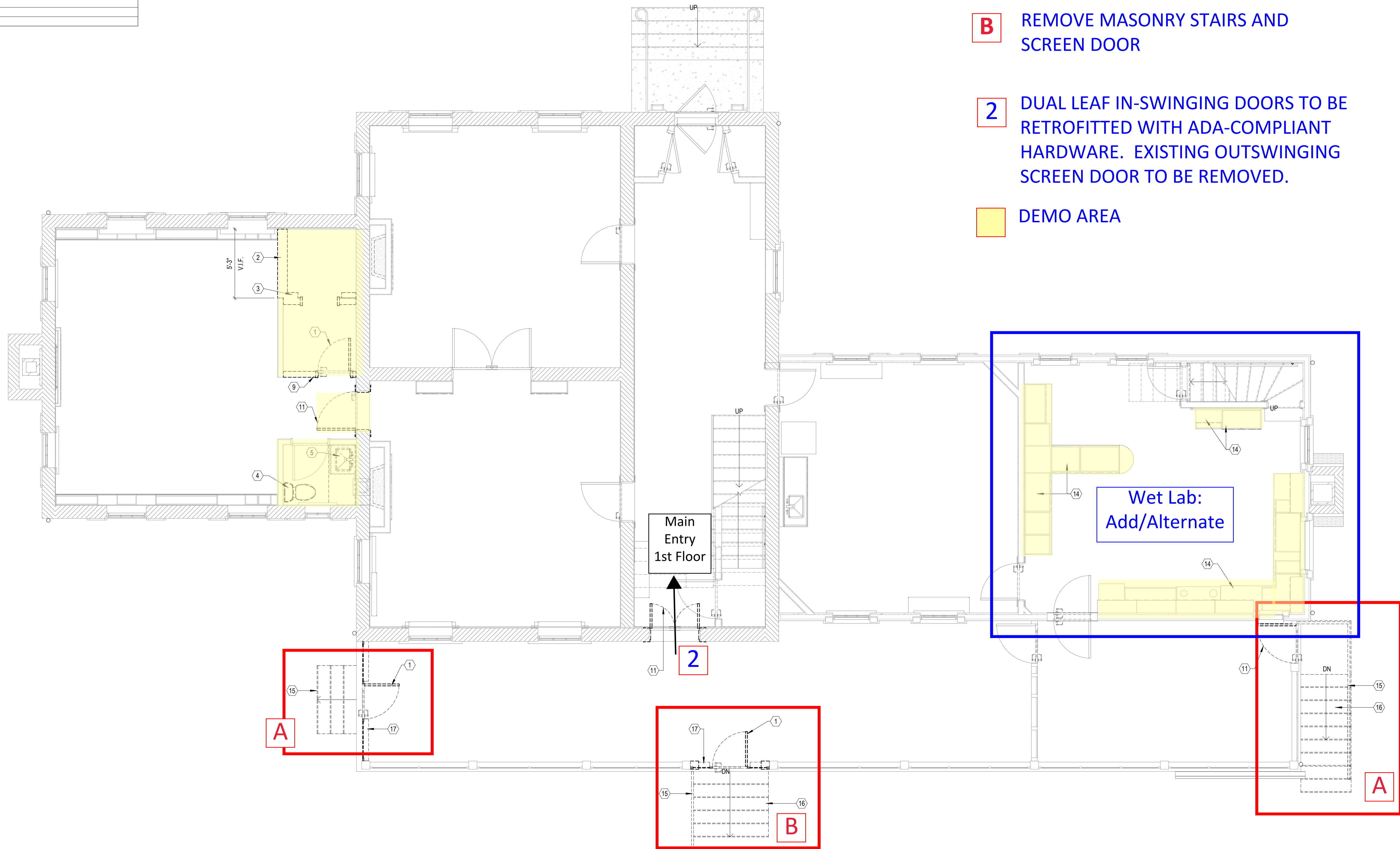
DEMO PLAN - FIRST FLOOR

A EXISTING EAST AND WEST STAIRS TO REMAIN.

B REMOVE MASONRY STAIRS AND SCREEN DOOR

2 DUAL LEAF IN-SWINGING DOORS TO BE RETROFITTED WITH ADA-COMPLIANT HARDWARE. EXISTING OUTSWINGING SCREEN DOOR TO BE REMOVED.

DEMO AREA



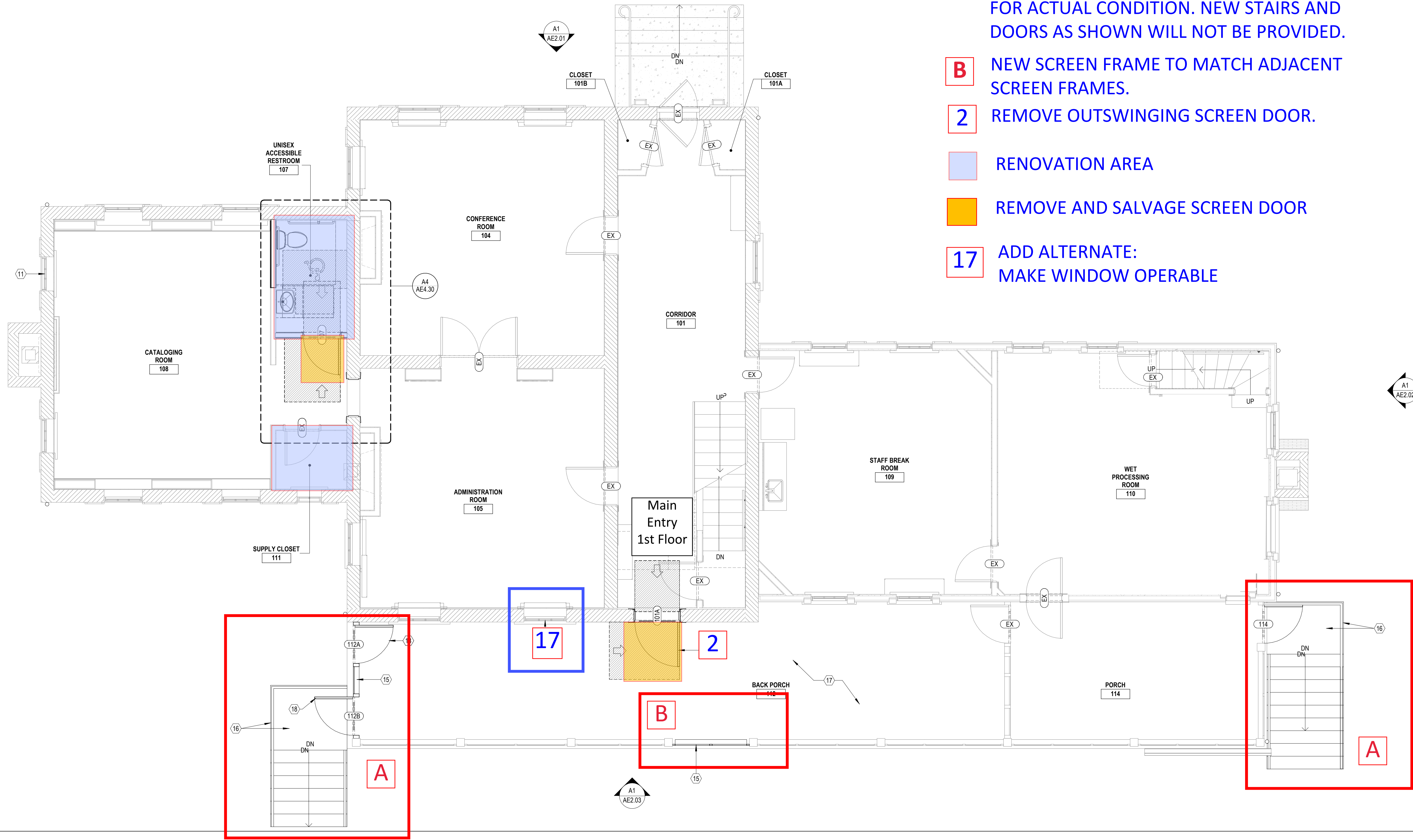
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FLOOR PLAN NOTES- LEVEL 1	
NUM.	NOTE
3	INSTALL SALVAGED DOOR
11	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.
15	INSTALL NEW WOOD SCREEN PORCH WALL USING SALVAGED PORCH FRAMING. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPLACE WITH NEW WOOD. NEW WOOD TO MATCH EXISTING IN WOOD IN SPECIES, DIMENSION, AND GRAIN. ONCE REPAIRS ARE COMPLETE, PAINT WOOD WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
16	NEW STAIR AND ASSOCIATED RAILINGS TO BE INSTALLED DURING PART 1 SITE RENOVATION. M-NOPPC TO DESIGN.
17	REPAIR EXISTING WOOD PORCH FLOOR. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPLACE WITH NEW WOOD. NEW WOOD TO MATCH EXISTING WOOD IN SPECIES, DIMENSION, AND GRAIN. ONCE ALL REPAIRS ARE COMPLETE, PAINT WOOD WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
18	INSTALL NEW WOOD SCREENED DOOR. PANEL STYLE TO MATCH EXISTING SCREENED PORCH DOORS.

DPS PERMIT USE

FIRST FLOOR PLAN

- A** EXISTING EAST AND WEST STAIR AND DOOR TO REMAIN. SEE EXISTING FLOOR PLANS FOR ACTUAL CONDITION. NEW STAIRS AND DOORS AS SHOWN WILL NOT BE PROVIDED.
- B** NEW SCREEN FRAME TO MATCH ADJACENT SCREEN FRAMES.
- 2** REMOVE OUTSWINGING SCREEN DOOR.
- RENOVATION AREA
- REMOVE AND SALVAGE SCREEN DOOR
- 17** ADD ALTERNATE: MAKE WINDOW OPERABLE



A1
AE1.01 FLOOR PLAN-OVERALL- LEVEL 01

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES
BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM

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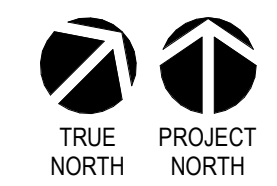
SUBMISSION / REVISION		
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FLOOR PLAN- LEVEL 01
NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

1/4" = 1'-0"

DWG. #
AE1.01

FINAL PLAN

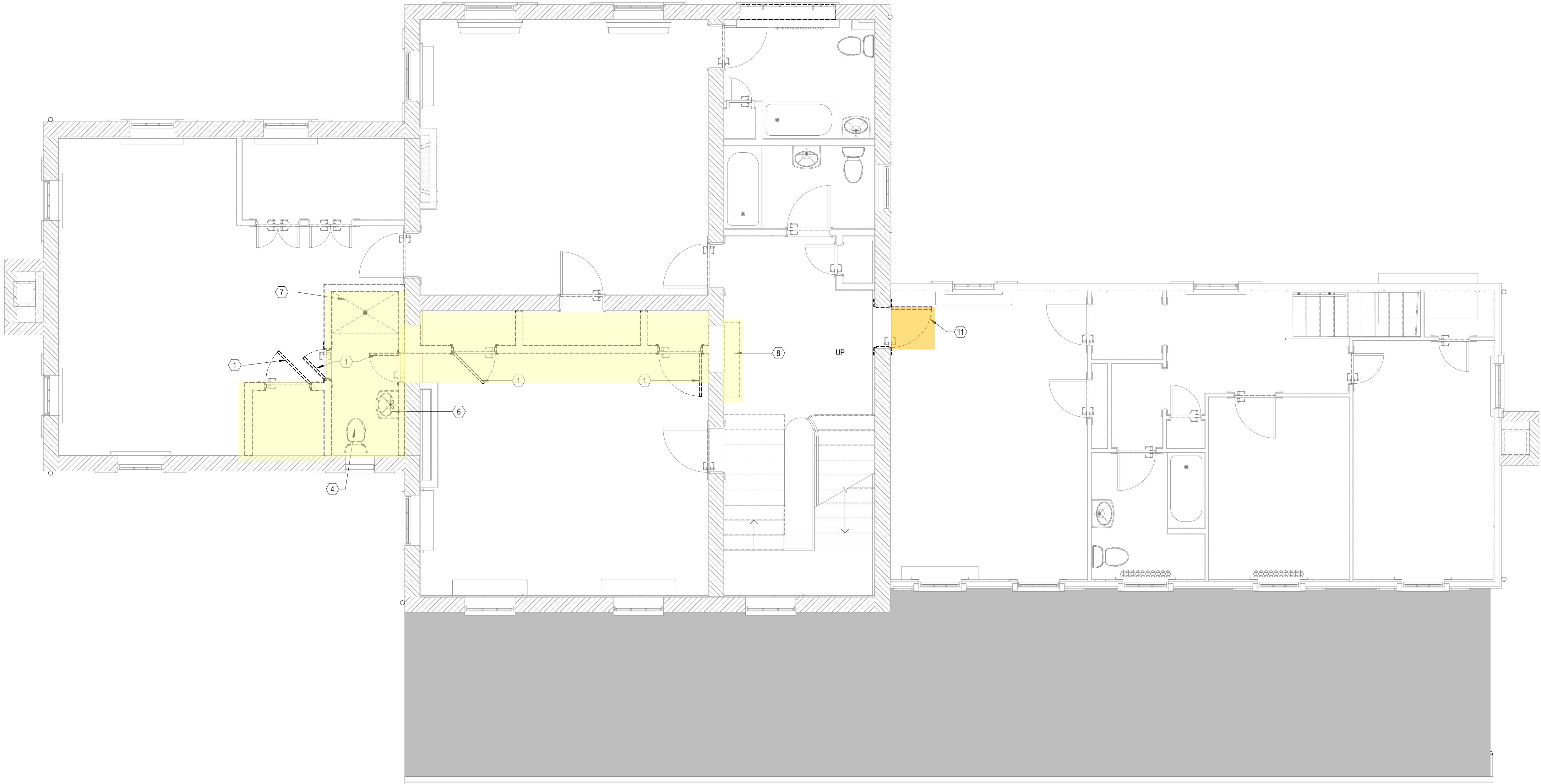


DPS PERMIT USE

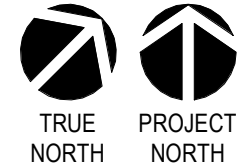
DEMOLITION PLAN NOTES	
NUM.	NOTE
1	SALVAGE DOOR
1	SALVAGE DOOR FOR REINSTALLATION
2	SALVAGE WOOD PANELS FOR REINSTALLATION AND DEMOLISH CONCRETE WALL
3	DEMOLISH CONCRETE AND FRAME WALL
4	REMOVE TOILET
5	REMOVE SINK, CASEWORK, AND COUNTER
6	REMOVE LAVATORY
7	DEMOLISH SHOWER
8	REMOVE RADIATOR AND SALVAGE RADIATOR COVER
9	WIDEN OPENING
10	REMOVE PLYWOOD
11	SALVAGE DOOR FOR REINSTALLATION
12	REMOVE WINDOW AC UNIT AND METAL PANEL
13	REMOVE PLYWOOD AND WOOD PANEL COVERING OPENING.
14	ADD ALTERNATE #2: REMOVE BASE AND WALL, CASEWORK, ASSOCIATED COUNTERS, AND APPLIANCES.
15	EXISTING RAILING(S) TO BE DEMOLISHED DURING PART 1 - SITE RENOVATION
16	EXISTING STAIRS TO BE DEMOLISHED AS PART 1 - SITE RENOVATION
17	SALVAGE SCREEN PORCH FRAMING FOR REINSTALLATION.

DEMO PLAN - SECOND FLOOR

- DEMO AREA
- SALVAGE / REUSE



FINAL PLAN



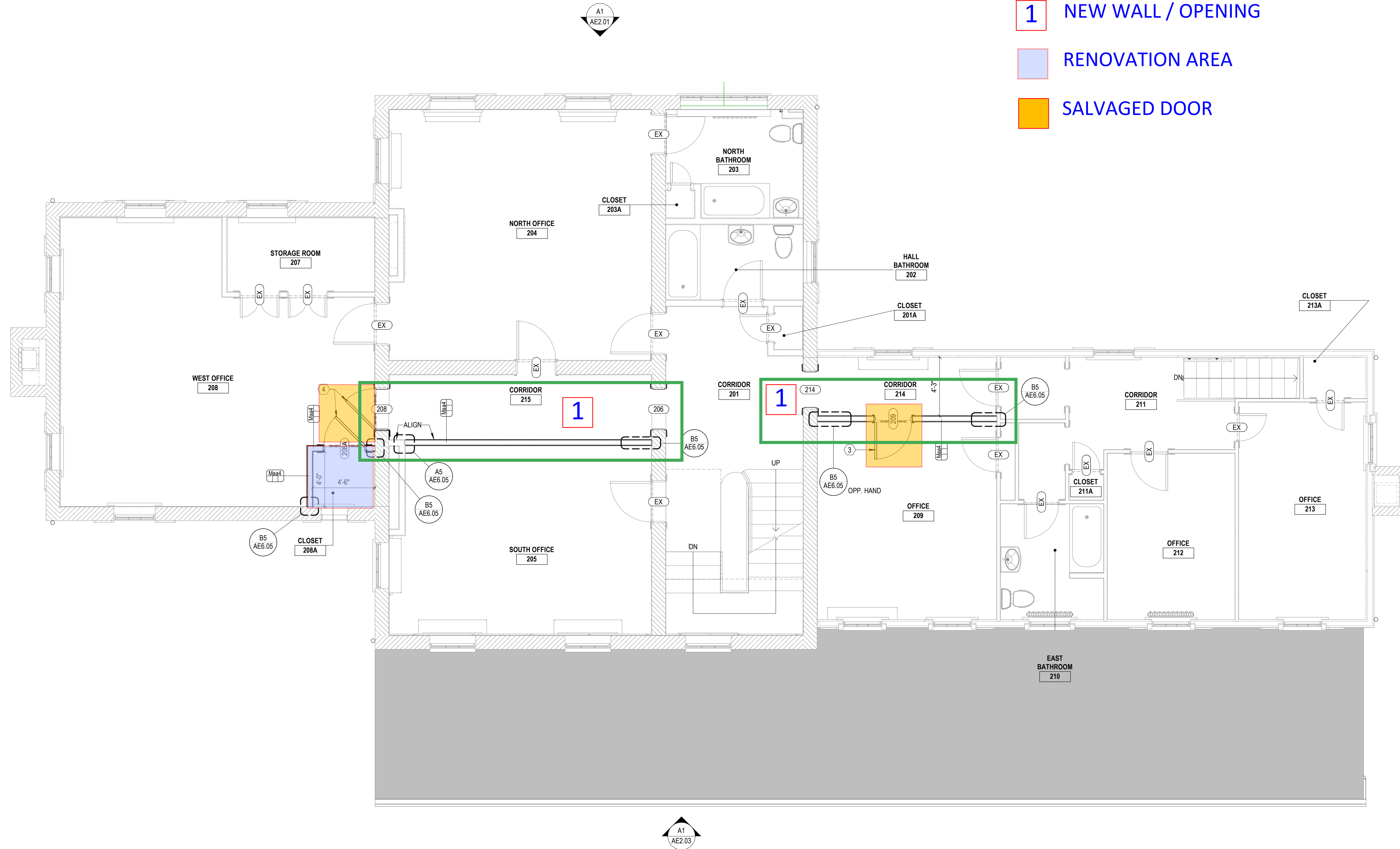
<p>A1 AD1.02</p>	<p>DEMOLITION PLAN-OVERALL- LEVEL 02</p>	<p>1/4" = 1'-0"</p>	<p>DWG. # AD1.02</p>																								
<p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <p>MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p>	<p>DRAWING CHECKED BY: KLG</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLK</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLK</td> <td>2024.03.05</td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLK	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05	<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center;">Professional Seal</div> </div>	<p>SUBMISSION / REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description												
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FLOOR PLAN NOTES- LEVEL 2	
NUM.	NOTE
3	INSTALL SALVAGED DOOR
4	NEW DOOR
7	NOT USED
11	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.

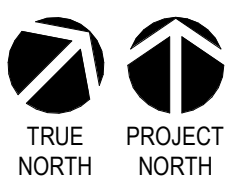
DPS PERMIT USE

SECOND FLOOR PLAN

- 1 NEW WALL / OPENING
- RENOVATION AREA
- SALVAGED DOOR



FINAL PLAN



<p>A1 AE1.02</p> <p>FLOOR PLAN-OVERALL- LEVEL 02</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p>	<p>MICHAEL GRAVES</p> <p>BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p>	<p>DRAWING CHECKED BY: KLG</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05	<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p>	<p style="text-align: center;">DocuSeal</p> <div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> <p style="font-size: 8px; margin: 0;">Professional Seal</p> </div>	<p style="text-align: center;">The Maryland-National Capital Park and Planning Commission</p> <p style="text-align: center;">Montgomery County Department of Parks 2425 Reedle Drive Wheaton, Maryland 20902 (301) 495-2535</p>	<p>SUBMISSION / REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description													<p>FLOOR PLAN- LEVEL 02</p> <p>NEEDWOOD MANSION</p> <p>Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>DWG. #</p> <p style="font-size: 24px; font-weight: bold;">AE1.02</p>
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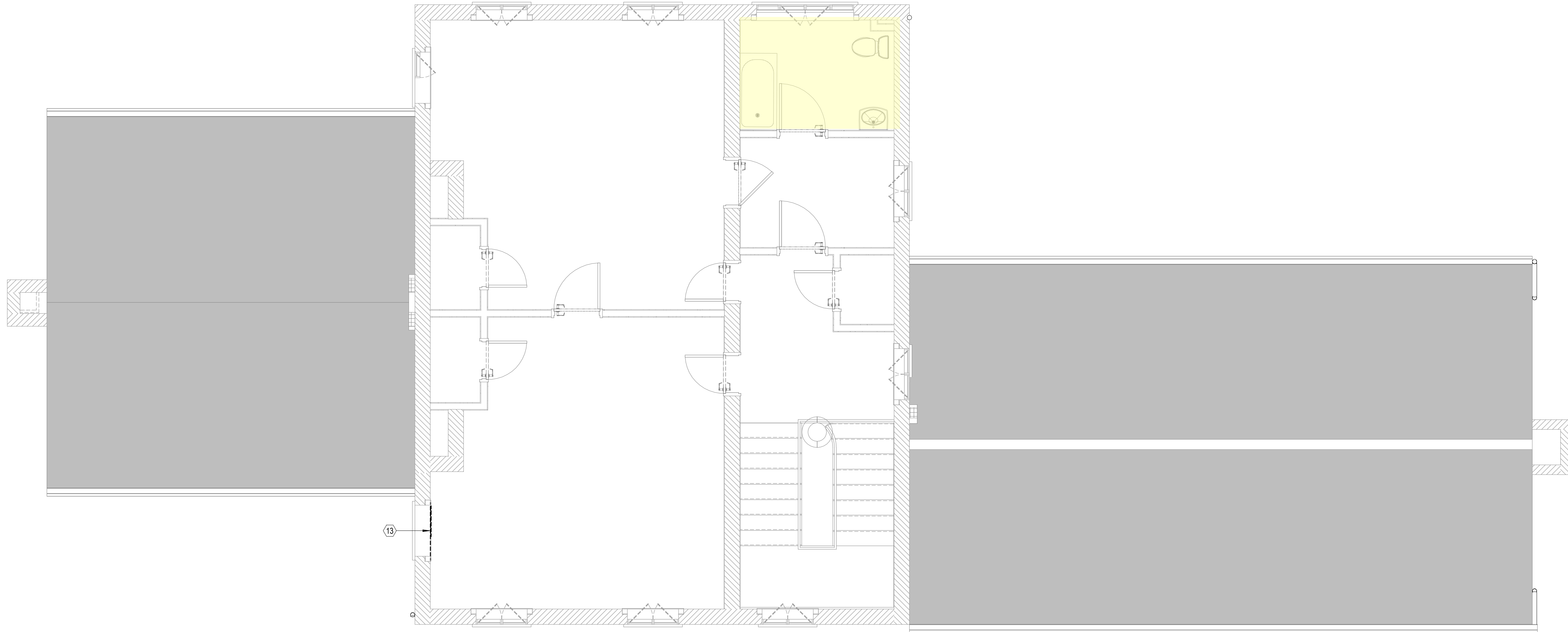
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DPS PERMIT USE

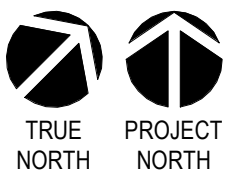
DEMO PLAN - THIRD FLOOR

DEMO AREA - PLUMBING FIXTURES

DEMOLITION PLAN NOTES	
NUM.	NOTE
1	SALVAGE DOOR
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FINAL PLAN SHOWN



A1	DEMOLITION PLAN-OVERALL- LEVEL 03	1/4" = 1'-0"																																	
AD1.03	DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION	DWG. #																																	
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The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Parks
 2425 Reedie Drive
 Wheaton, Maryland 20902
 (301) 495-2535

PROJECT DESCRIPTION

NEEDWOOD MANSION IS A MONTGOMERY PARKS, MARYLAND NATIONAL CAPITAL PARK AND PLANNING (M-NCPPC) OWNED HISTORIC HOUSE LOCATED AT 6700 NEEDWOOD ROAD, DERWOOD, MD 20855. CONSTRUCTED IN THREE DISTINCT PHASES, NEEDWOOD MANSION IS ILLUSTRATIVE OF A MID-19TH CENTURY TO MID-20TH CENTURY FEDERAL HOUSE. THE MAIN CENTER BLOCK CONSISTS OF THE ORIGINAL HOUSE CONSTRUCTED IN 1856 WITH TWO LATER ADDITIONS ADDED TO THE EAST AND WEST. THE FIRST ADDITION WAS CONSTRUCTED IN 1913 AND A SECOND ADDITION WAS CONSTRUCTED IN 1958. IT IS LOCALLY DESIGNATED AS A MONTGOMERY COUNTY HISTORIC RESOURCE, RESOURCE NO. MP22035. ALL WORK SHALL CONFORM WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE PRESERVATION OF HISTORIC PROPERTIES (1995) AND ITS RELATED PRESERVATION BRIEFS.

- GENERAL NOTES**
- ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS, CODES, AND GUIDELINES.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY IN FIELD (VIF) ALL SITE CONDITIONS, UTILITIES, ELEVATIONS, SECTIONS, AND DIMENSIONS PRIOR TO THE START OF WORK. CONTRACTOR IS RESPONSIBLE FOR SURVEY, LAYOUT, AND COORDINATION OF ALL WORK. ANY DISCREPANCIES IN DIMENSIONS AND CONDITIONS, OR DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE M-NCPPC IMMEDIATELY.
 - ALL DIMENSIONS SHOWN ON DRAWINGS ARE NOTED FROM FINISH MATERIAL TO FINISH MATERIAL, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "HOLD" OR "CLEAR" SHALL BE GIVEN PRIORITY.
 - FLOOR ELEVATIONS ARE TO THE TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED.
 - CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACE OF CEILING UNLESS OTHERWISE NOTED.
 - ALL FIRE RATED CONSTRUCTION, IF INDICATED, SHALL CONFORM WITH UL TESTED STANDARDS AND/OR LOCAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR TO VERIFY THAT ALL EXISTING RATED WALLS (INCLUDING PENETRATIONS) WERE CONSTRUCTED TO MEET CURRENT REQUIREMENTS FOR A RATED WALL ASSEMBLY. IF DISTURBED, ASSOCIATED OR ADJACENT TO PROJECT SCOPE, CONTRACTOR SHALL NOTIFY THE M-NCPPC OF ANY NON-COMFORMANCE THAT DO NOT APPLY. PROVIDE FIRE SAFING INSULATION OR FIRE SEALANT AROUND PIPES PENETRATING RATED WALLS OR FLOORS TO MAINTAIN AN APPLICABLE FIRE RATING AND/OR SMOKE BARRIER.
 - ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. IF THE MEANING OF AN ABBREVIATION IS UNCLEAR, NOTIFY THE M-NCPPC FOR CLARIFICATION.
 - CONTRACTOR SHALL COORDINATE AND PROVIDE ALL NECESSARY BLOCKING, BRACING, STIFFENERS, AND CARRIERS WITHIN WALLS AND CEILINGS AS REQUIRED TO SUPPORT ITEMS TO BE ATTACHED OR HUNG FROM WALLS OR CEILINGS TO MAKE THE WORK COMPLETE.
 - PROVIDE SEALANT AT ALL FIXTURES AND CHANGE IN MATERIAL - TYPICAL.
 - ALL WORK SHALL BE DONE IN A WORKMAN LIKE MANNER AND IN CONFORMANCE WITH MANUFACTURERS INSTALLATION AND GUARANTEE REQUIREMENTS.
 - THE CONTRACTOR IS SPECIFICALLY RESPONSIBLE FOR ALL MEANS AND METHODS OF JOB SITE SAFETY.
 - PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.
 - ALL ITEMS, EQUIPMENT, APPLIANCES, AND APPARATUS SHALL REMAIN THE PROPERTY OF THE M-NCPPC. VERIFY THOSE ITEMS TO REMAIN AND CAREFULLY REMOVE AND/OR STORE ON SITE AS DIRECTED BY THE M-NCPPC. DO NOT DISPOSE OF ANY ITEMS WITHOUT CONFIRMATION.
 - REMOVE ALL DEBRIS PROPERLY FROM SITE, EXCEPT THAT LISTED OR MARKED FOR RETENTION. DISPOSE OF DEBRIS LEGALLY AND DO NOT BURN ON SITE NOR ALLOW DEBRIS TO ENTER SEWER OR STORMWATER SYSTEMS. DO NOT LET PILED DEBRIS ENDANGER STRUCTURE, BLOCK EXITS, OR ROADWAYS. UPON DISCOVERY OF ANY HAZARDOUS MATERIAL, NOTIFY THE M-NCPPC OF THE TYPE, LOCATION, AND EXTENT OF SAME.
 - REMOVAL OF A PARTICULAR ITEM, I.E. WALLS, DOORS, ETC. IS TO INCLUDE RELATED ITEMS SUCH AS ELECTRICAL, MECHANICAL, PLUMBING, AND HARDWARE. CARE SHOULD BE TAKEN NOT TO REMOVE MORE THAN IS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. ANY SURFACES DISTURBED BY REMOVAL ARE TO BE RETURNED TO LIKE-NEW CONDITION WITH NEW MATERIAL TO MATCH SURROUNDING SURFACES.
 - UNLESS NOTED OTHERWISE, ALL WORK SHALL BE NEW AND THE M-NCPPC WILL NOT PROVIDE ANY EQUIPMENT, MATERIALS, OR LABOR FOR THE WORK.
 - ONLY APPROVED PLANS THAT HAVE BEEN SIGNED BY THE APPROPRIATE AUTHORITIES SHALL BE USED FOR THE CONSTRUCTION OF THE IMPROVEMENTS.
 - REFER TO M-NCPPC CONSTRUCTION GENERAL CONDITIONS CONTRACT DOCUMENT FOR ADDITIONAL CONTRACTOR RESPONSIBILITIES.
 - INTERIOR WORK AREAS SHALL BE LIMITED TO THOSE APPROVED BY THE M-NCPPC AND PROTECTED FROM DUST, ABRASION OR OTHER DETERIORATION, AND SEPARATED FROM OTHER INTERIOR SPACES BY DUST SHIELDS.
 - ALL GROUND DISTURBING ACTIVITIES SHALL BE MONITORED BY AN ARCHAEOLOGIST.
 - LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER ALL DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
 - "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYS AND NOTED "TYP." ONLY ONCE, WHERE THEY FIRST OCCUR.
 - CONTRACTOR SHALL NOT MEASURE THESE DRAWINGS FOR THE PURPOSE OF CONSTRUCTION.
 - THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING BIDDING OR CONSTRUCTION.
 - THE CONTRACTOR SHALL APPLY, INSTALL, CONNECT, ERECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS, AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN A CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
 - IMMEDIATELY PRIOR TO THE OWNER'S OCCUPANCY, THE CONTRACTOR SHALL CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT, AND LEAVE ALL FLOORS VACUUMED CLEAN. REMAINING CONSTRUCTION MATERIAL AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARILY SECURED IN AN AREA DIRECTED BY THE TENANT.
 - THE CONTRACTOR SHALL FILE, OBTAIN, AND PAY FOR ALL FEES FOR BUILDING DEPARTMENT APPROVALS AND PERMITS, WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF ALL TRANSACTIONS ARE TO BE FORWARDED TO THE OWNER.
 - THE CONTRACTOR SHALL EXECUTE ALL INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
 - ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOW ON TYPICAL FLOOR PLANS, SECTIONS, OR DETAILS SHALL APPLY TO ALL SIMILAR OR OPPOSITE HAND PLANS, SECTIONS OR DETAILS.
 - DRAWINGS AND SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF MICHAEL GRAVES ARCHITECTURE AND ARE NOT TO BE USED BY CLIENT OR CONTRACTOR ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING FROM MICHAEL GRAVES ARCHITECTURE.

PARCEL DATA

DISTRICT: 04 **BLOCK: N/A**
MAP: GS42

SUBDIVISION: 0001

PROJECT TEAM LIST

OWNER M-NCPPC, MONTGOMERY PARKS DEVELOPMENT DIVISION 2425 Reedie Drive, 14th Floor 301.495.2535	ARCHITECT MICHAEL GRAVES 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 410.290.9680
STRUCTURAL ENGINEER MCC=1200AE 210 N Lee Street, Suite 210 Alexandria, VA 22314 703.350.4151	MEP ENGINEER ALBAN ENGINEERING, INC. 303 International Circle, Suite 450 Hunt Valley, MD 21030 410.842.6411

MICHAEL GRAVES
 BALTIMORE, MD
 233 E. Redwood Street, 12th Floor
 Baltimore, MD 21202
 T 410 290 9680
 MICHAELGRAVES.COM

DRAWING CHECKED BY: KLG		
Submission Name	Initials	Date
SCHEMATIC DESIGN	KLK	2024.01.08
DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05

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 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. _____
 EXPIRATION DATE: _____

DocuSeal Professional Seal

The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Parks
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SUBMISSION / REVISION		
Rev. No.	Date	Description

COVER SHEET

NEEDWOOD MANSION
 Renovation
 6700 NEEDWOOD ROAD DERWOOD, MD 20855
 SCALE: As Shown

DWG. #
GA0.00

DPS PERMIT USE

The Maryland-National Capital Park and Planning Commission
Historic Needwood Mansion
 Renovation Part 2

ROCK CREEK REGIONAL PARK
 6700 NEEDWOOD ROAD DERWOOD, MD 20855
 Park Code: N06-B01

DESIGN DEVELOPMENT (60% CDs)
 2024.03.05

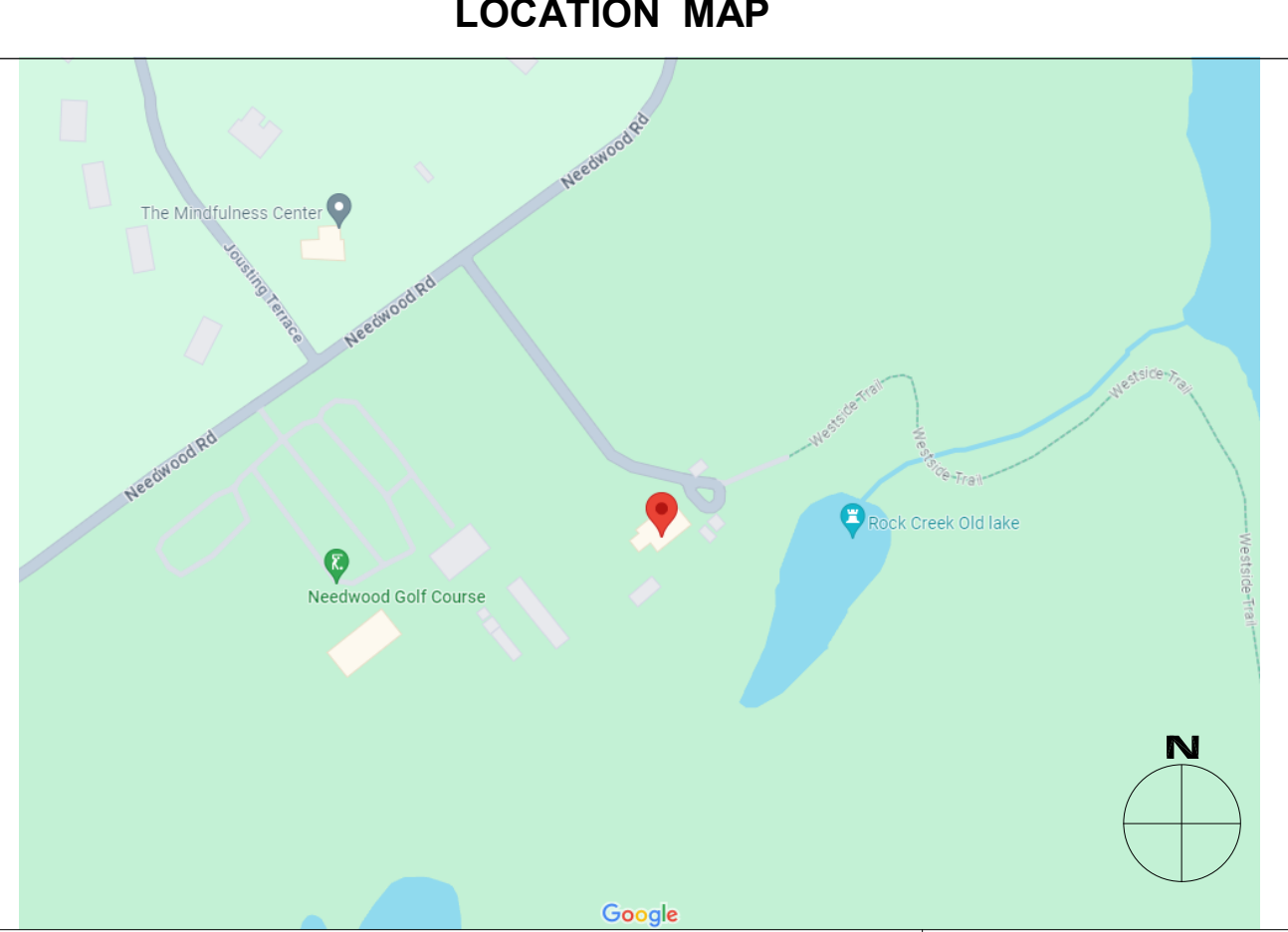
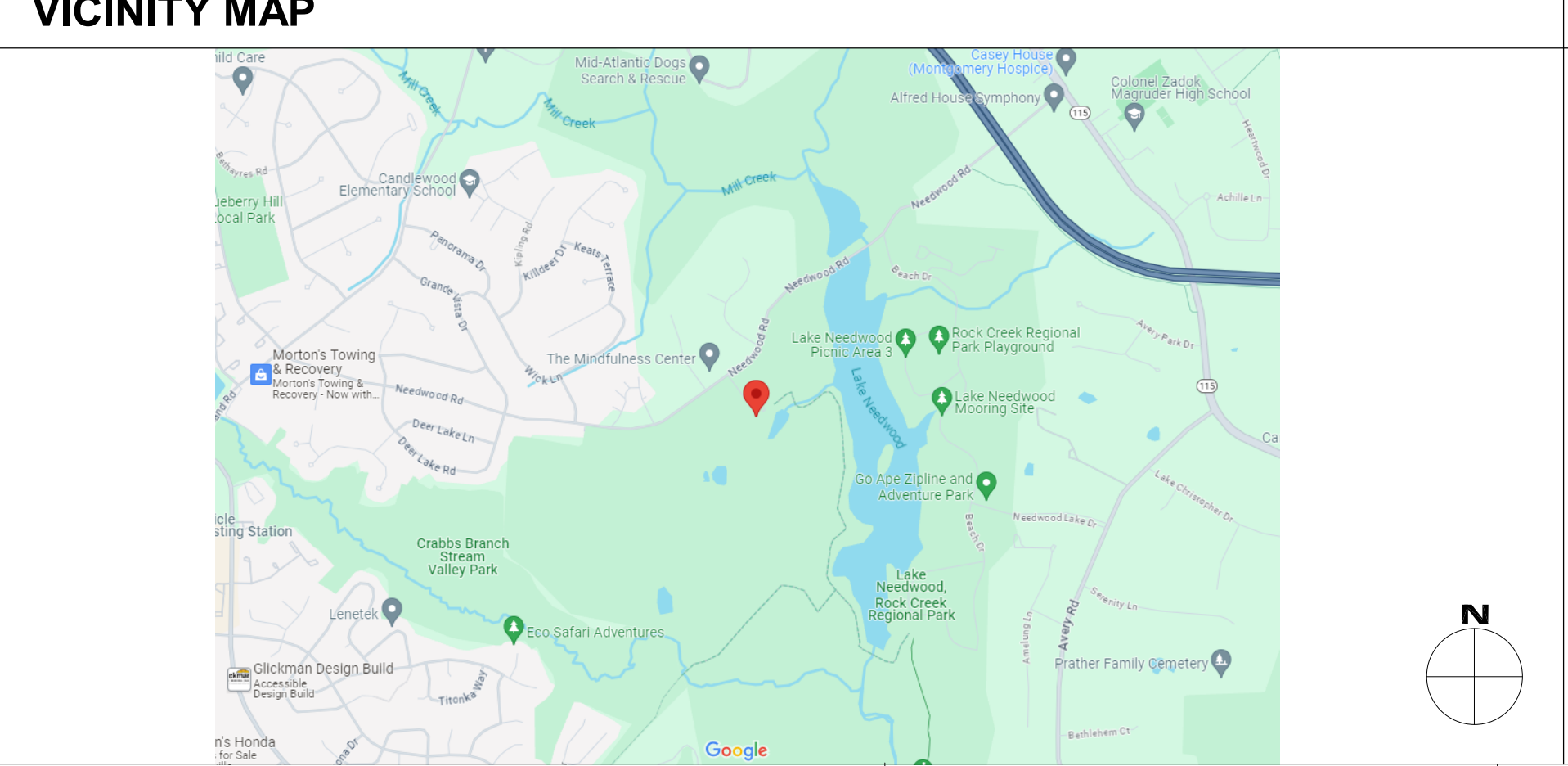
SITE PLAN

ADA COMPLIANCE CERTIFICATION

The undersigned does hereby certify that this project has been designed in accordance with the current ADA Standards for Accessible Design and all applicable local, State and Federal requirements.

Registered Professional Printed Name _____

Signature _____ Date _____



FINAL SCANNED
 PLAN SCANNED
 PAPER CODE

DPS PERMIT USE

SHEET INDEX

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GC1.00	CODE COMPLIANCE SERIES INFORMATION	2024.03.05
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GC1.02	CODE COMPLIANCE PLAN- LEVEL 02	2024.03.05
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INTERIOR ELEVATIONS: 1		
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S-301	SECTIONS AND DETAILS	2024.03.05
S-302	MASONRY DETAILS	2024.03.05
STRUCTURAL: 8		
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PLUMBING: 1		
PLUMBING		
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PD1.01	FLOOR PLAN - LEVEL 1 - DEMO	2024.03.05
PD1.02	FLOOR PLAN - LEVEL 2 - DEMO	2024.03.05
PD1.03	FLOOR PLAN - LEVEL 3 - DEMO	2024.03.05
PLUMBING: 4		
PLUMBING		
PT.00	FLOOR PLAN - BASEMENT	2024.03.05
PT.01	FLOOR PLAN - LEVEL 1	2024.03.05
PT.02	FLOOR PLAN - LEVEL 2	2024.03.05
PT.03	FLOOR PLAN - LEVEL 3	2024.03.05
PLUMBING: 4		
MECHANICAL		
MO.01	MECHANICAL GENERAL NOTES & LEGEND	2024.03.05
MECHANICAL: 1		
MECHANICAL		
MD1.01	FLOOR PLAN - LEVEL 1 - DEMO	2024.03.05
MD1.02	FLOOR PLAN - LEVEL 2 - DEMO	2024.03.05
MECHANICAL: 2		
MECHANICAL		
M1.00	FLOOR PLAN - BASEMENT	2024.03.05
M1.01	FLOOR PLAN - LEVEL 1	2024.03.05
M1.02	FLOOR PLAN - LEVEL 2	2024.03.05
M1.03	FLOOR PLAN - LEVEL 3	2024.03.05
M7.01	DUCTWORK & AIR DEVICE DETAILS	2024.03.05
M9.01	MECHANICAL SCHEDULES	2024.03.05
MECHANICAL: 6		
ELECTRICAL		
EO.01	ELECTRICAL LEGEND	2024.03.05
ELECTRICAL: 1		

SHEET INDEX

NUMBER	NAME	ORIG ISSUE
ELECTRICAL		
ED1.00	FLOOR PLAN - BASEMENT - DEMO	2024.03.05
ED1.01	FLOOR PLAN - LEVEL 1 - DEMO	2024.03.05
ED1.02	FLOOR PLAN - LEVEL 2 - DEMO	2024.03.05
ED1.03	FLOOR PLAN - LEVEL 3 - DEMO	2024.03.05
ELECTRICAL: 4		
ELECTRICAL		
E1.00	FLOOR PLANS - BASEMENT	2024.03.05
E1.01	FLOOR PLANS - LEVEL 1	2024.03.05
E1.02	FLOOR PLANS - LEVEL 2	2024.03.05
E1.03	FLOOR PLANS - LEVEL 3	2024.03.05
E2.01	PANEL SCHEDULES	2024.03.05
ELECTRICAL: 5		
Grand total: 64		

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES
 BALTIMORE, MD
 233 E. Redwood Street, 12th Floor
 Baltimore, MD 21202
 T 410 290 9680
 MICHAELGRAVES.COM

DRAWING CHECKED BY: KLG

Submission Name	Initials	Date
SCHEMATIC DESIGN	KLK	2024.01.08
DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05

PROFESSIONAL CERTIFICATION:
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____

EXPIRATION DATE: _____

DocuSeal



The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Parks
 2425 Reedie Drive
 Wheaton, Maryland 20902
 (301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

SHEET INDEX- PAGE 1

NEEDWOOD MANSION
 Renovation
 6700 NEEDWOOD ROAD DERWOOD, MD 20855
 SCALE: As Shown

DWG. #

GA0.01

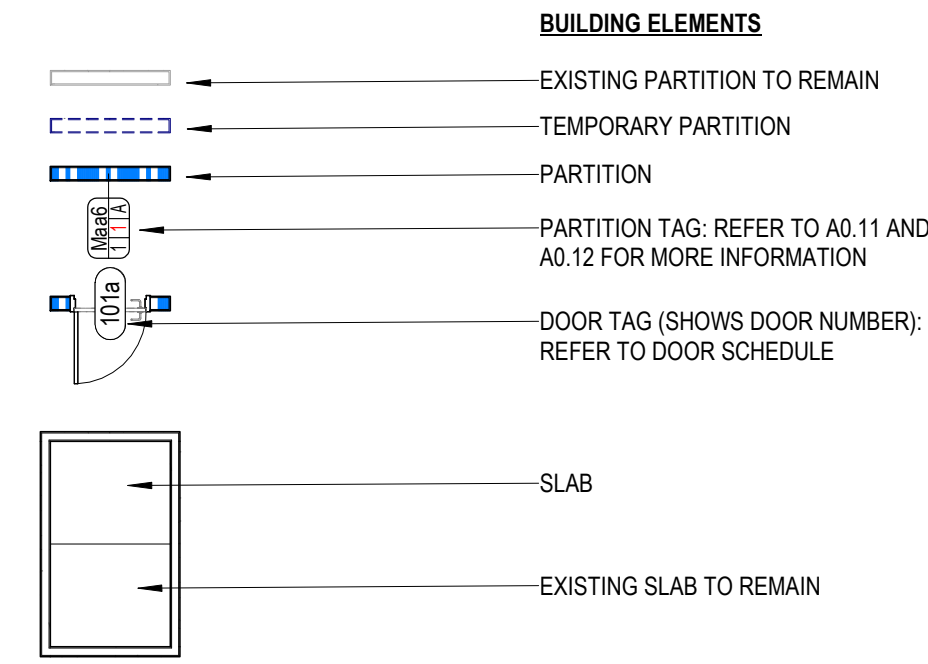
PINK STAINED

PLAN STAINED

PARK CODE

DPS PERMIT USE

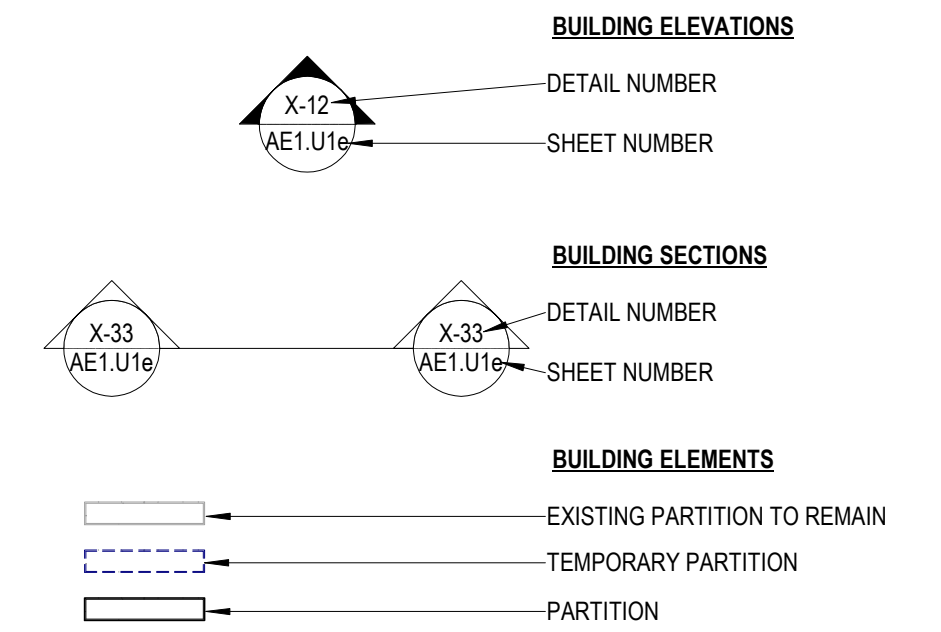
LEGEND- PARTIAL FLOOR PLANS



GENERAL NOTES- PARTIAL PLANS

- DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A0.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.
-

LEGEND- OVERALL FLOOR PLANS

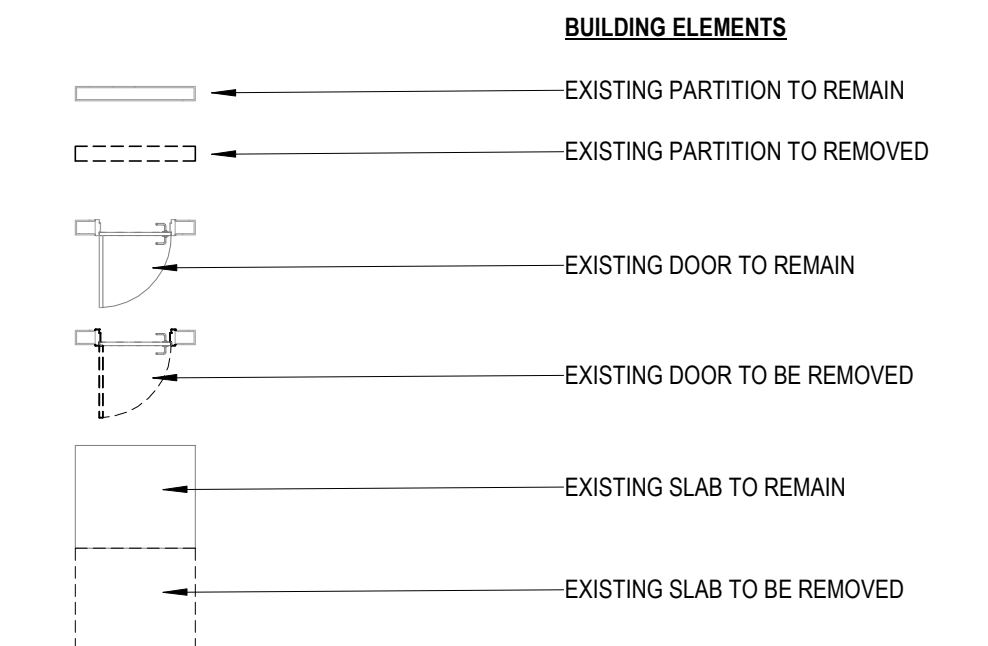


GENERAL NOTES- FLOOR PLANS

- DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A0.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON OVERALL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.
- REFER TO PARTIAL PLANS FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS.
- WHERE WALLS ARE DEMOLISHED, REPAIR FLOOR AND CEILING TO MATCH EXISTING ADJACENT IN PROFILE, SIZE, AND COLOR.

2 GA0.10	LEGEND- PARTIAL PLANS	1/8" = 1'-0"	C5 GA0.10	LEGEND- FLOOR PLANS	1/8" = 1'-0"
-------------	-----------------------	--------------	--------------	---------------------	--------------

LEGEND- DEMOLITION PLANS



GENERAL NOTES- DEMO PLANS

- DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A0.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON OVERALL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.
- REFER TO PARTIAL PLANS FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS.

1 GA0.10	LEGEND- DEMO PLANS	1/8" = 1'-0"
-------------	--------------------	--------------

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM

DRAWING CHECKED BY: KLG

Submission Name	Initials	Date
SCHEMATIC DESIGN	KLK	2024.01.08
DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____

EXPIRATION DATE: _____

DocuSeal

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedie Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

LEGENDS (ARCHITECTURAL)

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #
GA0.10

FINAL PLAN DRAWING

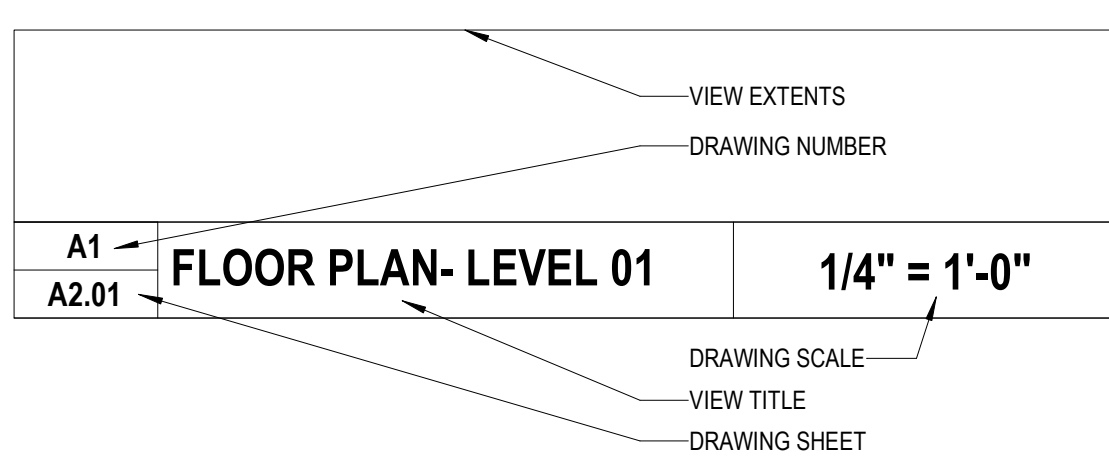
ABBREVIATIONS
 THESE ABBREVIATIONS ARE BASED ON STANDARD ABBREVIATIONS THAT ARE USED IN CONSTRUCTION. HOWEVER, ALL ABBREVIATIONS MUST BE REVIEWED IN CONTEXT AND FINAL INTERPRETATION IS BY THE ARCHITECT. NOT ALL ABBREVIATIONS THAT ARE LISTED ARE USED IN THE ATTACHED DOCUMENTS.

#	INCHES	DO	DOOR OPENING	ID	INSIDE DIAMETER	PAV	PAVEMENT
&	POUND OR NUMBER	DR	DOOR	IN	INCH	PB	PARTICLE BOARD
'	AND	DS	DOWNSPOUT	INCL	INCLUDE, INCLUDING	PCF	POUNDS PER CUBIC FOOT
(E)	FOOT (FEET)	DSP	DRY STANDPIPE	IND	INDUSTRIAL	PED	PEDESTAL, PEDESTRIAN
356	EXISTING	DW	DISHWASHER	INFO	INFORMATION	PERF	PERFORATE(D)
<		DWG	DRAWING	INSUL	INSULATION, INSULATE	PERIM	PERIMETER
@	ANGLE	DWR	DRAWER	INT	INTERIOR, INTERNAL	PERP	PERPENDICULAR
CL	AT	E	EAST	INV	INVERT	PKG	PARKING
	CENTERLINE	EA	EACH	J	JOIST	PL	PLATE
A/C	AIR CONDITIONING	EF	EXHAUST FAN	JAN	JANITOR	PLAM	PLASTIC LAMINATE
AAD	ATTIC ACCESS DOOR	EHW	ENGINEERED HARDWOOD	JCT	JUNCTION	PLAS	PLASTER
AAP	ATTIC ACCESS PANEL	EIFS	EXTERIOR INSULATED FINISHING SYSTEM	JST	JOIST	PLBG	PLUMBING
AB	ANCHOR BOLT	EJ	EXPANSION JOINT	JT	JOINT	PLF	POUNDS PER LINEAR FOOT
ABV	ABOVE	EL	ELEVATION	KDN	KNOCKDOWN	PLYWD	PLYWOOD
ACOUS	ACOUSTICAL	ELEC	ELECTRICAL	KIT	KITCHEN	PNL	PANEL
ACT	ACOUSTICAL CEILING TILE	ELEV	ELEVATOR	KO	KNOCKOUT	PR	PAIR
AD	AREA DRAIN, ACOUSTIC DIMENSIONS	EMER	EMERGENCY	KP	KICK PLATE	PRCST	PRE-CAST
ADA	AMERICANS WITH DISABILITIES ACT	ENCL	ENCLOSURE	L	LENGTH LONG	PREFAB	PREFABRICATED
ADD	ADDENDUM, ADDITION	ENG	ENGINEER	LA	LANDSCAPE ARCHITECT	PREFIN	PREFINISHED
ADJ	ADJUSTABLE, ADJUSTMENT	ENT	ENTRANCE	LAB	LABORATORY	PREP	PREPARATION
AFF	ABOVE FINISHED FLOOR	EOC	EDGE OF CARPET	LAD	LADDER	PROD	PRODUCTION
AGGR	AGGREGATE	EOS	EDGE OF SLAB	LAM	LAMINATE(D)	PROJ	PROJECT(O)R, PROJECTION
ALT	ALTERNATE	EP	ELECTRICAL PANELBOARD	LAV	LAVATORY	PS	PROJECTION SCREEN
ALUM	ALUMINUM	EQ	EQUAL	LBL	LABEL	PSF	POUNDS PER SQUARE FOOT
AMSMV	ADHERED MANUFACTURED STONE MASONRY VENEER	EQUIP	EQUIPMENT	LBR	LUMBER	PSI	POUNDS PER SQUARE INCH
AOR	AREA OF REFUGE	EW	ELECTRIC WATER COOLER	LD	LINEAR DIFFUSER	PT	PRESSURE TREATED
AP	ACCESS PANEL	EXH	EXHAUST	LF	LINEAR FOOT	PTD	PAINTED, PAPER TOWEL DISPENSER
APPROX	APPROXIMATE	EXIST	EXISTING	LH	LEFT HAND	PTDIR	COMBO, PAPER TOWEL DISPENSER & RECEPTACLE
APT	APARTMENT	EXP	EXPANSION, EXPOSED	LN	LINEAR, LINEN	PTN	PARTITION
ARCH	ARCHITECT, ARCHITECTURAL	EXT	EXTERIOR	LKR	LOCKER	TPH	TOILET PAPER HOLDER
ASB	ASBESTOS	F	FARENHEIT	LL	LIVE LOAD	TRTD	TREATED
ASPH	ASPHALT	FA	FIRE ALARM	LNDG	LANDING	TS	TUBULAR STEEL
		FACP	FIRE ALARM CONTROL PANEL	LNT	LANDING	TV	TELEVISION
BATH	BATHROOM	FAS	FIRE ALARM	LNDG	LANDING	TYP	TYPICAL
BD	BOARD	FAS	FIRE ALARM	LNT	LANDING	UC	UNDER COUNTER
BEL	BELOW	FB	FLAT BAR	LNT	LANDING	UL	UNDERWRITERS LABORATORIES, INC.
BITUM	BITUMINOUS	FCB	FIBER-CEMENT BOARD	LOC	LOCATION	UNF	UNFINISHED
BLDG	BUILDING	FD	FLOOR DRAIN	LR	LIVING ROOM	UNO	UNLESS NOTED OTHERWISE
BLK	BLOCK	FDN	FOUNDATION	LT	LIGHT	UR	URNAL
BLKG	BLOCKING	FE	FIRE EXTINGUISHER	LTWT	LIGHTWEIGHT	UTIL	UTILITY
BM	BEAM	FEC	FIRE EXTINGUISHER CABINET	LUM	LUMINOUS	VAR	VARIABLE, VARIOUS
BM	BENCHMARK	FF	FINISHED FLOOR	LV	LOW VOLTAGE	VCT	VINYL COMPOSITION TILE
BOF	BOTTOM OF FOOTING	FF&E	FURNITURE, FIXTURES & EQUIPMENT	LVR	LOUVER	VERT	VERTICAL
BOH	BACK OF HOUSE	FFS	FACE OF FINISHED SURFACE	LVT	LUXURY VINYL TILE	VEST	VESTIBULE
BOP	BOTTOM OF PLATE	FGL	FIBERGLASS	M	METER	VIF	VERIFY IN FIELD
BOT	BOTTOM	FHC	FIRE HOSE CABINET	MACH	MACHINE	VOL	VOLUME
BOW	BOTTOM OF WALL	FIN	FINISHED	MAINT	MAINTENANCE	VP	VINYL PLANK
BPL	BEARING PLATE	FIXT	FIXTURE	MAN	MANUAL	VWC	VINYL WALL COVERING
BR	BEDROOM	FJ	FLOOR JOIST	MAS	MASONRY	W	WEST, WIDE, WIDTH, WASHER
BRG	BEARING	FLASH	FLASHING	MAT	MATERIAL	W	WITH
BRK	BRICK	FLR	FLOOR	MAX	MAXIMUM	WD	WASHER / DRYER
BSMT	BASEMENT	FLUOR	FLUORESCENT	MB	MARKER BOARD	WIO	WITHOUT
BUR	BUILT-UP ROOFING	FOB	FACE OF BRICK	MC	MEDICINE CABINET	WC	WATER CLOSET
		FOC	FACE OF CONCRETE	MDF	MEDIUM DENSITY FIBER BOARD	WD	WOOD
		FOF	FACE OF FINISH	MDO	MEDIUM DENSITY OVERLAY	WDW	WINDOW
CAB	CABINET	FOH	FRONT OF HOUSE	MECH	MECHANICAL	WF	WIDE FLANGE
CB	CATCH BASIN	FOH	FRONT OF HOUSE	MECH	MECHANICAL	WGL	WIRED GLASS
CEM	CEMENT	FS	FACE OF STUD	MEMB	MEMBRANE	WH	WATER HEATER
CER	CERAMIC	FP	FIREPLACE	MEZZ	MEZZANINE	WI	WROUGHT IRON
CF	CUBIC FOOT	FRP	FIREPROOF	MFD	MANUFACTURED	WIC	WALK IN CLOSET
CFM	CUBIC FEET PER MINUTE	FR	FIRE RATED	MFR	MANUFACTURER	WP	WATERPROOF(ING)
CG	CORNER GUARD	FRIG	REFRIGERATOR	MH	MANHOLE	WR	WATER RESISTANT, WASTE RECEPTACLE
CH	COAT HOOK	FRMG	FRAMING	MIR	MIRROR	WRB	WEATHER-RESISTANT BARRIER
CI	CAST IRON	FRT	FIRE RETARDANT TREATED	MISC	MISCELLANEOUS	WS	WEATHERSTRIPPING
CJ	CONTROL JOINT	FS	FULL SIZE	MLD	MOLDING	WSC	WAINSCOT
CL	CENTERLINE, CLEARANCE	FT	FOOT OR FEET	MM	MILLIMETER	WT	WEIGHT
CLG	CEILING	FTG	FOOTING	MO	MASONRY OPENING	S	SOUTH
CLKG	CAULKING	FURN	FURNISH(ING), FURNITURE	MOD	MODULAR	S/S	STAINLESS STEEL
CLOS	CLOSET	FURR	FURRING	MOV	MOVABLE	SAFB	SOUND ATTENUATING FIRE BLANKET
CLR	CLEAR(ANCE)	FUT	FUTURE	MRT	MOISTURE RESISTANT	SAM	SELF-ADHERED MEMBRANE
CMT	CERAMIC MOSAIC TILE	FWC	FABRIC WALL COVERING	MTD	MOUNTED	SAN	SANITARY
CMU	CONCRETE MASONRY UNIT	GA	GAUGE	MTD	MOUNTED	SC	SOLID CORE
CNTR	COUNTER	GALV	GALVANIZED	MTL	METAL	SCD	SEAT COVER DISPENSER
CO	CASED OPENING, CLEAN OUT	GB	GRAB BAR	MULL	MULLION	SCHED	SCHEDULE(D)
COL	COLUMN	GC	GENERAL CONTRACTOR	MULT	MULTIPLE	SD	SMOKE DETECTOR
CONC	CONCRETE	GDR	GUARD RAIL	MWK	MILLWORK	SECT	SECTION, SECTOR
CONN	CONNECTION	GFCI	GROUND FAULT CIRCUIT INTERRUPT	N	NORTH	SEP	SEPARATE, SEPARATION
CONST	CONSTRUCTION	GFI	GROUND FAULT INTERRUPT	NIA	NOT APPLICABLE	SF	SQUARE FOOT (FEET), STOREFRONT
CONT	CONTINUOUS	GFR	GLASS FIBER REINFORCED CONCRETE	NAT	NATURAL	SGD	SLIDING GLASS DOOR
CORR	CORRIDOR, CORRUGATED	GI	GALVANIZED IRON	NEC	NATIONAL ELECTRIC CODE	SH	SHELF, SINGLE HUNG
CPT	CARPET	GL	GLASS, GLAZED, GLAZING	NEO	NEOPRENE	SHLVG	SHELVING
CR	CHAIR RAIL	GND	GROUND	NIC	NOT IN CONTRACT	SHT	SHEET
CRS	COLD ROLLED STEEL	GOVT	GOVERNMENT	NO or #	NUMBER	SHWR	SHOWER
CSMT	CASEMENT	GR	GRADE	NOM	NOMINAL	SIM	SIMILAR
CT	CERAMIC TILE	GWB	GYP SUM WALLBOARD	NR	NOISE REDUCTION	SND	SANITARY NAPKIN DISPENSER
CTR	CENTER, COUNTER	GYP BD	GYP SUM BOARD	NRC	NOISE REDUCTION COEFFICIENT	SNR	SANITARY NAPKIN RECEPTACLE
CTSK	COUNTERSUNK	H	HIGH	NS	NON-SLIP	SPEC	SPECIFICATION
CW	CURTAIN WALL	HB	HOSE BIB	NTS	NOT TO SCALE	SQ	SQUARE
CY	CUBIC YARD	HC	HANDICAP, HOLLOW CORE	O/A	OVERALL	SR	SHOWER ROD
		HCW	HOLLOW WOOD CORE	O/H	OVERHEAD	SK	SERVICE SINK
DB	DECIBEL	HDR	HEADER	O/O	OUT TO OUT	SST	STAINLESS STEEL
DBL	DOUBLE	HDW	HARDWARE	OBS	OBSCURE	ST	STUCCO
DEMO	DEMOLISH	HM	HOLLOW METAL	OC	ON CENTER	STA	STATION
DEPT	DEPARTMENT	HO	HOLD OPEN	OD	OUTSIDE DIAMETER	STC	SOUND TRANSMISSION COEFFICIENT
DET, DTL	DETAIL	HORIZ	HORIZONTAL	OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED	STD	STANDARD
DF	DRINKING FOUNTAIN	HR	HOUR, HANDRAIL	OF/OI	OWNER FURNISHED/ OWNER INSTALLED	STK	OPEN STACKED SHELVING
DIA	DIAMETER	HT	HEIGHT	OFF	OFFICE	STL	STEEL
DIAG	DIAGONAL	HTG	HEATING	OP	OPPOSITE HAND	STOR	STORAGE
DIFF	DIFFUSER	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	OPNG	OPENING	STRUC	STRUCTURAL
DIM	DIMENSION	HW	HOT WATER	OPP	OPPOSITE	SURF	SURFACE
DISP	DISPENSER	HWD	HARDWOOD	OSB	ORIENTED STRAND BOARD	SUSP	SUSPEND(ED)
DIV	DIVISION	HWH	HOT WATER HEATER	PAN	PANTRY	SV	SHEET VINYL
DL	DEAD LOAD	IBC	INTERNATIONAL BUILDING CODE	PAR	PARALLEL	SVC	SERVICE
DN	DOWN					SW	WEAR WALL
						SYM	SYMMETRICAL
						SYS	SYSTEM

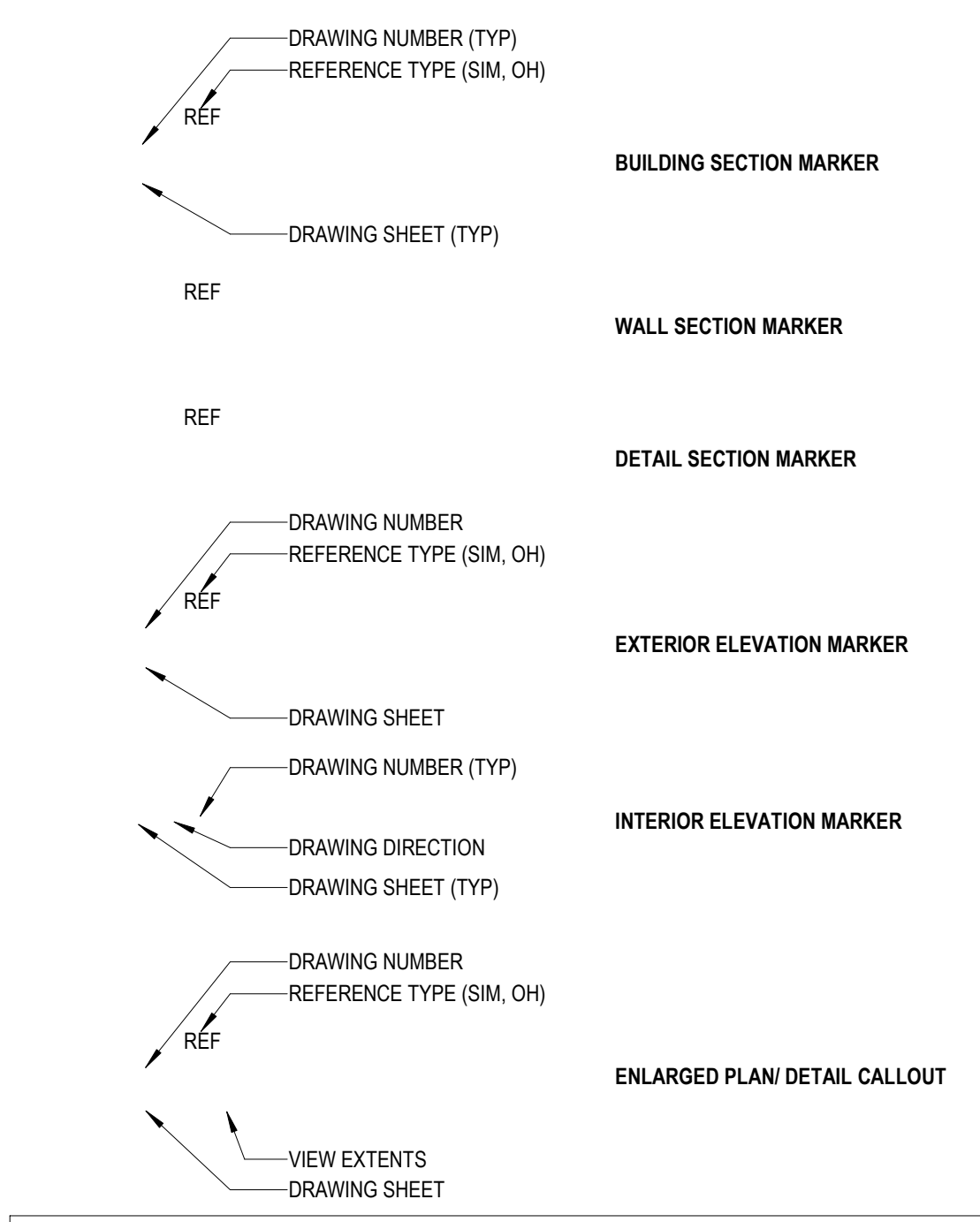
DPS PERMIT USE

T	TREAD(S)
T&B	TOP & BOTTOM
T&G	TONGUE & GROOVE
TB	TOWEL BAR, TACK BOARD, THROUGH BOLT
TC	TOP OF CURB
TEL	TELEPHONE
TEMP	TEMPERED, TEMPERATURE
TER	TERRACE, TERRAZZO
THK	THICK
TLT	TOILET
TOC	TOP OF CONCRETE
TOP	TOP OF PLATE
TOW	TOP OF WALL
TP	TOP OF PAVEMENT
TPH	TOILET PAPER HOLDER
TRTD	TREATED
TS	TUBULAR STEEL
TV	TELEVISION
TYP	TYPICAL
UC	UNDER COUNTER
UL	UNDERWRITERS LABORATORIES, INC.
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URNAL
UTIL	UTILITY
VAR	VARIABLE, VARIABLE, VARIOUS
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VOL	VOLUME
VP	VINYL PLANK
VWC	VINYL WALL COVERING
W	WEST, WIDE, WIDTH, WASHER
W	WITH
WD	WASHER / DRYER
WIO	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WF	WIDE FLANGE
WGL	WIRED GLASS
WH	WATER HEATER
WI	WROUGHT IRON
WIC	WALK IN CLOSET
WP	WATERPROOF(ING)
WR	WATER RESISTANT, WASTE RECEPTACLE
WRB	WEATHER-RESISTANT BARRIER
WS	WEATHERSTRIPPING
WSC	WAINSCOT
WT	WEIGHT
YD	YARD

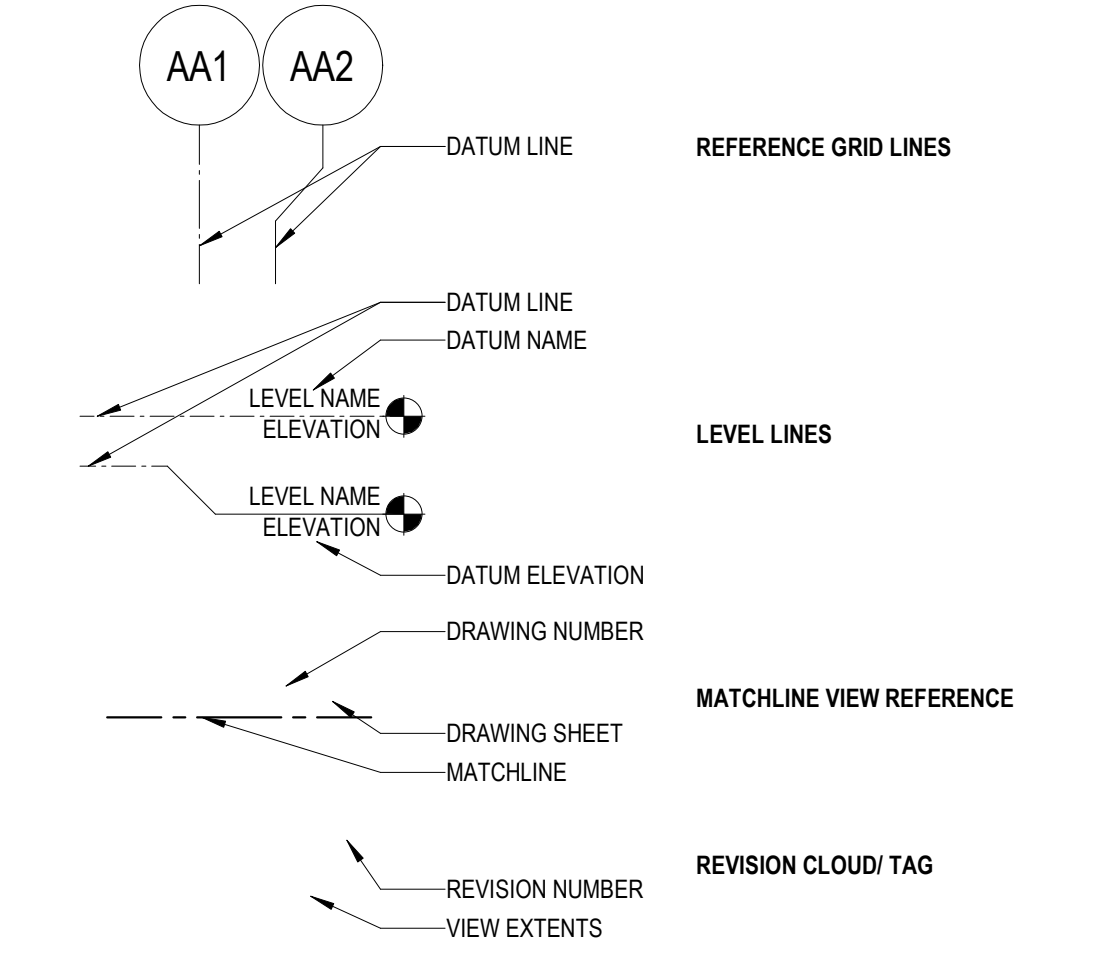
VIEW TITLES



VIEW MARKERS



DATUM SYMBOLS



APPLICABLE CODES:

LIFE SAFETY CODE:	2015 NFPA Life Safety Code
BUILDING CODE:	2018 International Building Code 2018 International Building Code ER 31-19 Chapter 8 County Building Code 2018 International Existing Building Code 2015 International Building Code Amendments Chapter 35 of IBC-2018 Referenced Standards
PLUMBING & FUEL CODE:	2021 WSSC Water Plumbing and Fuel Gas Code
MECHANICAL CODE:	2018 International Mechanical Code (IMC) Montgomery County Code Chapter 8 (Mechanical)
ELECTRICAL CODE:	2018 International Energy Conservation Code (IECC) Montgomery County Code Chapter 17 (Electrical) NFPA 70 (National Electric Code)
FIRE CODE:	2015 NFPA Fire Code
ENERGY CODE:	2018 International Green Construction Code Published 2015 International Green Construction Code
ACCESSIBILITY CODE:	MARYLAND ACCESSIBILITY CODE

JURISDICTION: MONTGOMERY COUNTY, MD

B5	APPLICABLE CODES	1" = 1'-0"
GC0.00		

PROJECT SCOPE DESCRIPTION:

THIS SCOPE IS WITHIN AN EXISTING BUILDING WITH LIMITED WORK AREAS INCLUDING THE BASEMENT, FIRST, SECOND, AND THIRD FLOORS. WORK INCLUDES A NEW ACCESSIBLE RESTROOM, UPDATED FINISHES, INSTALLATION OF VENTILATION AIR AND COOLING SYSTEMS, AND THE RECONFIGURATION OF SECOND FLOOR OFFICES. A NEW EXTERIOR RAMP OR LIFT WILL BE INSTALLED FOR ADA ACCESSIBILITY. NO EXITS OR EXIT ACCESS WILL BE MODIFIED.

BUILDING INFORMATION:

A) OCCUPANCY AND CONSTRUCTION TYPE:
 CONSTRUCTION TYPE: IIB & IIBB
 OCCUPANCY TYPE: BUSINESS (B)
 ACTUAL BUILDING HEIGHT: EXISTING
 ALLOWED BUILDING HEIGHT: 55 FEET
 CLASSIFICATION OF WORK (IEBC CH. 5): ALTERATION LEVEL 2
 ACTUAL STORIES ABOVE GRADE: 3
 ALLOWABLE STORIES ABOVE GRADE (IBC TABLE 604.4): 3

B) FIRE RESISTANCE RATING REQUIREMENTS
 IBC TABLE 601
 PRIMARY STRUCTURAL FRAME: 0 HR
 BEARING WALLS - EXTERIOR: 2 HR
 BEARING WALLS - INTERIOR: 1 HR
 NON BEARING WALLS AND PARTITIONS - EXTERIOR: 0 HR
 NON BEARING WALLS AND PARTITIONS - INTERIOR: 0 HR
 FLOOR CONSTRUCTION: 0 HR
 ROOF CONSTRUCTION: 0 HR
 NOTE: WORK SCOPE WILL NOT INCLUDE CHANGES TO EXISTING FIRE RATINGS OR EXISTING RATED ASSEMBLIES.

C) MEANS OF EGRESS ANALYSIS
 OCCUPANT LOAD CALCULATION (IBC 1004):
 BUSINESS OCCUPANCY: 150 GROSS PER OCCUPANT
 STORAGE: 300 GROSS PER OCCUPANT
 ASSEMBLY (TABLES AND CHAIRS): 15 NET PER OCCUPANT
 MECHANICAL EQUIPMENT ROOM: 300 GROSS

NUMBER OF EXITS REQUIRED (IBC 1006): 2
 NUMBER OF EXITS PROVIDED: 4
 MAXIMUM COMMON PATH OF EGRESS TRAVEL (IBC TABLE 1006.2.1): 75 FEET
 MAXIMUM COMMON PATH OF EGRESS TRAVEL PROVIDED: 45 FEET 3 INCHES
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2): 200 FEET
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE PROVIDED: 129 FEET 7 INCHES
 CORRIDOR FIRE RESISTANCE RATING REQUIRED (IBC TABLE 1020.1): 0 HR
 MINIMUM CORRIDOR WIDTH REQUIRED (IBC TABLE 1020.2): 44 INCHES
 MINIMUM CORRIDOR WIDTH PROVIDED: 56 INCHES
 MAXIMUM DEAD END CORRIDOR LENGTH (IBC 1020.5): 20 FT
 MAXIMUM DEAD END CORRIDOR PROVIDED:

D) FIRE PROTECTION SYSTEMS
 AUTOMATIC SPRINKLER SYSTEM (IBC SECTION 903): NOT REQUIRED

E) AREA TABULATION		
BUILDING AREA		WORK SCOPE
BASEMENT:	2,440 SF	BASEMENT:
FIRST FLOOR:	2,440 SF	FIRST FLOOR:
SECOND FLOOR:	2,440 SF	SECOND FLOOR:
THIRD FLOOR:	1,152 SF	THIRD FLOOR:
TOTAL BUILDING AREA:	8,472 SF	TOTAL BUILDING AREA:

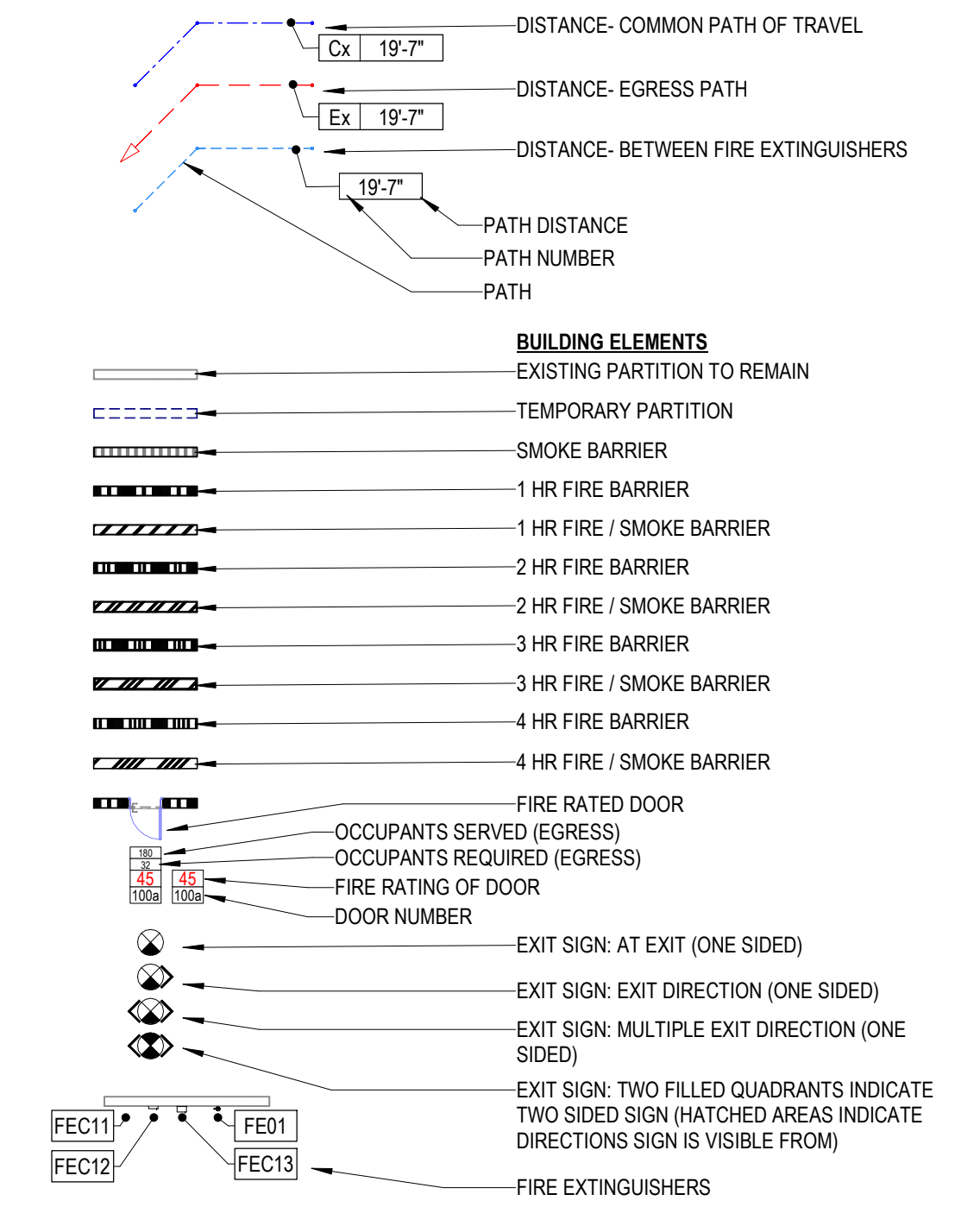
A1	ABBREVIATIONS	<p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <p>BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p>	<p>DRAWING CHECKED BY: KLG</p> <table border="1"> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> <tr> <td>SCHEMATIC DESIGN</td> <td>KLK</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLK</td> <td>2024.03.05</td> </tr> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLK	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05	<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p>	<p>DocuSeal</p>	<p>The Maryland-National Capital Park and Planning Commission</p> <p>Montgomery County Department of Parks 2425 Reedie Drive Wheaton, Maryland 20902 (301) 495-2535</p>	<p>SUBMISSION / REVISION</p> <table border="1"> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	Rev. No.	Date	Description													<p>PROJECT GENERAL INFORMATION</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>DWG. #</p> <p>GC0.00</p>
Submission Name				Initials	Date																												
SCHEMATIC DESIGN	KLK	2024.01.08																															
DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05																															
Rev. No.	Date	Description																															
A4	SYMBOLS LEGEND	A5	PROJECT DESCRIPTION	1" = 1'-0"																													
GC0.00																																	

DPS PERMIT USE

LIFE SAFETY-OCCUPANCY- BUILDING

NUMBER	NAME	AREA	AREA PER OCCUPANT	OCCUPANTS	CURRENT REV
002	STORAGE	149.84 SF	300.00 SF	1	
004	MECHANICAL ROOM	314.70 SF	300.00 SF	2	
005	STORAGE	342.33 SF	300.00 SF	2	
006	STORAGE	27.66 SF	300.00 SF	1	
007	STORAGE	233.22 SF	300.00 SF	1	
008	STORAGE	233.22 SF	300.00 SF	1	
009	STORAGE	312.82 SF	300.00 SF	2	
010	STORAGE	398.68 SF	300.00 SF	2	
		2012.48 SF		12	
104	CONFERENCE ROOM	340.68 SF	15.00 SF	23	
105	ADMINISTRATION ROOM	347.63 SF	150.00 SF	3	
107	ACCESSIBLE RESTROOM	60.12 SF	150.00 SF	1	
108	CATALOGING ROOM	384.34 SF	150.00 SF	3	
109	STAFF BREAK ROOM	340.74 SF	150.00 SF	3	
110	WET PROCESSING ROOM	373.50 SF	150.00 SF	3	
112A	SOUTH PORCH	496.16 SF	7.00 SF	71	
112B	SOUTH PORCH	208.79 SF	7.00 SF	30	
		2551.85 SF		137	
204	NORTH OFFICE	342.80 SF	150.00 SF	3	
205	SOUTH OFFICE	254.51 SF	150.00 SF	2	
207	STORAGE ROOM	57.46 SF	300.00 SF	1	
208	WEST OFFICE	394.80 SF	150.00 SF	3	
208A	MECHANICAL CLOSET OR STORAGE	18.00 SF	300.00 SF	1	
209	OFFICE	194.94 SF	150.00 SF	2	
212	OFFICE	112.47 SF	150.00 SF	1	
213	OFFICE	161.73 SF	150.00 SF	2	
		1536.71 SF		15	
304	STORAGE - FURNITURE	360.89 SF	300.00 SF	2	
305	STORAGE - EDUCATION MATERIALS	371.73 SF	300.00 SF	2	
		732.63 SF		4	
		6833.66 SF		168	

LEGEND- CODE COMP PLANS



GENERAL NOTES- CODE PLANS

- FIRE RESISTANCE RATINGS SHOWN ARE MINIMUM RATINGS REQUIRED. REFER TO PARTITION TYPES ON A0.11, AND SPECIFICATIONS, FOR MORE INFORMATION
- FIRE RESISTANCE RATINGS IN PARTITIONS ARE SHOWN WHERE PARTITIONS ARE NOT CUT BY DOORS, WINDOWS, STOREFRONTS, OR OTHER OBJECTS. RATED PARTITION MAY EXIST ABOVE OBJECTS.

PLUMBING FIXTURES REQUIRED

NUMBER	NAME	PLUMBING OCCUPANCY KEY	AREA PER OCCUPANT	OCCUPANTS	WATER CLOSETS		LAVS		BATHING	DRINKING	CURRENT REV
					MALE	FEMALE	MALE	FEMALE			
BASEMENT											
002	STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
004	MECHANICAL ROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
005	STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
006	STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
007	STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
008	STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
009	STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
010	STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
LEVEL 01											
104	CONFERENCE ROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	15.00 SF	23	0.366905	0.366905	0.280655	0.280655		0.23	
105	ADMINISTRATION ROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	3	0.047857	0.047857	0.036607	0.036607		0.03	
107	ACCESSIBLE RESTROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
108	CATALOGING ROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	3	0.047857	0.047857	0.036607	0.036607		0.03	
109	STAFF BREAK ROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	3	0.047857	0.047857	0.036607	0.036607		0.03	
110	WET PROCESSING ROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	3	0.047857	0.047857	0.036607	0.036607		0.03	
112A	SOUTH PORCH	(none)	7.00 SF	71							
112B	SOUTH PORCH	(none)	7.00 SF	30							
LEVEL 02											
204	NORTH OFFICE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	3	0.047857	0.047857	0.036607	0.036607		0.03	
205	SOUTH OFFICE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
207	STORAGE ROOM	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
208	WEST OFFICE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	3	0.047857	0.047857	0.036607	0.036607		0.03	
208A	MECHANICAL CLOSET OR STORAGE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
209	OFFICE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
212	OFFICE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	1	0.015952	0.015952	0.012202	0.012202		0.01	
213	OFFICE	(IBC 2018) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	150.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
LEVEL 03											
304	STORAGE - FURNITURE	(IBC 2012) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
305	STORAGE - EDUCATION MATERIALS	(IBC 2012) B: BUSINESSES, PROFESSIONAL SERVICES, MERCHANDISING, OFFICE BUILDINGS, LIGHT INDUSTRIAL	300.00 SF	2	0.031905	0.031905	0.024405	0.024405		0.02	
					168	1.06881	1.06881	0.81756	0.81756	0	0.67

PLUMBING FIXTURES PROVIDED

LEVEL SERVED	SEX SERVED	TAG	DESCRIPTION	COUNT	CURRENT REV
LEVEL 02	MIF		BATHTUB	2	
LEVEL 02	MIF		TOILET, TANK STYLE	1	
				3	
LEVEL 03	MIF		NA	1	
LEVEL 03	MIF		BATHTUB	1	
LEVEL 03	MIF		TOILET, TANK STYLE	1	
				3	

D6
GC1.00 LEGEND- CODE PLAN 1/16" = 1'-0"

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

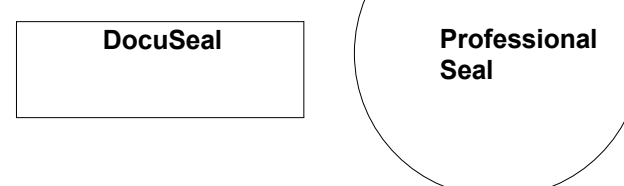
MICHAEL GRAVES
BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM

DRAWING CHECKED BY: KLG

Submission Name	Initials	Date
SCHEMATIC DESIGN	KLK	2024.01.08
DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____
EXPIRATION DATE: _____



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

CODE COMPLIANCE SERIES
INFORMATION
NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

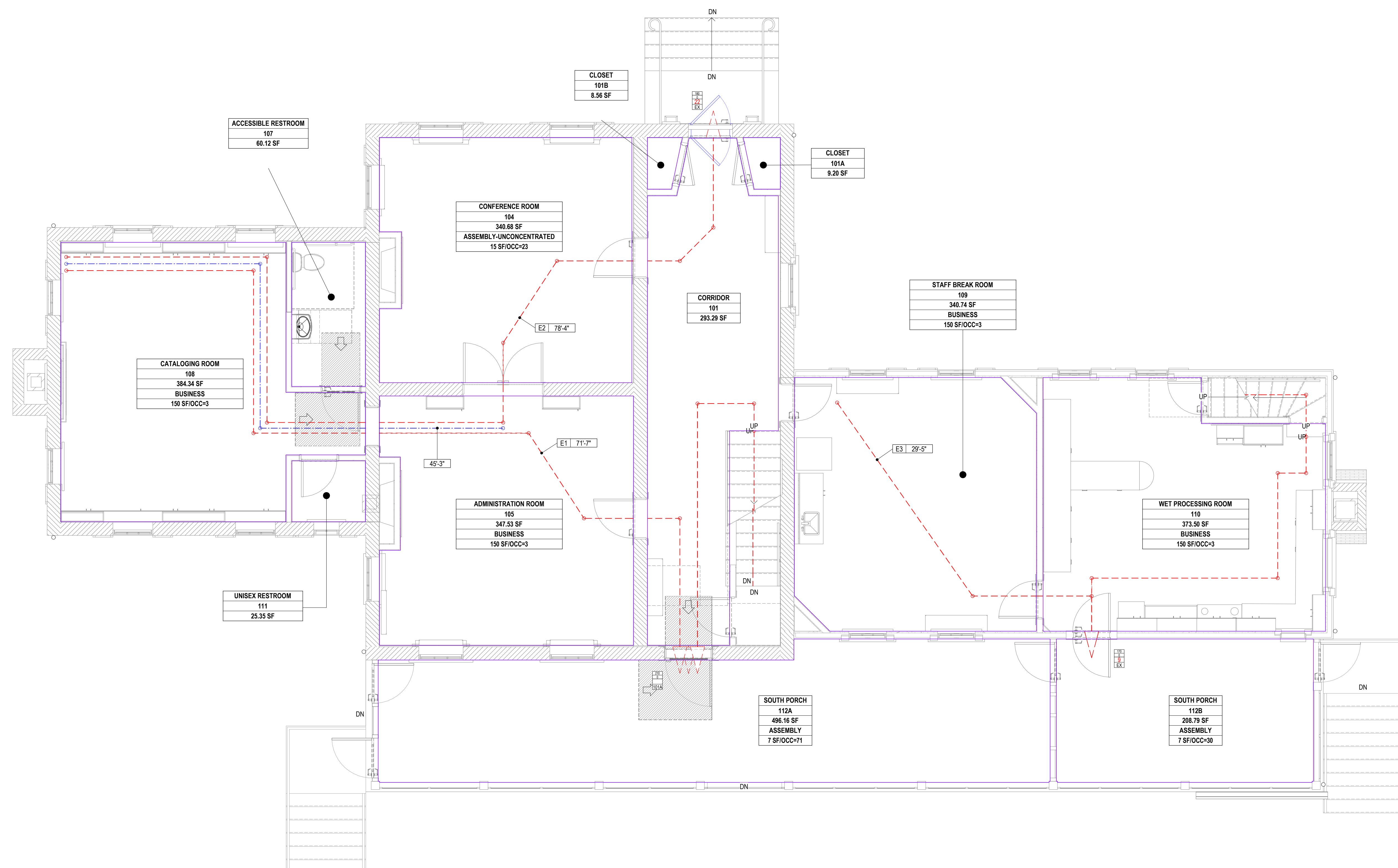
GC1.00

EXITING REQUIREMENTS- LEVEL 01					
NAME	AREA	OCCUPANTS	EXIT WIDTHS REQUIRED		CURRENT REV
			HORIZ EXITS	STAIRS	
<varies>	2888.26 SF	137	27.40"	41.10"	

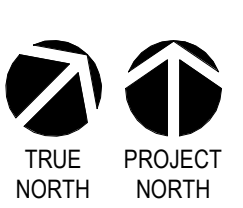
DPS PERMIT USE

LIFE SAFETY-OCCUPANCY- LEVEL 01					
NUMBER	NAME	AREA	AREA PER OCCUPANT	OCCUPANTS	CURRENT REV
104	CONFERENCE ROOM	340.68 SF	15.00 SF	23	
105	ADMINISTRATION ROOM	347.53 SF	150.00 SF	3	
107	ACCESSIBLE RESTROOM	60.12 SF	150.00 SF	1	
108	CATALOGING ROOM	384.34 SF	150.00 SF	3	
109	STAFF BREAK ROOM	340.74 SF	150.00 SF	3	
110	WET PROCESSING ROOM	373.50 SF	150.00 SF	3	
		1846.90 SF		36	

LIFE SAFETY-OCCUPANCY- LEVEL 01 PORCH					
NUMBER	NAME	AREA	AREA PER OCCUPANT	OCCUPANTS	CURRENT REV
112A	SOUTH PORCH	496.16 SF	7.00 SF	71	
112B	SOUTH PORCH	208.79 SF	7.00 SF	30	
		704.95 SF		101	



PARK CODE PLAN, STAINED FINAL, STAINED

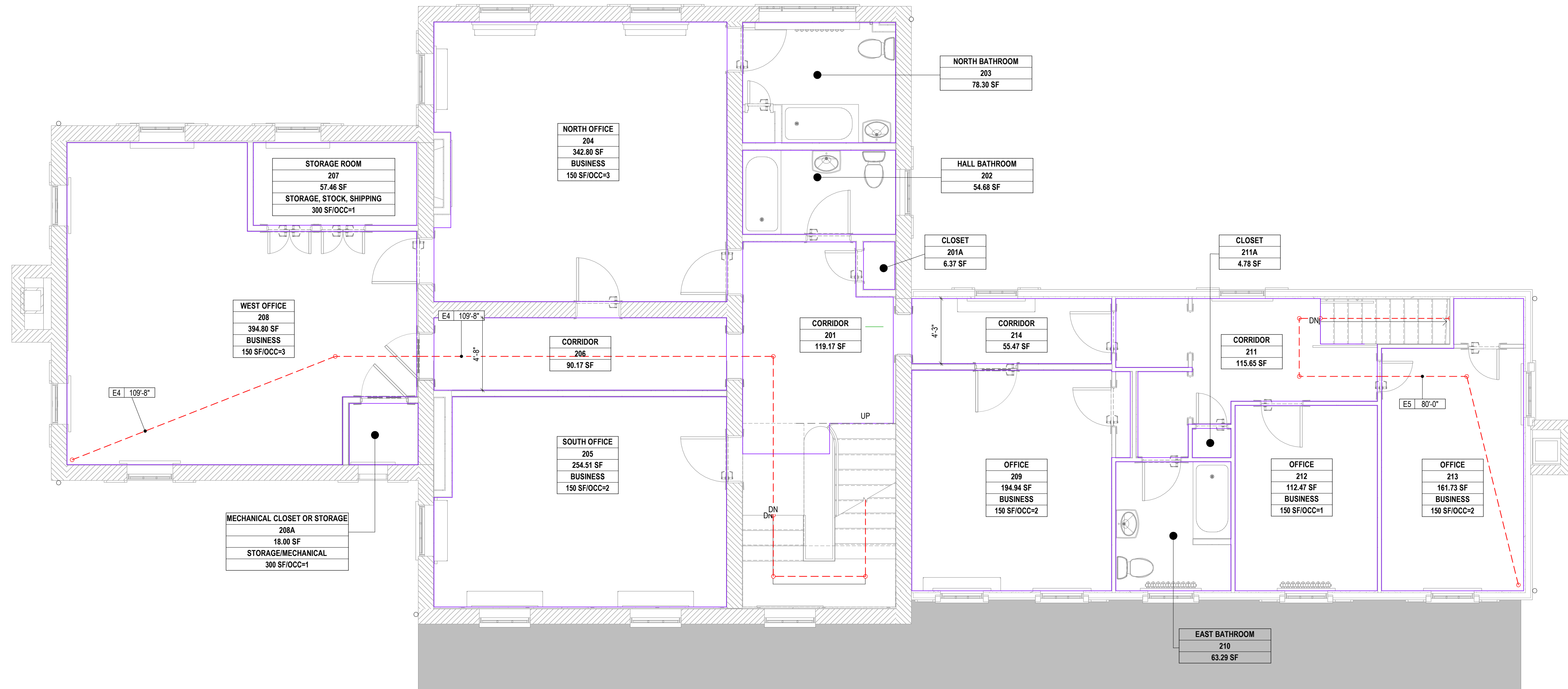


<p>A1 GC1.01</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <p>MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p>	<p>DRAWING CHECKED BY: KLG</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05	<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="text-align: center;"> </div>	<div style="text-align: center;"> <p>The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks 2425 Reedle Drive Wheaton, Maryland 20902 (301) 495-2535</p> </div>	<p>SUBMISSION / REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description										<p>CODE COMPLIANCE PLAN- LEVEL 01</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>1/4" = 1'-0"</p> <p>DWG. #</p> <p style="font-size: 2em; font-weight: bold;">GC1.01</p>
Submission Name	Initials	Date																									
SCHEMATIC DESIGN	KLG	2024.01.08																									
DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05																									
Rev. No.	Date	Description																									

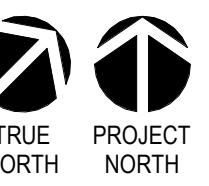
EXITING REQUIREMENTS- LEVEL 02					
NAME	AREA	OCCUPANTS	EXIT WIDTHS REQUIRED		CURRENT REV
			HORIZ EXITS	STAIRS	
<varies>	2124.59 SF	15	3.00"	4.50"	

DPS PERMIT USE

LIFE SAFETY-OCCUPANCY- LEVEL 02					
NUMBER	NAME	AREA	AREA PER OCCUPANT	OCCUPANTS	CURRENT REV
204	NORTH OFFICE	342.80 SF	150.00 SF	3	
205	SOUTH OFFICE	254.51 SF	150.00 SF	2	
207	STORAGE ROOM	57.46 SF	300.00 SF	1	
208	WEST OFFICE	394.80 SF	150.00 SF	3	
208A	MECHANICAL CLOSET OR STORAGE	18.00 SF	300.00 SF	1	
209	OFFICE	194.94 SF	150.00 SF	2	
212	OFFICE	112.47 SF	150.00 SF	1	
213	OFFICE	161.73 SF	150.00 SF	2	
		1536.71 SF		15	



FINAL PLAN

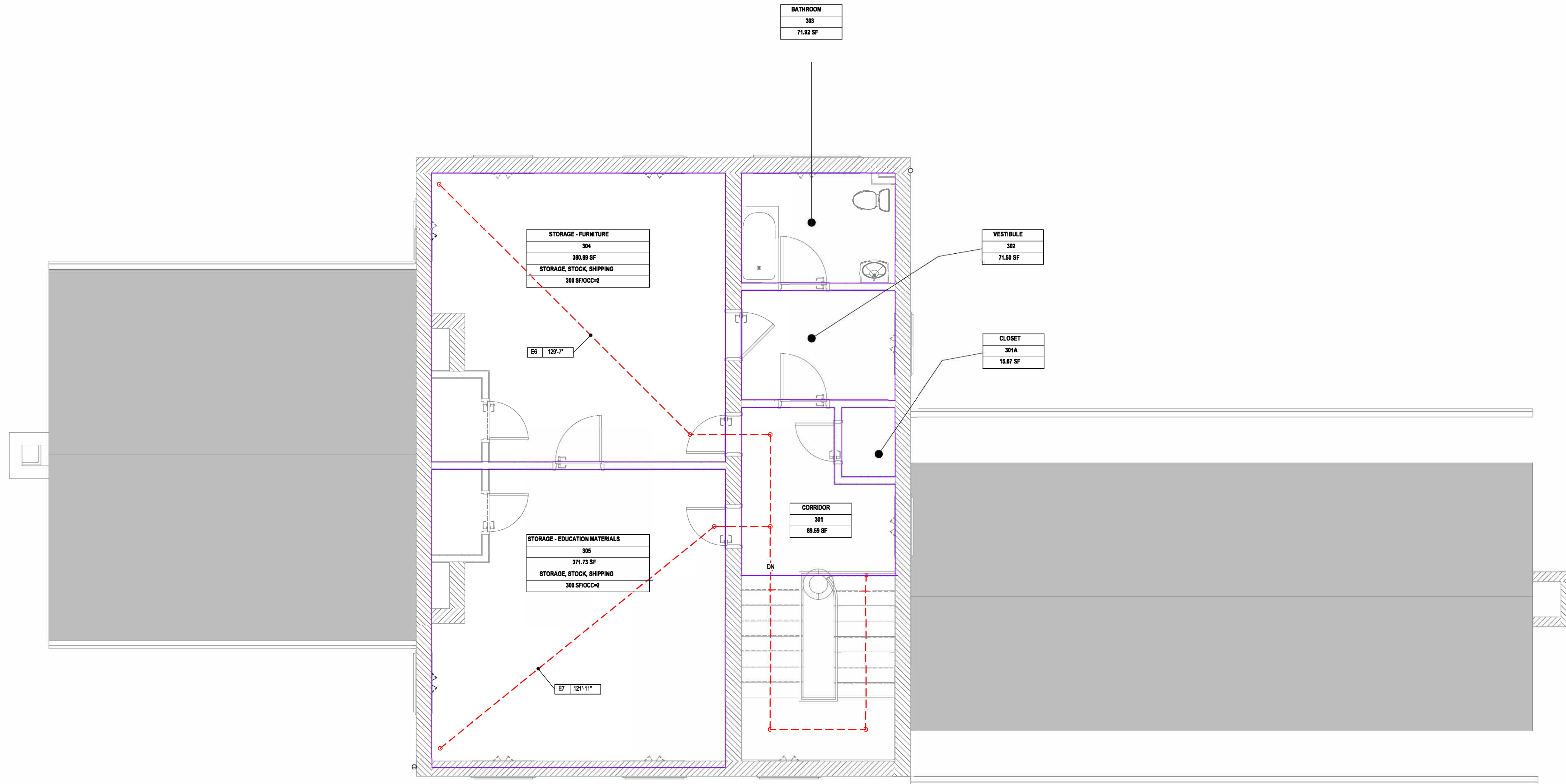


<p>A1 GC1.02</p> <p>CODE COMPLIANCE PLAN- LEVEL 02</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <div style="display: flex; align-items: center;"> <div style="margin-right: 10px;"> <p>MICHAEL GRAVES</p> </div> <div> <p>BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p> </div> </div>	<p>DRAWING CHECKED BY: KLG</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05	<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center;">Professional Seal</div> </div>	<p>The Maryland-National Capital Park and Planning Commission</p> <p>Montgomery County Department of Parks 2425 Reedle Drive Wheaton, Maryland 20902 (301) 495-2535</p>	<p>SUBMISSION / REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description										<p>CODE COMPLIANCE PLAN- LEVEL 02</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>DWG. #</p> <p style="font-size: 2em; font-weight: bold;">GC1.02</p>
Submission Name	Initials	Date																									
SCHEMATIC DESIGN	KLG	2024.01.08																									
DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05																									
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<p>1/4" = 1'-0"</p>																											

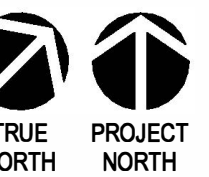
EXITING REQUIREMENTS- LEVEL 03					
NAME	AREA	OCCUPANTS	EXIT WIDTHS REQUIRED		CURRENT REV
			HORIZ EXITS	STAIRS	
<varies>	981.31 SF	4	0.80"	1.20"	

DPS PERMIT USE

LIFE SAFETY-OCCUPANCY- LEVEL 03					
NUMBER	NAME	AREA	AREA PER OCCUPANT	OCCUPANTS	CURRENT REV
304	STORAGE - FURNITURE	360.89 SF	300.00 SF	2	
305	STORAGE - EDUCATION MATERIALS	371.73 SF	300.00 SF	2	
		732.63 SF		4	



FINAL PLAN SCANNED



A1 CODE COMPLIANCE PLAN- LEVEL 03

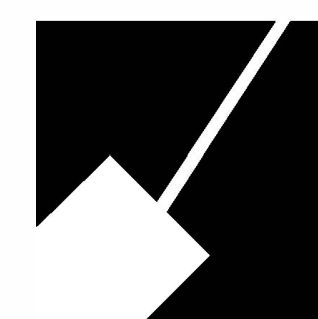
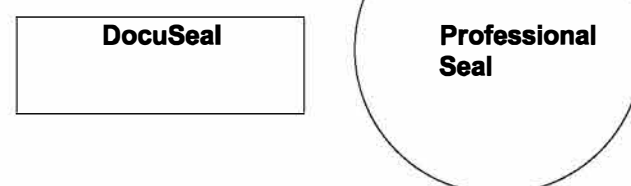
1/4" = 1'-0"

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

DRAWING CHECKED BY: KLG

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____
EXPIRATION DATE: _____



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedie Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

CODE COMPLIANCE PLAN- LEVEL 03

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

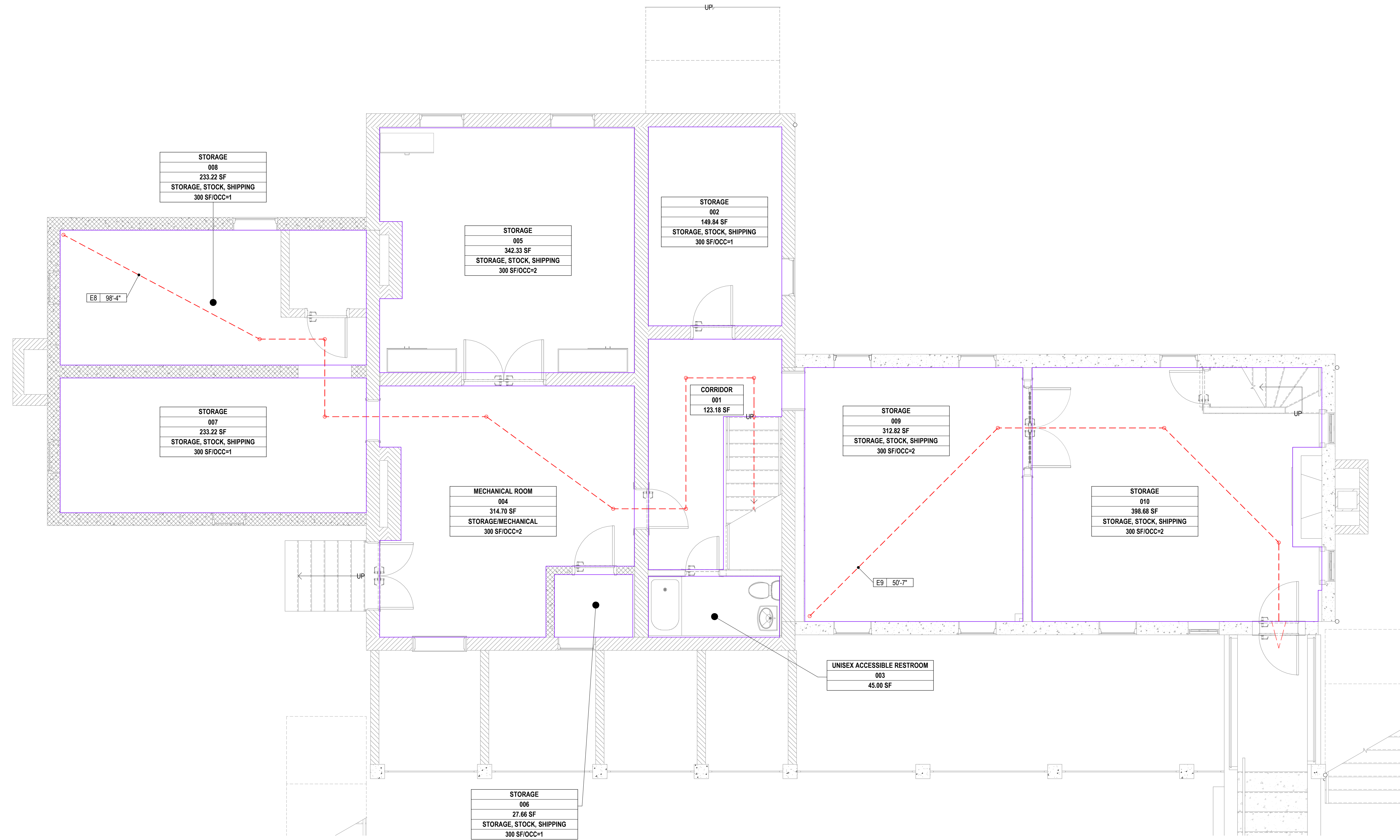
GC1.03

MICHAEL GRAVES
BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 280 9680
MICHAELGRAVES.COM

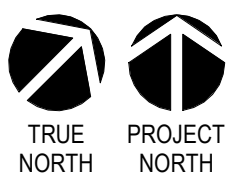
EXITING REQUIREMENTS- LEVEL U1					
NAME	AREA	OCCUPANTS	EXIT WIDTHS REQUIRED		CURRENT REV
			HORIZ EXITS	STAIRS	
<varies>	2180.66 SF	12	2.40"	3.60"	

DPS PERMIT USE

LIFE SAFETY-OCCUPANCY- LEVEL U1						
NUMBER	NAME	AREA	Level	AREA PER OCCUPANT	OCCUPANTS	CURRENT REV
002	STORAGE	149.84 SF	BASEMENT	300.00 SF	1	
004	MECHANICAL ROOM	314.70 SF	BASEMENT	300.00 SF	2	
005	STORAGE	342.33 SF	BASEMENT	300.00 SF	2	
006	STORAGE	27.66 SF	BASEMENT	300.00 SF	1	
007	STORAGE	233.22 SF	BASEMENT	300.00 SF	1	
008	STORAGE	233.22 SF	BASEMENT	300.00 SF	1	
009	STORAGE	312.82 SF	BASEMENT	300.00 SF	2	
010	STORAGE	398.66 SF	BASEMENT	300.00 SF	2	
		2012.48 SF			12	



FINAL PLAN, DRAWING



A1
GC1.U1 **CODE COMPLIANCE PLAN- LEVEL U1**

1/4" = 1'-0"

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES
BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM

DRAWING CHECKED BY: KLG			
Submission Name	Initials	Date	
SCHEMATIC DESIGN	KLK	2024.01.08	
DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05	

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____
EXPIRATION DATE: _____

DocuSeal Professional Seal



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION		
Rev. No.	Date	Description

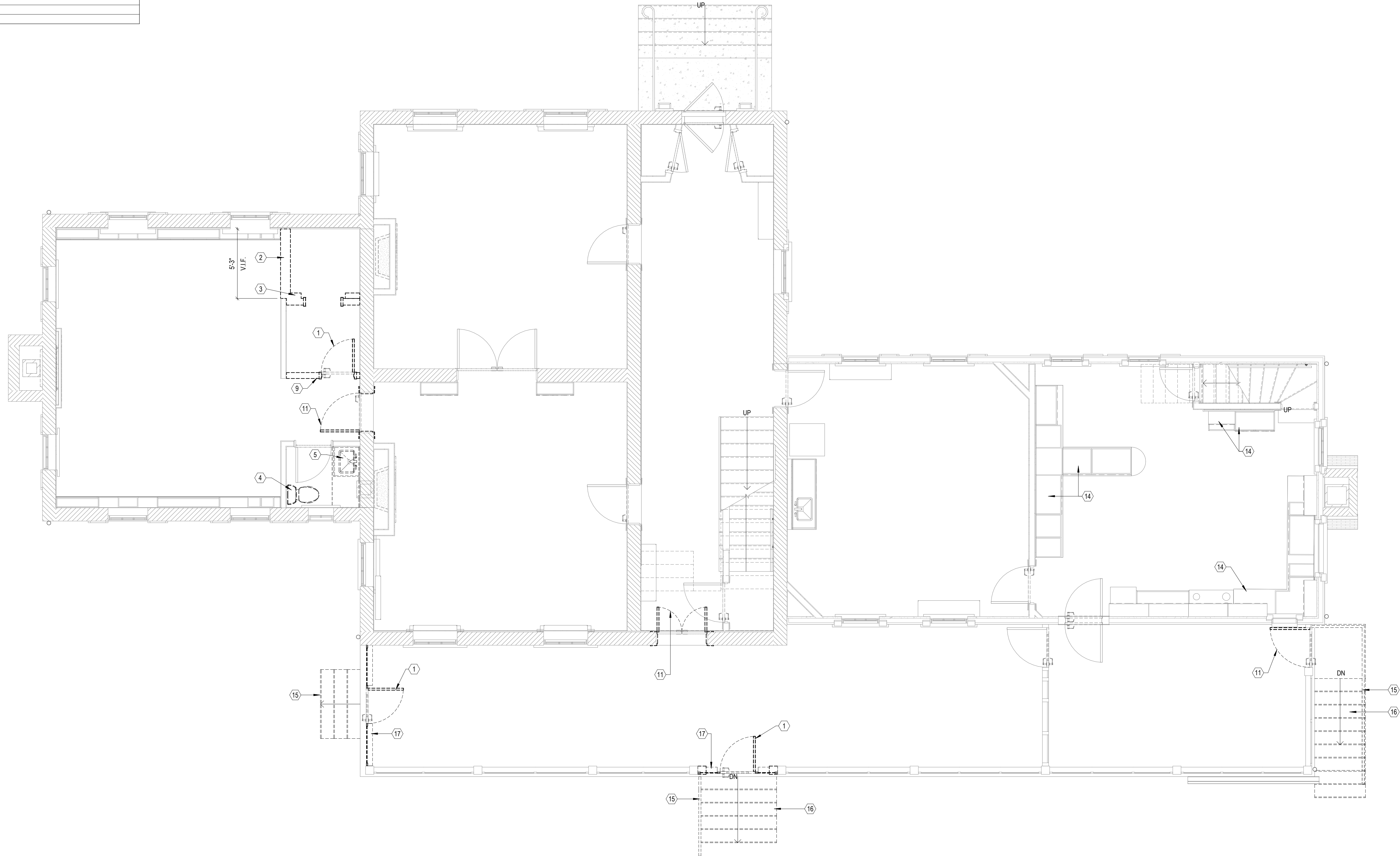
CODE COMPLIANCE PLAN- LEVEL U1

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

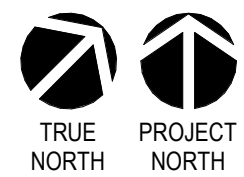
DWG. #
GC1.U1

DPS PERMIT USE

DEMOLITION PLAN NOTES	
NUM.	NOTE
1	SALVAGE DOOR
2	SALVAGE WOOD PANELS FOR REINSTALLATION AND DEMOLISH CONCRETE WALL
3	DEMOLISH CONCRETE AND FRAME WALL
4	REMOVE TOILET
5	REMOVE SINK, CASEWORK, AND COUNTER
6	REMOVE LAVATORY
7	DEMOLISH SHOWER
8	REMOVE RADIATOR AND SALVAGE RADIATOR COVER
9	WIDEN OPENING
10	REMOVE PLYWOOD
11	SALVAGE DOOR FOR REINSTALLATION
12	REMOVE WINDOW AC UNIT AND METAL PANEL
13	REMOVE PLYWOOD AND WOOD PANEL COVERING OPENING.
14	ADD ALTERNATE #2: REMOVE BASE AND WALL CASEWORK, ASSOCIATED COUNTERS, AND APPLIANCES.
15	EXISTING RAILING(S) TO BE DEMOLISHED DURING PART 1 - SITE RENOVATION
16	EXISTING STAIRS TO BE DEMOLISHED AS PART 1 - SITE RENOVATION
17	SALVAGE SCREEN PORCH FRAMING FOR REINSTALLATION.
18	REMOVE LAVATORY
19	REMOVE BATHTUB



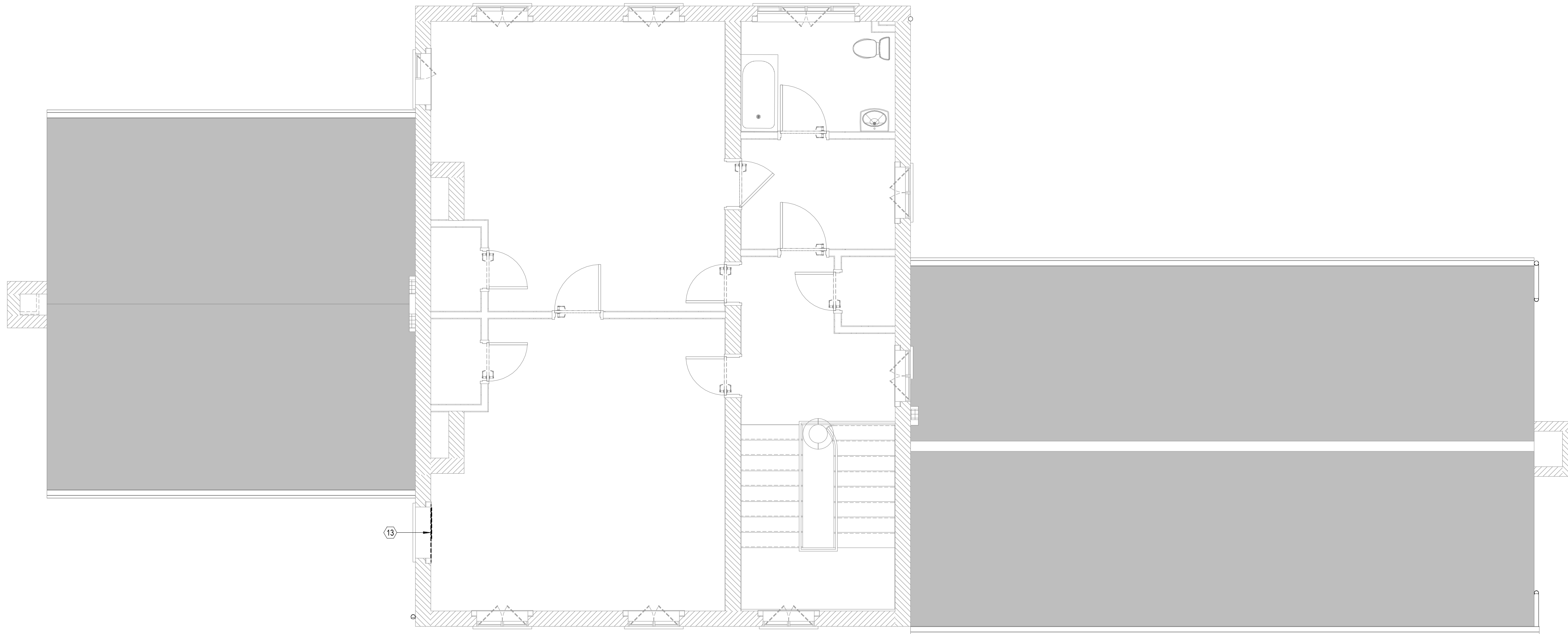
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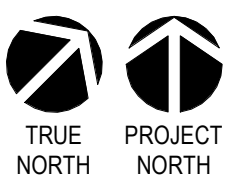
A3	DEMOLITION PLAN-OVERALL- LEVEL 01	1/4" = 1'-0"																																
AD1.01		DWG. #																																
DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM	DRAWING CHECKED BY: KLG <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland. LICENSE NO. _____ EXPIRATION DATE: _____ <div style="display: flex; align-items: center; justify-content: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 10px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center; margin-left: 10px;">Professional Seal</div> </div>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05							SUBMISSION / REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description													DEMOLITION PLAN- LEVEL 01 NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown	AD1.01
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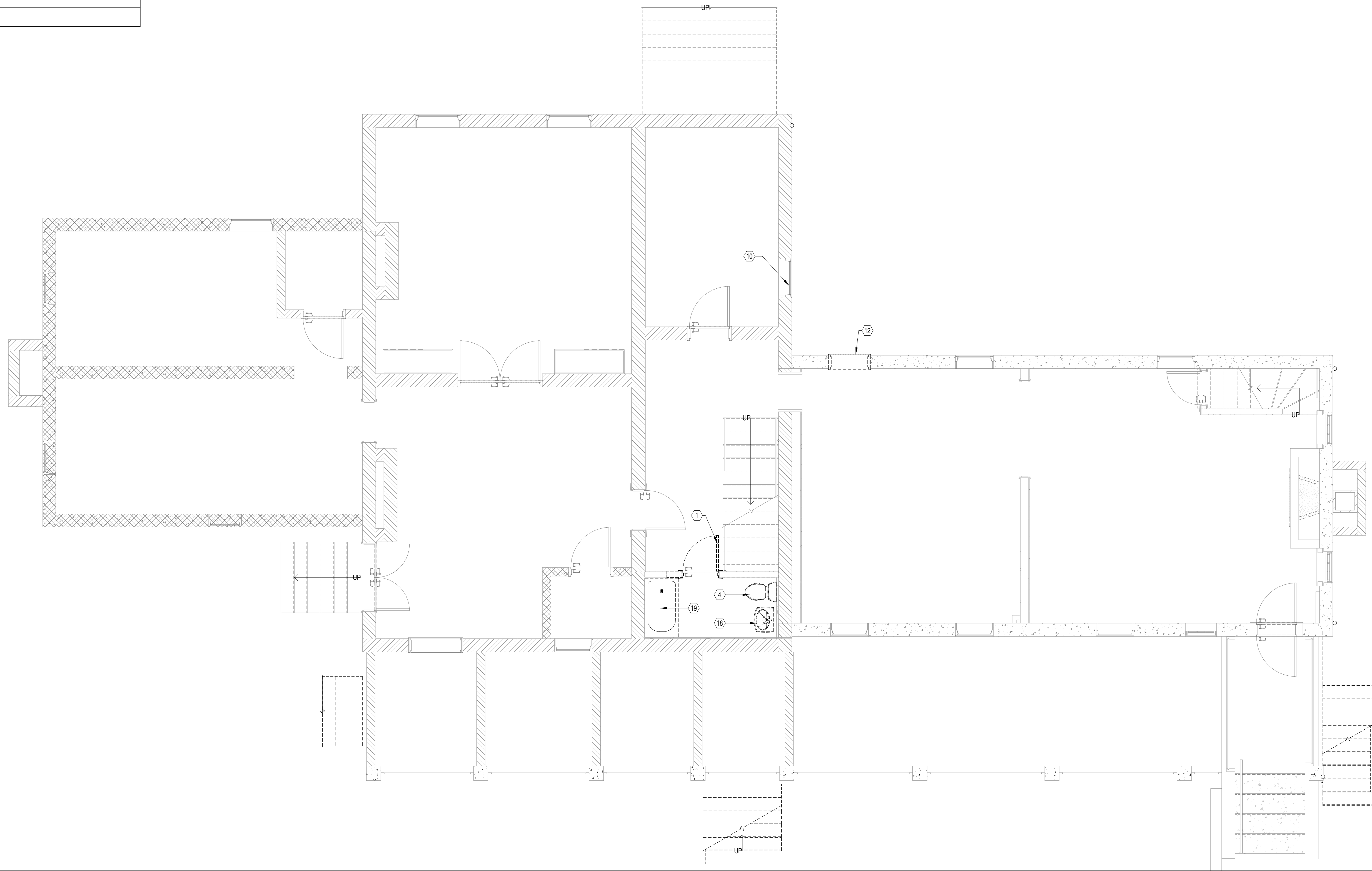
FINAL PLAN SHOWN



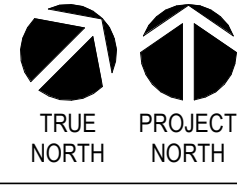
A1	DEMOLITION PLAN-OVERALL- LEVEL 03	1/4" = 1'-0"																		
AD1.03	<p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>MICHAEL GRAVES</p> <p>BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p> </div> <div> <p>DRAWING CHECKED BY: KLG</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLK</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLK</td> <td>2024.03.05</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> </div> </div>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLK	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05							<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; justify-content: center; gap: 20px; margin-top: 10px;"> <div style="border: 1px solid black; padding: 2px 5px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center;">Professional Seal</div> </div>			
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DPS PERMIT USE

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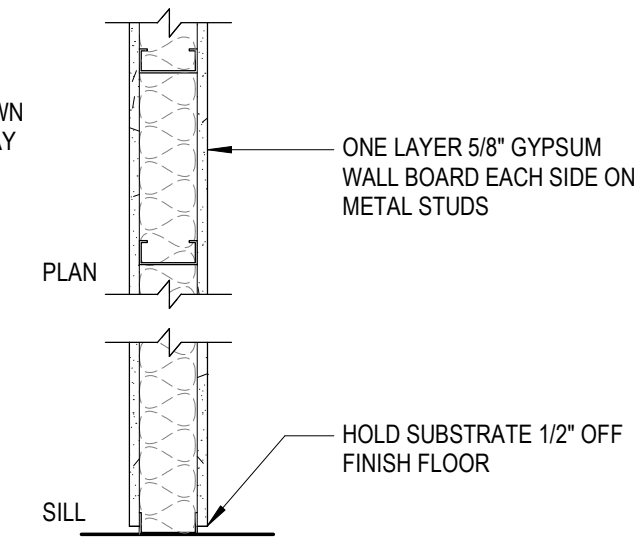
FINAL PLAN



1 AD1.U1	DEMOLITION PLAN-OVERALL- LEVEL U1	1/4" = 1'-0"																																
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Submission Name	Initials	Date																																
SCHEMATIC DESIGN	KLG	2024.01.08																																
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DPS PERMIT USE

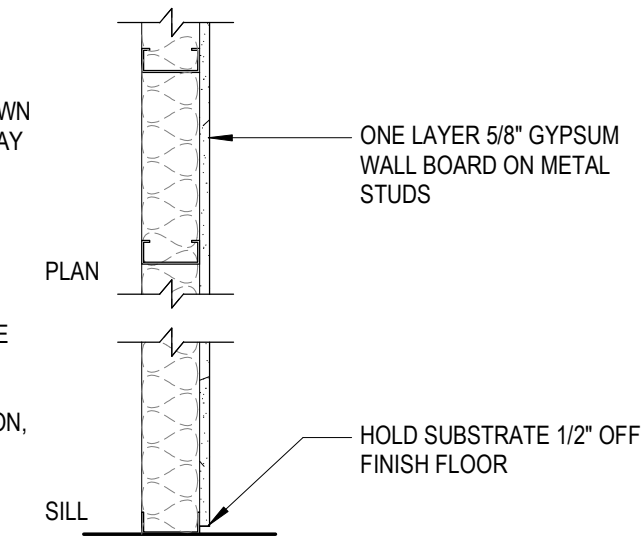
REFER TO PARTITION TAG FOR FIRE RATING, HEIGHT / HEAD CONDITION DETAIL, AND INSULATION INFORMATION (SHOWN HERE FOR REFERENCE ONLY- MAY NOT EXIST)



TAG	STUD SIZE	OVERALL THICKNESS	UL ASSEMB (IF RATED)
Maa4	4"	5 1/4"	U419
Maa4	4"	5 1/4"	U419

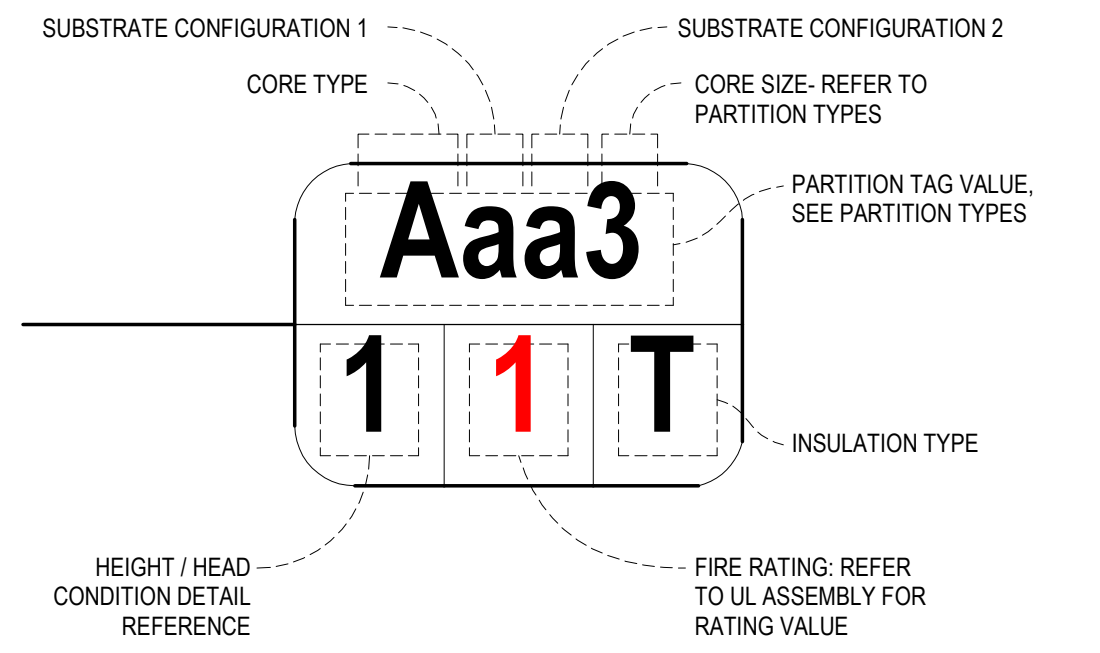
PARTITION TYPE - Maa_

REFER TO PARTITION TAG FOR FIRE RATING, HEIGHT / HEAD CONDITION DETAIL, AND INSULATION INFORMATION (SHOWN HERE FOR REFERENCE ONLY- MAY NOT EXIST)



TAG	STUD SIZE	OVERALL THICKNESS	UL ASSEMB (IF RATED)
Ma4	3-5/8"	4 5/8"	

PARTITION TYPE - Ma_



CORE TYPES

- C. CAST IN PLACE CONCRETE
- G. CONCRETE MASONRY UNIT (GROUTED SOLID)
- H. CONCRETE MASONRY UNIT (HOLLOW)
- M. METAL STUD FRAMING / METAL FURRING
- MM. METAL STUD FRAMING (2 ROWS, PARALLEL WITH PRESCRIBED AIR GAP BETWEEN)
- S. METAL SHAFT WALL CH STUD
- T. TILT-UP CONCRETE PANEL
- W. WOOD STUD FRAMING / WOOD FURRING
- WW. WOOD STUD FRAMING (2 ROWS, PARALLEL WITH PRESCRIBED AIR GAP BETWEEN)

SUBSTRATE CONFIGURATIONS

- a. 5/8" GWB (1 LAYER)
- b. 5/8" GWB (2 LAYER)
- c. 5/8" GWB (3 LAYER)
- d. 5/8" GWB (4 LAYER)
- e. 1/2" GWB (1 LAYER)
- f. 1/2" GWB (2 LAYER)
- g. 3/4" PLWD (1 LAYER)
- h. 1/2" PLWD (1 LAYER)
- i. 5/8" GWB (1 LAYER), 3/4" PLYWD (1 LAYER)
- j. 5/8" GWB (1 LAYER), 1/2" PLYWD (1 LAYER)
- k. 1/2" GWB (1 LAYER), 3/4" PLYWD (1 LAYER)
- l. 1/2" GWB (1 LAYER), 1/2" PLYWD (1 LAYER)
- n. 5/8" CMT (1 LAYER)
- o. 5/8" CMT (1 LAYER), 5/8" GWB (1 LAYER)
- p. 1/2" CMT (1 LAYER)
- q. 1/2" CMT (1 LAYER), 1/2" GWB (1 LAYER)
- r. 1/2" RESILIENT CHANNEL, 5/8" GWB (1 LAYER)
- s. 1" SHAFT LINER (1 LAYER)
- u. 5/8" GWB (1 LAYER), 1-1/8" ISOLATION CLIP
- v. 5/8" GWB (1 LAYER), 1-1/8" ISOLATION CLIP, 5/8" GWB (1 LAYER)
- w. 5/8" GWB (1 LAYER), 1-1/8" ISOLATION CLIP, 3/4" PLYWD (1 LAYER)
- x. 5/8" GWB (2 LAYER), 1-1/8" ISOLATION CLIP
- y. 5/8" GWB (2 LAYER), 1-1/8" ISOLATION CLIP, 5/8" GWB (1 LAYER)
- z. 5/8" GWB (2 LAYER), 1-1/8" ISOLATION CLIP, 3/4" PLYWD. (1 LAYER)
- (None) CORE ONLY

INSULATION TYPES

- A. ACOUSTIC- 2.5" GLASS FIBER
- B. ACOUSTIC- 3.5" GLASS FIBER
- C. ACOUSTIC- TYPE 3
- T. THERMAL INSULATION

A6	PARTITION TYPE LEGEND	1" = 1'-0"
AE6.01L		

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM

DRAWING CHECKED BY: Checker

Submission Name	Initials	Date
SCHEMATIC DESIGN	KLG	2024.01.08
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Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

PARTITION TYPES - METAL STUD

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

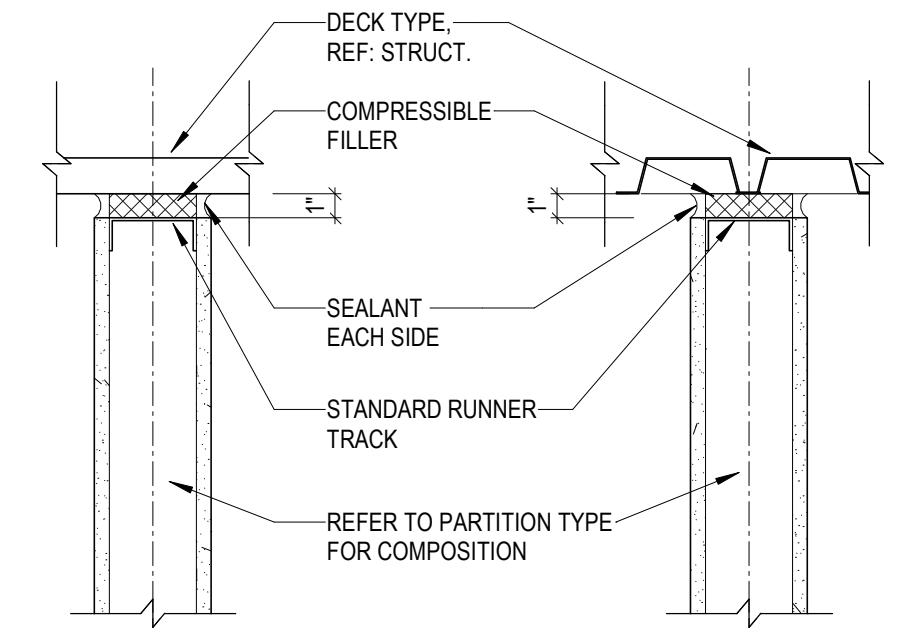
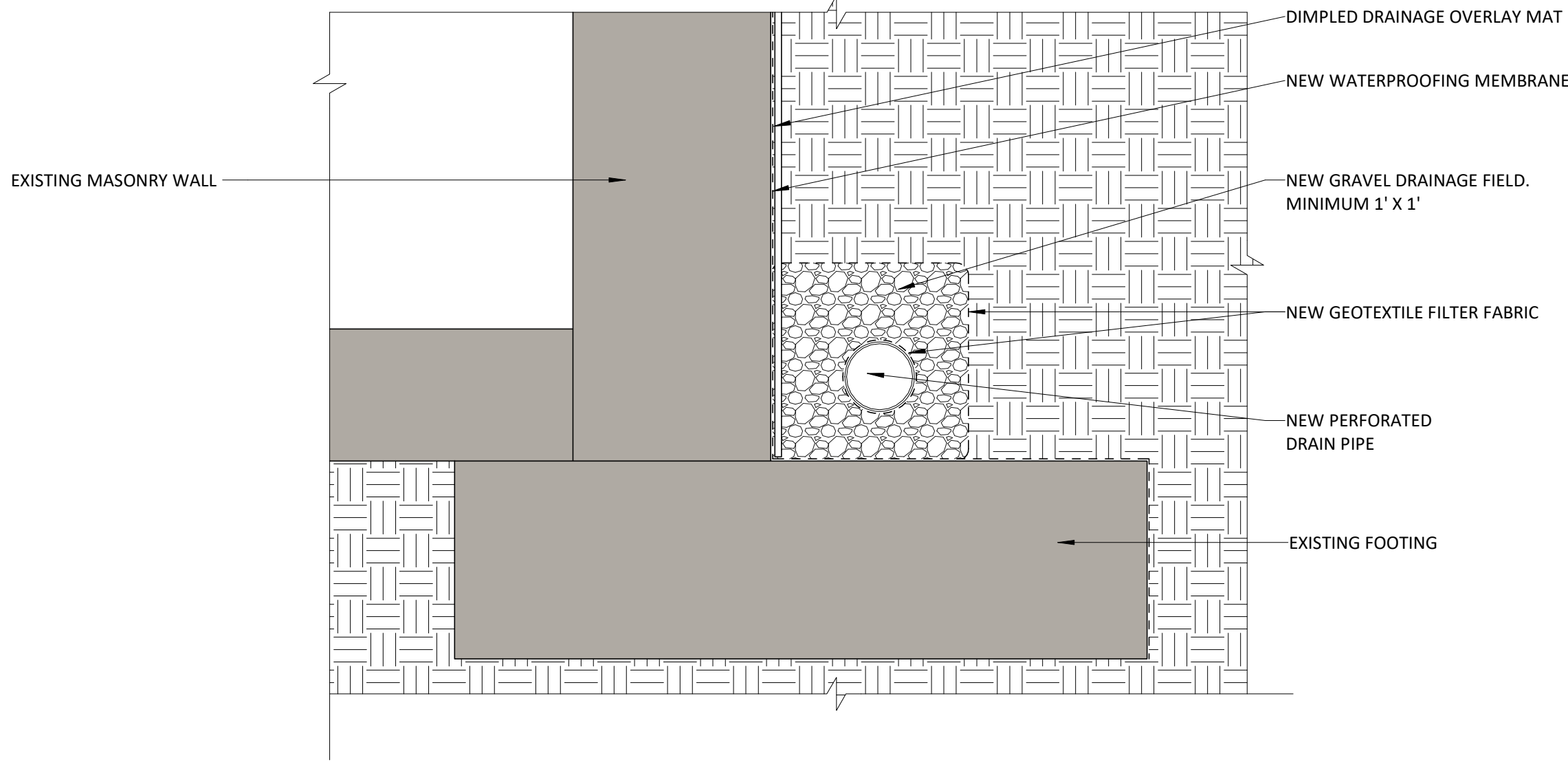
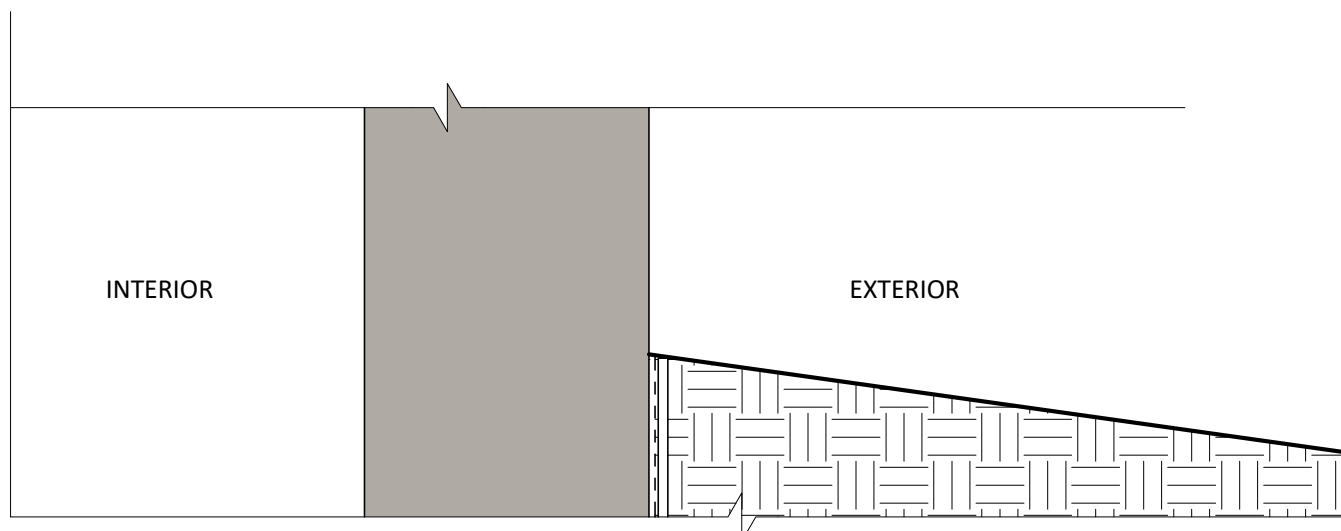
DWG. #

AE6.01L

FINAL PRINTED PLAN SCALE PARK CODE

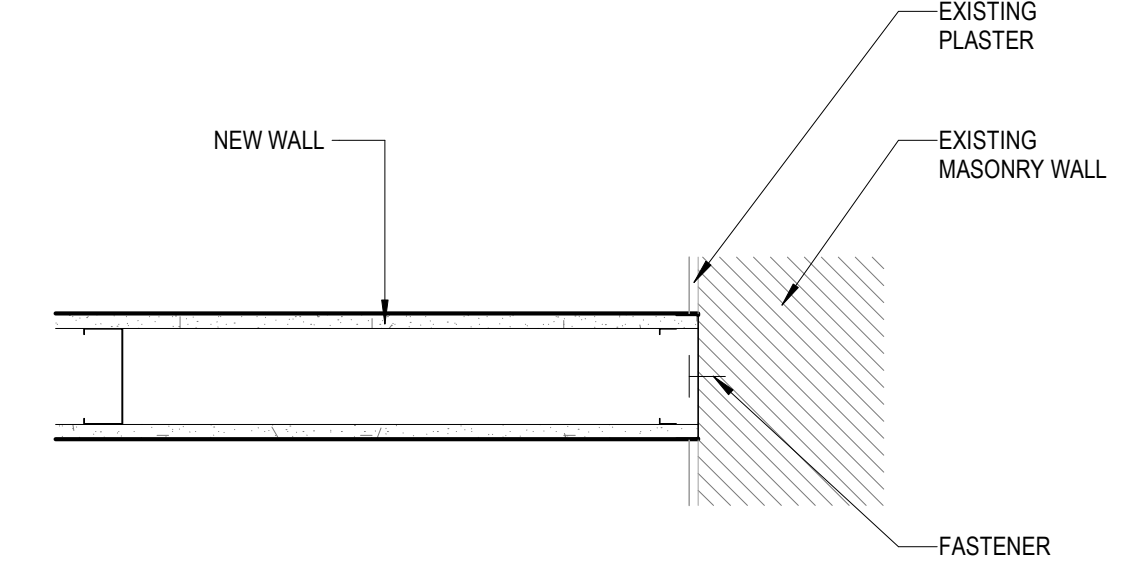
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PLAN, SEANNED
PARK CODE

DPS PERMIT USE



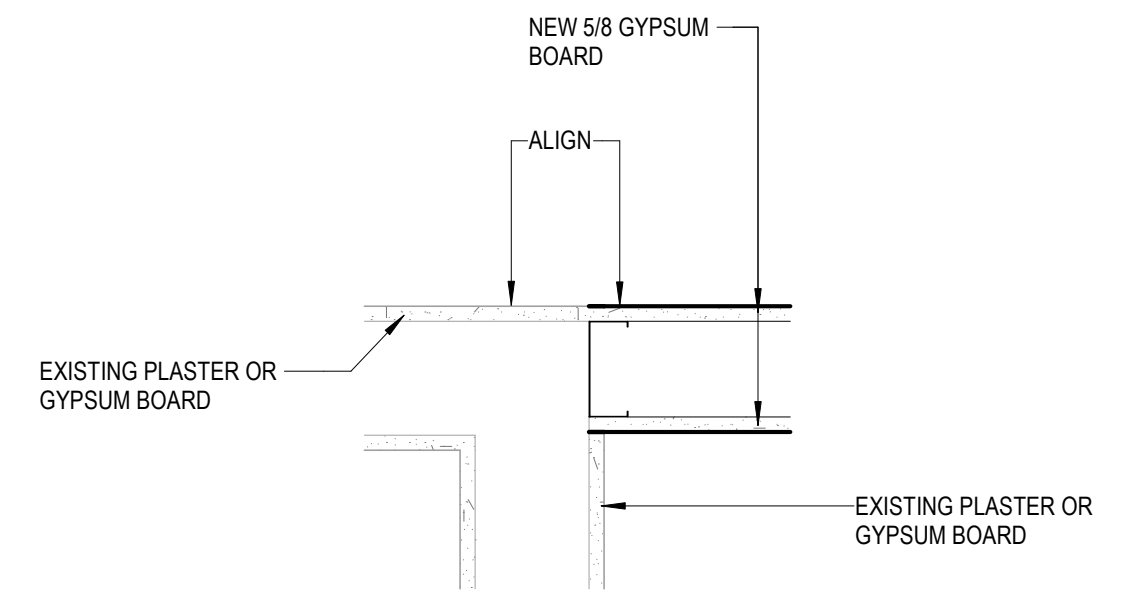
(PARTITION TO DECK)

C5
AE6.05 HEAD CONDITION "1" 1 1/2" = 1'-0"



B3
AE6.05 FOUNDATION DRAINAGE WATERPROOFING 1 1/2" = 1'-0"

B5
AE6.05 NEW WALL AT EXISTING MASONRY WALL 1 1/2" = 1'-0"



A5
AE6.05 NEW WALL AT EXISTING WALL 1 1/2" = 1'-0"

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233 E. Redwood Street, 12th Floor
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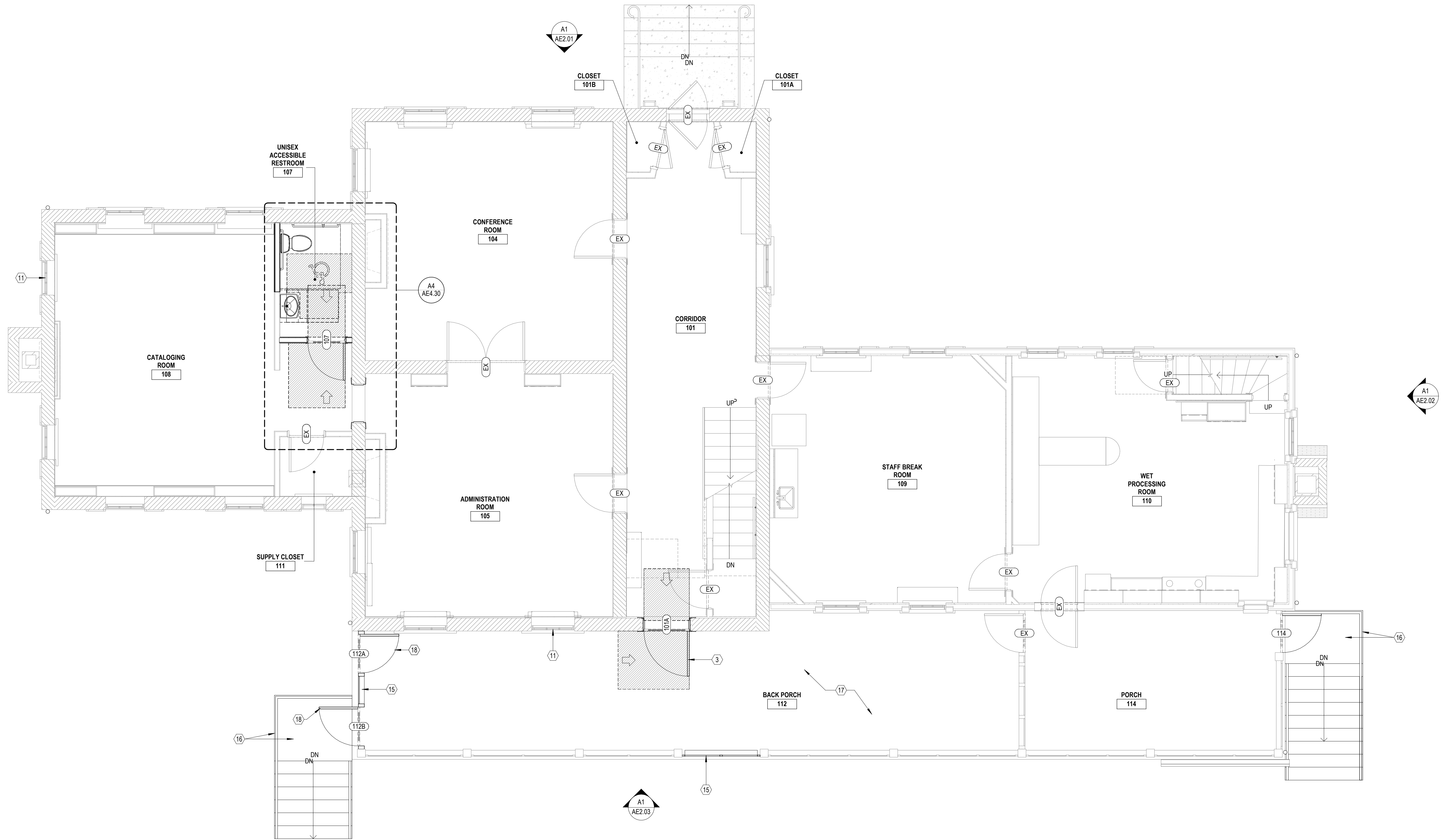
PARTITION DETAILS

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #
AE6.05

DPS PERMIT USE

FLOOR PLAN NOTES- LEVEL 1	
NUM.	NOTE
3	INSTALL SALVAGED DOOR
11	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.
15	INSTALL NEW WOOD SCREEN PORCH WALL USING SALVAGED PORCH FRAMING. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPLACE WITH NEW WOOD. NEW WOOD TO MATCH EXISTING IN SPECIES, DIMENSION, AND GRAIN. ONCE REPAIRS ARE COMPLETE, PAINT WOOD WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
16	NEW STAIR AND ASSOCIATED RAILINGS TO BE INSTALLED DURING PART 1 SITE RENOVATION. M-NCPDC TO DESIGN.
17	REPAIR EXISTING WOOD PORCH FLOOR. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPLACE WITH NEW WOOD. NEW WOOD TO MATCH EXISTING WOOD IN SPECIES, DIMENSION, AND GRAIN. ONCE ALL REPAIRS ARE COMPLETE, PAINT WOOD WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
18	INSTALL NEW WOOD SCREENED DOOR. PANEL STYLE TO MATCH EXISTING SCREENED PORCH DOORS.



FINAL PLAN

A1
AE1.01 FLOOR PLAN-OVERALL- LEVEL 01

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION



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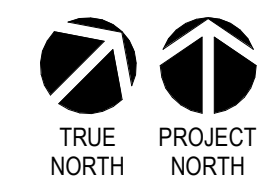
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6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

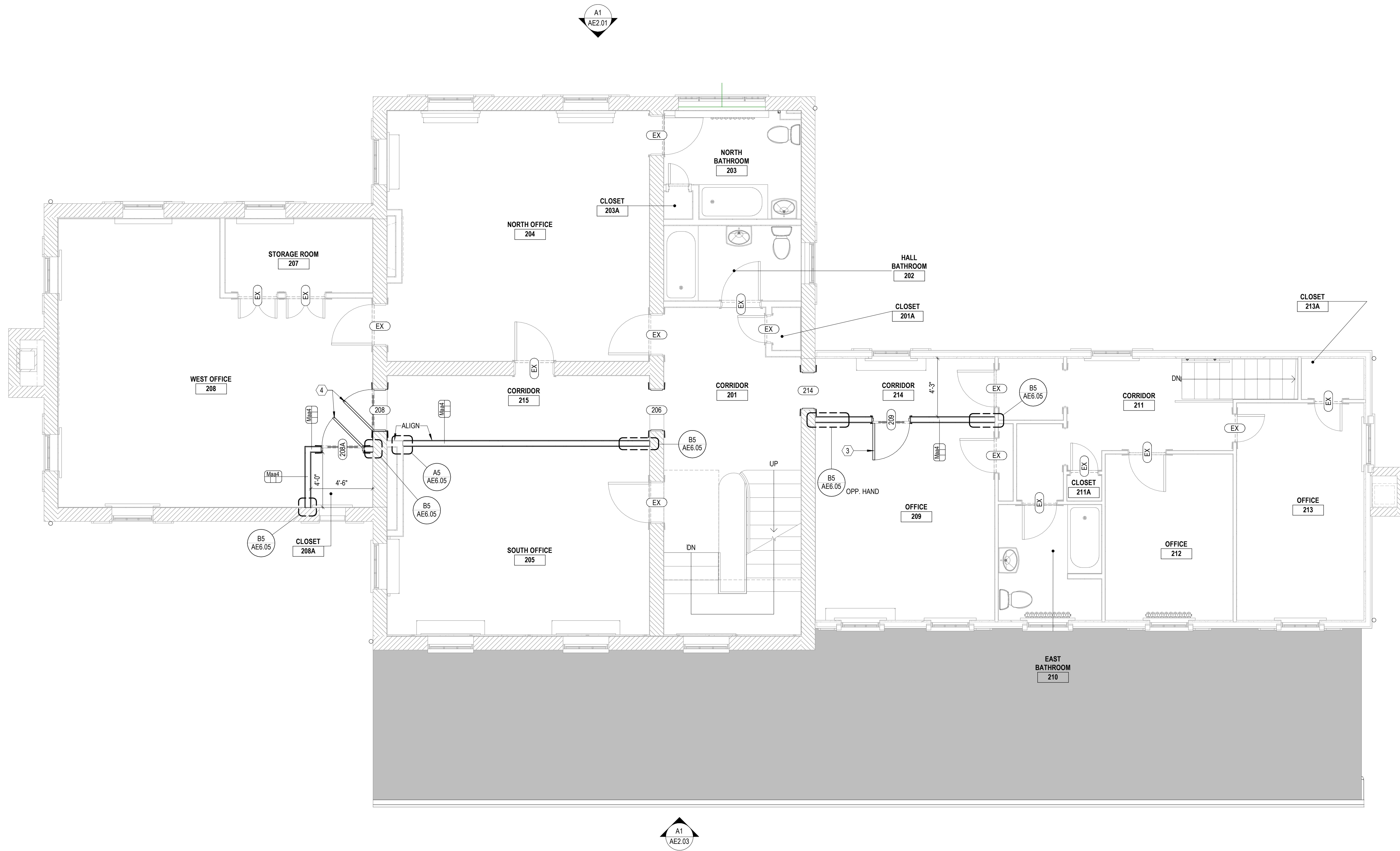
1/4" = 1'-0"

DWG. #
AE1.01

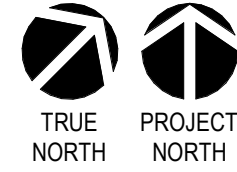


FLOOR PLAN NOTES- LEVEL 2	
NUM.	NOTE
3	INSTALL SALVAGED DOOR
4	NEW DOOR
7	NOT USED
11	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.

DPS PERMIT USE



FINAL PLAN



A1
AE1.02 FLOOR PLAN-OVERALL- LEVEL 02

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

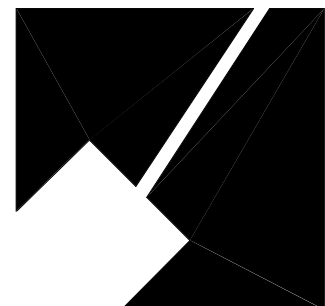
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233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM

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Submission Name	Initials	Date
SCHEMATIC DESIGN	KLK	2024.01.08
DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____
EXPIRATION DATE: _____

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The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedie Drive
Wheaton, Maryland 20902
(301) 495-2535

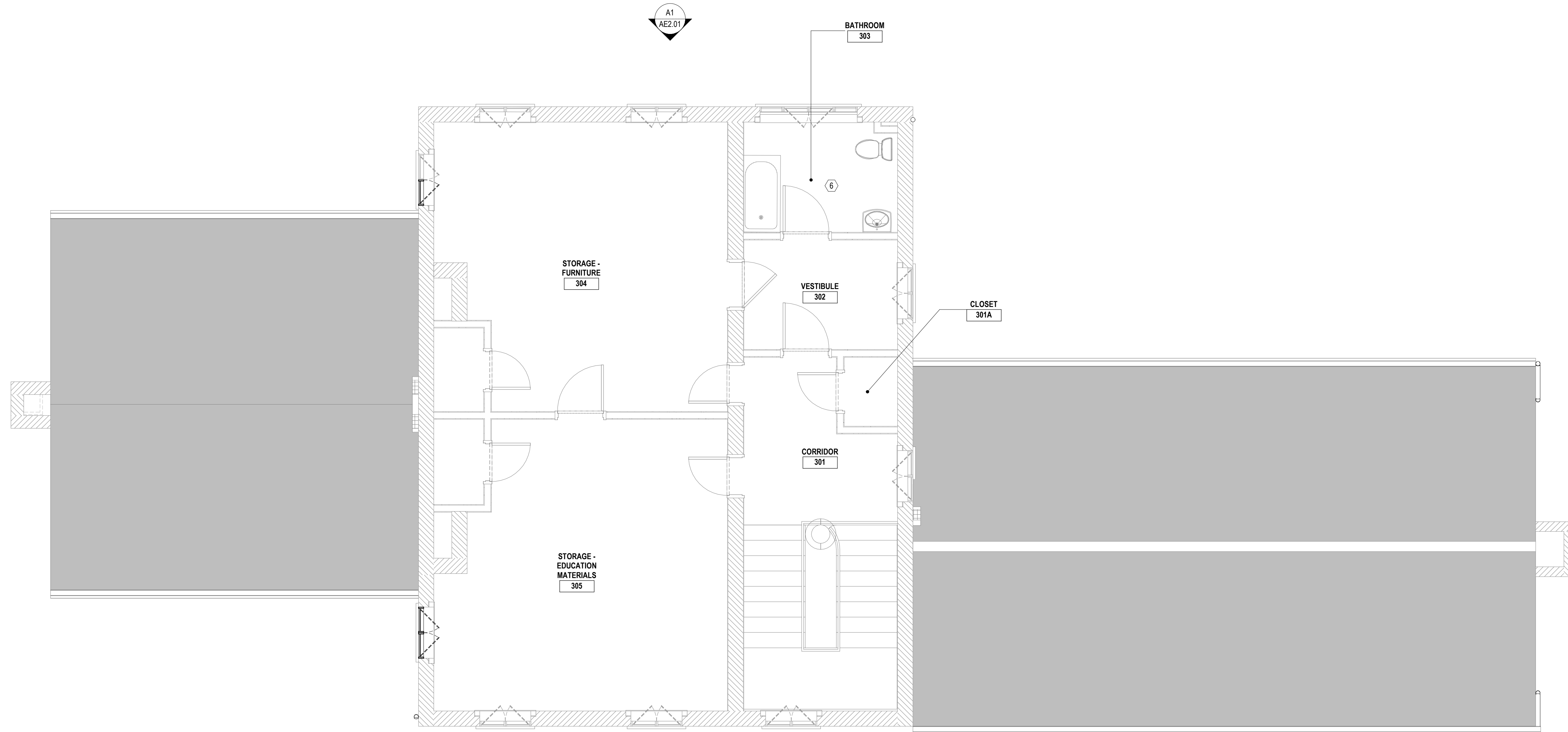
SUBMISSION / REVISION		
Rev. No.	Date	Description

FLOOR PLAN- LEVEL 02
NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

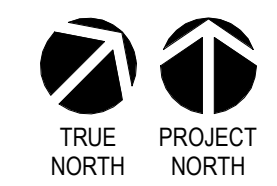
1/4" = 1'-0"
DWG. #
AE1.02

FLOOR PLAN NOTES- LEVEL 3	
NUM.	NOTE
6	INSTALL NEW PLYWOOD SUBFLOOR

DPS PERMIT USE



FINAL PLAN



<p>A1 AE1.03</p>	<p>FLOOR PLAN-OVERALL- LEVEL 03</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>MICHAEL GRAVES</p> <p>BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p> </div> <table border="1" style="font-size: 8px;"> <thead> <tr> <th colspan="3">DRAWING CHECKED BY: KLG</th> </tr> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLK</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLK</td> <td>2024.03.05</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> </div>	DRAWING CHECKED BY: KLG			Submission Name	Initials	Date	SCHEMATIC DESIGN	KLK	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05							<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; justify-content: center; align-items: center; gap: 10px;"> <div style="border: 1px solid black; padding: 2px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px;">Professional Seal</div> </div>	<p>SUBMISSION / REVISION</p> <table border="1" style="font-size: 8px;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description													<p>FLOOR PLAN- LEVEL 03</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>DWG. #</p> <p style="font-size: 24px; font-weight: bold;">AE1.03</p>
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A1
AE2.03

DPS PERMIT USE

EXTERIOR ELEVATION NOTES- NORTH	
NUM.	NOTE
1	REMOVE EXISTING POINTING OCCURRING AT BRICK TO BRICK JOINTS WITHIN INDICATED AREA. CAREFULLY REMOVE BY USE OF HAND TOOLS ONLY. CLEAN OFF ANY MATERIAL REMAINING ON SURFACE USING APPROVED METHODS OR MATERIALS. WHEN REMOVAL IS COMPLETE, REPOINT JOINTS WITH NEW MORTAR AS PER THE SPECIFICATIONS. REMOVAL PROCEDURES SHALL BE SUBJECT TO TESTING AS PER SPECIFICATION SECTION 04.01.20-71- "UNIT MASONRY REHABILITATION" & 04.05.13.91 - "MASONRY RESTORATION MORTARING."
2	AT INTERIOR SIDE OF WINDOW WELL, REMOVE EXISTING POINTING OCCURRING AT BRICK TO BRICK JOINTS. CAREFULLY REMOVE BY USE OF HAND TOOLS ONLY. CLEAN OFF ANY MATERIAL REMAINING ON SURFACE USING APPROVED METHODS OR MATERIALS. WHEN REMOVAL IS COMPLETE, REPOINT JOINTS WITH NEW MORTAR AS PER THE SPECIFICATIONS. REMOVAL PROCEDURES SHALL BE SUBJECT TO TESTING AS PER SPECIFICATION SECTION 04.01.20-71- "UNIT MASONRY REHABILITATION" & 04.05.13.91 - "MASONRY RESTORATION MORTARING." AT INDICATED LOCATION, REPLACE BRICK WHICH IS LOOSE, SPALLING, DETERIORATED, CHIPPED OR MISSING AND SURROUNDING MORTAR UNTIL SOUND BRICK IS REACHED. INSTALL NEW BRICK AND MORTAR TO MATCH EXISTING ORIGINAL IN SHAPE, SIZE, COLOR, TEXTURE, AND STYLE, INCLUDING MOLDED SHAPES.
3	AT INDICATED AREA, CLEAN ALL BIOLOGICAL GROWTH BUILT UP ON BRICK SURFACE.
4	RESTORE EXISTING WOOD WINDOW AND FRAMES AND MAKE OPERABLE. WHERE SASH IS MISSING, REPLACE WITH NEW TO MATCH EXISTING ADJACENT. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
5	REMOVE MULCH/VEGETATION FROM INSIDE OF WINDOW WELL. REPAIR STEEL WINDOW AND MAKE OPERABLE. WIREBRUSH CLEAN METAL FROM EXISTING RUST. WHERE STEEL IS DETERIORATED, REPAIR WITH EPOXY SYSTEM FOR STEEL. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
6	INSTALL NEW WOOD WINDOW TO MATCH EXISTING WINDOW DIRECTLY TO THE SOUTH.
7	REMOVE MULCH/VEGETATION AWAY FROM WINDOW.
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.
17	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.

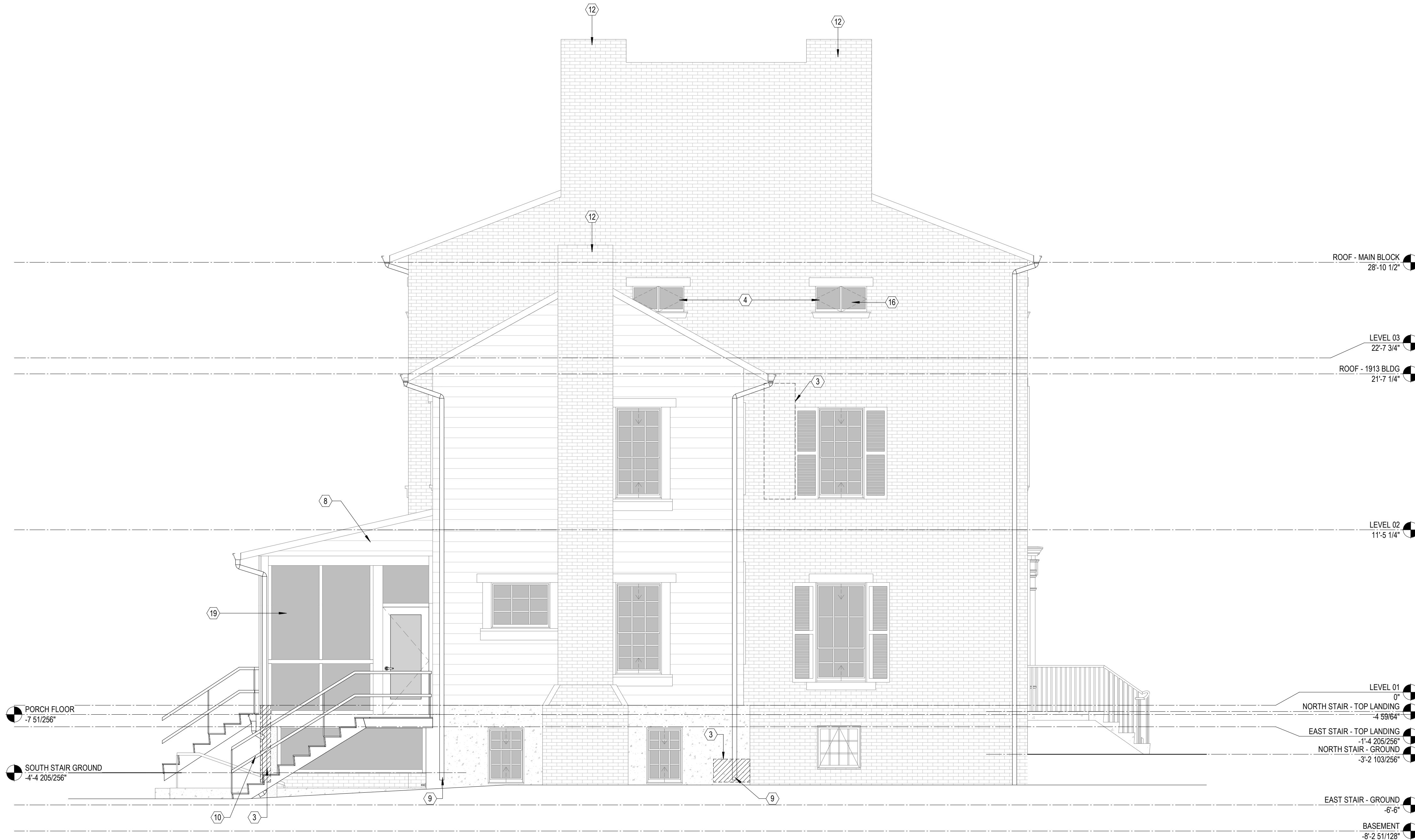


FINAL DRAWING
PLAN SHOWN
PARK CODE

<p>A1 AE2.01</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <p>MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410.390.9680 MICHAELGRAVES.COM</p>	<p>DRAWING CHECKED BY: KLG</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLK</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLK</td> <td>2024.03.05</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLK	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05							<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center;">Professional Seal</div> </div>	<p>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION</p> <p>Montgomery County Department of Parks 2425 Reedle Drive Wheaton, Maryland 20902 (301) 495-2535</p>	<p>SUBMISSION / REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev. No.	Date	Description													<p>ELEVATIONS- EXTERIOR- BUILDING</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>DWG. #</p> <p style="font-size: 2em; font-weight: bold;">AE2.01</p>
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DPS PERMIT USE

EXTERIOR ELEVATION NOTES- EAST	
NUM.	NOTE
3	AT INDICATED AREA, CLEAN ALL BIOLOGICAL GROWTH BUILT UP ON BRICK SURFACE.
4	
8	REPAIR EXISTING WOOD SIDING AT PORCH. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
9	INSTALL DOWNSPOUT EXTENSION TO MOVE WATER AWAY FROM FOUNDATION WALL.
10	INSTALL DOWNSPOUT SPLASH BLOCK.
12	INSTALL NEW LEAD-COATED COPPER CHIMNEY CAP TO FIT OVER EXISTING CHIMNEY AT THIS LOCATION.
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.
19	REPAIR EXISTING WOOD PORCH WALLS AND FRAMES. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.



FINAL, SCANNED

A1 ELEVATION- EXTERIOR- EAST

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION



BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
MICHAELGRAVES.COM


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The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedie Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION		
Rev. No.	Date	Description

ELEVATIONS- EXTERIOR- BUILDING

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

1/4" = 1'-0"

DWG. #

AE2.02

DPS PERMIT USE

EXTERIOR ELEVATION NOTES- SOUTH	
NUM.	NOTE
1	REMOVE EXISTING POINTING OCCURRING AT BRICK TO BRICK JOINTS WITHIN INDICATED AREA. CAREFULLY REMOVE BY USE OF HAND TOOLS ONLY. CLEAN OFF ANY MATERIAL REMAINING ON SURFACE USING APPROVED METHODS OR MATERIALS. WHEN REMOVAL IS COMPLETE, REPOINT JOINTS WITH NEW MORTAR AS PER THE SPECIFICATIONS. REMOVAL PROCEDURES SHALL BE SUBJECT TO TESTING AS PER SPECIFICATION SECTION 04.01.20-71- "UNIT MASONRY REHABILITATION" & 04.05.13.91 - "MASONRY RESTORATION MORTARING."
3	AT INDICATED AREA, CLEAN ALL BIOLOGICAL GROWTH BUILT UP ON BRICK SURFACE.
4	RESTORE EXISTING WOOD WINDOW AND FRAMES AND MAKE OPERABLE. WHERE SASH IS MISSING, REPLACE WITH NEW TO MATCH EXISTING ADJACENT. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
11	REPLACE STEEL WINDOW WELL WITH NEW.
12	INSTALL NEW LEAD-COATED COPPER CHIMNEY CAP TO FIT OVER EXISTING CHIMNEY AT THIS LOCATION.
15	WHERE GLAZING IS CRACKED, REPLACE WITH NEW TO MATCH EXISTING IN COLOR, TEXTURE, TRANSPARENCY, THICKNESS, AND PATTERN.
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.
17	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.
19	REPAIR EXISTING WOOD PORCH WALLS AND FRAMES. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.



FINAL SEANNED
PLAN SEANNED
PARK CODE

A1 ELEVATION- EXTERIOR- SOUTH
AE2.03

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BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9680
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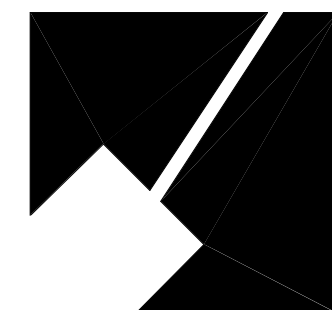
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ELEVATIONS- EXTERIOR- BUILDING

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

1/4" = 1'-0"

DWG. #

AE2.03

DPS PERMIT USE

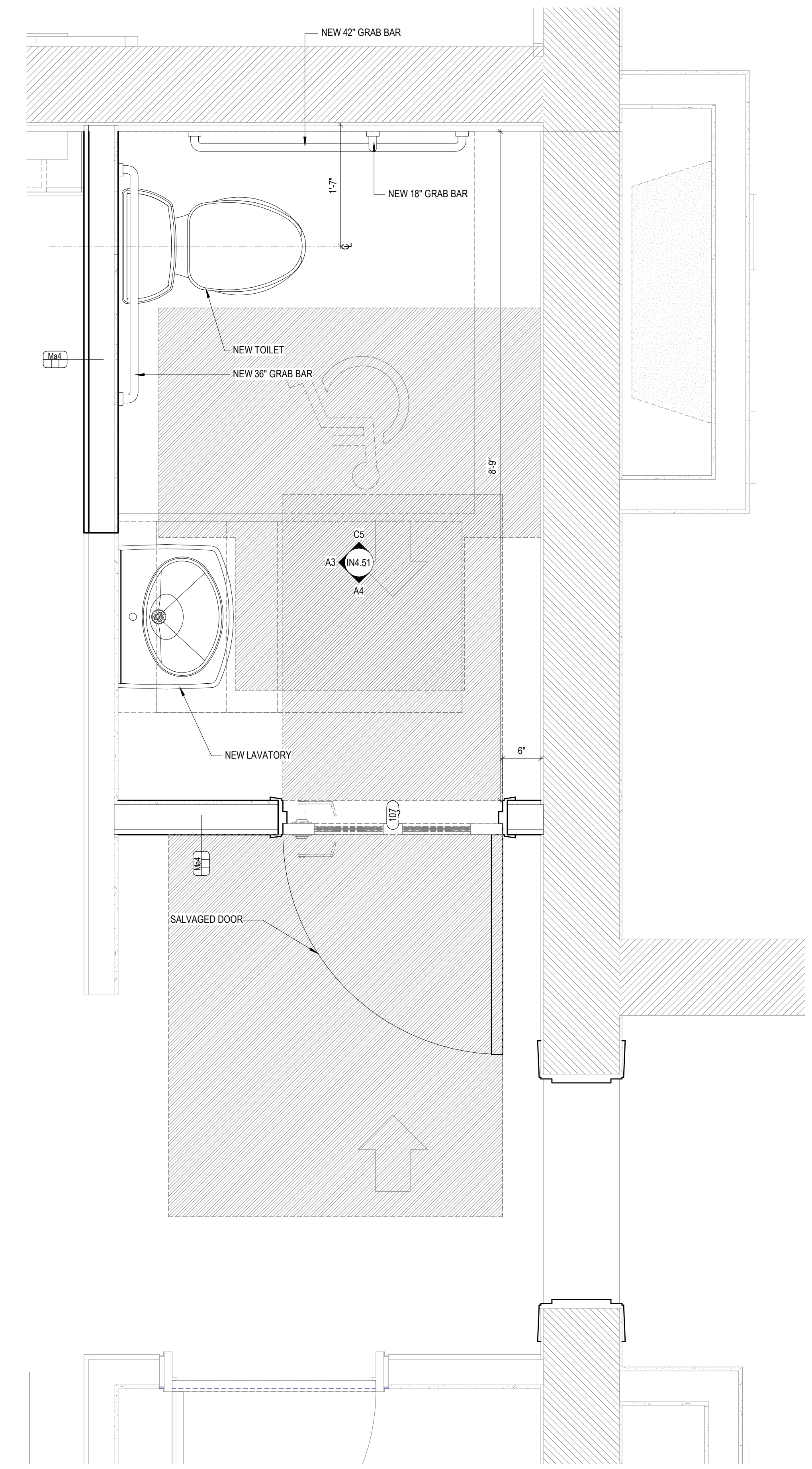
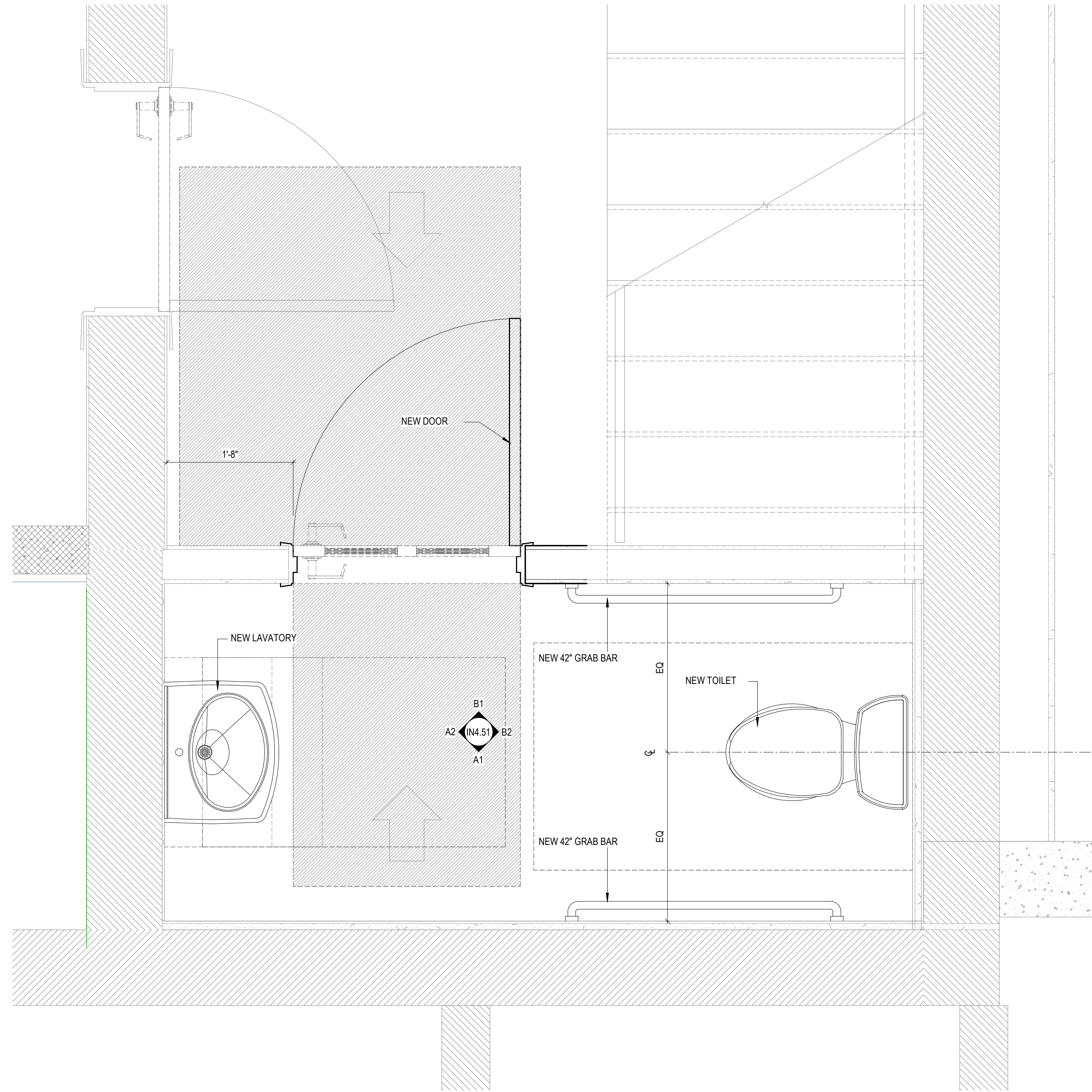
EXTERIOR ELEVATION NOTES- WEST	
NUM.	NOTE
4	RESTORE EXISTING WOOD WINDOW AND FRAMES AND MAKE OPERABLE. WHERE SASH IS MISSING, REPLACE WITH NEW TO MATCH EXISTING ADJACENT. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
5	REMOVE MULCH/VEGETATION FROM INSIDE OF WINDOW WELL. REPAIR STEEL WINDOW AND MAKE OPERABLE. WIREBRUSH CLEAN METAL FROM EXISTING RUST. WHERE STEEL IS DETERIORATED, REPAIR WITH EPOXY SYSTEM FOR STEEL. ONCE ALL REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT. AFTER PRIMER COAT AND BEFORE FINISH COATS, SEAL PERIMETER EDGES OF EACH FRAME AT BRICK WITH SEALANT. COLOR TO CLOSELY MATCH PAINT.
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12	INSTALL NEW LEAD-COATED COPPER CHIMNEY CAP TO FIT OVER EXISTING CHIMNEY AT THIS LOCATION.
13	SEAL OPEN PENETRATIONS IN BRICK.
14	INSTALL NEW WOOD WINDOW TO MATCH EXISTING THIRD FLOOR WINDOWS.
16	INSTALL NEW OPERABLE METAL STORM WINDOW WITH INSECT SCREEN.
17	ADD ALTERNATE #1: MAKE WINDOW OPERABLE.
18	INSTALL NEW WOOD SCREEN PORCH WALL USING SALVAGED PORCH FRAMING. REPAIR DAMAGED WOOD AS REQUIRED, USING EPOXY WOOD REPAIR SYSTEM ON DETERIORATED PORTIONS. WHERE WOOD IS MORE THAN 40% DETERIORATED, REPAIR WITH DUTCHMAN SO THAT REPAIR ONCE PAINTED IS NOT OBSERVABLE. DUTCHMAN TO BE MADE FROM NATURALLY ROT RESISTANT WOOD. ONCE REPAIRS ARE COMPLETE, PREP, PRIME, AND PAINT EACH UNIT WITH TWO (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.



FINAL, SEANNED
PLAN, SEANNED
PARK CODE

<p>A1 AE2.04</p>	<p>ELEVATION- EXTERIOR- WEST</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <div style="display: flex; align-items: center;"> <p style="font-size: 8px; margin: 0;"> MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM </p> </div>	<p>DRAWING CHECKED BY: Checker</p> <table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLK</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLK</td> <td>2024.03.05</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLK	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLK	2024.03.05							<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; justify-content: center; align-items: center; gap: 20px;"> <div style="border: 1px solid black; padding: 2px 5px; font-size: 8px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; font-size: 8px;">Professional Seal</div> </div>	<p>THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION</p> <p>Montgomery County Department of Parks 2425 Reedie Drive Wheaton, Maryland 20902 (301) 495-2535</p>	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th colspan="3">SUBMISSION / REVISION</th> </tr> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	SUBMISSION / REVISION			Rev. No.	Date	Description													<p>ELEVATIONS- EXTERIOR- BUILDING</p> <p>NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>1/4" = 1'-0"</p> <p>DWG. #</p> <p style="font-size: 24px; font-weight: bold;">AE2.04</p>
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DPS PERMIT USE



FINAL PLAN

A1
AE4.30 UNISEX AMBULATORY RESTROOM 042

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AND CONTACT INFORMATION

BALTIMORE, MD
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Baltimore, MD 21202
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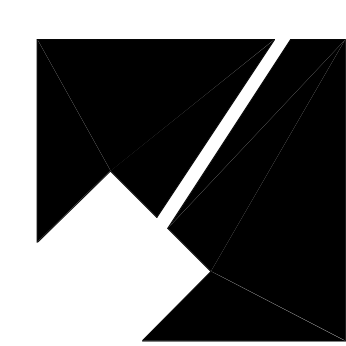
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SCHEMATIC DESIGN	KLG	2024.01.08
DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05

PROFESSIONAL CERTIFICATION:
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by me, and that I am a duly licensed professional
engineer under the laws of the State of Maryland.

LICENSE NO. _____

EXPIRATION DATE: _____

DocuSeal



The Maryland-National Capital
Park and Planning Commission
Montgomery County Department of Parks
2425 Reedie Drive
Wheaton, Maryland 20902
(301) 495-2535

1" = 1'-0"

A4
AE4.30 UNISEX ACCESSIBLE RESTROOM 107

SUBMISSION / REVISION

Rev. No.	Date	Description

ENLARGED PLANS

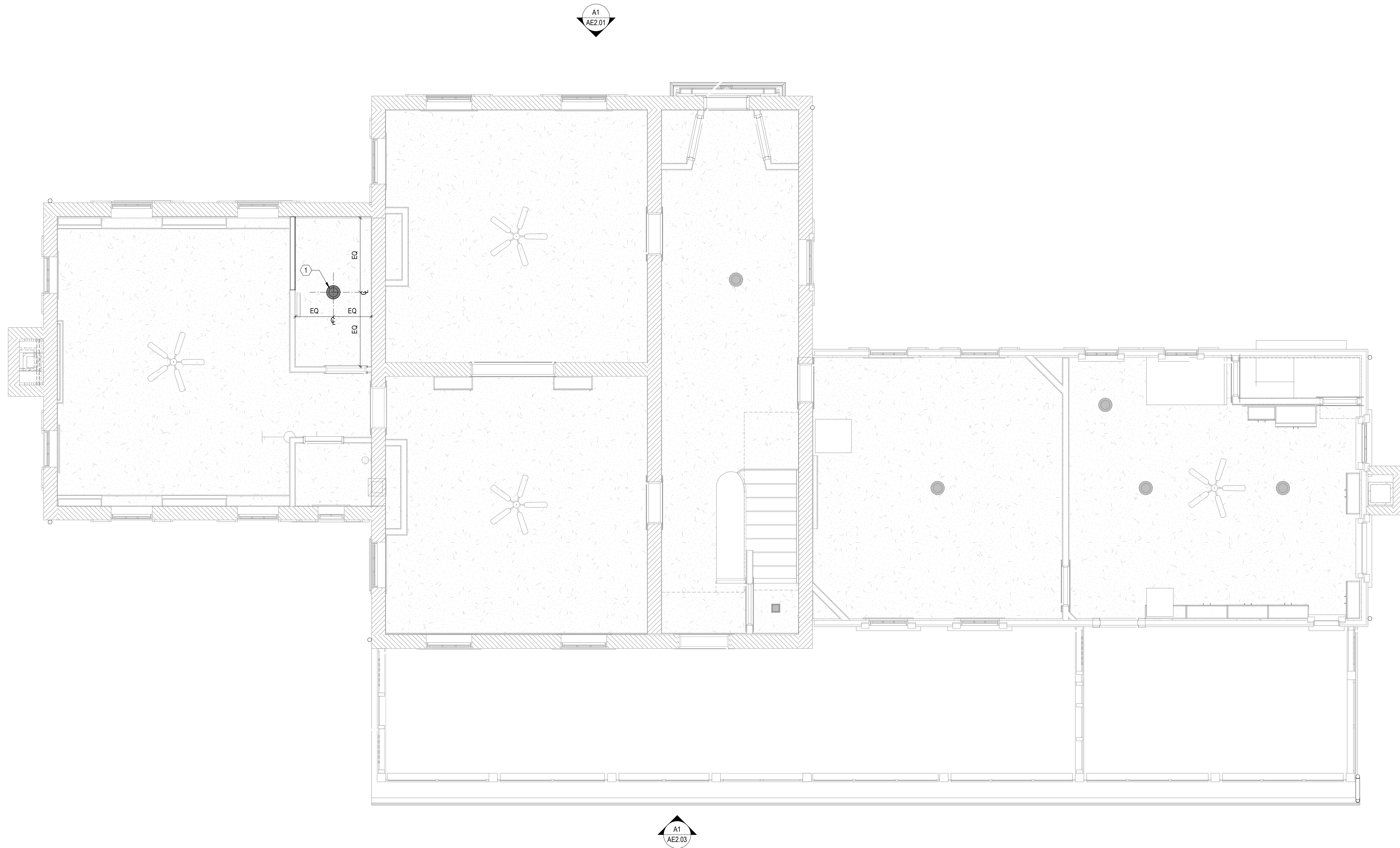
NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

1" = 1'-0"

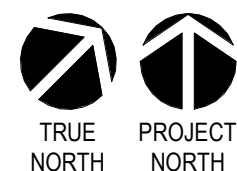
DWG. #
AE4.30

REFLECTED CEILING PLAN NOTES	
NUM.	NOTE
1	INSTALL NEW LIGHT

DPS PERMIT USE



FINAL PLAN



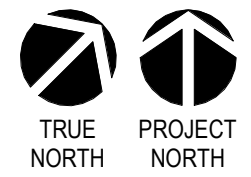
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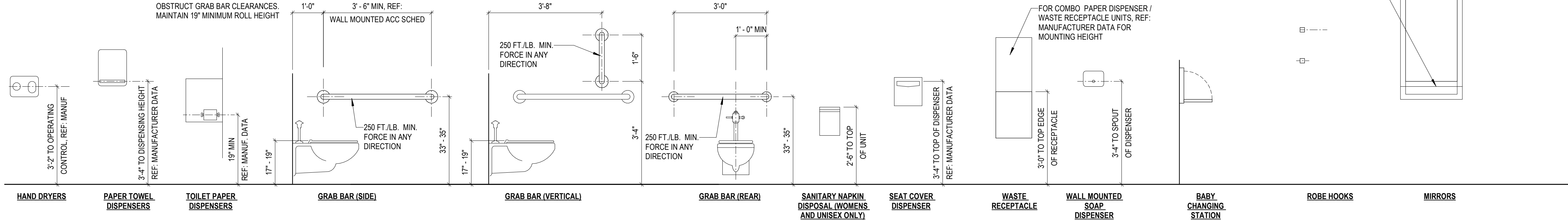
FINAL PLAN
PLAN SHOWN
PARK CODE



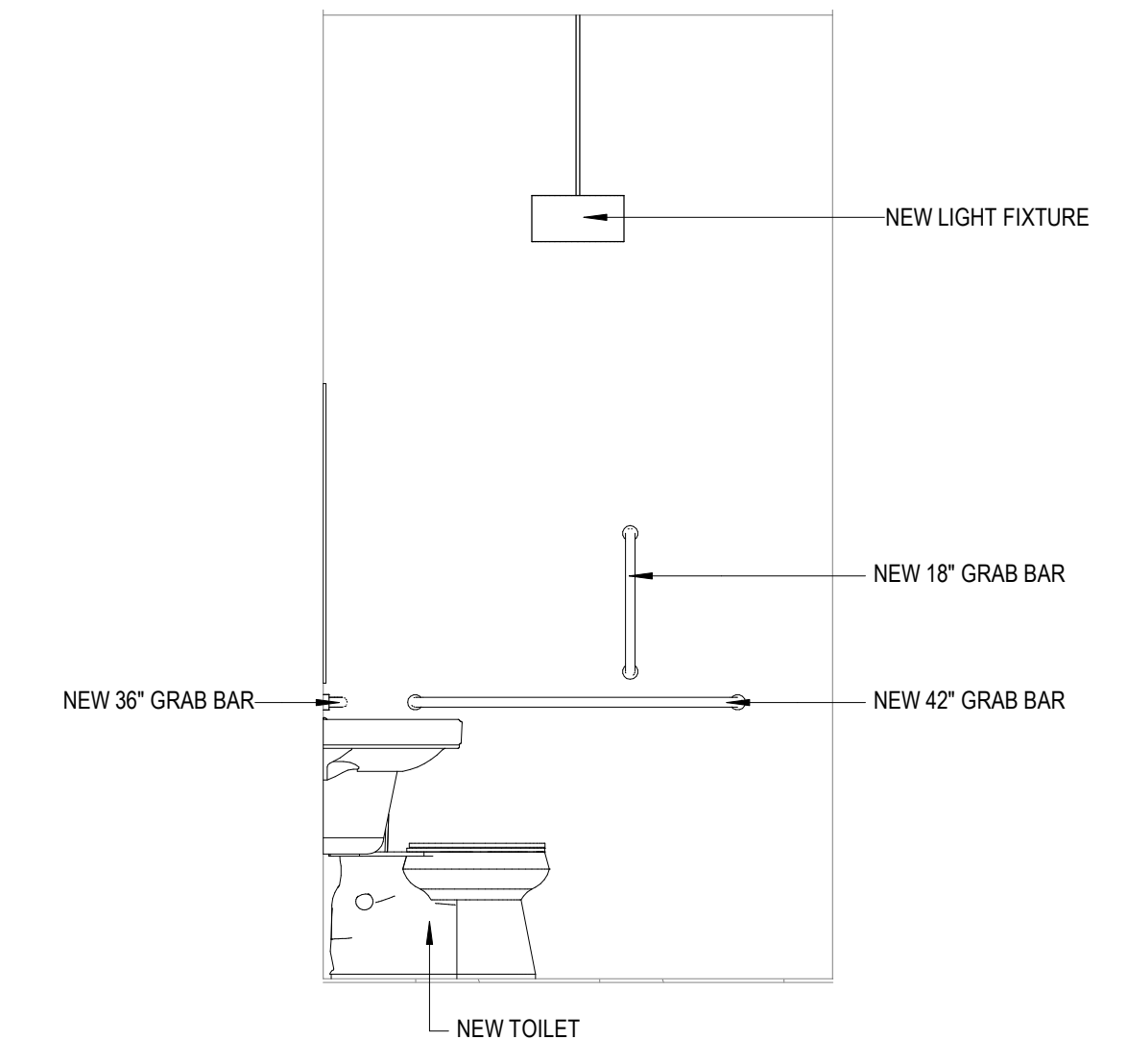
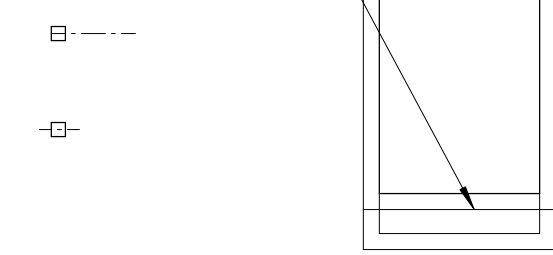
<p>A1 AC1.U1</p> <p>DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION</p> <p>MICHAEL GRAVES BALTIMORE, MD 233 E. Redwood Street, 12th Floor Baltimore, MD 21202 T 410 290 9680 MICHAELGRAVES.COM</p>	<p>DRAWING CHECKED BY: Checker</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>SCHEMATIC DESIGN</td> <td>KLG</td> <td>2024.01.08</td> </tr> <tr> <td>DESIGN DEVELOPMENT (60% CDs)</td> <td>KLG</td> <td>2024.03.05</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Submission Name	Initials	Date	SCHEMATIC DESIGN	KLG	2024.01.08	DESIGN DEVELOPMENT (60% CDs)	KLG	2024.03.05							<p>PROFESSIONAL CERTIFICATION: I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.</p> <p>LICENSE NO. _____</p> <p>EXPIRATION DATE: _____</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">DocuSeal</div> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center;">Professional Seal</div> </div>	<p>The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks 2425 Reedie Drive Wheaton, Maryland 20902 (301) 495-2535</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3">SUBMISSION / REVISION</th> </tr> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	SUBMISSION / REVISION			Rev. No.	Date	Description																<p>REFLECTED CEILING PLAN- LEVEL U1 NEEDWOOD MANSION Renovation 6700 NEEDWOOD ROAD DERWOOD, MD 20855 SCALE: As Shown</p>	<p>1/4" = 1'-0"</p> <p>DWG. # AC1.U1</p>
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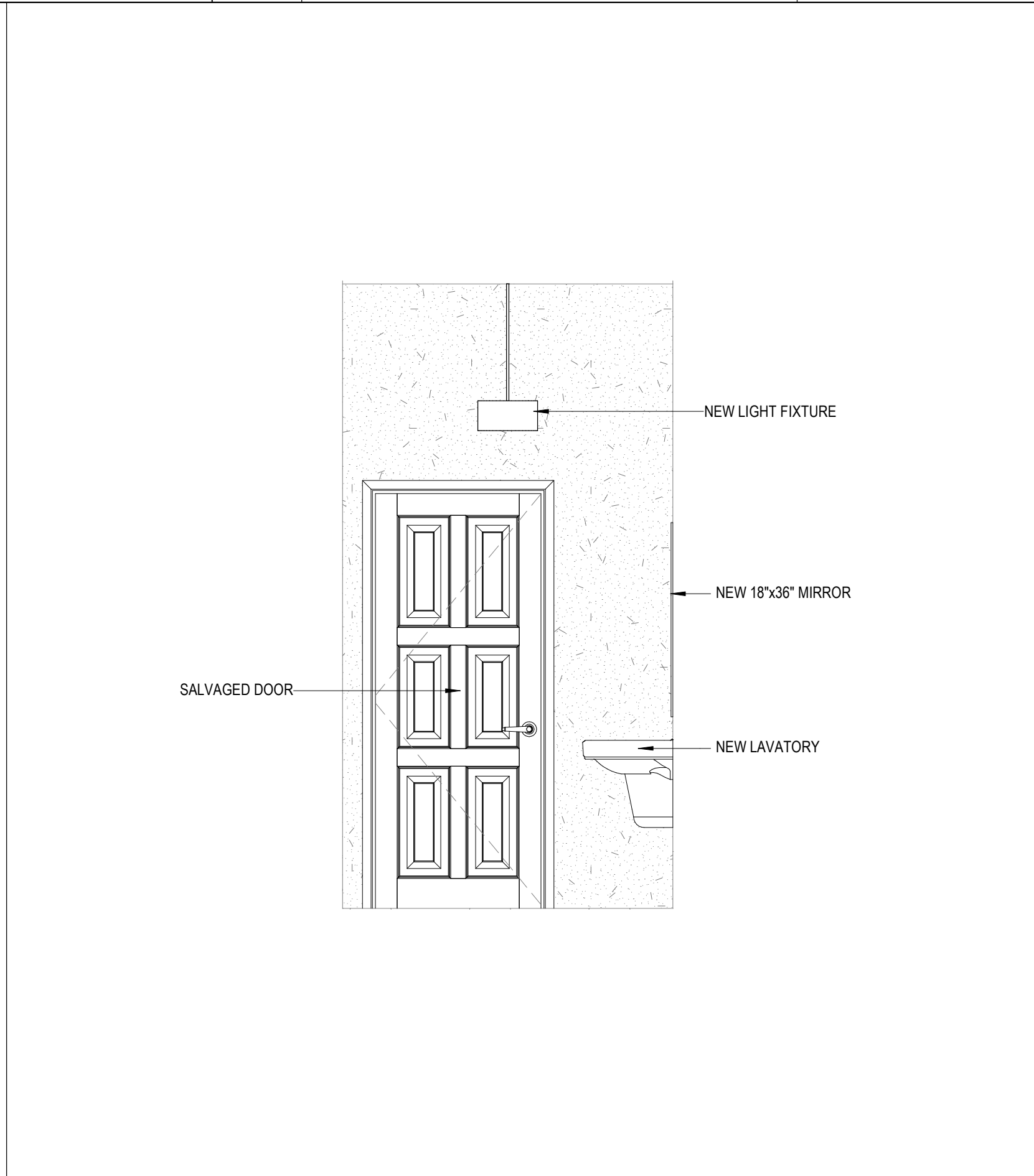
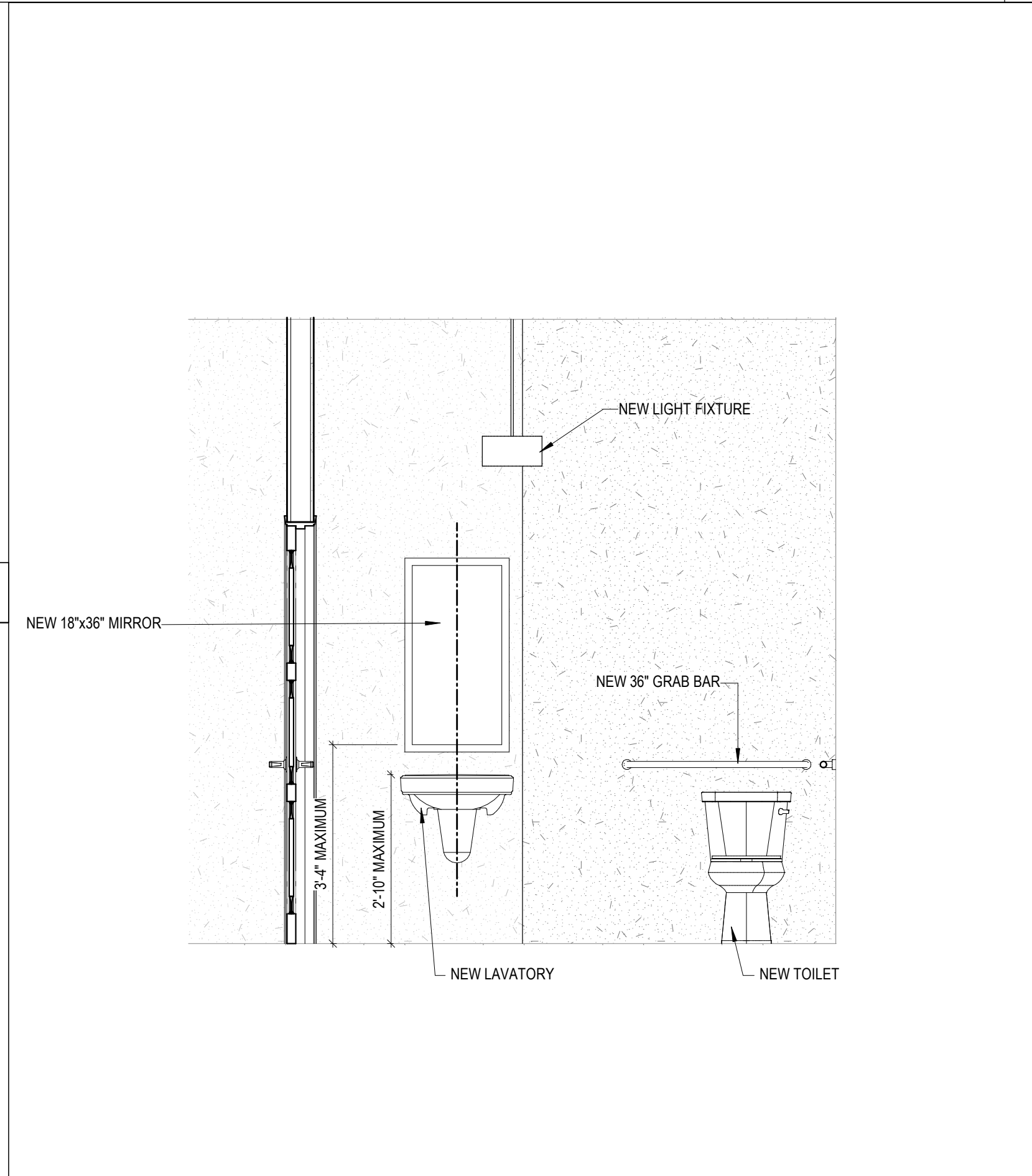
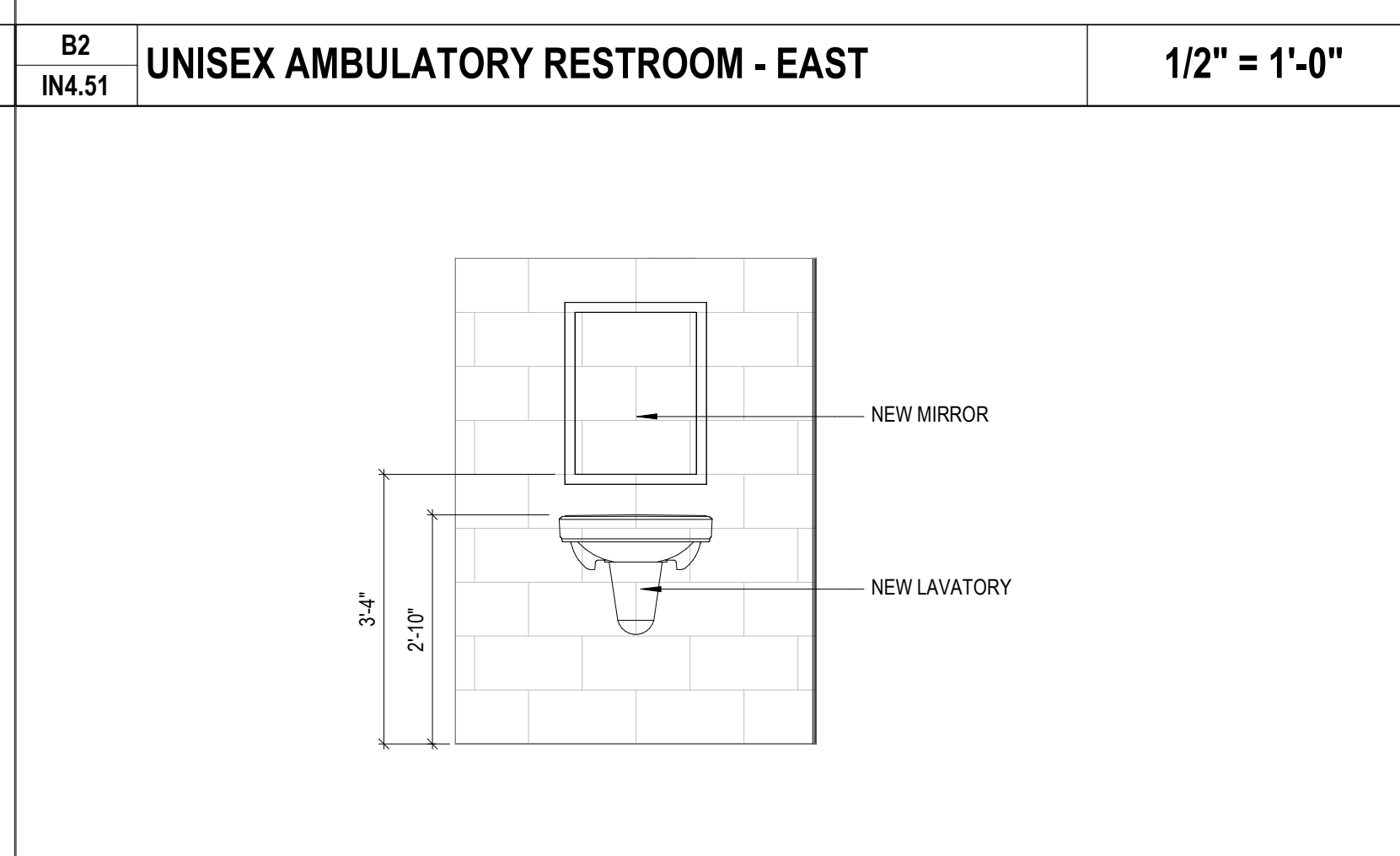
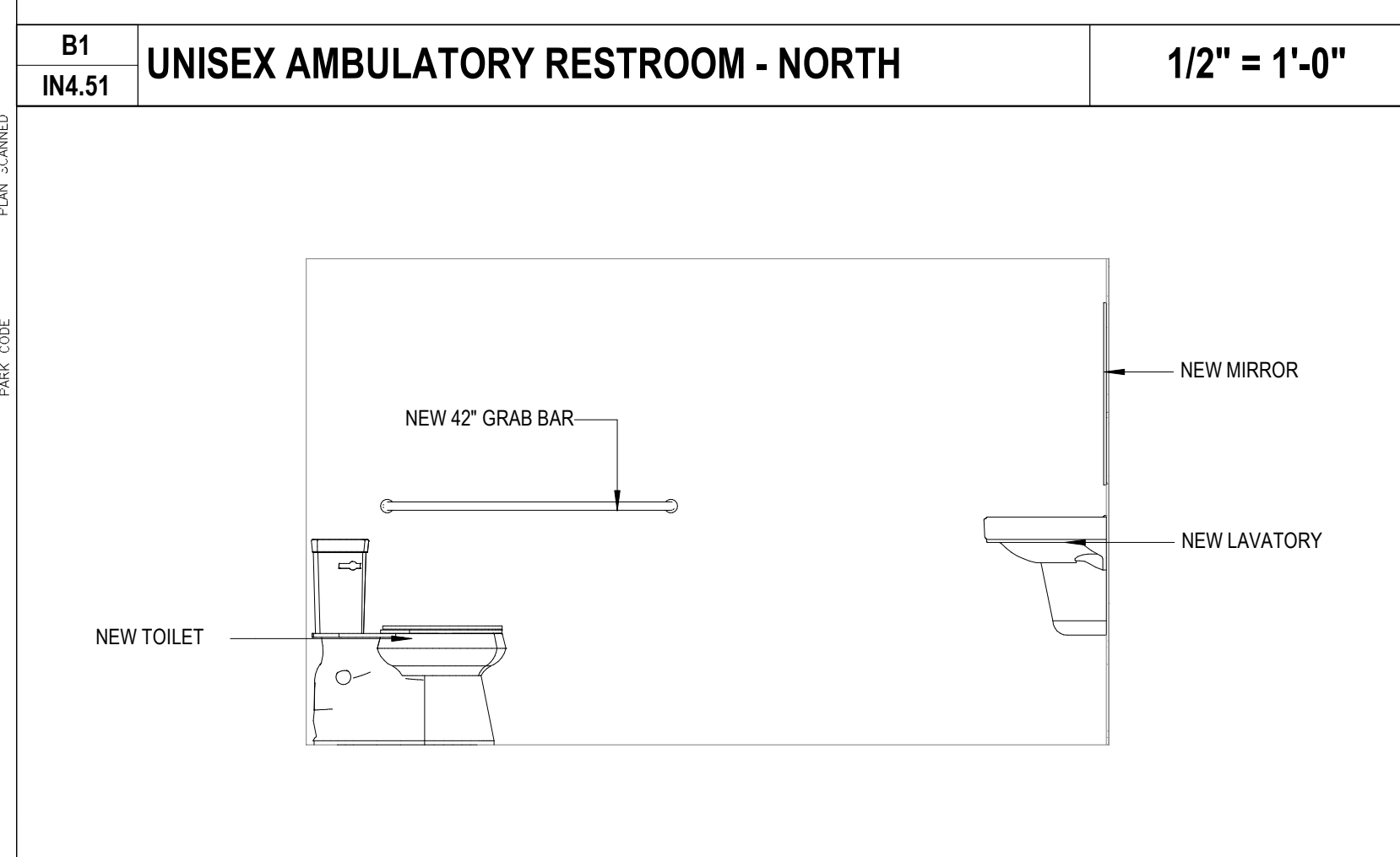
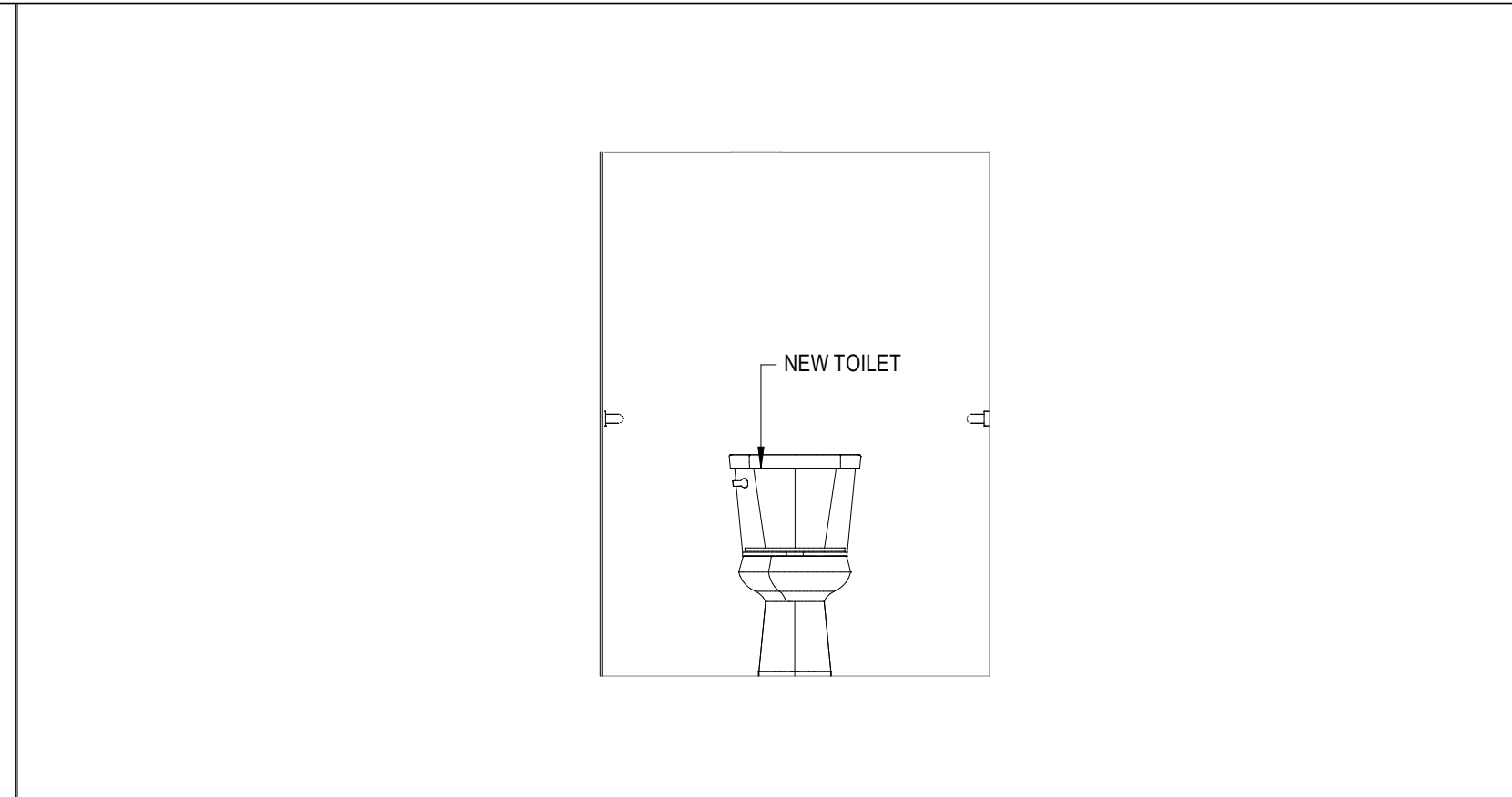
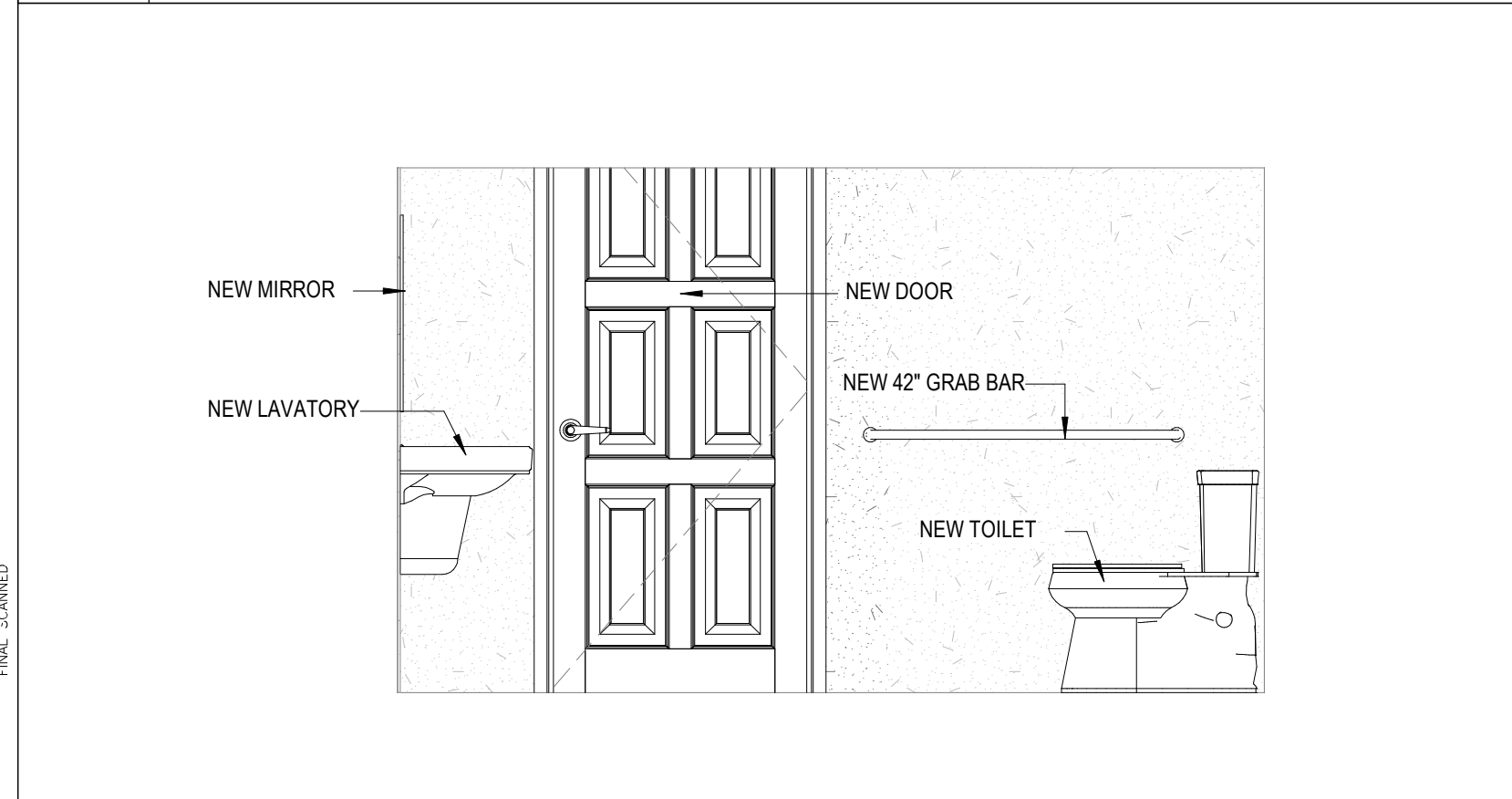
VERIFY DIMENSIONS OF UNIT FROM MANUFACTURER DATA. MOUNT WITH OPERABLE ROLL AT 27" AFF IF DIMENSIONS OF UNIT DO NOT OBSTRUCT GRAB BAR CLEARANCES. MAINTAIN 19" MINIMUM ROLL HEIGHT



REF. SPECIFICATIONS AND MILLWORK DETAILS FOR POSSIBLE FRAMES. MIRROR MUST BE LOCATED BY REFLECTIVE SURFACE HEIGHT



C1 IN4.51 MOUNTING HEIGHTS 1/2" = 1'-0" C5 IN4.51 UNISEX ACCESSIBLE RESTROOM - NORTH 1/2" = 1'-0"



A1 IN4.51 UNISEX AMBULATORY RESTROOM - SOUTH 1/2" = 1'-0" A2 IN4.51 UNISEX AMBULATORY RESTROOM - WEST 1/2" = 1'-0" A3 IN4.51 UNISEX ACCESSIBLE RESTROOM - WEST 1/2" = 1'-0" A4 IN4.51 UNISEX ACCESSIBLE RESTROOM - SOUTH 1/2" = 1'-0"

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES
BALTIMORE, MD
233 E. Redwood Street, 12th Floor
Baltimore, MD 21202
T 410 290 9690
MICHAELGRAVES.COM

DRAWING CHECKED BY: KLG

Submission Name	Initials	Date
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DocuSeal Professional Seal

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

INTERIOR ELEVATIONS

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #
IN4.51

DPS PERMIT USE

GENERAL

- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY, AS PROJECT CONDITIONS REQUIRE. A PROFESSIONAL ENGINEER, LICENSED BY THE GOVERNING STATE IN WHICH THE PROJECT IS LOCATED AND HIRED BY THE CONTRACTOR, SHALL DESIGN ALL SHORING AND SHEETING AND SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
- ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS, INCLUDING THE INTERNATIONAL RESIDENTIAL CODE (LOCALLY APPROVED EDITION) AS MODIFIED BY THE GOVERNING LOCALITY.
- DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.
- THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS REPRESENTS THE DESIGN INTENT OF THE PROPOSED CONSTRUCTION. ELECTRONIC VERSIONS (PDF, DWG) OF THESE DRAWINGS SHOULD NOT BE USED TO DETERMINE DIMENSIONS OR GATHER ANY INFORMATION THAT IS NOT SPECIFICALLY LABELED OR OTHERWISE DENOTED IN PLAN, SECTION, OR DETAIL. DUPLICATION OF THESE DRAWINGS FOR USE IN THE PREPARATION OF SHOP DRAWINGS IS NOT ACCEPTABLE. THIS INCLUDES ANNOTATED HARD-COPIES AND DIRECT REUSE OF ELECTRONIC FILES.

FOUNDATIONS

- BUILDING FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING MINIMUM BEARING CAPACITY OF XXXX PSF. AS SPECIFIED BY THE GEOTECHNICAL REPORT XXXX. ADEQUACY OF BEARING STRATUM SHALL BE VERIFIED IN FIELD PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQUIRED.
- FINISH ALL FOOTING EXCAVATIONS BY HAND. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. PROTECT FOOTINGS FROM FROST AFTER THEY ARE PLACED.
- AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS, STEP NEW FOOTING TO MATCH EXISTING. DRILL AND GROUT 2-#5 BARS x 2'-6" LONG INTO EXISTING FOOTING IN HLH1 HIT-HY200 ADHESIVE WITH 6" EMBEDMENT.
- DO NOT PLACE FILL AGAINST FOUNDATION WALLS UNLESS ADEQUATELY BRACED BY COMPLETED FLOORS OR OTHER MEANS DEEMED APPROPRIATE BY THE ARCHITECT.
- FILL AND BACKFILL MATERIAL- CLEAN RUN OF BANK MATERIAL, FREE OF DELETERIOUS ORGANIC MATERIALS.
- ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.

CAST-IN-PLACE CONCRETE

- ALL CONCRETE (EXCEPT SLABS ON METAL DECK) SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. SLUMP SHALL BE 4" FOR SLABS ON GRADE AND 5" FOR ALL OTHER CONCRETE.
- ALL CONCRETE SLABS ON COMPOSITE METAL DECK SHALL BE LIGHT WEIGHT CONCRETE WITH A MINIMUM ULTIMATE COMPRESSIVE STRESS OF 3000 PSI AT 28 DAYS.
- SLABS ON GRADE SHALL BE 4" CONCRETE REINFORCED WITH WWF6x6-W1.4xW1.4 ON 10 MIL. POLY. VAPOR BARRIER OR 4" CRUSHED STONE, U.N.O.
- ALL FOUNDATION CONCRETE AND GARAGE FLOOR SLABS SHALL INCLUDE 5% AIR ENTRAINMENT (±1.5%). ADJUST AIR ENTRAINMENT FOR EXPOSURE CLASS AS REQUIRED.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI MANUAL OF CONCRETE PRACTICE (ACI 315), LOCALLY APPROVED EDITION.
- WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185, WITH A MINIMUM ULTIMATE TENSILE STRENGTH OF 70,000 PSI.
- CONCRETE WORK SHALL BE DESIGNED, REINFORCED, PLACED AND CURED IN CONFORMANCE WITH THE LOCALLY APPROVED EDITION OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE", AND ALL RECOMMENDED PRACTICES CONTAINED THEREIN SHALL BE CONSIDERED MANDATORY FOR THIS PROJECT.
- PROVIDE MINIMUM TEMPERATURE REINFORCEMENT, AS REQUIRED BY ACI-318, IN ALL SLABS AND WALLS WHERE REINFORCEMENT IS NOT INDICATED ON DRAWINGS.
- COORDINATE SIZE AND LOCATION OF ALL OPENINGS AND PIPE SLEEVES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6".
- PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
SLABS: 3/4"
BEAMS, COLUMNS: 1 1/2"
FOOTINGS: 3"
EXTERIOR WALLS: 2" FOR #6 OR LARGER, 1 1/2" FOR #5 OR SMALLER
INTERIOR WALLS: 3/4"
- ALL GROUT SHALL BE NON-SHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI.
- UNLESS SPECIFICALLY WAIVED BY ENGINEER OF RECORD, CEMENTITIOUS MATERIAL REPLACEMENT FOR CONCRETE MIXES AT ALL CAST-IN-PLACE CONCRETE SHALL BE 10% MINIMUM AND 33% MAXIMUM USING ONE OF THE FOLLOWING:
GROUND GRANULATED BLAST FURNACE SLAG (GGBS) OR FLY ASH.
- WHERE CONCRETE IS PLACED AGAINST AND DOWELED TO HARDENED CONCRETE AND/OR WHERE A ROUGHENED SURFACE IS INDICATED IN THE STRUCTURAL DRAWINGS, THE HARDENED CONCRETE SURFACE SHALL BE CLEAN AND FREE OF LATANCE AND SHALL BE ROUGHENED TO A FULL AMPITUDE OF APPROXIMATELY 1/4".

CONCRETE MASONRY WORK

- ALL CONCRETE MASONRY WORK SHALL CONFORM TO THE "NATIONAL CONCRETE MASONRY ASSOCIATION SPECIFICATIONS" (LOCALLY APPROVED EDITION) AND THE MASONRY STANDARDS JOINT COMMITTEE SPECIFICATIONS (ACI 530.1 - LOCALLY APPROVED EDITION).
- CONCRETE BLOCK WORK SHALL BE OF LIGHTWEIGHT AGGREGATE AND CONFORM TO THE FOLLOWING STANDARDS:
SOLID BLOCK: ASTM C90, GRADE NI (F_m: 1900 PSI ON GROSS AREA)
HOLLOW BLOCK: ASTM C90, GRADE NI (F_m: 1900 PSI ON NET AREA)
- COORDINATE BLOCK TYPES WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- FILL ALL VOIDS SOLD IN PIERS AND DIRECTLY UNDER BEARING LOCATIONS AND ALL BELOW-GRADE FOUNDATION WALLS.
- WHERE A WOOD POST OR PIPE COLUMN BEARS DIRECTLY ON A CONCRETE MASONRY WALL, FILL ALL BLOCKS SOLID WITHIN A 32" WIDTH, CENTERED ON THE POST OR PIPE COLUMN.
- MORTAR SHALL BE ASTM C270, TYPE S FOR ALL WORK.
- THE NET AREA COMPRESSIVE STRENGTH OF NEW MASONRY ASSEMBLIES, F_m, SHALL MEET OR EXCEED 1500 PSI.
- UNLESS NOTED OTHERWISE, ALL GROUT SHALL BE COARSE-TYPE, SHALL MEET ASTM C476-02, AND ITS COMPRESSIVE STRENGTH SHALL EXCEED F_m OR 2000 PSI, WHICHEVER IS GREATER.
- WHERE GROUTED CELLS DO NOT EXCEED 4" IN DIAMETER, FINE GROUT SHALL BE USED.
- HORIZONTAL REINFORCING: NO LESS THAN NO. 9 GAUGE TRUSS-TYPE DUR-O-WAL OR EQUAL, SPACED @ 16" O.C. VERTICALLY AND ABOVE ALL LINTELS.
- VERTICAL REINFORCING: NO LESS THAN #4 SPACED @ 48" O.C. HORIZONTALLY AND AT THE EDGES OF ALL WALL OPENINGS, INTERSECTIONS AND GIRDERS.
- PROVIDE FABRICATED CORNER SECTIONS AT ALL CORNERS AND INTERSECTIONS.
- ALL BLOCK DIMENSIONS INDICATED ON STRUCTURAL PLANS ARE NOMINAL DIMENSIONS.

WOOD STRUCTURAL PANEL SHEATHING

- PROVIDE STRUCTURAL 1 PLYWOOD OR OSB SHEATHING WITH BOND CLASSIFICATIONS APPROPRIATE TO THE END USE: "EXTERIOR" (PERMANENT EXPOSURE), OR "EXPOSURE 1" (CONSTRUCTION EXPOSURE ONLY)
- FLOOR SHEATHING: NOM. 3/4" THICK T & G PLYWOOD OR OSB (48/24 SPAN RATING), APA STURD-I-FLOOR, OR ADVANTECH SUBFLOOR.
- ROOF SHEATHING (STANDARD): NOM. 5/8" THICK T & G PLYWOOD OR OSB (48/24 SPAN RATING).
- ROOF SHEATHING (UNDER SLATE OR CLAY TILE): NOM. 3/4" THICK T & G PLYWOOD OR OSB (48/24 SPAN RATING).
- WALL SHEATHING (STANDARD): NOM. 1/2" THICK PLYWOOD (32/16 SPAN RATING).
- WALL SHEATHING (BEHIND SLATE, CLAY TILE, OR MASONRY VENEER): NOM. 3/4" THICK PLYWOOD (48/24 SPAN RATING).
- ALL FLOOR SHEATHING SHALL BE GLUED AND SCREWED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE (LOKITE PL400 OR EQUAL).
- USE PLY CLIPS OR OTHER EDGE SUPPORT AS REQUIRED FOR SHEATHING.
- LEAVE 1/8" SPACE AT ALL PLYWOOD PANEL END JOINTS AND 1/8" SPACE AT ALL PLYWOOD PANEL EDGE JOINTS EXCEPT WHEN USING T & G PANELS.
- UNLESS NOTED OTHERWISE, WALL SHEATHING SHALL BE FASTENED TO FRAMING WITH 10d COMMON NAILS @ 4" O.C. AT EACH SHEET PERIMETER AND 12" O.C. ELSEWHERE. PROVIDE 2x6 BLOCKING AT ALL FREE EDGES.
- UNLESS NOTED OTHERWISE, FLOOR SHEATHING UP TO 3/4" THICK SHALL BE FASTENED TO FRAMING WITH 2-1 1/2" LONG SIMPSON WSNLT QUIK-DRIVE SCREWS (0.175" DIA.), AND FLOOR SHEATHING GREATER THAN 3/4" SHALL BE FASTENED TO FRAMING WITH 3" LONG SIMPSON WSNLT QUIK-DRIVE SCREWS. FLOOR SHEATHING SHALL ALSO BE GLUED TO FRAMING USING AN APA-APPROVED ADHESIVE.
- UNLESS NOTED OTHERWISE, ROOF SHEATHING SHALL BE FASTENED TO FRAMING WITH 10d COMMON NAILS.
- UNLESS NOTED OTHERWISE, FLOOR AND ROOF DIAPHRAGMS SHALL BE UNBLOCKED.
A. UNBLOCKED DIAPHRAGMS: UNLESS NOTED OTHERWISE, FASTENERS OF SHEATHING TO FRAMING SHALL BE SPACED @ 8" O.C. AT SUPPORTED SHEATHING PANEL EDGES AND AT ALL DIAPHRAGM BOUNDARIES (PERIMETER OF FLOOR/ROOF; PERIMETER OF ALL OPENINGS; AND ALL RIDGES, VALLEYS, HIPS, AND OTHER CHANGES IN SLOPE) AND @ 12" O.C. ELSEWHERE.
- B. BLOCKED DIAPHRAGMS: UNLESS NOTED OTHERWISE, FASTENERS OF SHEATHING TO FRAMING SHALL BE SPACED @ 6" O.C. AT ALL SHEATHING PANEL EDGES AND @ 12" O.C. ELSEWHERE. PROVIDE 2x BLOCKING AT ALL UNSUPPORTED PANEL EDGES TO RECEIVE FASTENERS.

FRAMING LUMBER

- FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACED DRY (EXCEPT STUDS, WHICH SHALL BE KILN-DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE:
RAFTERS AND JOISTS: HEM-FIR #2 OR SPRUCE-PINE-FIR #2
BEAMS, GIRDERS AND HEADERS: HEM-FIR #1 OR SPRUCE-PINE-FIR #1
STUDS AND PLATES: HEM-FIR STUD GRADE OR SPRUCE-PINE-FIR STUD GRADE
- TIMBER LUMBER SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE:
POST AND TIMBER: HEM-FIR #1 OR SPRUCE-PINE-FIR #1
BEAMS AND STRINGERS: HEM-FIR #1 OR SPRUCE-PINE-FIR #1
- PRESERVATIVE-TREATED WOOD: PROVIDE TREATED SOUTHERN PINE #2 LUMBER COMPLYING WITH ACQ-D (CARBONATE), COPPER AZOLE (CA-B), OR SODIUM BORATE (SBX (DOT) WITH NAGSIO) AT ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY OR AS OTHERWISE INDICATED ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. AZCA TREATMENT IS NOT PERMITTED. TREATED LUMBER AND/OR PLYWOOD SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY SHOWING 0.40 PCF RETENTION. WHERE LUMBER AND/OR PLYWOOD IS CUT OR DRILLED AFTER TREATMENT, THE TREATED SURFACE SHALL BE FIELD-TREATED WITH COPPER NAPHTHATE (THE CONCENTRATION OF WHICH SHALL CONTAIN A MINIMUM OF 2% COPPER METAL) BY REPEATED BRUSHING, DIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE PRESERVATIVE.
- ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRE STOPPING, ETC., SHALL CONFORM TO THE LOCALLY APPROVED EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (SEE DESIGN LOADS AND FACTORS TABLE FOR IRC EDITION).
- FASTENING SHALL BE IN ACCORDANCE WITH THE MOST RESTRICTIVE OF: THE INTERNATIONAL RESIDENTIAL CODE, OR THE MANUFACTURER'S RECOMMENDED FASTENING SCHEDULES. (SEE DESIGN LOADS AND FACTORS TABLE FOR IRC EDITION).
- ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- WHERE FRAMING LUMBER IS FLUSH FRAMED TO MICROLAM, STEEL OR FLITCH-PLATE GIRDER, SET THESE GIRDERS 1/4" CLEAR (MIN.) BELOW TOP OF FRAMING LUMBER, TO ALLOW FOR SHRINKAGE.
- STUD BEARING WALLS ARE TO BE 2x6, @ 16" O.C., UNLESS NOTED OTHERWISE ON PLAN.
- LAP ALL PLATES AT CORNERS AND AT INTERSECTION OF PARTITIONS.
- STAGGER ALL TOP AND BOTTOM PLATE SPLICES A MINIMUM OF 32 INCHES.
- USE DOUBLE STUDS @ ENDS OF WALL AND ENDS OF WALL OPENINGS.
- AT THE ENDS OF ALL BEAMS, HEADERS AND GIRDERS PROVIDE A BUILT UP OR SOLID POST WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH IS 4" (NOM.) AT INTERIOR WALLS AND 6" (NOM.) AT EXTERIOR WALLS.
- ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRE STOPPING, ETC., SHALL CONFORM TO THE LOCALLY APPROVED EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (SEE DESIGN LOADS AND FACTORS TABLE FOR IRC EDITION).
- BRIDGING FOR SPANS UP TO 14 FT., PROVIDE 1 ROW. BRIDGING FOR SPANS OVER 14 FT., PROVIDE 2 ROWS.
- BUILT-UP BEAMS LESS THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH (2) 16D NAILS @ 16" O.C.
- BUILT-UP BEAMS GREATER THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH (3) 16D NAILS @ 16" O.C.
- WHERE THERE IS NO PLYWOOD WALL SHEATHING, PROVIDE DIAGONALS AT ALL EXTERIOR CORNERS OF STUD WALLS AT EACH FLOOR. (1"x4" BRACES LET INTO STUDS AND NAILED AT EACH STUD CROSSING WITH (2) 10D NAILS).
- CHIMNEYS: ALL STUDS FOR CHIMNEY FRAMING TO BE CONTINUOUS FROM ATTIC FLOOR LEVEL UP. CHIMNEY SHALL BE FACED WITH 1/2" APA GRADED FIRE-RETARDANT PLYWOOD GLUED & SCREWED TO STUDS, WHERE WALLS EXCEED 4'-0" IN WIDTH. INSTALL DIAGONAL METAL BRACING AT INSIDE FACE OF CHIMNEY AT ALL FOUR WALLS.
- WHERE CANTILEVERED BEAMS ARE INDICATED, THE FAR CONNECTOR SHALL BE CAPABLE OF RESISTING AN UPLIFT OF 1000 LBS. MIN. U.N.O.
- NO NEW OR EXISTING JOISTS SHALL BE CUT OR NOTCHED WITHOUT APPROVAL.
- ALL LIGHT-GAGE HANGERS SUPPORTING PRESERVATIVE TREATED WOOD SHALL MEET OR EXCEED G185 (1.85 oz of ZINC PER SQUARE FOOT). ALTERNATIVELY, STAINLESS STEEL CONNECTORS MAY BE USED. FASTENERS SHALL MATCH THE SELECTED HANGER FINISH AND MATERIAL.
- WHERE JOIST ORIENTATION IS PARALLEL TO EXTERIOR STUD OR FOUNDATION WALLS, PROVIDE FULL-SECTION BLOCKING FOR 3 BAYS @ 4'-0" O.C. MAX.
A. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO TOP OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
B. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO BOTTOM OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
- ALL LITL PLATES SHALL BE P.T. AND ANCHORED TO FOUNDATION WALLS W/ 1/2" DIA. HEADED ANCHOR BOLTS (ASTM F1554) @ 4'-0" O.C. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION WITH (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7x BOLT DIA. FROM THE END OF EACH PLATE SECTION. ANCHOR BOLTS SHALL HAVE A MINIMUM 7" EMBEDMENT INTO CONCRETE OR GROUTED CMU CELLS. THE BOLTS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE PLATE WIDTH AND HAVE A TIGHTENED NUT AND WASHER.
- WOOD BEAMS, JOIST, STUDS AND OTHERS COMBUSTIBLE MATERIAL SHALL HAVE A CLEARANCE OF NOT LESS THAN 2 INCHES (51 mm) FROM THE FRONT AND SIDES OF MASONRY FIREPLACES AND NOT LESS THAN 4 INCHES (102 mm) FROM THE BACK FACES OF MASONRY FIREPLACES. THE AIRSPACES SHALL NOT BE FILLED, EXCEPT TO PROVIDE FIREBLOCKING WITH SECTION R1001.12.

WOOD HEADER SCHEDULE

1. UNLESS NOTED OTHERWISE IN PLAN, PROVIDE HEADERS PER THE FOLLOWING:

ROUGH OPENING WIDTH:	HEADER:	JACK STUDS	KING STUDS
LESS THAN 3'-0"	2x4 WALL	ALL	INTERIOR EXTERIOR
3'-1 TO 4'-0"	(2) 2x6	(3) 2x8	1 1 1
4'-1 TO 6'-0"	(2) 2x8	(3) 2x8	1 1 2
6'-1 TO 8'-0"	(2) 2x10	(3) 2x10	2 2 2
OVER 8'-0"	(2) 2x12	(3) 2x12	2 2 3

-----SEE PLANS-----

NOTES: AT FLUSH FRAMED BEAMS PROVIDE THE REQUIRED NUMBER OF KING STUDS NOTED, 2 MINIMUM.

ENGINEERED WOOD PRODUCTS

- MICROLAM BEAMS: PROVIDE ENGINEERED BEAMS, SIZES AS SHOWN, MICROLAM LVL (F_b=2600 PSI, E=2,000,000 PSI) OR PARALLAM PSL (F_b=2900 PSI, E=2,000,000 PSI) AS MANUFACTURED BY MEYERHAUSER OR APPROVED EQUAL. INSTALL IN STRICT COMPLIANCE WITH THE MANUFACTURER'S STANDARD RECOMMENDATIONS AND DETAILS.
- GLUED LAMINATED TIMBER (SOFTWOOD): PROVIDE ENGINEERED BEAMS, SIZES AS SHOWN, IN ACCORDANCE WITH AITC 117-04 DESIGN STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES. UNLESS NOTED OTHERWISE, ALL LAMINATIONS SHALL BE SOUTHERN PINE.
A. ANTHONY POWER COLUMNS: COMBINATION 50 SOUTHERN PINE N1D14
B. ANTHONY POWER PRESERVED COLUMNS: COMBINATION 50 NORTHERN PINE N1D14
C. ANTHONY POWER BEAMS: 3000 Fb - 2.1E 300 F
D. ANTHONY POWER PRESERVED BEAMS: 24F-15M1/5P (2400 Fb - 1.8E - 300 Fv)
E. WHERE JOIST ORIENTATION IS PARALLEL TO EXTERIOR STUD OR FOUNDATION WALLS, PROVIDE FULL-SECTION BLOCKING FOR 3 BAYS @ 4'-0" O.C. MAX.
F. BLOCKING SHALL BE NOT CONTINUOUSLY FASTENED TO TOP OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
G. WHERE SHEATHING IS NOT CONTINUOUSLY FASTENED TO BOTTOM OF JOISTS, PROVIDE 18 GA x 1 1/2"x12" (MIN.) FLAT TENSION STRAPS BETWEEN ALIGNED BLOCKING MEMBERS.
- USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED.
- BRIDGING FOR SPANS UP TO 14 FT., PROVIDE 1 ROW. BRIDGING FOR SPANS OVER 14 FT., PROVIDE 2 ROWS.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
A. AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" AND "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES," LOCALLY APPROVED EDITIONS.
B. AMERICAN WELDING SOCIETY (AWS) D11 "STRUCTURAL WELDING CODE--STEEL," LOCALLY APPROVED EDITION.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS, U.N.O.:
A. W-SHAPES, AND CHANNELS: ASTM A992 (CHANNELS LESS THAN 8" DEEP MAY BE ASTM A36)
B. ANGLES, S-SHAPES, M-SHAPES, AND HP-SHAPES: ASTM A572 GRADE 50
C. HOLLOW STRUCTURAL SECTIONS (HSS) - RECTANGULAR AND ROUND: ASTM A500, GRADE C
E. STRUCTURAL PIPE SECTIONS: ASTM A53, GRADE B
F. STRUCTURAL TEES (WT, ST, MT): SAME AS THE FULL SHAPE FROM WHICH THE TEE IS SPLIT
G. PLATES: ASTM A36
H. BAR STOCK: ASTM A572 GRADE 50
I. HIGH STRENGTH BOLTS (TO BE CONFIRMED BY CONNECTION DESIGNER) SHALL BE ONE OF THE FOLLOWING:
a. CONVENTIONAL: ASTM 3125 GRADE-A325, OR GRADE-A490
b. TWIST-OFF TYPE TENSION CONTROLLED: ASTM F3125 GRADE F1852, OR GRADE F2280
F. ANCHOR BOLTS: ASTM F1554, GRADE 55-S1 (WELDABLE), FURNISHED WITH NUTS AND WASHERS. ANCHOR BOLTS SHALL HAVE HEADED ENDS OR NUTS WELDED (TACK AT BOTTOM SIDE OF NUT) AT EMBEDDED END.
G. THREADED RODS: ASTM A36
H. STRUCTURAL STEEL NOTED TO BE STAINLESS STEEL SHALL BE ASTM A276 STAINLESS STEEL GRADE 304.
I. ALL STAINLESS STEEL BOLTS SHALL CONFORM TO ASTM F593 ALLOY 304.
J. ALL STAINLESS STEEL NUTS SHALL CONFORM TO ASTM F594 ALLOY 304.
- STEEL CONNECTIONS:
A. PROVIDE MECHANICALLY GALVANIZED BOLTS FOR EXTERIOR APPLICATIONS.
B. MINIMUM SIZE WELD, UNLESS NOTED OTHERWISE, IS 1/4" FILLET.
C. SHOP AND ERECTION DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO FABRICATION OF STEEL SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS LICENSED BY THE GOVERNING LOCALITY AND CERTIFIED IN ACCORDANCE WITH AWS D1.1. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX (USE LOW HYDROGEN ELECTRODES FOR A992, GRADE 50 STEEL).
- STRUCTURAL STEEL MEMBERS SHALL BE FINISHED PER THE FOLLOWING SPECIFICATIONS:
A. GALVANIZE ALL STRUCTURAL STEEL EXPOSED TO WEATHER, AND STEEL SUPPORTING EXTERIOR ELEMENTS.
1. HOT-DIP GALVANIZING SHALL CONFORM TO ASTM A123. REPAIR SCRATCHED OR ABRADED GALVANIZED SURFACES WITH COLD GALVANIZING ZINC-RICH PAINT.
B. WHERE SHOP PAINTING IS REQUIRED BY PROJECT SPECIFICATION, PROVIDE MODIFIED ALKYD PER MANUFACTURER REQUIREMENTS. ALL FIELD PAINTING SHALL BE PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
C. FACES OF STRUCTURAL STEEL MEMBERS SUPPORTING METAL DECK WITH WELDED FASTENING, OR RECEIVING WELDED SHEAR STUDS, SHALL REMAIN FREE OF ALL PAINT AND PRIMER.
- ALL BEAMS, EXCEPT CANTILEVER BEAMS, SHALL BE FABRICATED WITH NATURAL CAMBER UP. CANTILEVER BEAMS SHALL BE FABRICATED SO THAT NATURAL CAMBER RAISES CANTILEVER END, U.N.O.
- LINTELS SHALL BE INSTALLED OVER ALL OPENINGS IN MASONRY WALLS AS FOLLOWS:
MASONRY OPENING LINTEL
4'-0" OR LESS L4x3 1/2x5/16"
4'-1" TO 7'-0" L6x3 1/2x5/16"
A. 3 1/2" LEGS ARE HORIZONTAL.
B. PROVIDE ONE ANGLE FOR EACH 4' OF WALL THICKNESS.
C. PROVIDE L5x5/16" ANGLES FOR 6" THICK WALLS AND PARTITIONS.
D. PROVIDE MINIMUM 6" BEARING ON EACH END, U.N.O.
- FIELD CUTTING OR BURNING OF STRUCTURAL STEEL IS PROHIBITED EXCEPT WHEN APPROVED BY THE ENGINEER OF RECORD.
- SEE ARCHITECTURAL DRAWINGS FOR MISCELLANEOUS STEEL NOT SHOWN ON STRUCTURAL DRAWINGS. STEEL EXPOSED AS AN ARCHITECTURAL FINISH ELEMENT IS TO BE CLASSIFIED AS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) PER AISC, U.N.O. REDUCED TOLERANCES SHALL BE MAINTAINED.
- UNLESS NOTED OTHERWISE, ALL HSS AND PIPE COLUMNS SHALL BE FULLY CAPPED WITH 1/4" THICK A36 PLATE MATCHING HIGHEST ELEVATION OF THE CONNECTED MEMBERS.

SHOP DRAWINGS REQUIRED

- THE FOLLOWING SHOP DRAWINGS ARE REQUIRED FOR REVIEW. ADDITIONAL SHOP DRAWINGS MAY BE SUBMITTED FOR REVIEW PER REQUIREMENTS OF THE CONTRACTOR OR THEIR SUB-CONTRACTOR:
A. STEEL SHOP DRAWINGS WITH CONNECTION CALCULATIONS.
B. CONCRETE REINFORCEMENT SHOP DRAWINGS WITH WALL ELEVATIONS.
C. CONCRETE MIX DESIGNS.
D. ENGINEERED LUMBER SHOP DRAWINGS.

INSPECTION AND TESTING

- THE FOLLOWING MINIMUM INSPECTIONS SHALL BE PERFORMED BY A TESTING AGENCY ENGAGED BY THE OWNER. ADDITIONAL INSPECTIONS MAY BE REQUIRED BY THE LOCAL JURISDICTION'S SPECIAL INSPECTIONS PROGRAM (SEE ITEM 2):
A. WELDING
B. SUBGRADE FOR FOUNDATIONS
C. HIGH STRENGTH BOLTING
D. QUALITY CONTROL OF CONCRETE MATERIALS, BATCHING, STRENGTH, SLUMP, AIR CONTENT, UNIT WEIGHT, TEMPERATURE, FORMS, SIZE AND PLACEMENT OF REINFORCEMENT.
E. STABILITY OF BUILDING CONSTRUCTION.
- WHERE REQUIRED BY THE LOCAL JURISDICTION, A SEPARATE SCHEDULE OF INSPECTIONS WILL BE COMPLETED IN ACCORDANCE WITH THE JURISDICTION'S REQUIREMENTS. THE TESTING AGENCY SHALL FILE THIS SCHEDULE AND ALL OTHER NECESSARY FORMS WITH THE BUILDING DEPARTMENT.
- CAST-IN-PLACE CONCRETE (IF NO SPECIFICATION DOCUMENT PROVIDED):
A. INSPECT THE FORMWORK AND REINFORCING STEEL PLACEMENT FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND SHOP DRAWINGS.
B. MONITOR STRUCTURAL CONCRETE PLACEMENT FOR CONFORMANCE BASED ON ACI STANDARDS.
C. AT THE TIME OF CONCRETE PLACEMENT, CAST CYLINDERS AND TAKE COMPOSITE CONCRETE SAMPLES FOR THE PURPOSES OF TESTING AIR ENTRAINMENT, SLUMP, DENSITY, AND COMPRESSIVE STRENGTH AS FOLLOWS:
1. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172. MOLD TEST CYLINDERS IN ACCORDANCE WITH ASTM C31.
2. CAST AND LAB CURE THE FOLLOWING NUMBER OF TEST CYLINDERS FOR EACH DAY'S POUR OR EACH 50 CUBIC YARDS, WHICHEVER RESULTS IN MORE TEST CYLINDERS:
- 2 FOR 7-DAY TEST
- 2 FOR 14-DAY TEST
- 2 FOR 28-DAY TEST
- 1 HELD FOR CHECKING LOW BREAK RESULTS.
3. FIELD-CURED CYLINDERS SHALL BE CAST FOR HOT AND COLD WEATHER CONCRETE PLACEMENTS (2 FOR 7-DAY AND 2 FOR 28-DAY). COLD WEATHER CONCRETE PLACEMENTS OCCUR WHEN THE AVERAGE EXPECTED AIR TEMPERATURES FOR 3 CONSECUTIVE DAYS FOLLOWING THE PLACEMENT ARE LESS THAN 40 DEGREES, RESPECTIVELY. HOT WEATHER CONCRETE PLACEMENTS OCCUR WHEN THE AIR TEMPERATURE AT THE TIME OF PLACEMENT EXCEEDS 90 DEGREES.
4. FOR LIGHTWEIGHT CONCRETE, TESTS SHALL BE MADE TO VERIFY THAT THE CONCRETE DENSITY CONFORMS TO THE RANGE OF 110-115 PCF (NOT REQUIRED FOR NORMAL WEIGHT CONCRETE).
- MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE AT THE CONTRACTOR'S EXPENSE WHEN CYLINDER TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS HAVE NOT BEEN ATTAINED (DIRECTED BY THE A/E TEAM), OR WHEN REQUESTED BY THE CONTRACTOR FOR EARLY FORMWORK REMOVAL.
- STRUCTURAL STEEL (IF NO SPECIFICATION DOCUMENT PROVIDED):
A. VISUALLY INSPECT ALL FILLET WELDS, AND BOLTED CONNECTIONS.
B. MONITOR THE INSTALLATION OF BOLTS REQUIRING PRE-TENSIONING FOR CONFORMANCE WITH SPECIFIC PRE-CALIBRATED TIGHTENING PROCEDURES.
C. PERFORM WELDING INSPECTION AND TESTING PROCEDURES IN ACCORDANCE WITH THE AWS CODE.
1. TEST EACH FULL PENETRATION BUTT OR GROOVE WELD AND ALL PARTIAL PENETRATION WELDS, AS WELL AS ANY SUSPECT POOR QUALITY FILLET WELD PER ONE OF THE FOLLOWING PROCEDURES:
a. LIQUID PENETRANT INSPECTION: ASTM E 709; PERFORMED ON ROOT PASS AND ON FINISHED WELDS. CRACKS OR ZONES OF INCOMPLETE FUSION OR PENETRATION ARE NOT ACCEPTED.
b. MAGNETIC PARTICLE INSPECTION: ASTM E 709; PERFORMED ON ROOT PASS AND ON FINISHED WELDS. CRACKS OR ZONES OF INCOMPLETE FUSION OR PENETRATION ARE NOT ACCEPTED.
c. ULTRASONIC INSPECTION: ASTM E 164.
d. RADIOGRAPHIC INSPECTION: ASTM E 94

DESIGN LOADS AND FACTORS

LIVE LOADS	SNOW LOADS		WIND DESIGN PARAMETERS		SEISMIC DESIGN PARAMETERS		
	FLOOR OR ROOF AREA	LOAD (PSF)	LOAD TYPE	LOAD (PSF)	PARAMETER VALUE	PARAMETER VALUE	
RESIDENTIAL LIVING AREAS	30	SNOW	30	BASIC WIND SPEED	115 MPH	SEISMIC DESIGN CATEGORY	B
RESIDENTIAL SLEEPING AREAS	40	DRIFT	N/A	WIND EXPOSURE	B	RISK CATEGORY	II
RESIDENTIAL STAIRS	40					SITE CLASS*	D
OFFICES	50					SHORT PERIOD MAP VALUE (S _{MS})	0.144g
CONFERENCE ROOM	80					1.0 SEC. PERIOD MAP VALUE (S _D)	0.069g
STORAGE - LIGHT	125	PARAMETER	VALUE			RESPONSE MODIFICATION (R)	6.5
ROOF	20	GROUND SNOW LOAD (P _g)	30			* DEFAULT SITE CLASS	
		SNOW EXPOSURE FACTOR (C _e)	1.0				
		SNOW LOAD IMPORTANCE FACTOR (I)	1.0				
		TERRAIN EXPOSURE	B				
SPECIAL CONSIDERATIONS:	SPECIAL CONSIDERATIONS:		SPECIAL CONSIDERATIONS:		SPECIAL CONSIDERATIONS:		

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

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1200ae.com

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Montgomery County Department of Parks
2425 Reedie Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description
	3/05/2024	DD Set

GENERAL NOTES

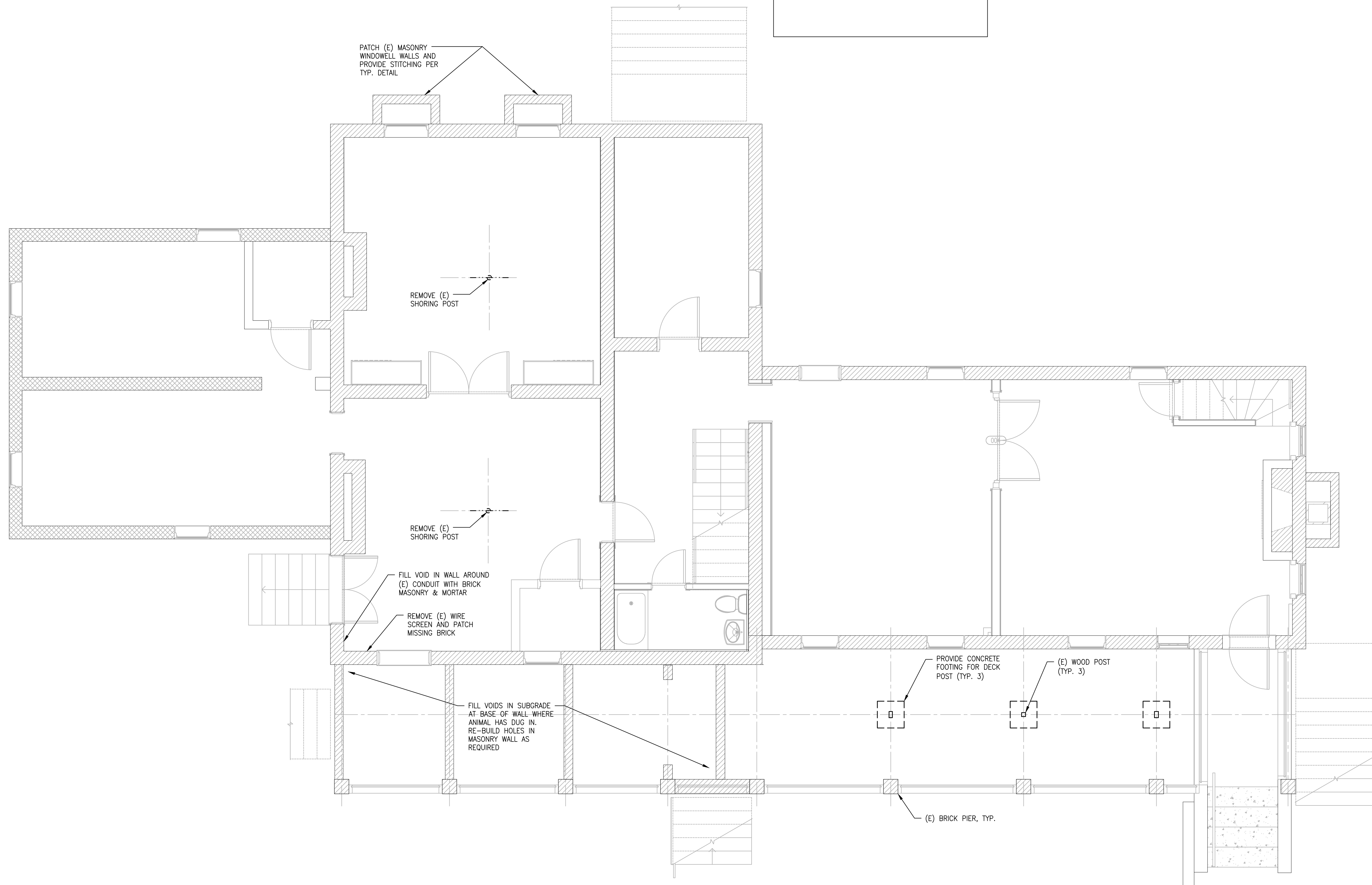
NEEDWOOD MANSION

Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

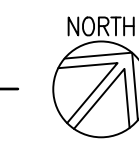
DWG. #

S-001

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1 BASEMENT / FOUNDATION PLAN
S100 SCALE: 1/4" = 1'-0"



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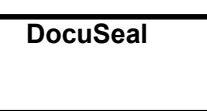
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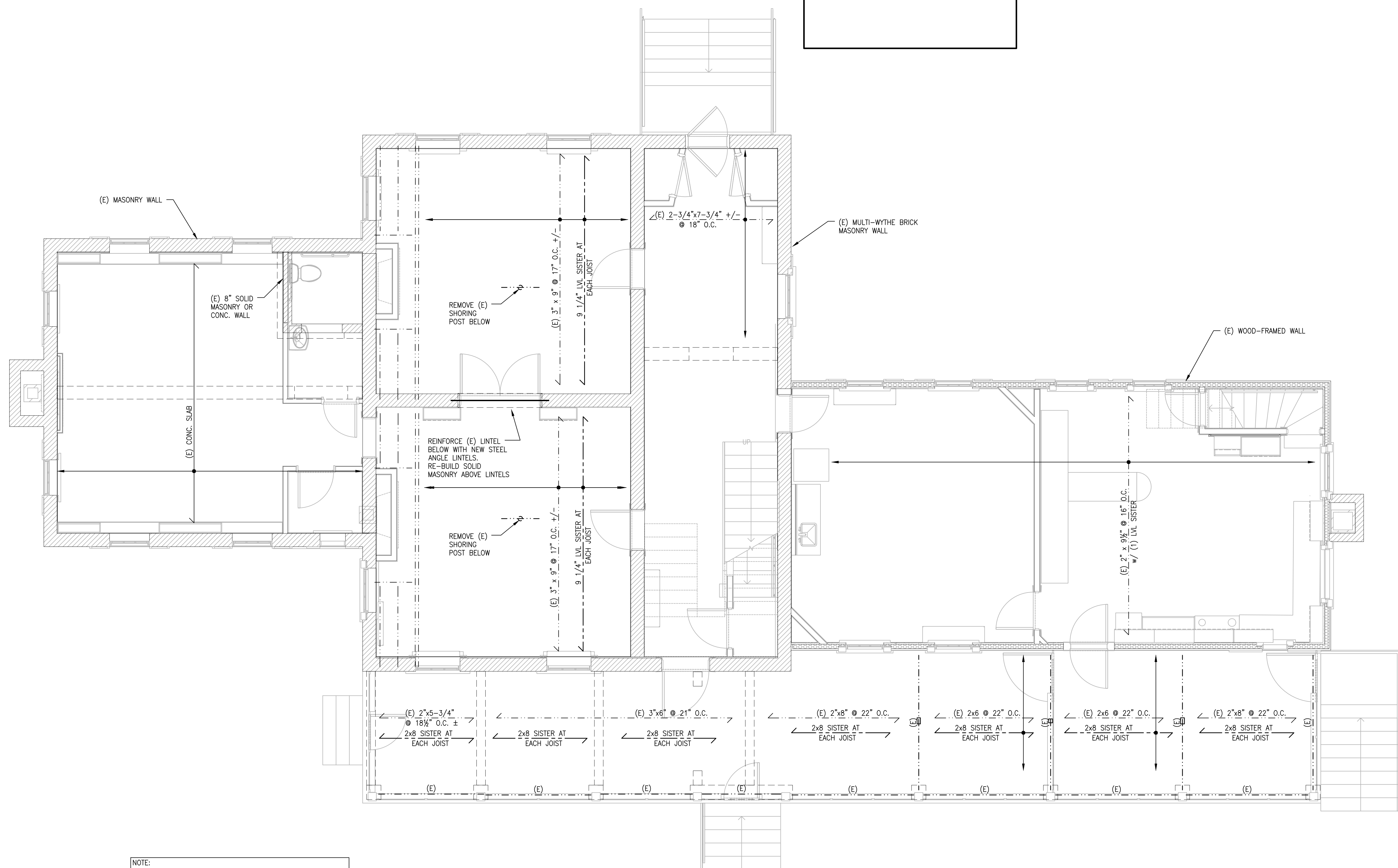
BASEMENT / FDTN PLAN

NEEDWOOD MANSION
Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

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S-100

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NOTE:
PORCH FRAMING BAYS LOCATED ALONG PUBLIC EGRESS SHALL BE REVIEWED AND DESIGNED FOR ADDITIONAL LOADING ONCE EGRESS PATH IS DECIDED. ASSUME 2x8 SISTERING AT ALL BAYS.

1 FIRST FLOOR FRAMING PLAN
S101 SCALE: 1/4" = 1'-0"



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1ST FLOOR FRAMING PLAN

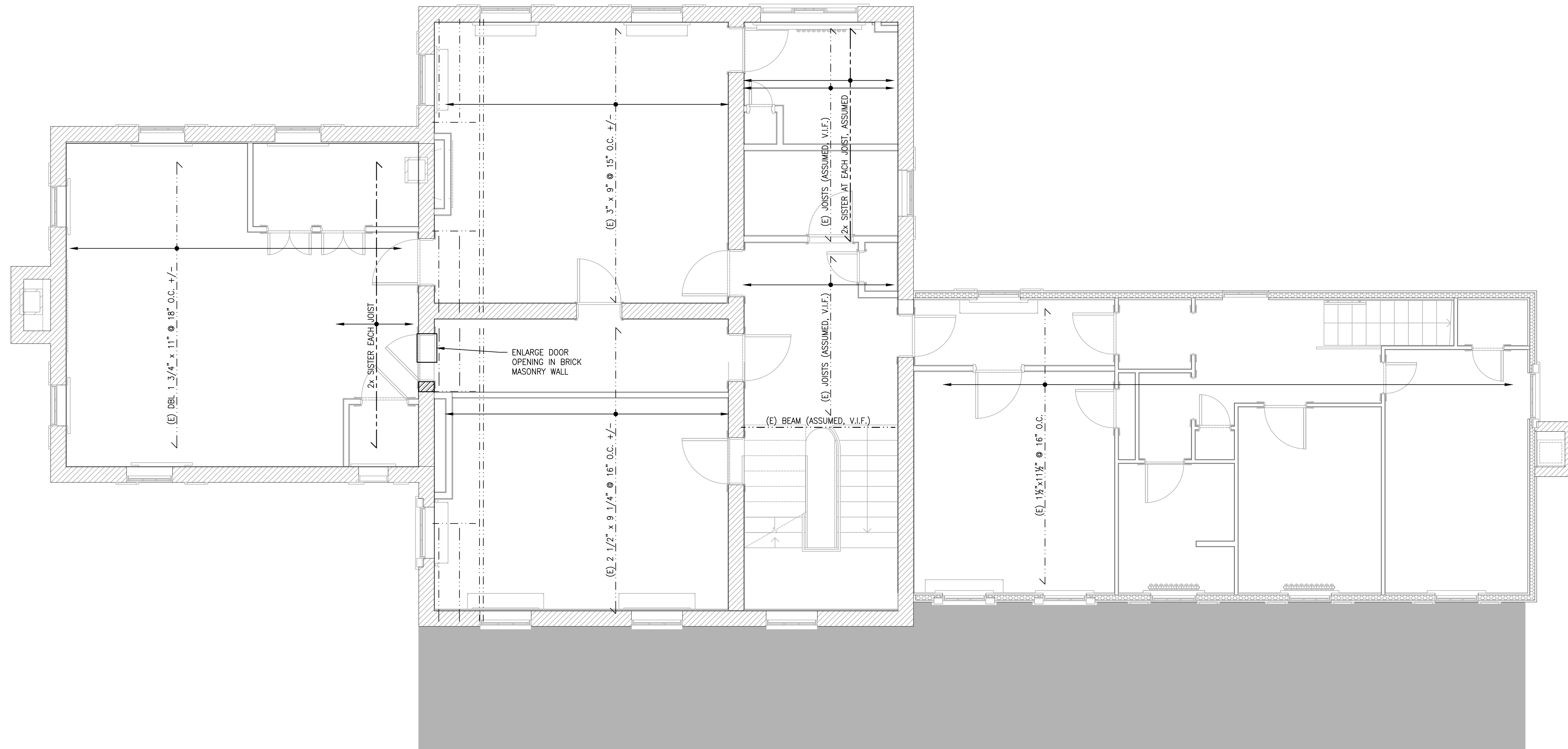
NEEDWOOD MANSION

Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

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S-101

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1 SECOND FLOOR FRAMING PLAN
S102 SCALE: 1/4" = 1'-0"



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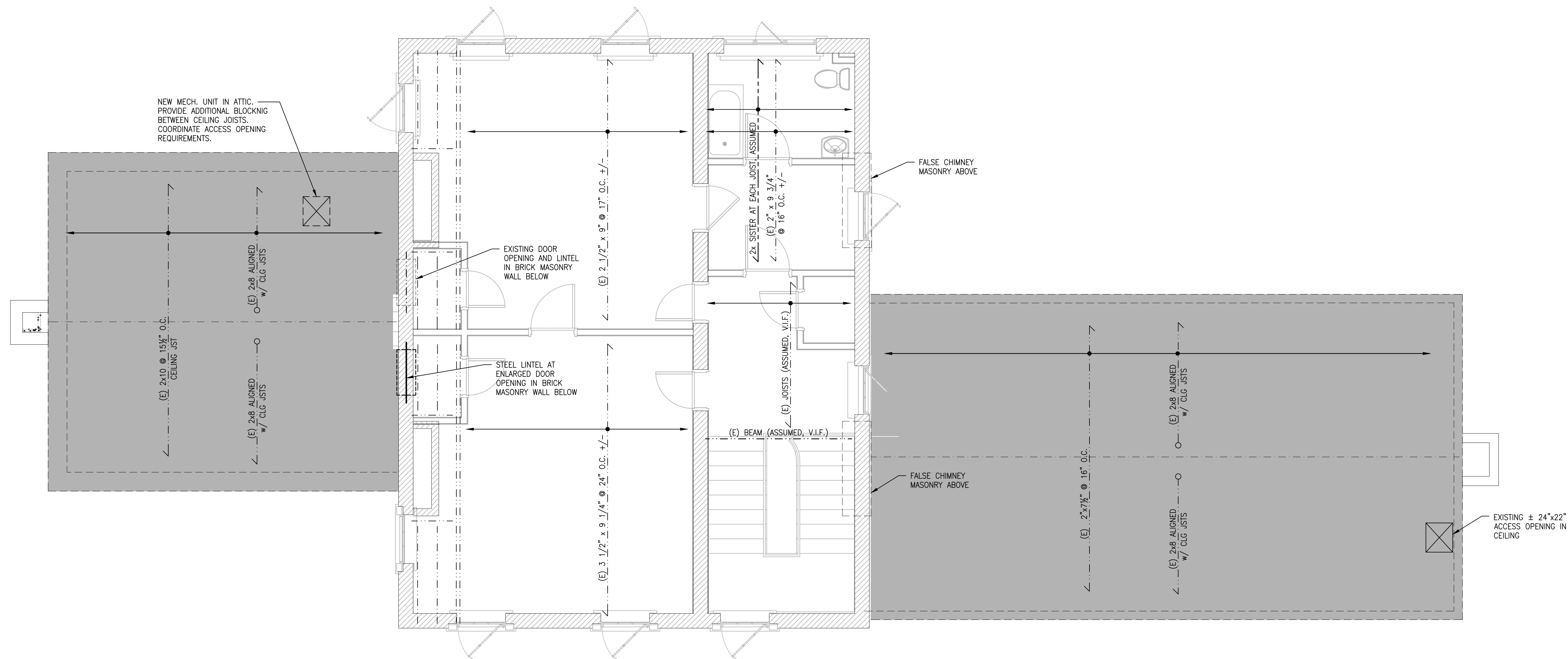
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2ND FLOOR FRAMING PLAN

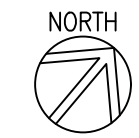
NEEDWOOD MANSION
Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

DWG. #

S-102



1 THIRD FLOOR FRAMING PLAN
S103 SCALE: 1/4" = 1'-0"



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3RD FLOOR FRAMING PLAN

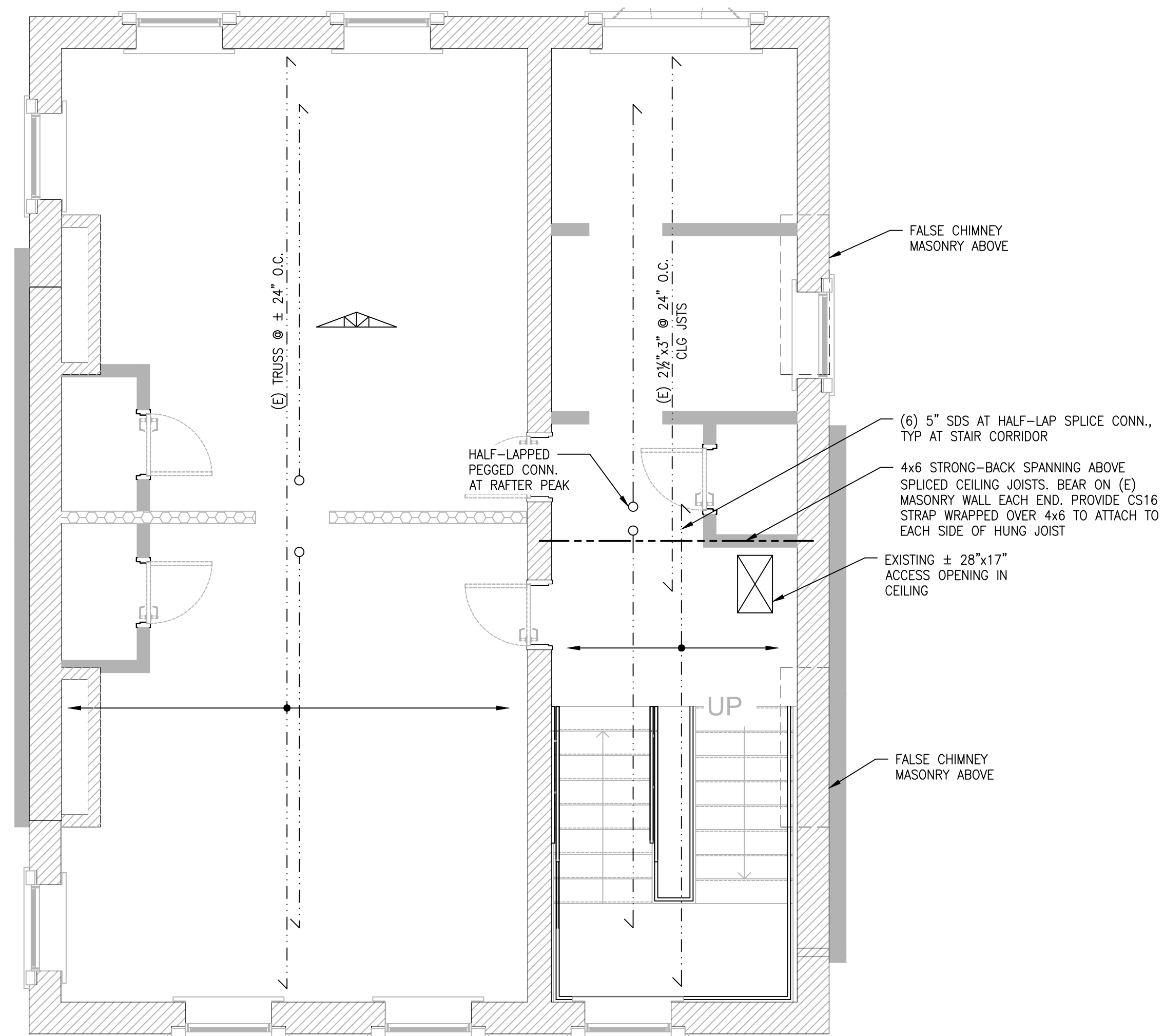
NEEDWOOD MANSION

Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

DWG. #

S-103

DPS PERMIT USE



1 HIGH ROOF FRAMING PLAN
S104 SCALE: 1/4" = 1'-0"



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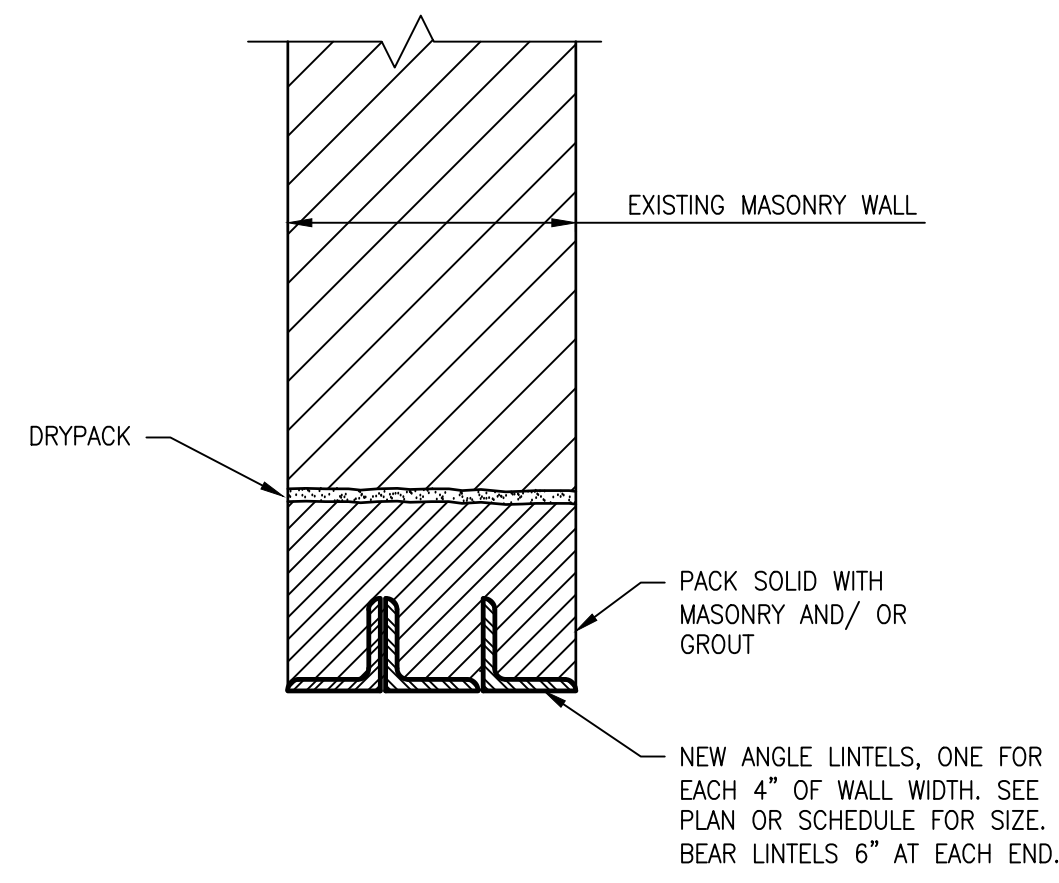
Rev. No.	Date	Description
	3/05/2024	DD Set

HIGH ROOF FRAMING PLAN

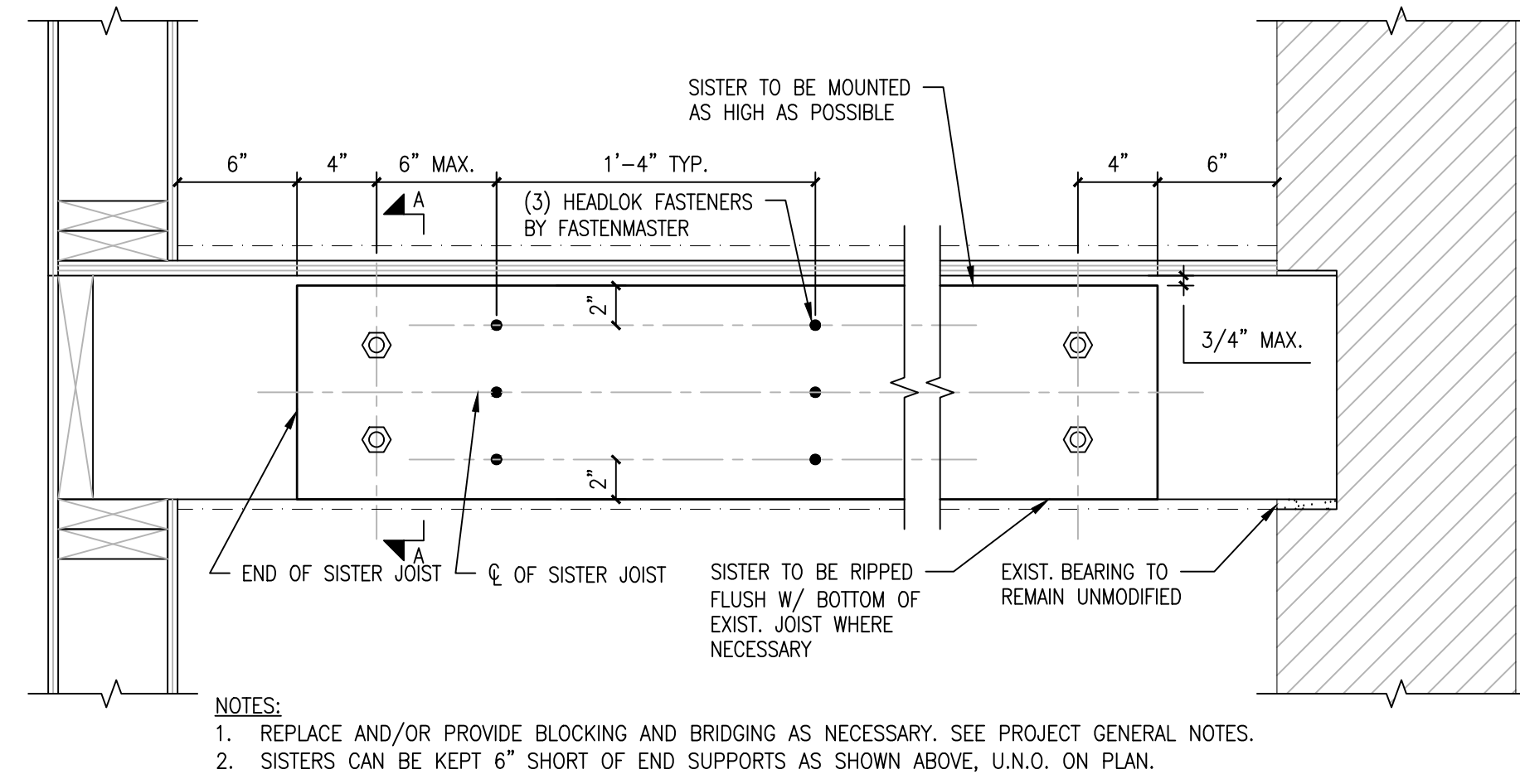
NEEDWOOD MANSION
Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

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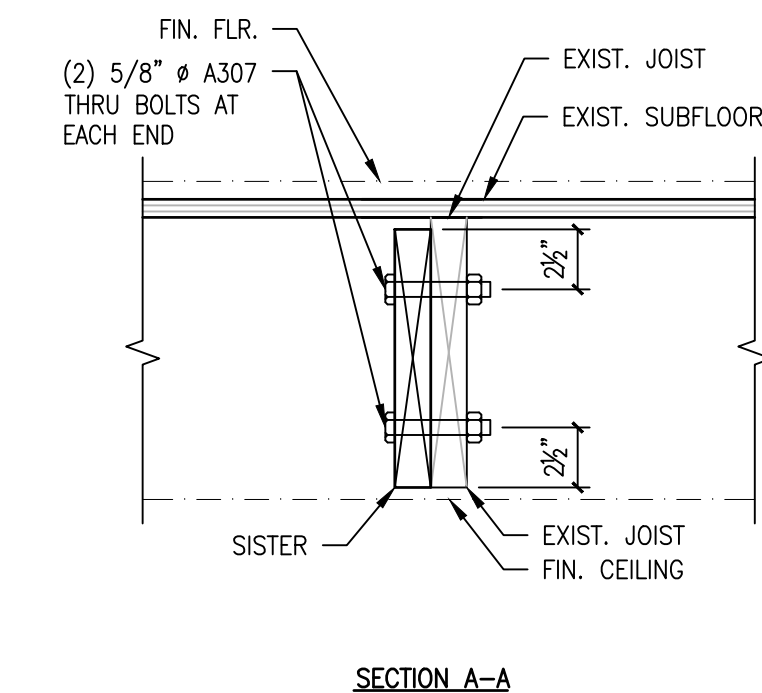
S-104



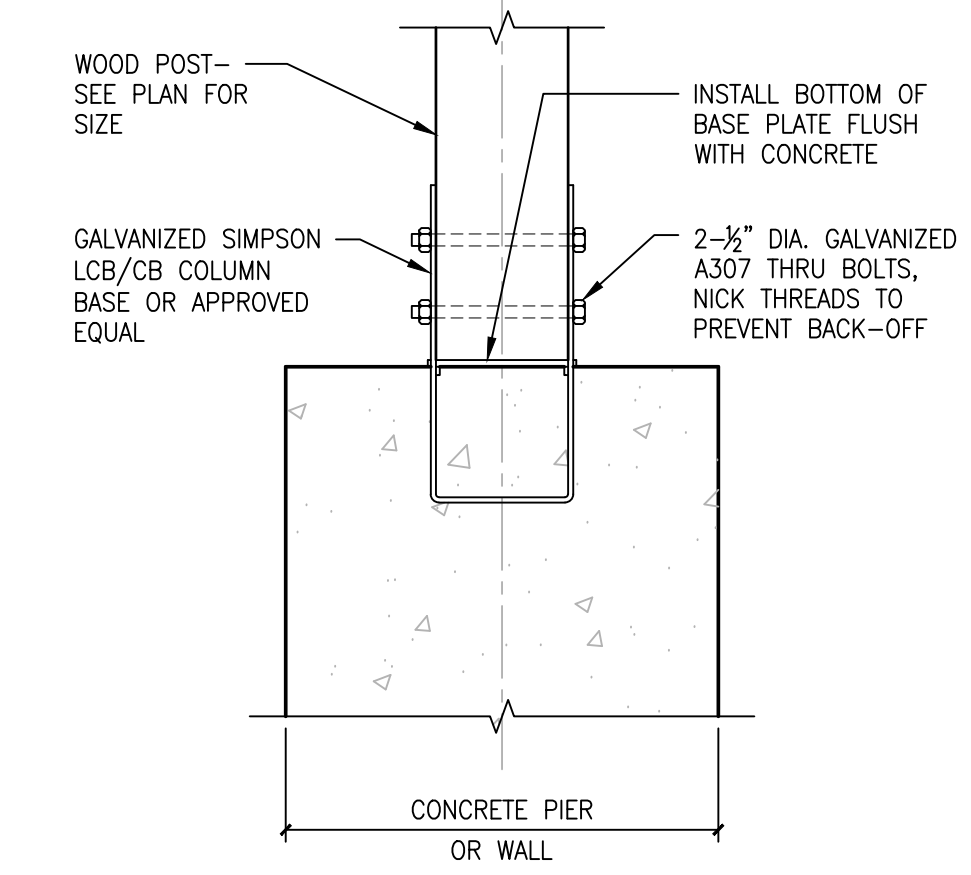
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S301
TYPICAL ANGLE LINTEL
IN EXISTING MASONRY WALL
SCALE: N.T.S.



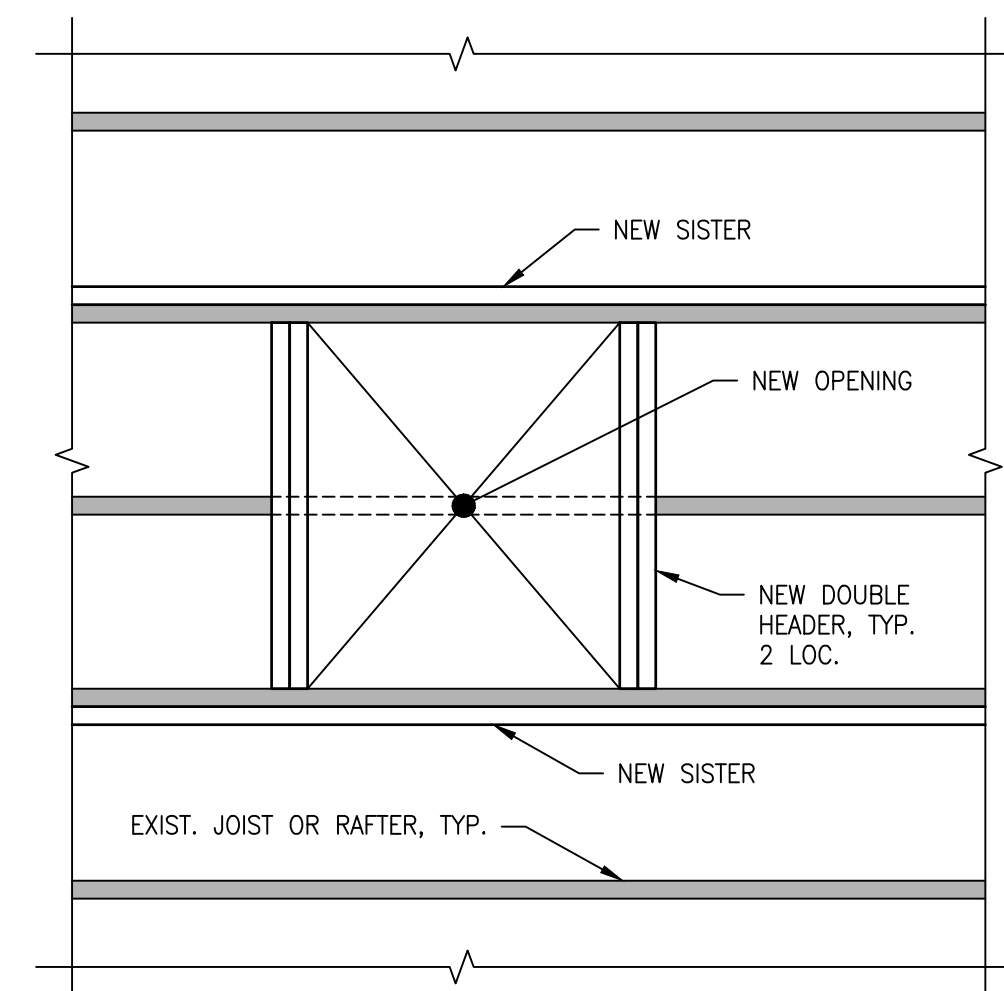
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S301
SCREWED AND BOLTED WOOD SISTER AT FIRST FLOOR
SCALE: N.T.S.



SECTION A-A

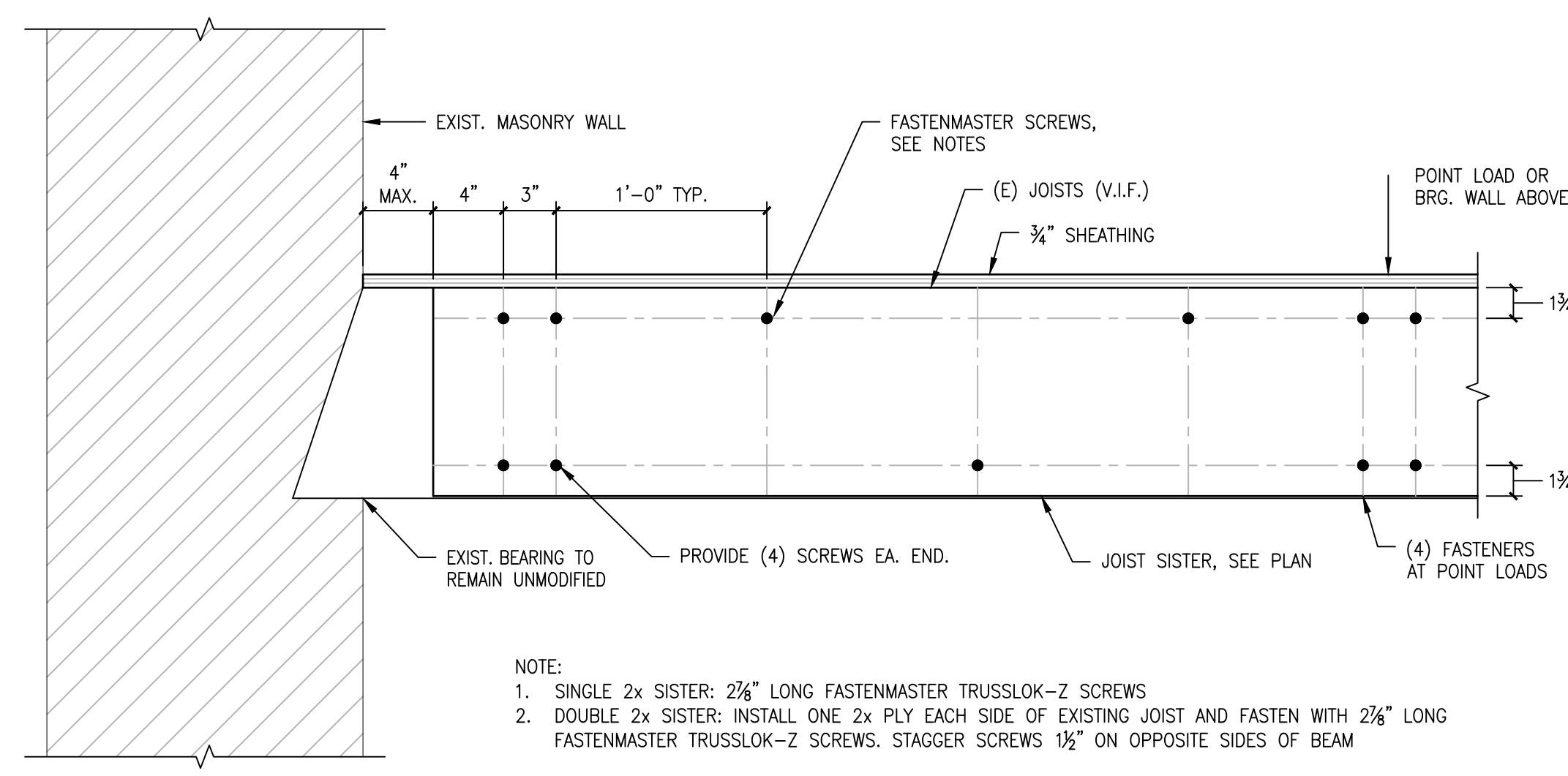


3
S301
TYPICAL DETAIL
WOOD POST ON SONOTUBE FOUNDATION
SCALE: N.T.S.



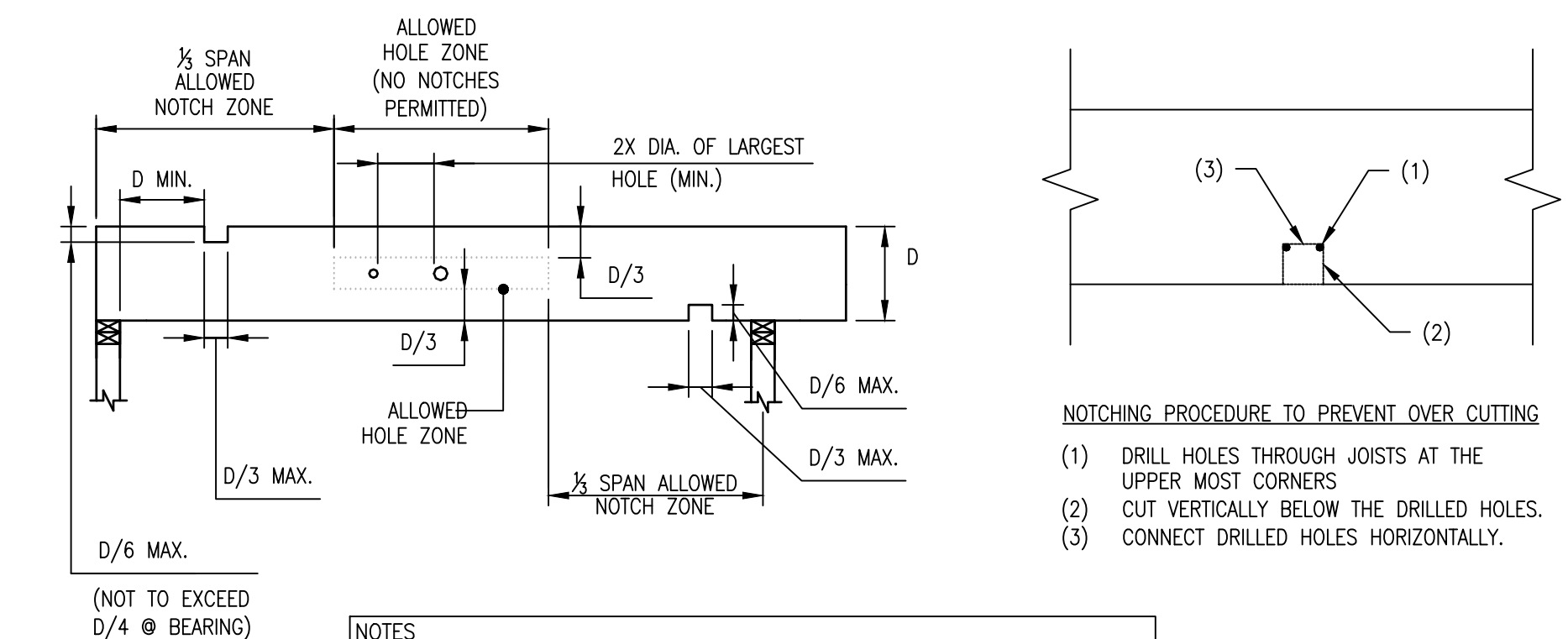
- NOTES:
1. PROVIDE DOUBLE 2x HEADER AT CUT JOIST / RAFTER, MATCHING EXISTING IN DEPTH (NOMINALLY).
 2. SISTER EXISTING ADJACENT JOISTS OR RAFTERS WITH 2x MEMBER MATCHING EXISTING IN DEPTH (NOMINALLY), PER TYPICAL DETAIL.
 3. APPLICABLE WHERE ONLY ONE JOIST OR RAFTER IS CUT. IF MORE THAN ONE JOIST OR RAFTERS IS CUT, NOTIFY E.O.R.

4
S301
TYPICAL FRAMING AT OPENING
IN WOOD-FRAMED FLOOR OR ROOF
SCALE: N.T.S.



- NOTE:
1. SINGLE 2x SISTER: 2 7/8" LONG FASTENMASTER TRUSSLOK-Z SCREWS
 2. DOUBLE 2x SISTER: INSTALL ONE 2x PLY EACH SIDE OF EXISTING JOIST AND FASTEN WITH 2 7/8" LONG FASTENMASTER TRUSSLOK-Z SCREWS. STAGGER SCREWS 1 1/2" ON OPPOSITE SIDES OF BEAM

5
S301
SCREWED WOOD SISTER AT PORCH AND UPPER FLOORS
SCALE: N.T.S.



- NOTES:
- A. DETAIL APPLIES TO UNIFORMLY LOADED BEAMS ONLY.
 - B. RECTANGULAR HOLES ARE NOT ALLOWED.
 - C. NO HOLES ARE ALLOWED IN CANTILEVERS.
 - D. NO HOLES ARE ALLOWED IN HEADERS OR BEAMS IN PLANK ORIENTATION.

- NOTCHING PROCEDURE TO PREVENT OVER CUTTING
- (1) DRILL HOLES THROUGH JOISTS AT THE UPPER MOST CORNERS
 - (2) CUT VERTICALLY BELOW THE DRILLED HOLES.
 - (3) CONNECT DRILLED HOLES HORIZONTALLY.

6
S301
ALLOWABLE HOLES AND NOTCHES IN WOOD FRAMING
SCALE: N.T.S.

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MCC=1200
ARCHITECTURAL ENGINEERS PLLC

210 N. Lee St., Suite 210
Alexandria, VA 22314
T: 703.350.4151
1200ae.com

DRAWING CHECKED BY:

Submission Name	Initials	Date

PROFESSIONAL CERTIFICATION:
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LICENSE NO. 57428

EXPIRATION DATE: 4/5/2025

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The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks
2425 Reedie Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

SECTIONS AND DETAILS

NEEDWOOD MANSION

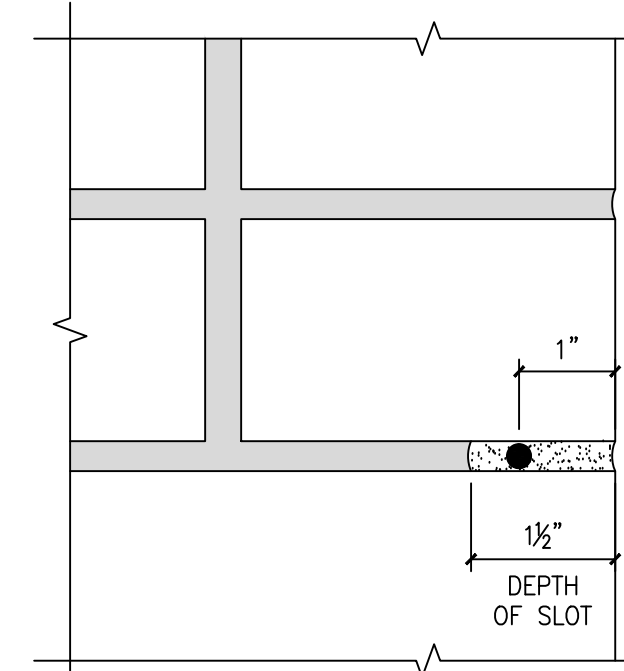
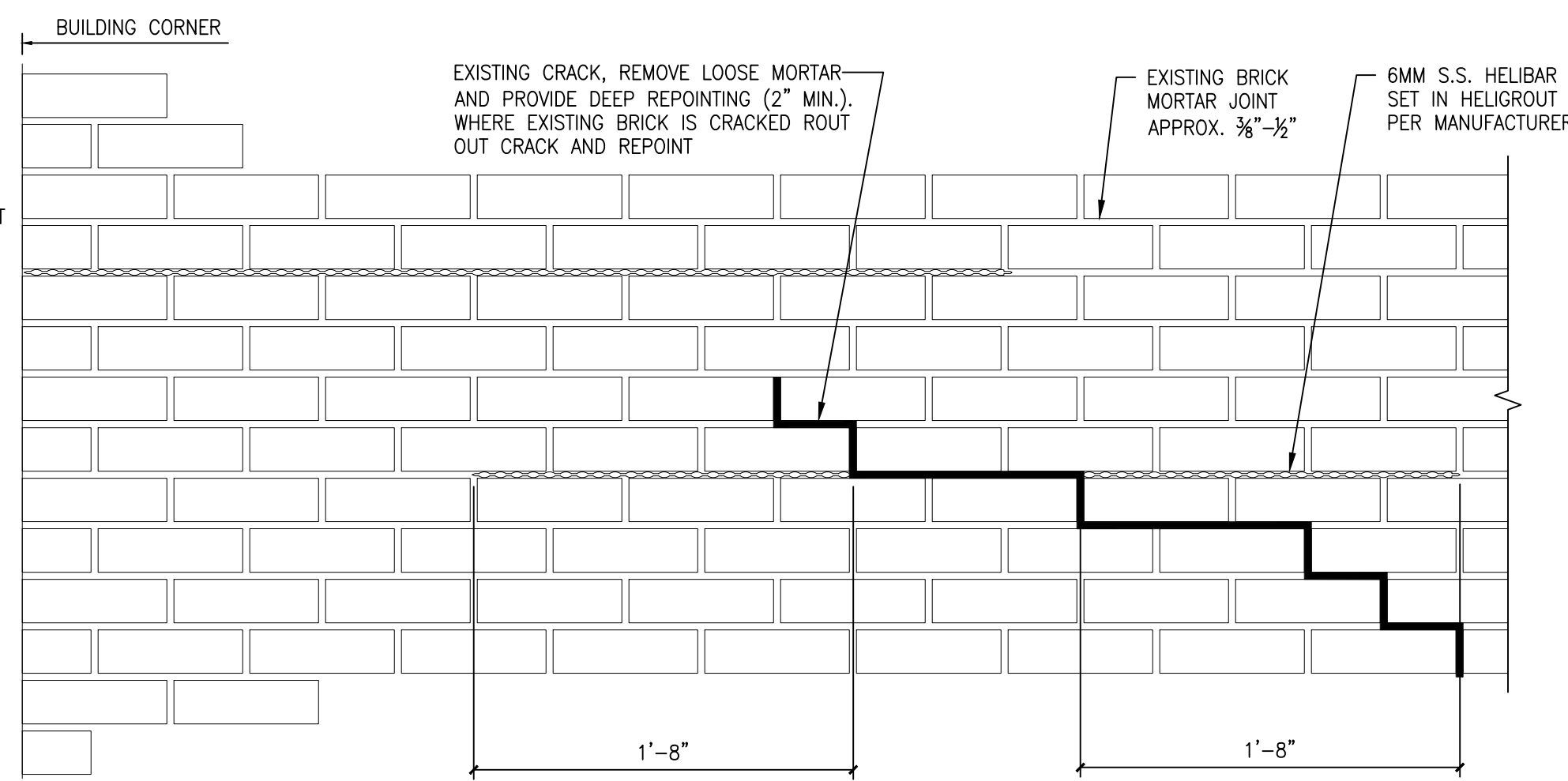
Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

DWG. #

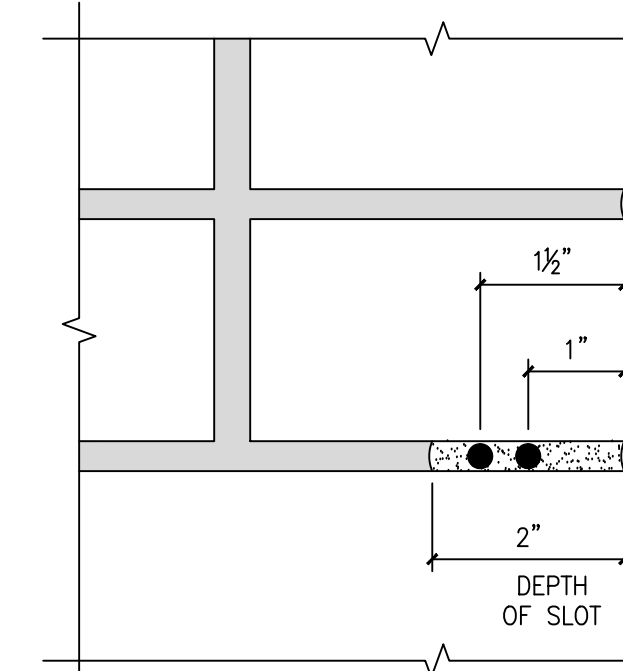
S-301

DPS PERMIT USE

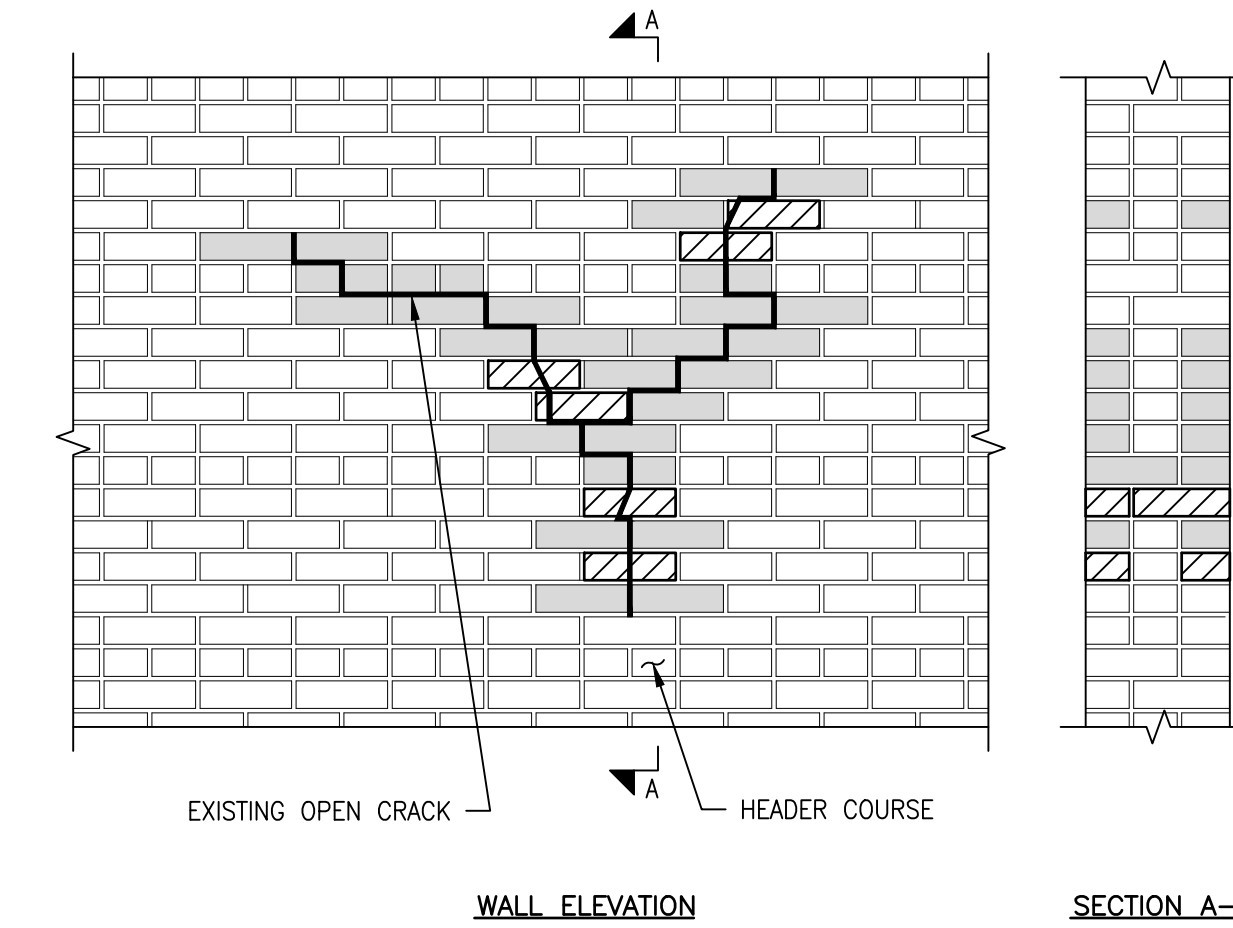
- NOTES:
1. STITCHING REINFORCEMENT TO BE 6mm HALFEN HELIFIX HELIFIX STAINLESS STEEL REINFORCING OR APPROVED EQUAL.
 2. 6mm HELIFIX REINFORCEMENT SHOULD BE INSTALLED APPROX. 16" VERTICALLY, ALONG HEIGHT OF EXISTING CRACK. HORIZONTAL REINFORCEMENT SHALL BE INSTALLED FOR FULL HEIGHT OF CRACK AND AT LEAST 16" ABOVE AND BELOW CRACK EXTENTS.
 3. THE DEPTH OF SLOT FOR HELIFIX INSTALLATION SHALL BE 1/2" MINIMUM (SEE SECTION A-A). GROUT BAR PER HELIFIX AND REPOINT OUTER PORTION OF JOINT WITH APPROVED POINTING MORTAR.
 4. SEE HELIFIX- HELIFIX MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS FOR SUGGESTED INSTALLATION PROCEDURE.



SECTION A-A
TYPICAL DETAIL AT SINGLE HELIFIX BAR



SECTION B-B
TYPICAL DETAIL AT HELIFIX BAR OVERLAP

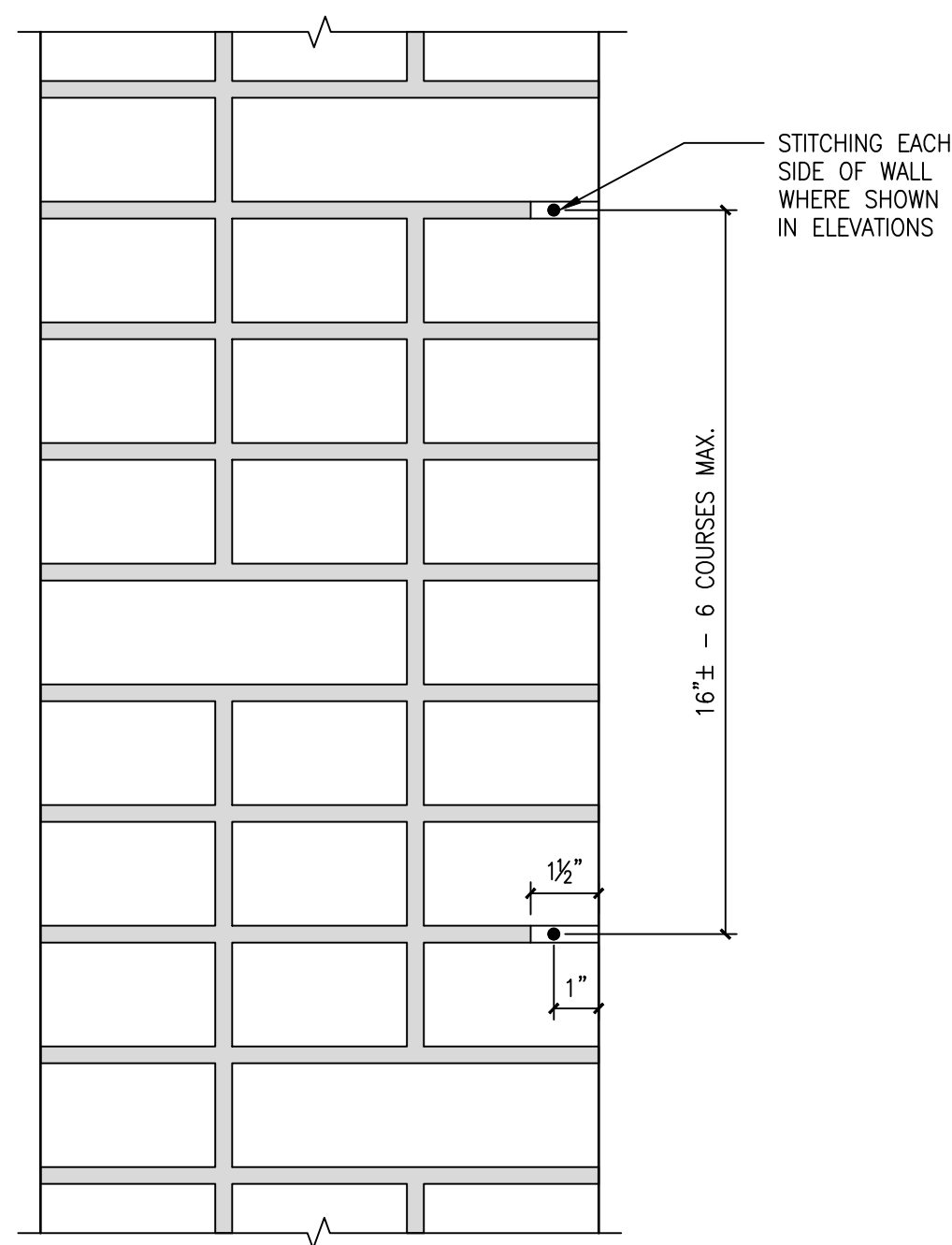


NOTES:

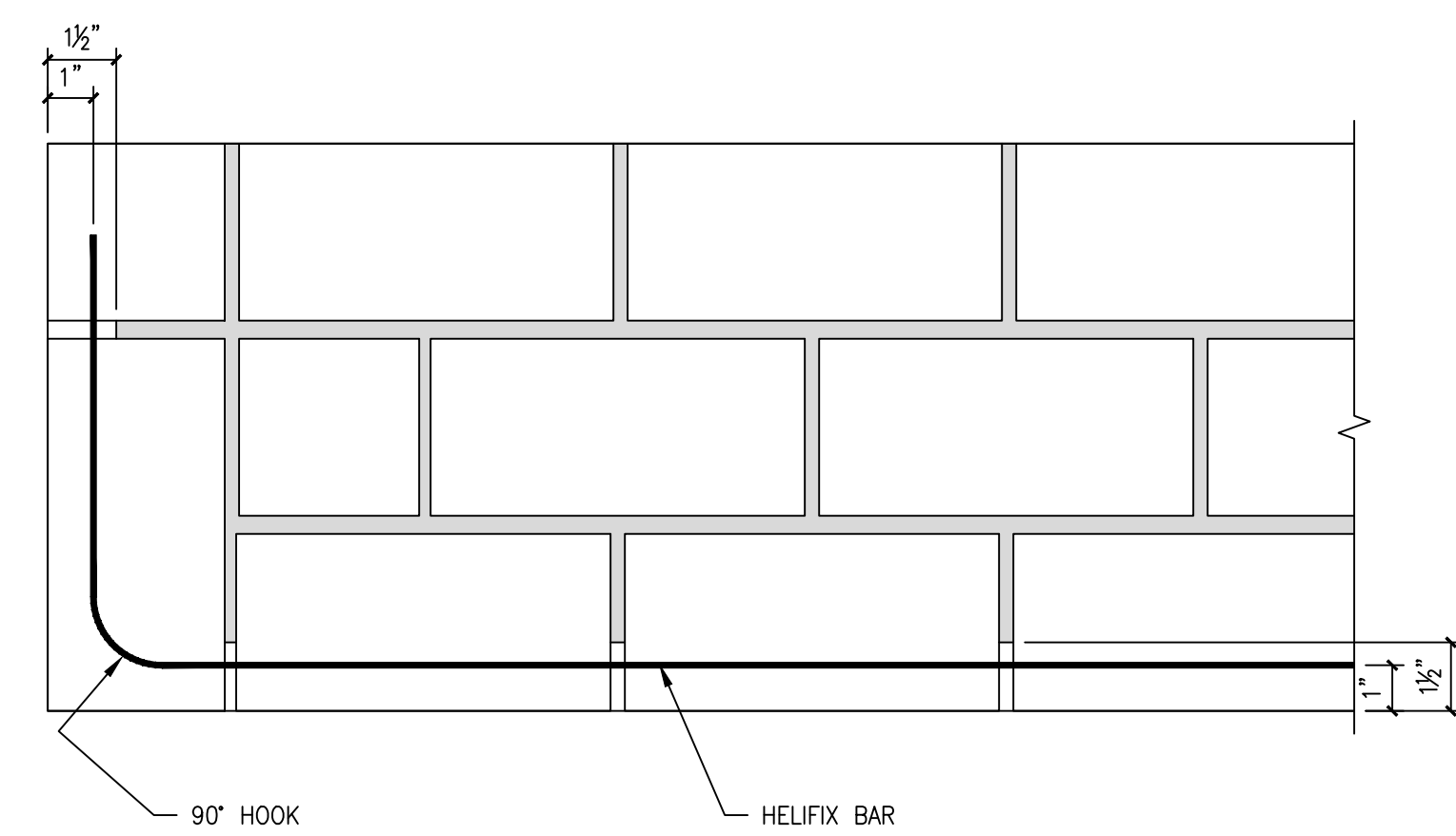
1. [Symbol] DENOTES BRICKS TO BE REMOVED, SALVAGED AND RESET IN NEW MORTAR THAT IS COMPATIBLE WITH EXISTING MASONRY CONSTRUCTION. WHERE CRACK IS THROUGH FULL WALL THICKNESS, REBUILD AS SUCH AT OUTERMOST WYTHES. FILL CRACK WITHIN INNER WYTHES OF WALL WITH MORTAR OR APPROVED GROUT.
2. [Symbol] DENOTES CRACKED BRICKS TO BE REPLACED WITH FULL SIZED BRICKS TO MATCH EXISTING WITH COMPATIBILITY FOR BOTH MATERIAL STRENGTH AND APPEARANCE. WHERE ADEQUATE REPLACEMENT BRICK IS NOT AVAILABLE, AND WITH EXPLICIT APPROVAL BY ARCHITECT AND OWNER, CRACKS IN BRICKS MAY BE ROUTED OUT AND REPOINTED FOR FULL DEPTH.

1 BRICK STITCHING REPAIR ELEVATION
SCALE: N.T.S.

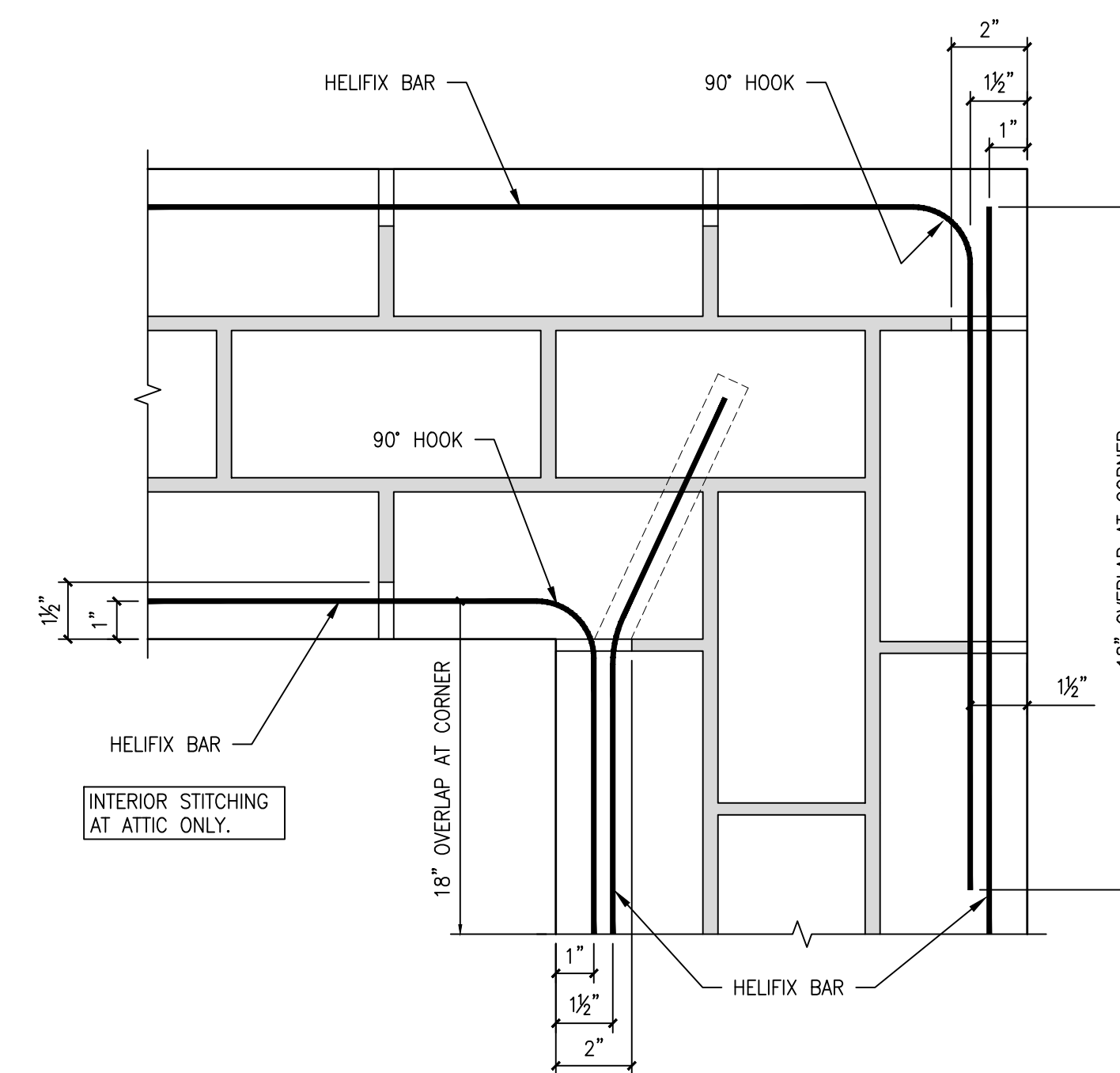
2 TYPICAL DETAIL - BRICK REPAIR ELEVATION
SCALE: N.T.S.



3 BRICK REPAIR SECTION
SCALE: N.T.S.



4 BRICK REPAIR PLAN DETAIL @ OPENING
SCALE: N.T.S.



5 BRICK REPAIR PLAN DETAIL @ CORNER
SCALE: N.T.S.

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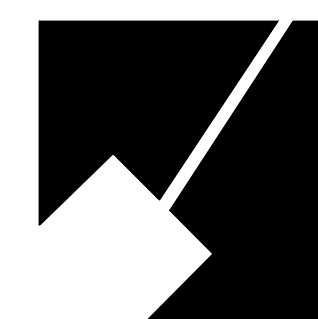
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Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description
	3/05/2024	DD Set

MASONRY DETAILS

NEEDWOOD MANSION
Renovation
6700 Needwood Road, Derwood, MD 20855
SCALE: As Shown

DWG. #

S-302

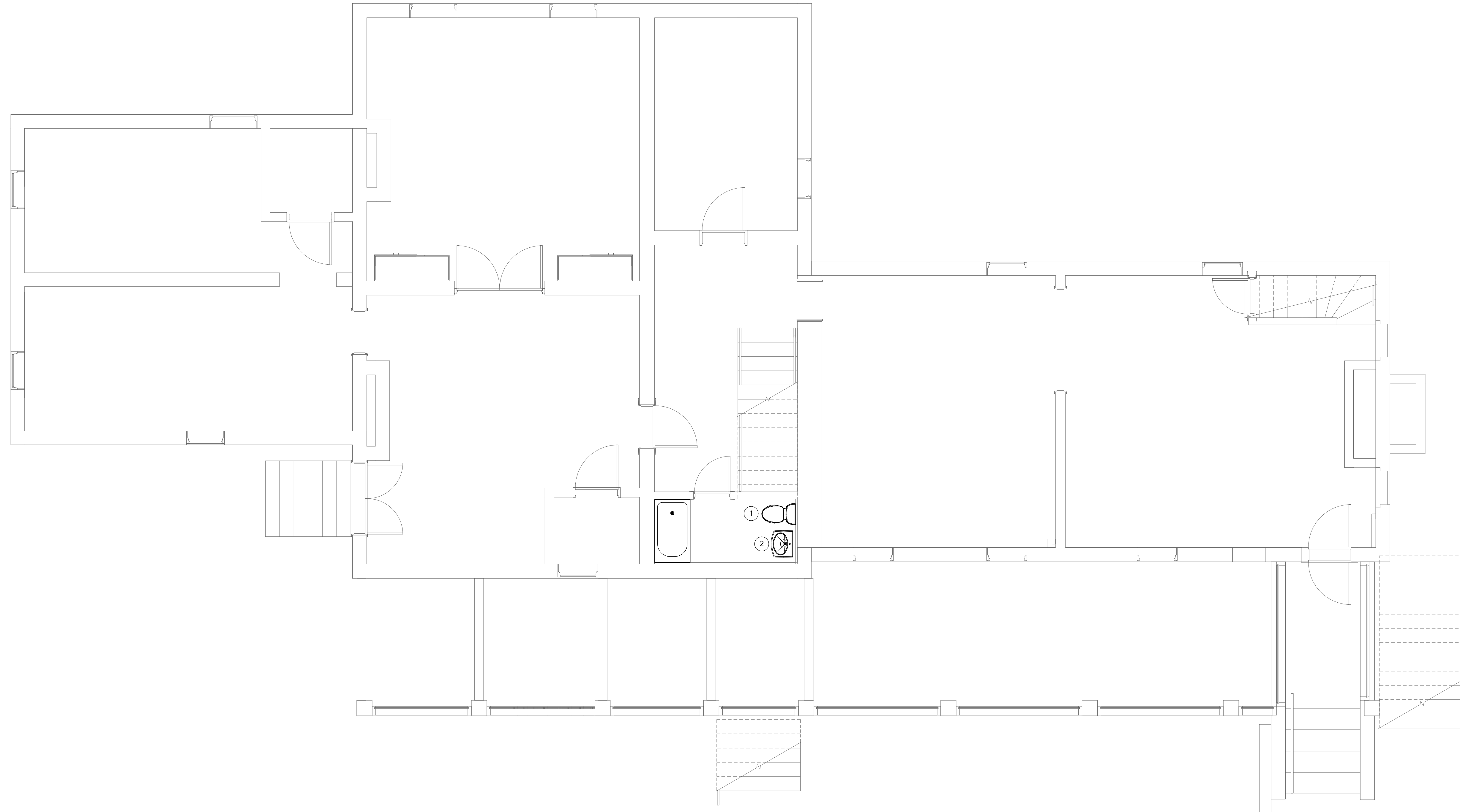
DPS PERMIT USE

GENERAL NOTES:

1. PATCH ALL HOLES, PENETRATIONS, ETC. (IN WALLS, FLOORS, ROOF, ETC.) TO MATCH EXISTING MATERIALS, FINISHES, ETC. AND PAINT TO MATCH EXISTING.

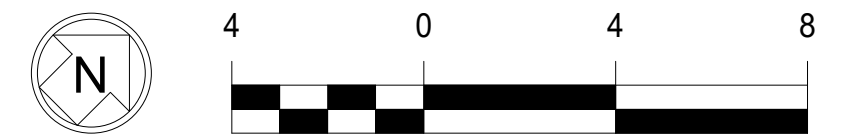
DRAWING NOTES:

- ① RX WATER CLOSET AND PREPARE ROUGH IN CONNECTIONS FOR REPLACEMENT FIXTURE.
- ② RX LAVATORY FAUCET AND PREPARE ROUGH IN CONNECTIONS FOR REPLACEMENT FIXTURE. EX LAVATORY SINK TO REMAIN.



FLOOR PLAN - BASEMENT - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

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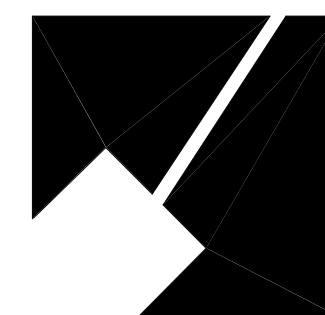
DRAWING CHECKED BY: ALBAN

Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

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SUBMISSION / REVISION

Rev. No.	Date	Description

FLOOR PLAN - BASEMENT - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

PD1.00

PARK CODE PLAN STAMPED FINAL STAMPED

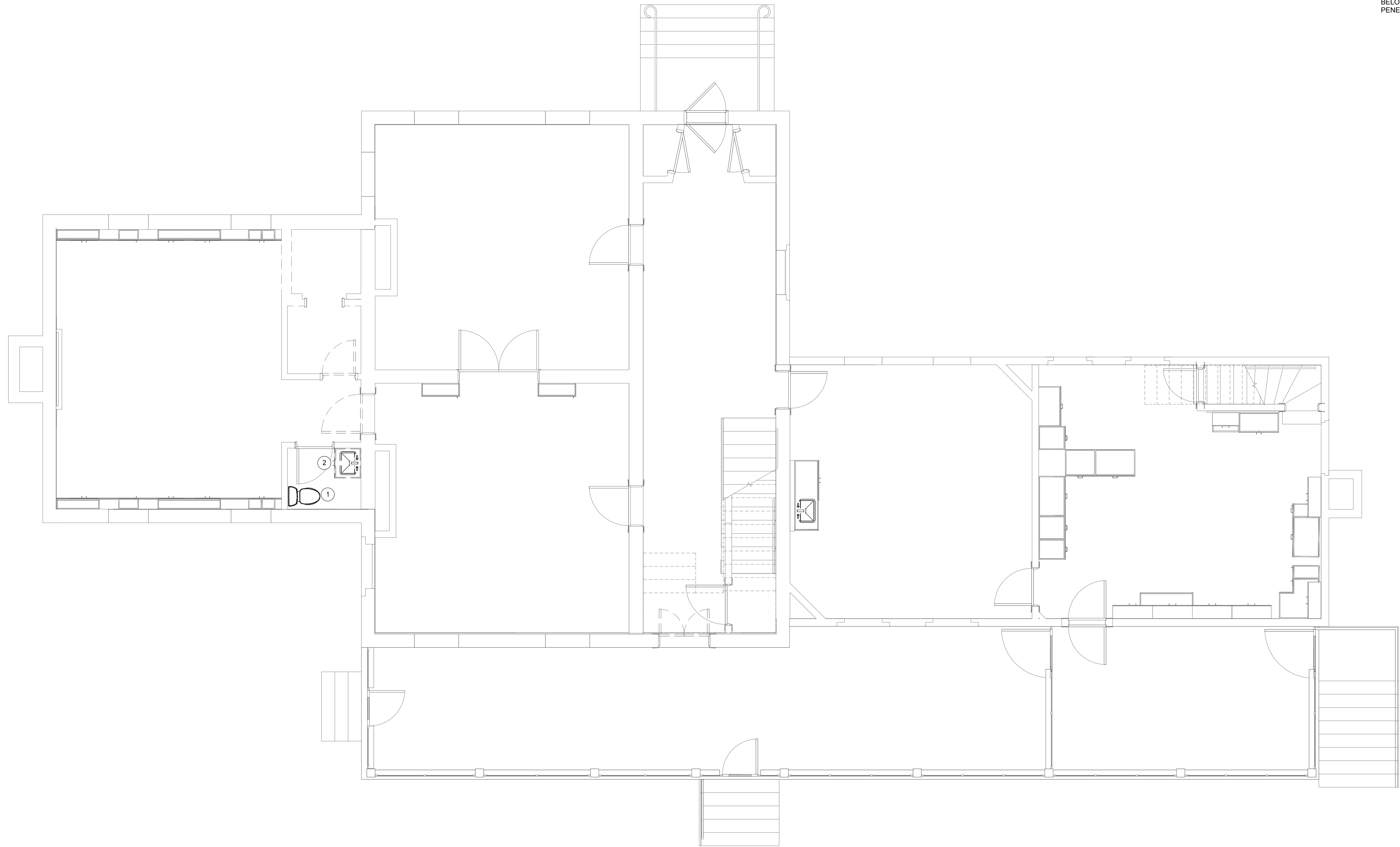
DPS PERMIT USE

GENERAL NOTES:

1. PATCH ALL HOLES, PENETRATIONS, ETC. (IN WALLS, FLOORS, ROOF, ETC.) TO MATCH EXISTING MATERIALS, FINISHES, ETC. AND PAINT TO MATCH EXISTING.

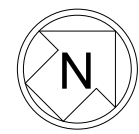
DRAWING NOTES:

- ① RX WATER CLOSET AND ALL ASSOCIATED DOMESTIC WATER, SANITARY, & VENT PIPING, CAP PIPING BELOW FLOOR/BEHIND WALL AND PATCH PENETRATION TO MATCH EXISTING MATERIALS.
- ② RX LAVATORY AND ALL ASSOCIATED DOMESTIC WATER, SANITARY, & VENT PIPING, CAP PIPING BELOW FLOOR/BEHIND WALL AND PATCH PENETRATION TO MATCH EXISTING MATERIALS.



FLOOR PLAN - LEVEL 1 - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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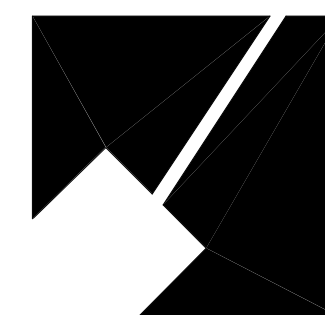
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Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

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EXPIRATION DATE: _____

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Rev. No.	Date	Description

FLOOR PLAN - LEVEL 1 - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

PD1.01

FINAL DRAWING
PLAN STAMPED
PARK CODE

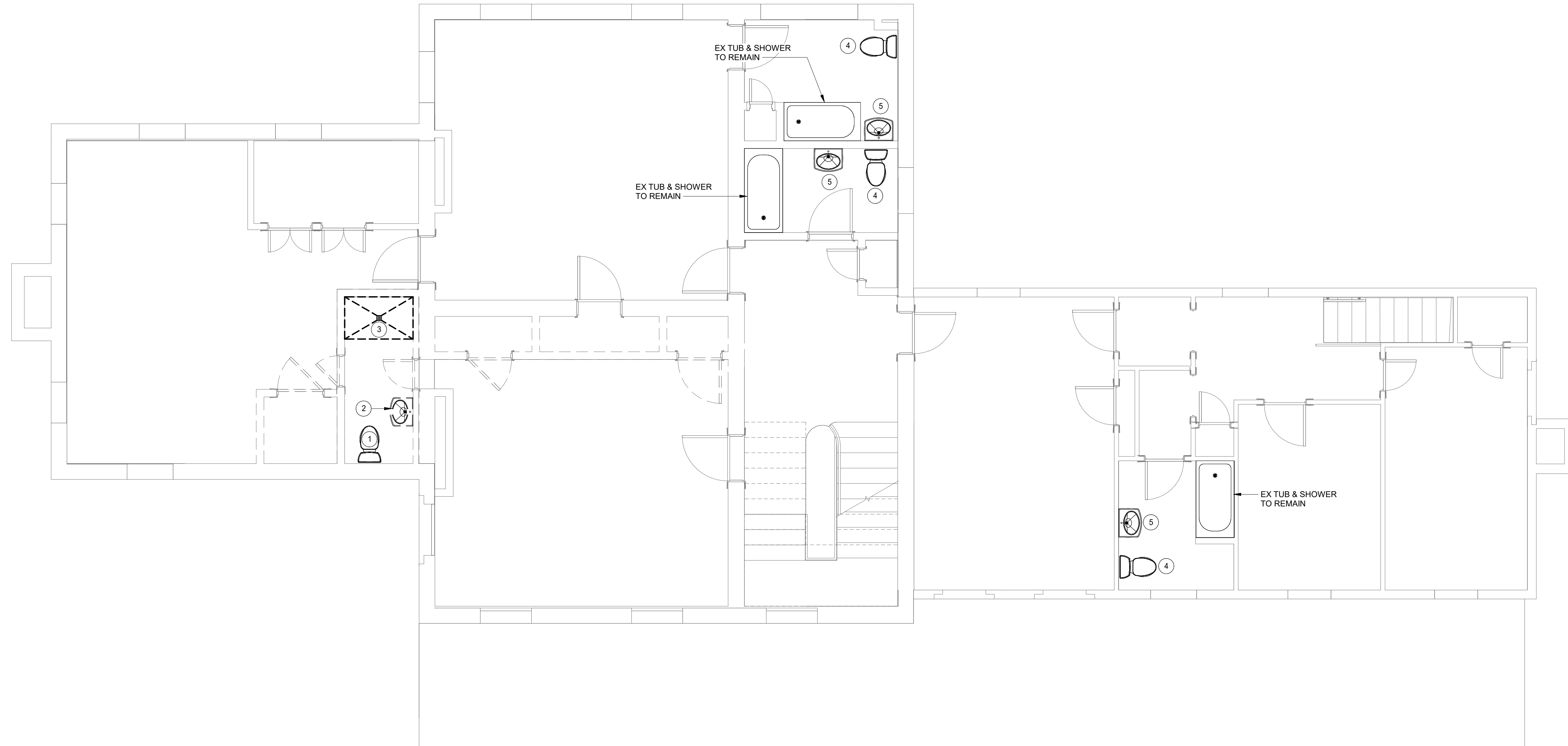
DPS PERMIT USE

GENERAL NOTES:

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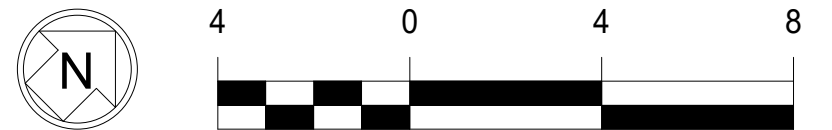
DRAWING NOTES:

1. RX WATER CLOSET AND ALL ASSOCIATED DOMESTIC WATER, SANITARY, & VENT PIPING, CAP PIPING BELOW FLOOR/BEHIND WALL AND PATCH PENETRATION TO MATCH EXISTING MATERIALS.
2. RX LAVATORY AND ALL ASSOCIATED DOMESTIC WATER, SANITARY, & VENT PIPING, CAP PIPING BELOW FLOOR/BEHIND WALL AND PATCH PENETRATION TO MATCH EXISTING MATERIALS.
3. RX SHOWER AND ALL ASSOCIATED DOMESTIC WATER, SANITARY, & VENT PIPING, CAP PIPING BELOW FLOOR/BEHIND WALL AND PATCH PENETRATION TO MATCH EXISTING MATERIALS.
4. RX WATER CLOSET AND PREPARE ROUGH IN CONNECTIONS FOR REPLACEMENT FIXTURE.
5. RX LAVATORY FAUCET AND PREPARE ROUGH IN CONNECTIONS FOR REPLACEMENT FIXTURE. EX LAVATORY SINK TO REMAIN.



FLOOR PLAN - LEVEL 2 - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

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DEVELOPMENT DESIGN	ALBAN	03/06/24

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Rev. No.	Date	Description

FLOOR PLAN - LEVEL 2 - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

PD1.02

FINAL - SHANNED

PLAN - SHANNED

PARK CODE

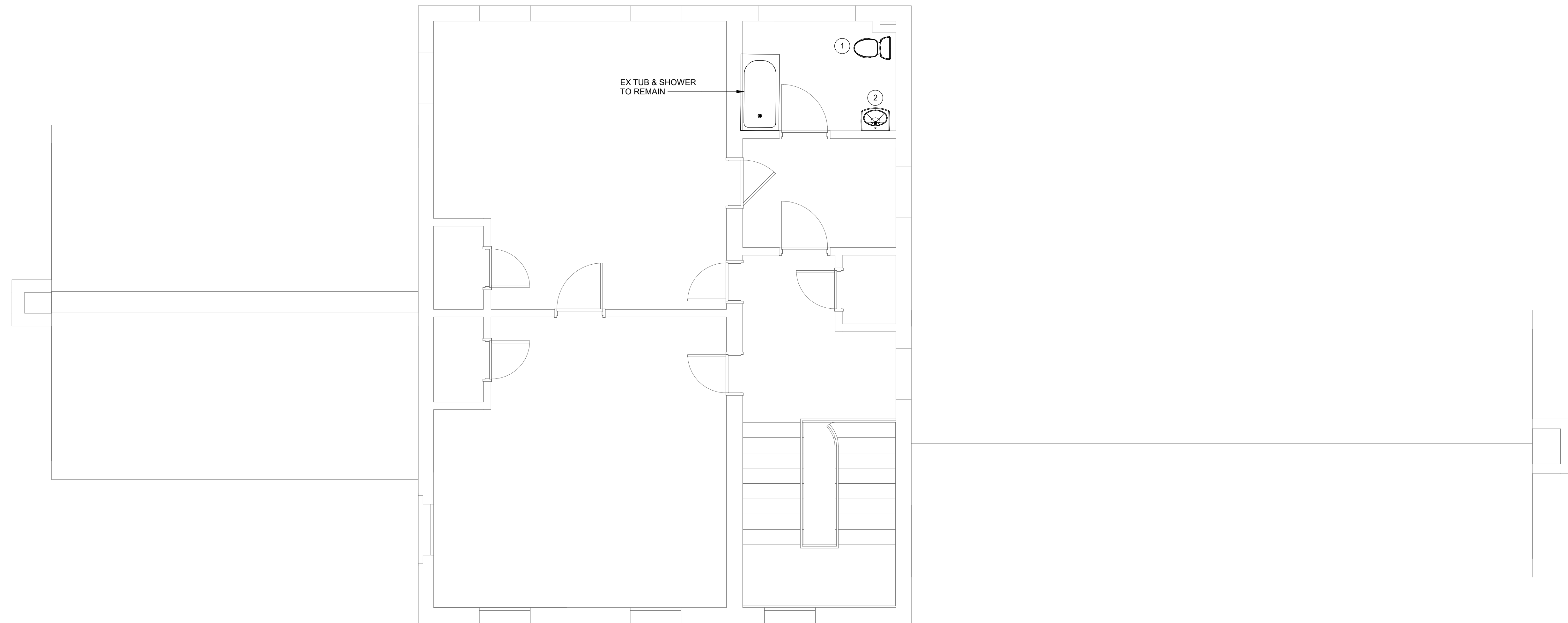
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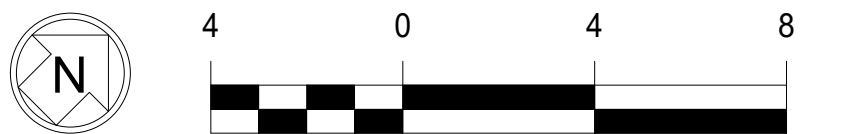
DRAWING NOTES:

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2. RX LAVATORY FAUCET AND PREPARE ROUGH IN CONNECTIONS FOR REPLACEMENT FIXTURE. EX LAVATORY SINK TO REMAIN.



FLOOR PLAN - LEVEL 3 - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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AND CONTACT INFORMATION

**MICHAEL
GRAVES**

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T 410 250 9680
MICHAELGRAVES.COM

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FLOOR PLAN - LEVEL 3 - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

PD1.03

PANEL 1

PANEL 2

PANEL 3

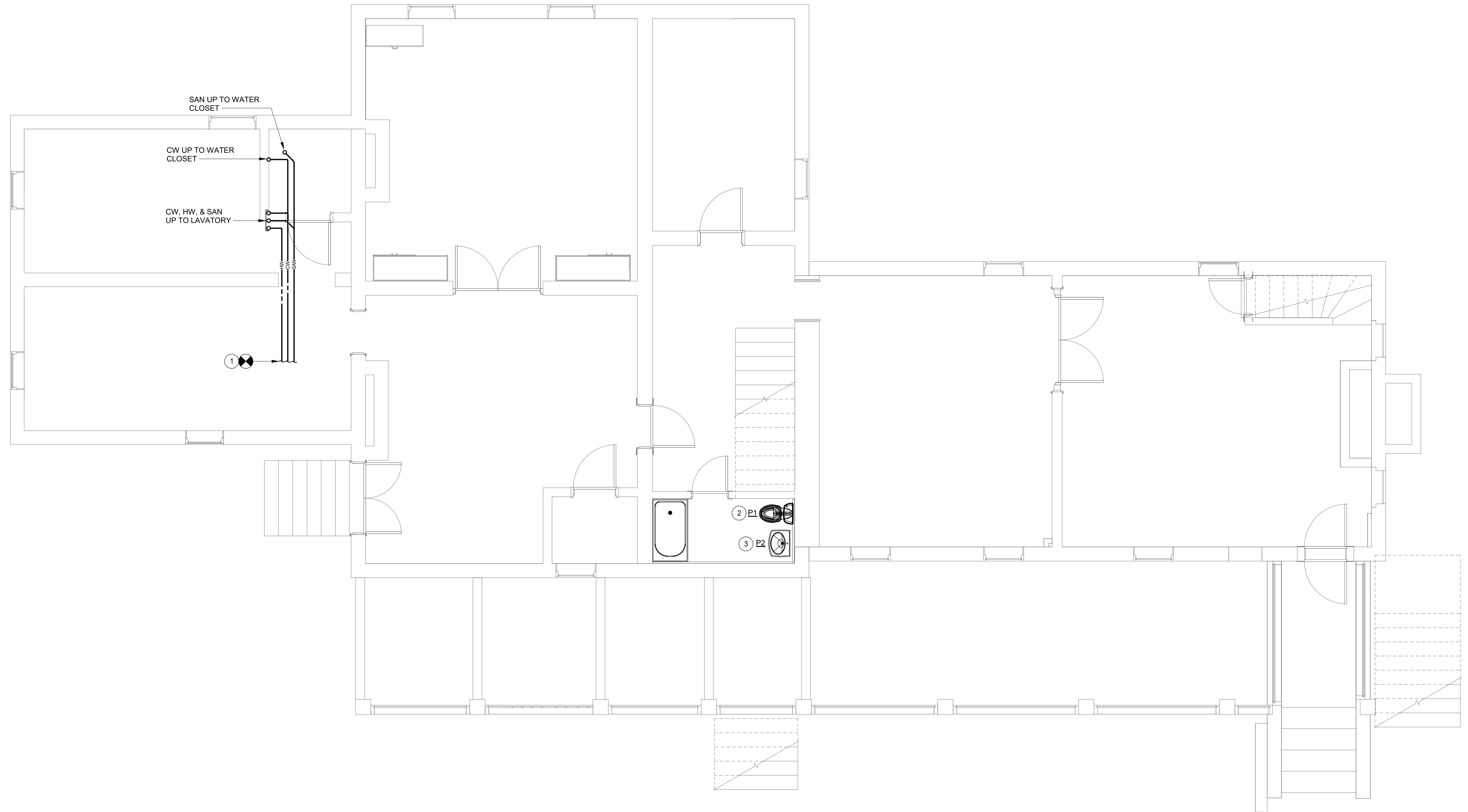
DPS PERMIT USE

GENERAL NOTES:

1. PATCH ALL HOLES, PENETRATIONS, ETC. (IN WALLS, FLOORS, ROOF, ETC.) TO MATCH EXISTING MATERIALS, FINISHES, ETC. AND PAINT TO MATCH EXISTING.

DRAWING NOTES:

1. EXTEND AND CONNECT DOMESTIC COLD WATER, HOT WATER, & SANITARY TO EX PIPING IN APPROXIMATELY THIS AREA.
2. PROVIDE WATER CLOSET AND CONNECT TO EX PLUMBING ROUGH-INS. PROVIDE WATER SUPPLY CONNECTION AND ANGLE STOP VALVES.
3. PROVIDE LOW FLOW FAUCET AND INSTALL ON EX LAVATORY SINK. PROVIDE WATER SUPPLY CONNECTION AND ANGLE STOP VALVES.



FLOOR PLAN - BASEMENT
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

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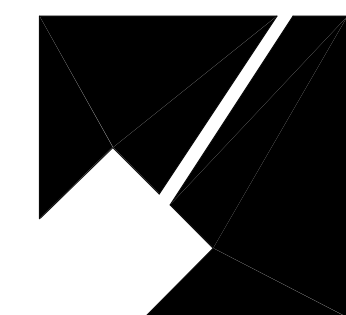
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Rev. No.	Date	Description

FLOOR PLAN - BASEMENT

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

P1.00

FINAL PLAN

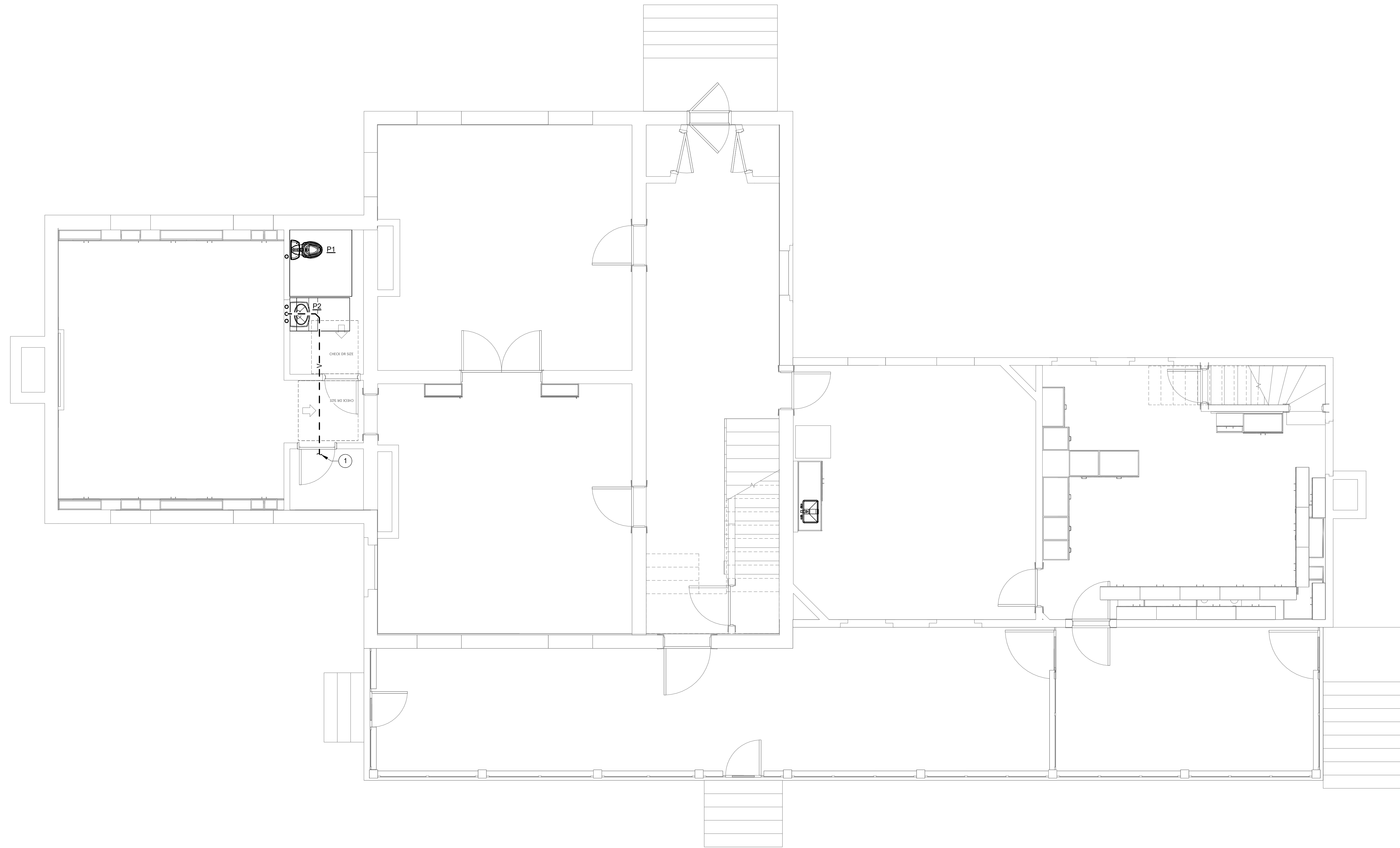
DPS PERMIT USE

GENERAL NOTES:

- 1. PATCH ALL HOLES, PENETRATIONS, ETC. (IN WALLS, FLOORS, ROOF, ETC.) TO MATCH EXISTING MATERIALS, FINISHES, ETC. AND PAINT TO MATCH EXISTING.

DRAWING NOTES:

- ① EXTEND AND CONNECT VENT PIPING TO EX PIPING IN APPROXIMATELY THIS AREA.



FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



FINAL PLAN

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES

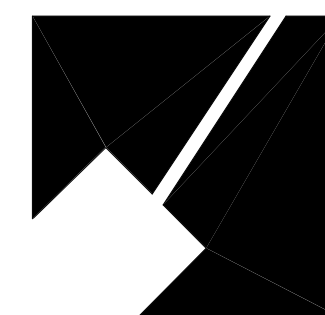
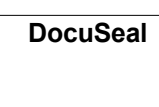
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MICHAELGRAVES.COM

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Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

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Rev. No.	Date	Description

FLOOR PLAN - LEVEL 1

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

P1.01

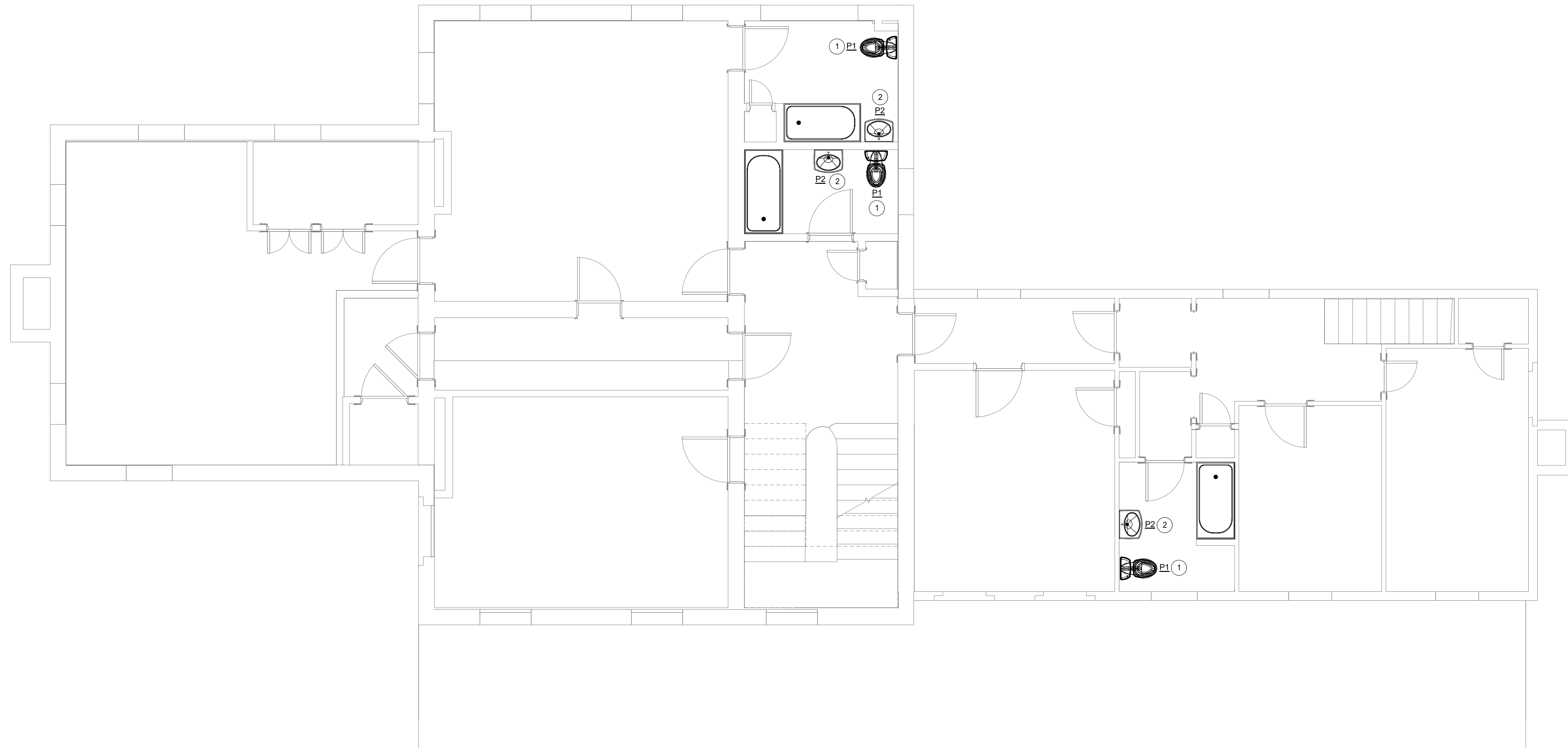
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GENERAL NOTES:

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DRAWING NOTES:

1. PROVIDE WATER CLOSET AND CONNECT TO EX PLUMBING ROUGH-INS. PROVIDE WATER SUPPLY CONNECTION AND ANGLE STOP VALVES.
2. PROVIDE LOW FLOW FAUCET AND INSTALL ON EX LAVATORY SINK. PROVIDE WATER SUPPLY CONNECTION AND ANGLE STOP VALVES.



FLOOR PLAN - LEVEL 2
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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FLOOR PLAN - LEVEL 2

NEEDWOOD MANSION
Renovation
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SCALE: As Shown

DWG. #

P1.02

FINAL - 2/24/24

PLAN - 2/24/24

PARK CODE

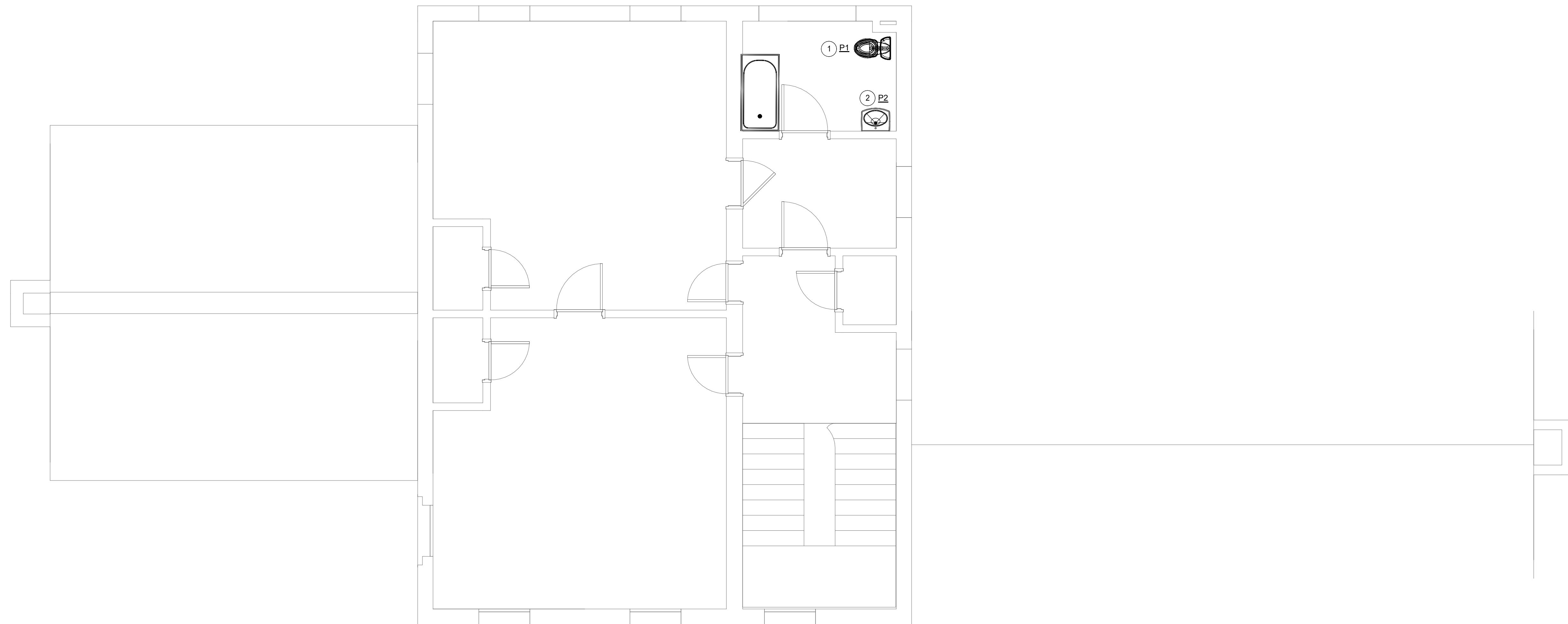
DPS PERMIT USE

GENERAL NOTES:

1. PATCH ALL HOLES, PENETRATIONS, ETC. (IN WALLS, FLOORS, ROOF, ETC.) TO MATCH EXISTING MATERIALS, FINISHES, ETC. AND PAINT TO MATCH EXISTING.

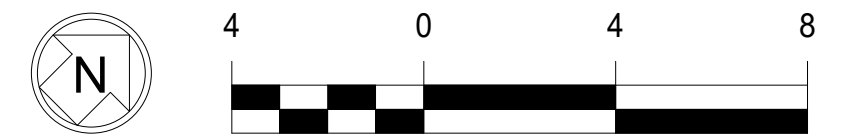
DRAWING NOTES:

1. PROVIDE WATER CLOSET AND CONNECT TO EX PLUMBING ROUGH-INS. PROVIDE WATER SUPPLY CONNECTION AND ANGLE STOP VALVES.
2. PROVIDE LOW FLOW FAUCET AND INSTALL ON EX LAVATORY SINK. PROVIDE WATER SUPPLY CONNECTION AND ANGLE STOP VALVES.



FLOOR PLAN - LEVEL 3
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



DESIGN PROFESSIONAL / FIRM(S) LOGO
AND CONTACT INFORMATION

**MICHAEL
GRAVES**

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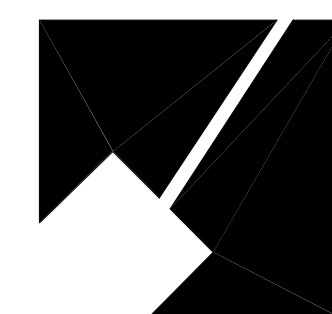
DRAWING CHECKED BY: ALBAN

Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____
EXPIRATION DATE: _____

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**The Maryland-National Capital
Park and Planning Commission**
Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

FLOOR PLAN - LEVEL 3

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

P1.03

FINAL - 2/24/24

PLAN - 2/24/24

PARK CODE

GENERAL NOTES: (MECHANICAL)

GENERAL NOTES AND CONDITIONS:

- A. COORDINATE NEW WORK BETWEEN ALL DISCIPLINES.
- B. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- C. IT IS THE INTENT OF THESE DRAWINGS FOR ALL DISCIPLINES AND SPECIFICATIONS TO PRODUCE A COMPLETE PROJECT INCLUSIVE OF ALL SYSTEMS. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, FINISHES, EQUIPMENT, INSTALLATION, AND SERVICES NECESSARY FOR AND INCIDENTAL WITH THE WORK, TO PROVIDE THE OWNER WITH A COMPLETE PROJECT. IN ALL CASES THE DRAWINGS AND SPECIFICATIONS MUST BE REVIEWED, PRICED, ESTIMATED, AND CONSTRUCTED IN THEIR ENTIRETY. THE DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER AND THE SPECIFICATIONS. ANYTHING SHOWN OR IMPLIED ON ANY ONE DRAWING MUST BE PROVIDED, INSTALLED AND CONNECTED AS THOUGH IT WAS SHOWN ON ALL DRAWINGS AND INCLUDED IN THE ORIGINAL PRICING. NO REQUEST FOR ADDITIONAL COST OR CHANGE ORDER WILL BE ACCEPTED BY THE OWNER FROM ANY CONTRACTOR, SUPPLIER, OR INSTALLER THAT RESULTS FROM A FAILURE TO THOROUGHLY REVIEW ALL DRAWINGS AND SPECIFICATIONS, COORDINATE WITH OTHER TRADES, OR THOROUGHLY INSPECT THE SITE TO DETERMINE ALL EXISTING CONDITIONS.
- D. PRIOR TO INITIATING ANY PORTION OF THE WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE ALL PORTIONS OF THE CONTRACT DOCUMENTS RELATING TO THAT PORTION OF THE WORK AND AFFECTING ADJOINING PORTIONS. IF AN ASSUMED OR ACTUAL CONFLICT IS DISCOVERED IN THE CONTRACT DOCUMENTS, THE MORE EXPENSIVE OR HIGHER QUALITY OPTION (AS DETERMINED BY THE ARCHITECT/ENGINEER) SHALL BE ASSUMED TO APPLY UNLESS DIRECTED OTHERWISE BY THE ARCHITECT/ENGINEER. IF DISCREPANCIES EXIST, THEY SHALL BE REPORTED TO THE CONSTRUCTION MANAGER FOR CLARIFICATION AND/OR RESOLUTION BEFORE COMMENCING SUCH WORK.
- E. BY SUBMITTING A BID PROPOSAL THE CONTRACTOR CERTIFIES THAT THEY HAVE VISITED THE SITE, FAMILIARIZED THEMSELVES WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND AS ARE NECESSARY FOR CONSTRUCTION, AND CORRELATED THEIR OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IT IS ASSUMED THAT THE CONTRACTOR HAS OBTAINED, BEFORE AWARD OF THE CONTRACT, CLARIFICATION OF ALL QUESTIONS AS TO THE INTENT OF THE CONTRACT DOCUMENTS AND OF ASSUMED OR ACTUAL CONFLICT BETWEEN TWO OR MORE ITEMS IN CONTRACT DOCUMENTS. SHOULD THE CONTRACTOR FAIL TO OBTAIN SUCH CLARIFICATION, THE ARCHITECT/ENGINEER SHALL DIRECT WORK TO PROCEED BY THE METHOD INDICATED, SPECIFIED OR REQUIRED BY CONTRACT DOCUMENTS WHICH WILL PRODUCE THE BEST RESULTS, AS JUDGED BY THE ARCHITECT/ENGINEER. SUCH DIRECTION BY THE ARCHITECT/ENGINEER SHALL NOT ENTITLE THE CONTRACTOR TO ANY CLAIM FOR EXTRA COST.
- F. DEFINITIONS: "PROVIDE" MEANS "FURNISH AND INSTALL". "VERIFY" MEANS "VERIFY IN THE FIELD AND COORDINATE DIMENSIONS AND DISCREPANCIES".
- G. THESE NOTES AND OTHER NOTES ON THE DRAWINGS ARE DIRECTIONS FOR THE CONTRACTOR'S PERFORMANCE, UNLESS NOTED OTHERWISE (U.N.O.). FOR EXAMPLE, THE VERB "INSTALL" MEANS "CONTRACTOR SHALL INSTALL", "RELOCATE" MEANS "CONTRACTOR SHALL RELOCATE", ETC.
- H. UNLESS NOTED OTHERWISE, NUMBERED DIMENSIONS SHOWN ON DRAWINGS TAKE PRECEDENCE OVER SCALED DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS. IF CONFLICTS EXIST ON THE DRAWINGS, THEN THE MORE STRINGENT REQUIREMENT SHALL APPLY. FINAL INTERPRETATION SHALL BE MADE BY THE ENGINEER.
- I. SAMPLES AND SHOP DRAWINGS MUST BE SUBMITTED BY THE CONTRACTOR TO THE CONSTRUCTION MANAGER FOR REVIEW AND PROCESSING BEFORE THE PURCHASE OR FABRICATION OF ANY MATERIALS.
- J. DURING THE WORK, ANY CONDITION DISCOVERED THAT CAUSES CONFLICT WITH THE INTENDED DESIGN MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- K. CONTRACTOR SHALL STAGE WORK IN SUCH A WAY AS TO ENSURE SAFE EMERGENCY EGRESS AT ALL TIMES.
- L. GENERAL NOTES, THOSE FOUND ON THIS SHEET, APPLY TO ALL DRAWINGS RELATED TO THIS PROJECT.
- M. DRAWING NOTES SPECIFICALLY REFER TO ITEMS NOTED WITH NUMBER OR LETTER DESIGNATIONS ON THE RESPECTIVE DRAWING WHERE THE DESIGNATIONS ARE SHOWN.

GENERAL CONSTRUCTION NOTES:

- A. LEAVE SPACE CLEAN ON COMPLETION, INCLUDING THE CLEANING OF GLASS, DOORS, FRAMES, FLOORS, GRILLES, LIGHT LENSES, ETC.
- B. EXCEPT FOR PREFINISHED SURFACES, ALL ITEMS DISTURBED OR DAMAGED BY WORK SHALL BE REFINISHED TO MATCH SURROUNDING AREA OR FINISHED AS INDICATED.
- C. ALL HOLES AND PENETRATIONS IN WALLS AND CEILING SURFACES SHALL BE PATCHED AND FIRE STOPPED.
- D. ANY ALTERATION TO THE STRUCTURE (I.E. CORE DRILLING CONCRETE, ETC.) SHALL BE COORDINATED.
- E. REFER TO STRUCTURAL DRAWINGS FOR TYPICAL PENETRATION/OPENING/INFILL DETAILS.
- F. UNLESS OTHERWISE INDICATED, ALL PIPING, CONDUIT, DUCTWORK, AND SIMILAR SERVICES SHALL BE CONCEALED.
- G. PROVIDE 1/2" x 1/2" MESH BIRD SCREEN OVER ALL OPEN END DUCTS IN THE BUILDING.
- H. PRIOR TO CERTIFYING AND TESTING THE ENTIRE SYSTEM, THE CONTRACTOR SHALL TEST ALL REFRIGERANT PIPING IN THE VRF SYSTEM AND HAVE IT WITNESSED/CERTIFIED BY THE OWNER AND MANUFACTURER.
- I. ALL TRANSFER DUCTS SHALL HAVE 1" MIN ACOUSTIC SOUND LINING.
- J. ALL EXPOSED DUCTWORK SHALL BE DOUBLE WALL CONSTRUCTION WITH A PERFORATED, GALVANIZED INNER LINER

GENERAL DEMOLITION NOTES:

- A. LEAVE SPACE CLEAN ON COMPLETION, INCLUDING THE CLEANING OF GLASS, DOORS, FRAMES, FLOORS, GRILLES, LIGHT LENSES, ETC.
- B. EXCEPT FOR PREFINISHED SURFACES, ALL ITEMS DISTURBED OR DAMAGED BY WORK SHALL BE REFINISHED TO MATCH SURROUNDING AREA OR FINISHED AS INDICATED.
- C. ALL HOLES AND PENETRATIONS IN WALLS AND CEILING SURFACES SHALL BE PATCHED AND FIRE STOPPED.
- D. ANY ALTERATION TO THE STRUCTURE (I.E. CORE DRILLING CONCRETE, ETC.) SHALL BE COORDINATED.
- E. DEMOLITION WORK IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DOCUMENT PREPARATION AND MAY NOT REFLECT ALL ITEMS TO BE REMOVED. EXISTING MECHANICAL EQUIPMENT, PIPING, HANGERS, SUPPORT, INSULATION, CONTROLS, ETC. IS TO BE REMOVED IN ITS ENTIRETY UNLESS NOTED OTHERWISE.
- F. THE OWNER HAS THE RIGHT OF FIRST REFUSAL FOR ANY ITEMS BEING DEMOLISHED. THE CONTRACTOR SHALL MEET WITH THE OWNER PRIOR TO ANY DEMOLITION TO DETERMINE ALL EQUIPMENT AND MATERIALS TO BE SALVAGED AND WHERE THE SALVAGED MATERIALS SHALL BE DELIVERED.
- G. ALL OTHER MATERIALS AND EQUIPMENT WHICH ARE REMOVED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE PREMISES AND DISPOSED OF IN AN APPROVED MANNER.
- H. EXISTING PIPING, EQUIPMENT, MATERIALS, ETC. NOT REQUIRED FOR RE-USE OR RE-INSTALLATION IN THIS PROJECT, SHALL BE REMOVED.
- I. WHERE PIPING IS INDICATED TO BE REMOVED, REMOVE ALL PIPE HANGERS OR SUPPORTS WHICH WERE SUPPORTING THE REMOVED PIPING.

DPS PERMIT USE

AIR DEVICE SCHEDULE

No.	MAX CFM	NECK SIZE	COLLAR SIZE	MAX NC	TYPE (SEE SPEC.)
SUPPLY					
S1	230	9x9	8"Ø	18	TITUS TDC
S2	400	12x12	10"Ø	18	TITUS TDC
S3	600	15x15	12"Ø	18	TITUS TDC
S4	300	12x8	-	16	TITUS 300RS
S5	500	24x8	-	16	TITUS 300RS
S6	300	24x4	-	16	TITUS 300RS
RETURN					
R1	450	12x12	-	18	TITUS 350RL
R2	1660	22x22	-	18	TITUS 350RL
R3	550	14x14	-	16	TITUS 350RL
R4	600	24x8	-	16	TITUS 350RL

MECHANICAL LEGEND

SYMBOLS		ABBREVIATIONS	
SYMBOL	DEFINITION	ABBREV.	DEFINITION
	SUPPLY AIR DUCT UP, DOWN	AP	PESSURE DIFFERENCE
	RETURN AIR DUCT UP, DOWN	ΔT	TEMPERATURE DIFFERENCE
	EXHAUST AIR DUCT UP, DOWN	Ø	DIAMETER (OR ELECTRICAL PHASE)
	OUTSIDE AIR DUCT UP, DOWN	%	PERCENT
	RECT. TO ROUND TRANSITION	ADJ	ADJUSTABLE
	FLEXIBLE CONNECTION (DUCTWORK)	AFF	ABOVE FINISHED FLOOR
	FLEXIBLE DUCT	AHU	AIR HANDLING UNIT
	MANUAL VOLUME DAMPER	APD	AIR PRESSURE DROP
	FIRE DAMPER	APFF	AIRFOIL PLENUM FAN
	MOTOR OPERATED DAMPER	AMS	AIR MONITORING STATION
	SMOKE DAMPER	ATC	AUTOMATIC TEMPERATURE CONTROL
	COMBINATION FIRE/SMOKE DAMPER	BHP	BRAKE HORSEPOWER
	DUCT SMOKE DETECTOR	BOS	BOTTOM OF STRUCTURE
	ELBOW W/ TURNING VANES	BTU	BRITISH THERMAL UNIT
	RADIUS ELBOW	BTUH	BRITISH THERMAL UNIT PER HOUR
	ACOUSTICAL SOUND LINING	CAP	CAPACITY
	DUCT TRANSITION	CD, COND	CONDENSATE DRAIN
	CHANGE IN ELEVATION RISE(R), DROP(D)	CFM	CUBIC FEET PER MINUTE
	POWER ROOF VENTILATOR	CLG	CEILING
	HEATING WATER SUPPLY	CO	CLEANOUT
	HEATING WATER RETURN	CU FT	CUBIC FEET
	REFRIGERANT LIQUID	CW	COLD WATER
	REFRIGERANT SUCTION	CX	CONNECT TO EXISTING
	CONDENSATE	dB	DECIBEL
	COLD WATER	DB	DRY BULB
	GATE VALVE	DD	DUCT SMOKE DETECTOR
	BALL VALVE	DDC	DIRECT DIGITAL CONTROLLER
	MULTI-PURPOSE VALVE	DIA	DIAMETER
	CHECK VALVE	DIFF	DIFFUSER
	BUTTERFLY VALVE	DN	DOWN
	3-WAY MODULATING VALVE (ATC)	DP	DIFFERENTIAL PRESSURE CONTROLLER
	2-WAY MODULATING VALVE (ATC)	DPT	DIFFERENTIAL PRESSURE TRANSMITTER
	PRESSURE REDUCING VALVE	DWG	DRAWING
	SOLENOID VALVE	EA	EXHAUST AIR
	PRESSURE RELIEF OR SAFETY VALVE	EAT	ENTERING AIR TEMPERATURE
	HOSE END DRAIN VALVE	EF	EXHAUST FAN
	STRAINER WHOSE END DRAIN VALVE & CAP	EFF	EFFICIENCY
	MANUAL AIR VENT	ELEC	ELECTRICAL
	COMBINATION SHUT-OFF/BALANCING VALVE	ELEC CHAR	ELECTRICAL CHARACTERISTICS
	UNION	ELEV	ELEVATION
	FLANGE	EMS	ENERGY MANAGEMENT SYSTEM
	FLEXIBLE CONNECTION (PIPING)	ESP	EXTERNAL STATIC PRESSURE
	THERMOMETER	EWI	ENTERING WATER TEMPERATURE
	PRESSURE GAUGE W/ NEEDLE VALVE	EX	EXISTING
	THERMOSTAT	FD	FIRE DAMPER
	FAN SWITCH	FPM	FEET PER MINUTE
	DIFFERENTIAL PRESSURE CONTROLLER	FS	FLOW SWITCH
	DIFFERENTIAL PRESSURE TRANSMITTER	FT	FEET
	AUTOMATIC FLOW CONTROL VALVE	FT HD	FEET OF HEAD
	FLOW SWITCH	FT H.O	FEET WATER GAUGE
	UNIT HEATER	FZ	FREEZE STAT
	PITCH OF PIPE, % SLOPE	GA	GAUGE
	PIPE UP	GALV	GALVANIZED
	PIPE DOWN	GPM	GALLONS PER MINUTE
	PIPE UP & DOWN	HP	HORSEPOWER
	CAPPED PIPE	HR	HEATING WATER RETURN
	DIRECTION OF FLOW	HS	HEATING WATER SUPPLY
	DEMOLITION ENDS HERE	Hz	HERTZ
	CONNECT TO EXISTING	IN	INCHES
	DRAWING NOTE DESIGNATION	IN H.O	INCHES WATER GAUGE
	AIR DEVICE DESIGNATION	INV ELEV	INVERT ELEVATION
	EQUIPMENT BOX DESIGNATION	KW	KILOWATT
		LAT	LEAVING AIR TEMPERATURE
		LBS	POUNDS
		LWT	LEAVING WATER TEMPERATURE
		MBH	BTU PER HOUR (THOUSAND)
		MOD	MOTOR OPERATED DAMPER
		NC	NOISE CRITERIA, NORMALLY CLOSED
		NO	NORMALLY OPEN
		NO	NUMBER
		OA	OUTSIDE AIR
		OAT	OUTSIDE AIR TEMPERATURE
		OC	ON CENTER
		P	PRESSURE
		PD	PRESSURE DROP
		PSI	POUNDS PER SQUARE INCH
		RA	RETURN AIR
		REQ'D	REQUIRED
		RPM	REVOLUTIONS PER MINUTE
		RX	REMOVE EXISTING
		SA	SUPPLY AIR
		SCH	SCHEDULE
		SD	SMOKE DAMPER
		SENS	SENSIBLE
		SL	ACOUSTICAL SOUND LINING
		SP	STATIC PRESSURE
		SS	STAINLESS STEEL
		T, TEMP	TEMPERATURE
		TSTAT	THERMOSTAT
		TONS	TONS OF REFRIGERATION
		TYP	TYPICAL
		V	VOLTAGE
		VAV	VARIABLE AIR VOLUME
		VD	MANUAL VOLUME DAMPER
		VEL	VELOCITY
		VSD	VARIABLE SPEED DRIVE
		W	WITH
		WB	WET BULB
		WC	WATER COLUMN
		WG	WATER GAUGE
		WPD	WATER PRESSURE DROP

NOTE: NOT ALL SYMBOLS MAY BE USED.

NOTE: NOT ALL ABBREVIATIONS MAY BE USED.

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES

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31 Light Street, Suite #500
Baltimore, MD 21202
T 410 250 9680
MICHAELGRAVES.COM

DRAWING CHECKED BY: ALBAN

Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____

EXPIRATION DATE: _____

DocuSeal

The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

MECHANICAL GENERAL NOTES & LEGEND

NEEDWOOD MANSION

Renovation

6700 NEEDWOOD ROAD DERWOOD, MD 20855

SCALE: As Shown

DWG. #

M0.01

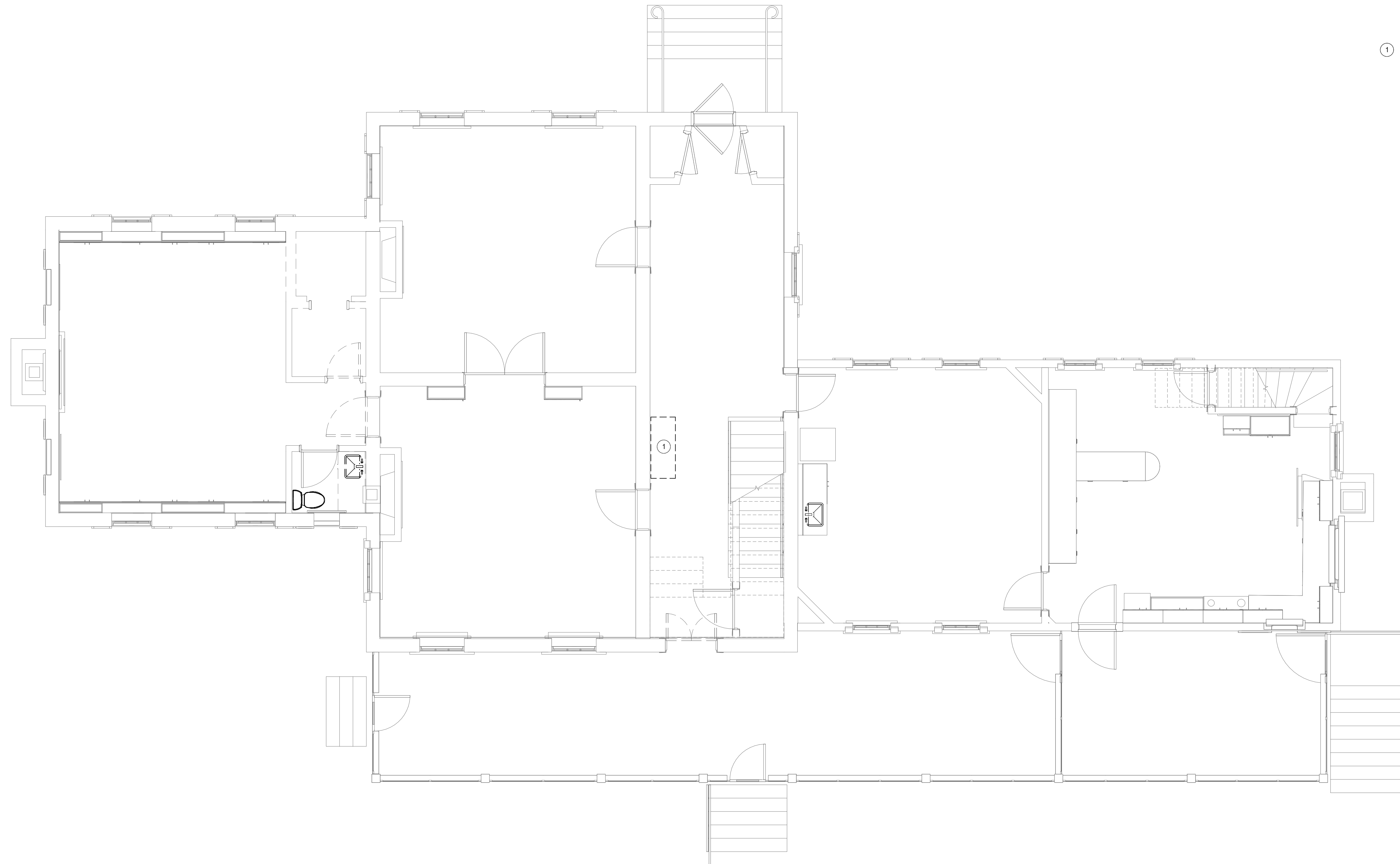
DPS PERMIT USE

GENERAL NOTES:

1. PATCH ALL HOLES, PENETRATIONS, ETC. (IN WALLS, FLOORS, ROOF, ETC.) TO MATCH MATERIALS, FINISHES, ETC. AND PAINT TO MATCH.
2. THE BUILDING IS CURRENTLY SERVED BY A HOT WATER HEATING SYSTEM WITH A BOILER LOCATED IN THE BASEMENT. THIS SYSTEM AND ASSOCIATED RADIATORS THROUGHOUT THE BUILDING ARE TO REMAIN IN USE UNLESS OTHERWISE NOTED TO BE REMOVED.
3. THE BUILDING IS CURRENTLY ONLY COOLED WITH IN-WINDOW A/C UNITS. THESE UNITS ARE TO BE REMOVED AND COOLING TO BE PROVIDED AS SHOWN ON PROPOSED PLANS.

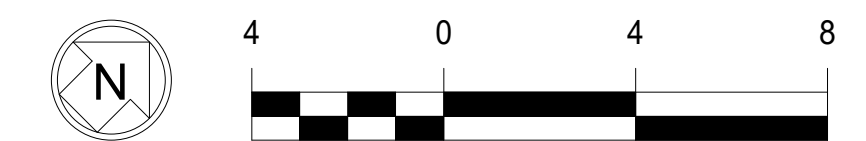
DRAWING NOTES:

- ① REMOVE AND CAP PIPING ABOVE CEILING AS NECESSARY FOR WORK ABOVE THIS AREA. REFER TO DRAWING MD1.02 FOR ADDITIONAL INFORMATION.



FLOOR PLAN - LEVEL 1 - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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FLOOR PLAN - LEVEL 1 - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

MD1.01

FINAL PLAN

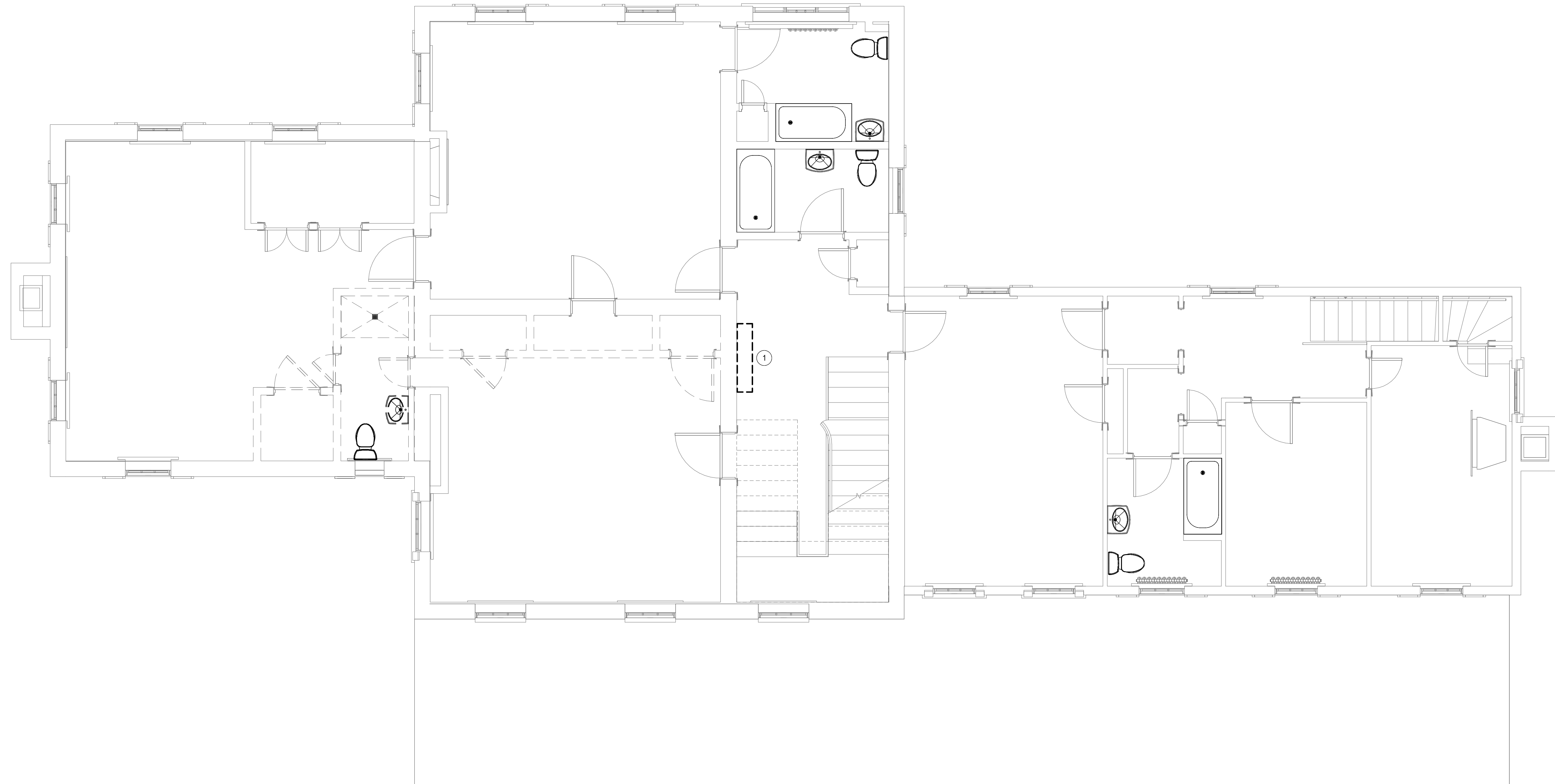
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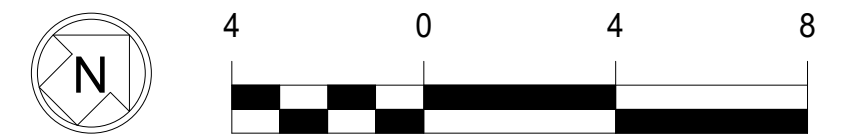
DRAWING NOTES:

- ① RX RADIATOR AND ASSOCIATED PIPING THROUGH FLOOR. CAP PIPING BELOW FLOOR.



FLOOR PLAN - LEVEL 2 - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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FLOOR PLAN - LEVEL 2 - DEMO

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Renovation
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SCALE: As Shown

DWG. #

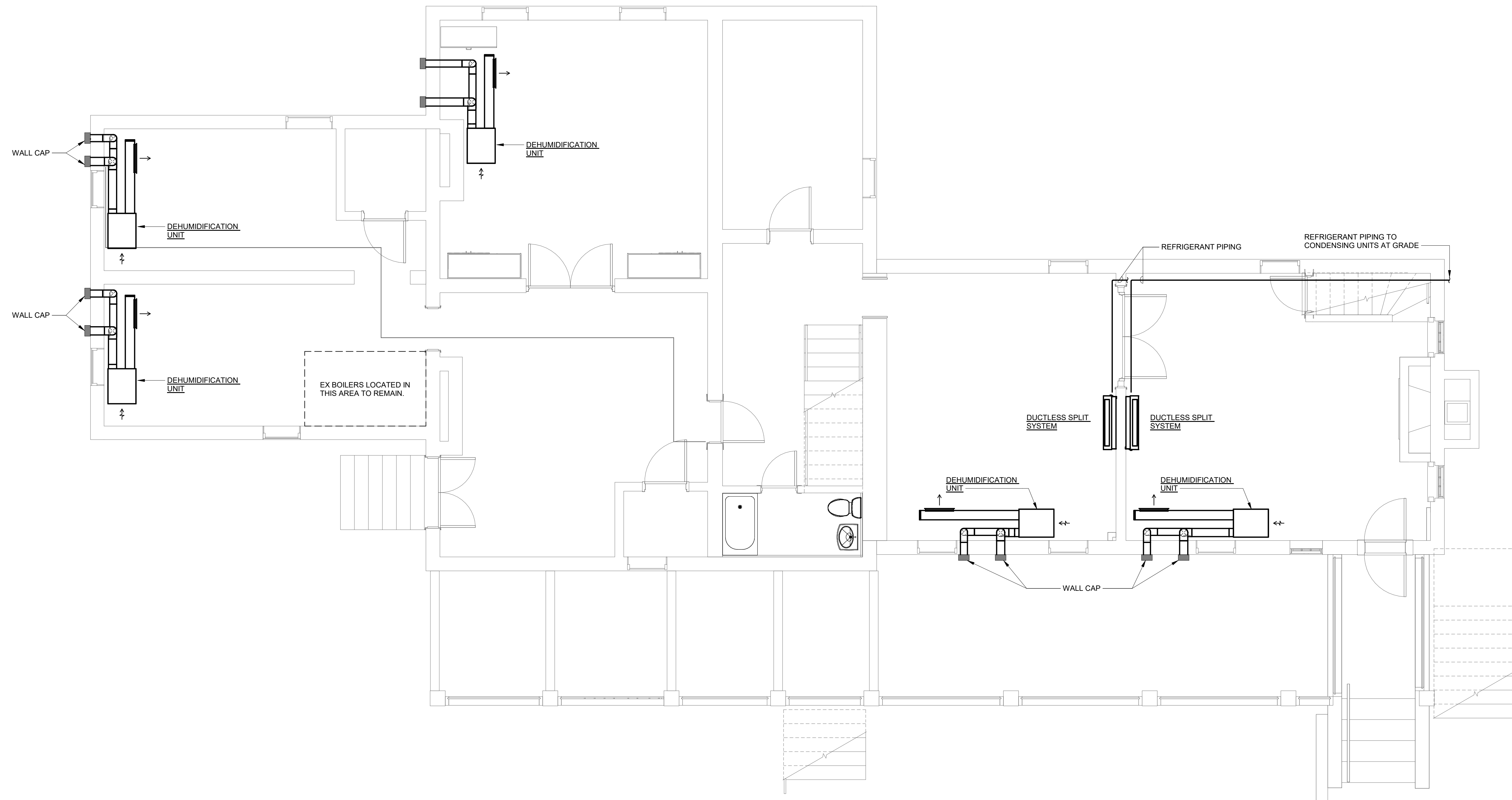
MD1.02

FINAL STAMPED

PLAN STAMPED

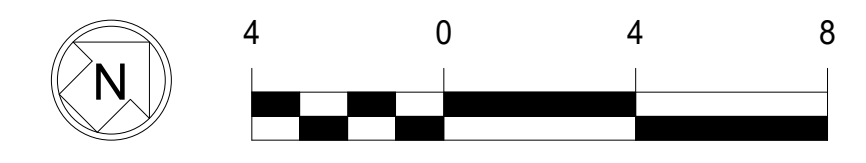
PARK CODE

DPS PERMIT USE



FLOOR PLAN - BASEMENT
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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FLOOR PLAN - BASEMENT

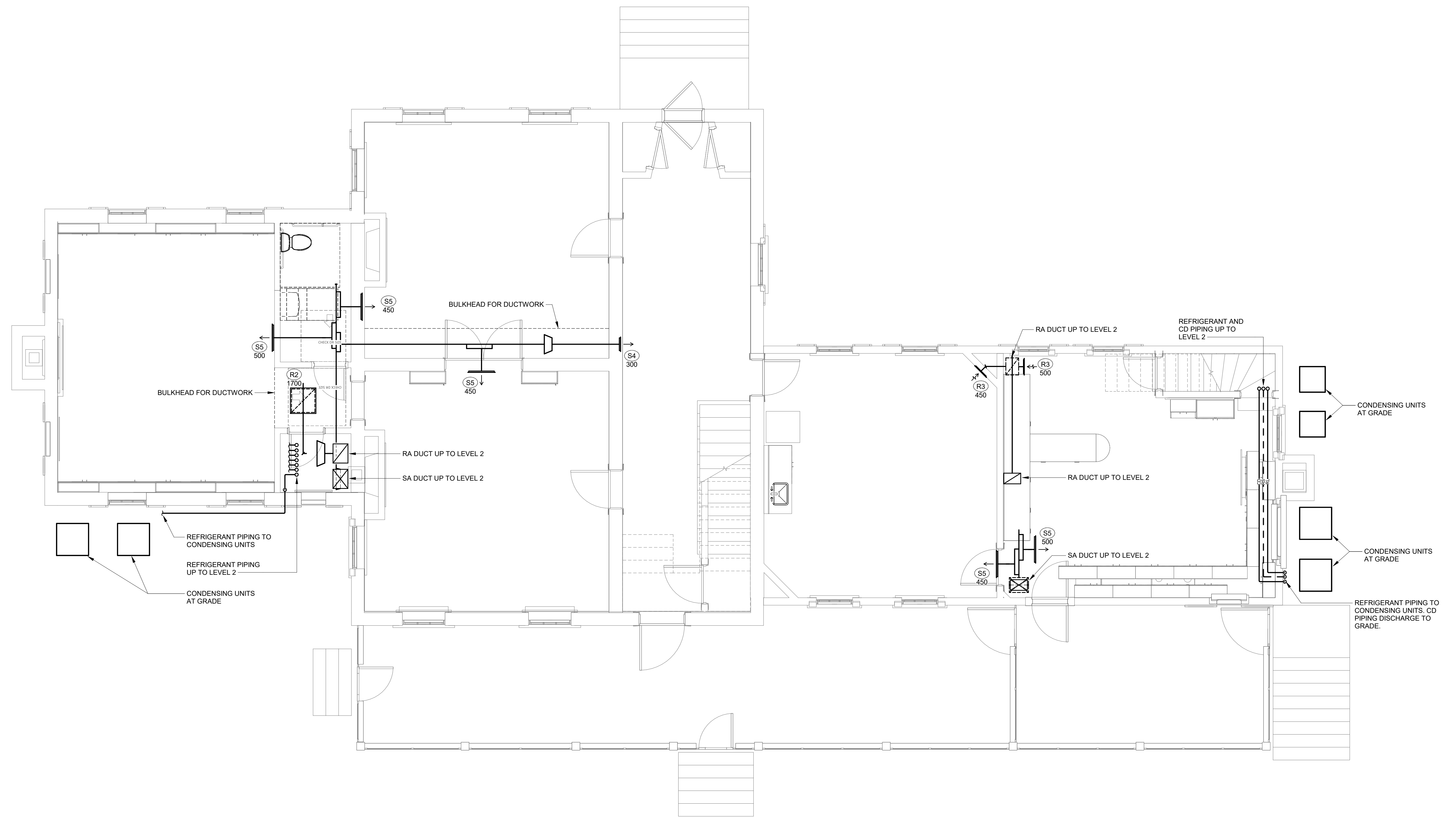
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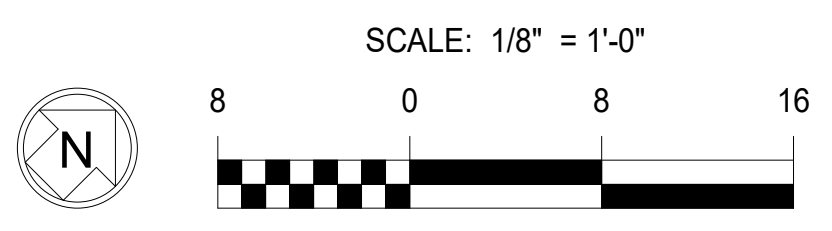
M1.00

FINAL PLAN

DPS PERMIT USE



FLOOR PLAN - LEVEL 1
1/4" = 1'-0"



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FLOOR PLAN - LEVEL 1

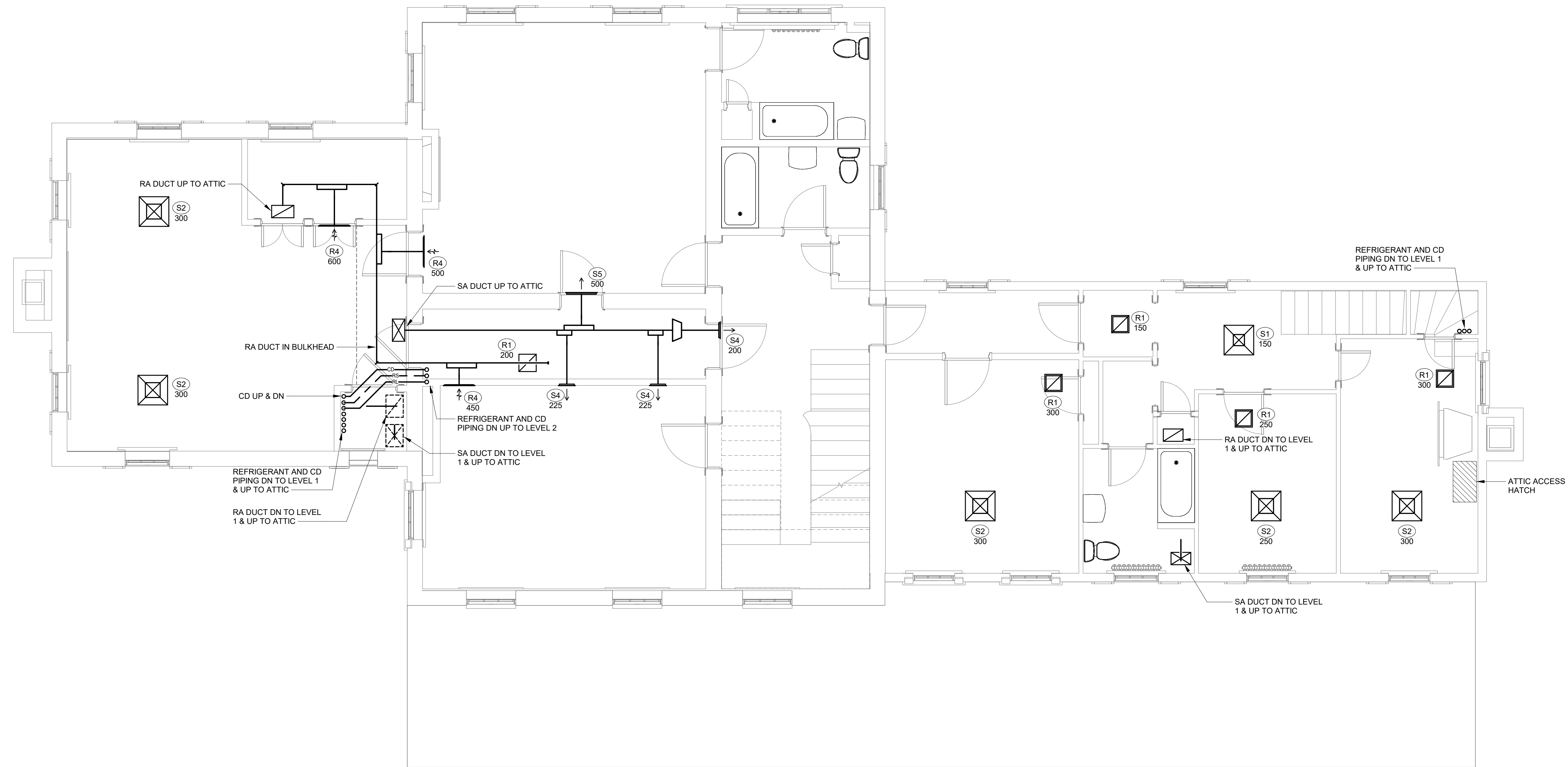
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DWG. #

M1.01

FINAL PLAN

DPS PERMIT USE



FLOOR PLAN - LEVEL 2
1/4" = 1'-0"

SCALE: 1/8" = 1'-0"



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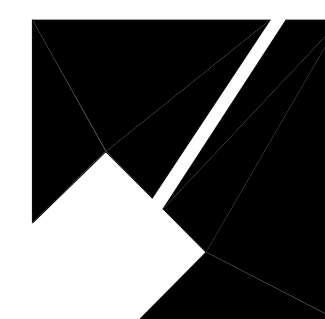
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Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved
by me, and that I am a duly licensed professional
engineer under the laws under of the State of Maryland.

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**The Maryland-National Capital
Park and Planning Commission**
Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

FLOOR PLAN - LEVEL 2

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

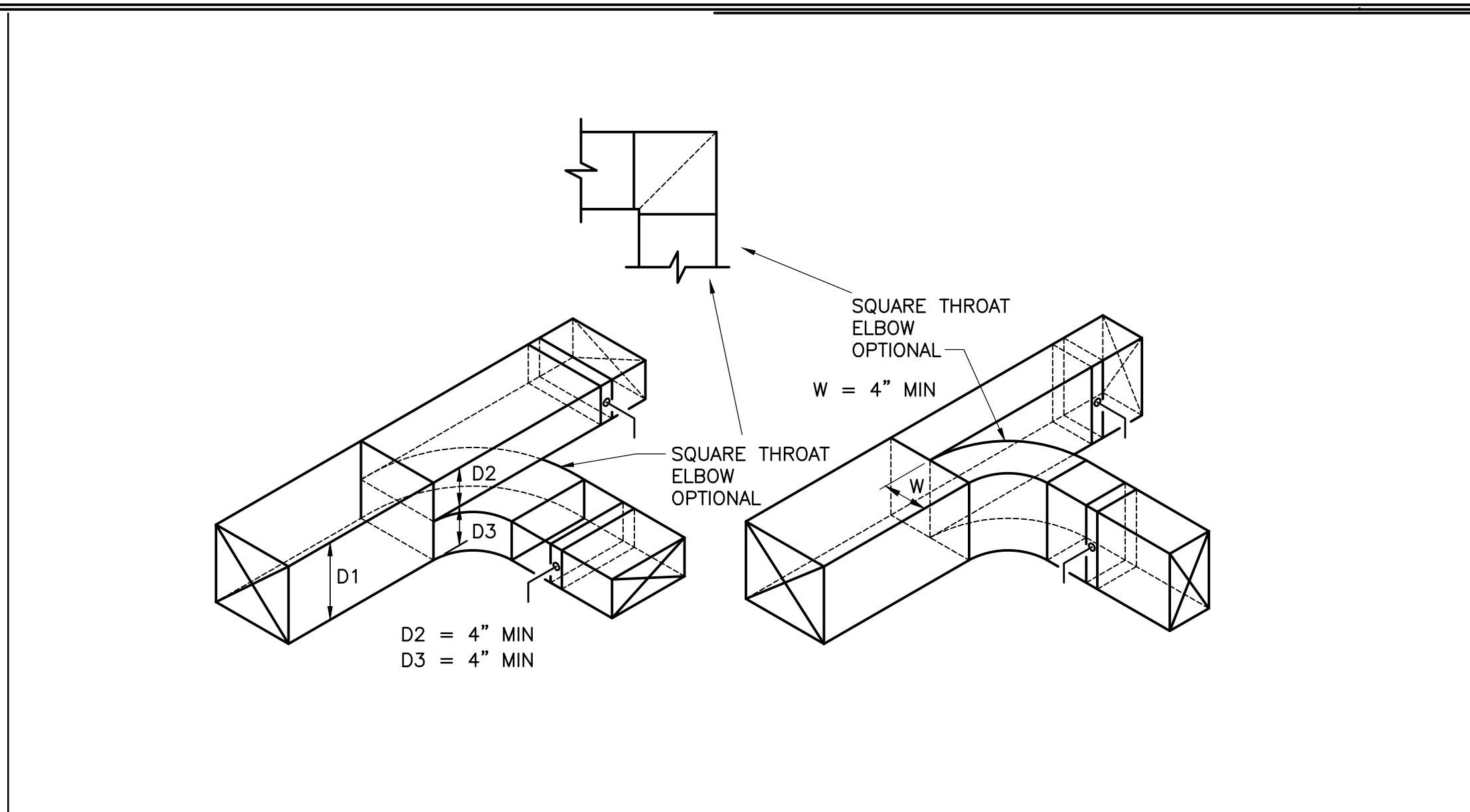
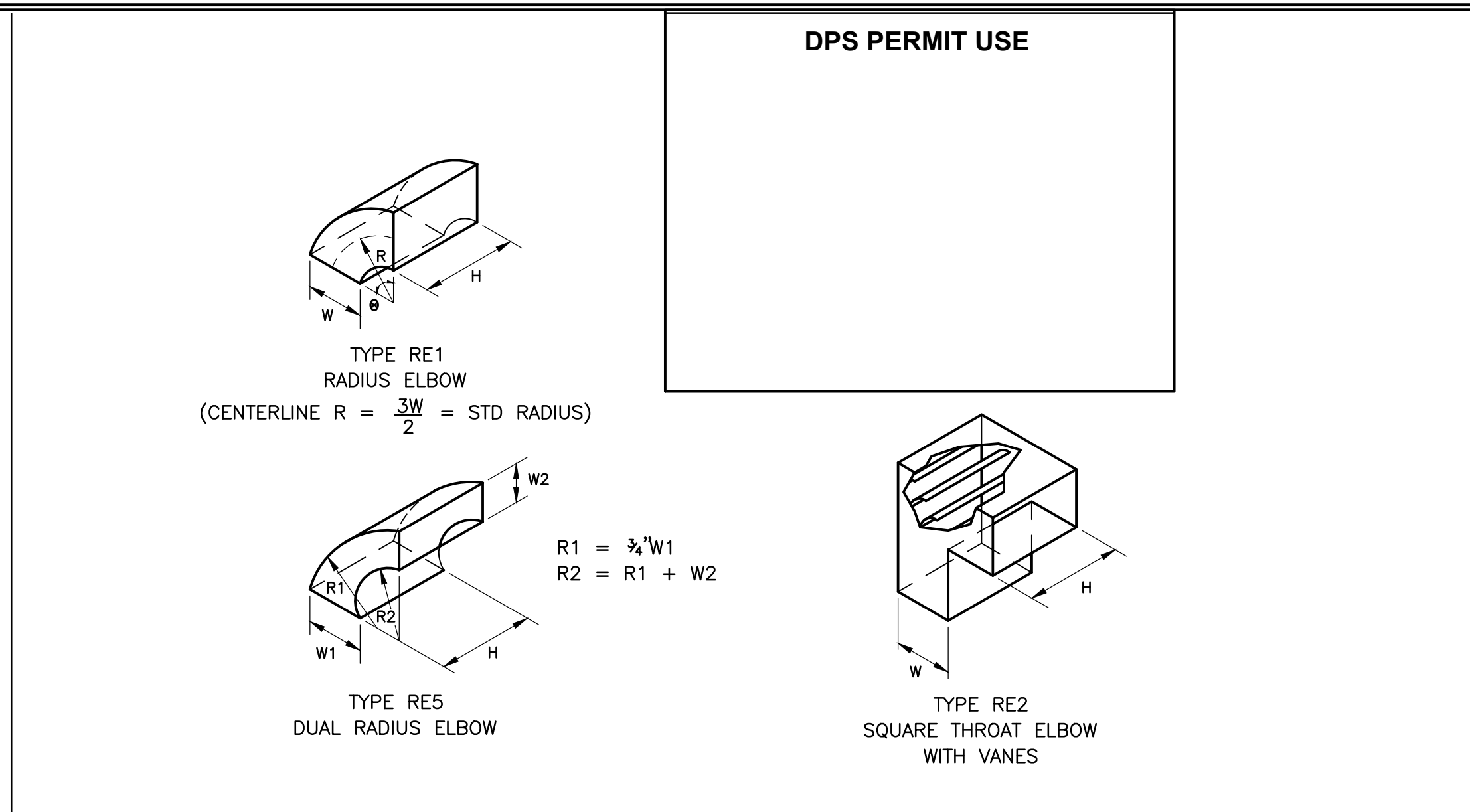
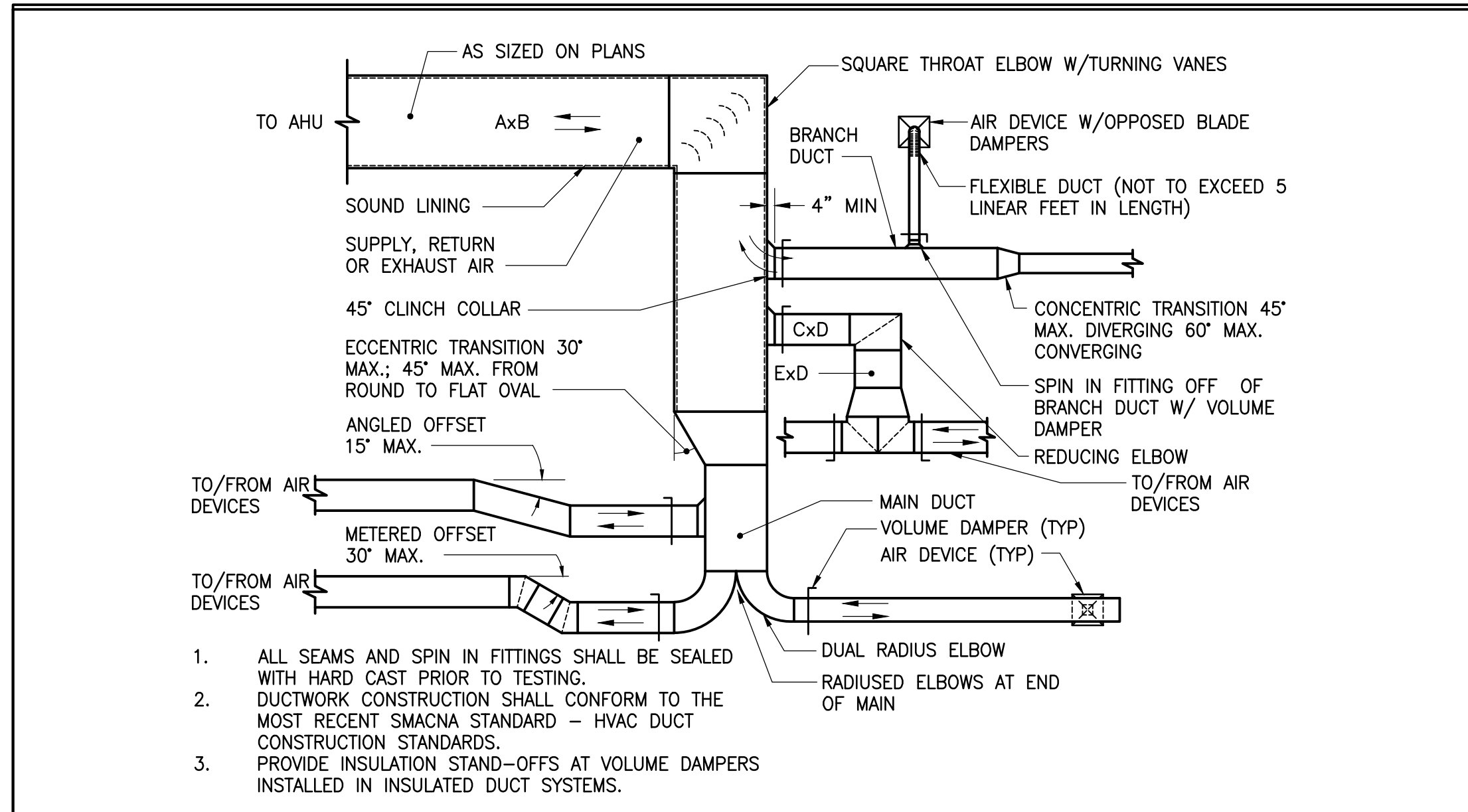
DWG. #

M1.02

FINAL DRAWING

PLAN DRAWING

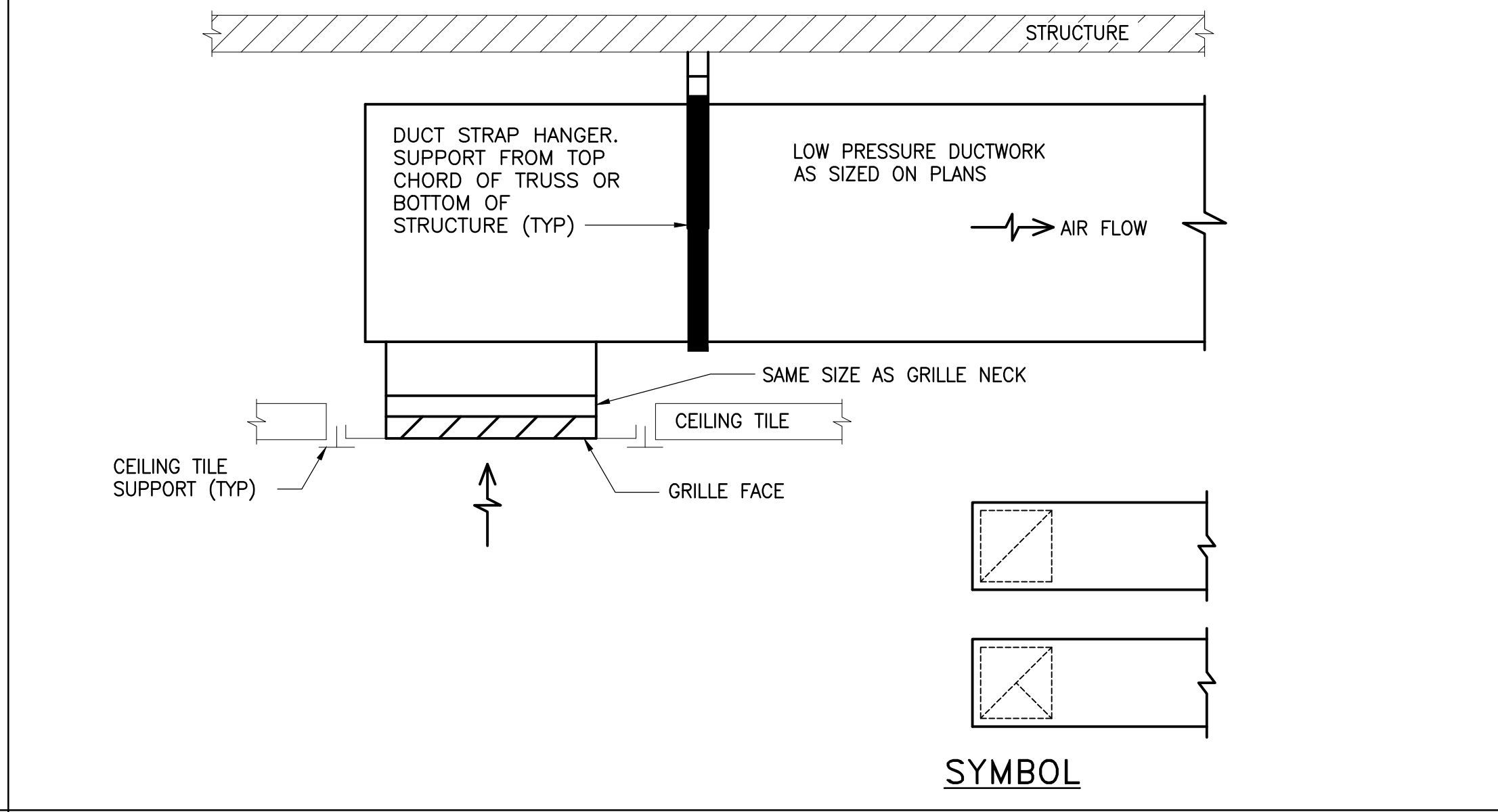
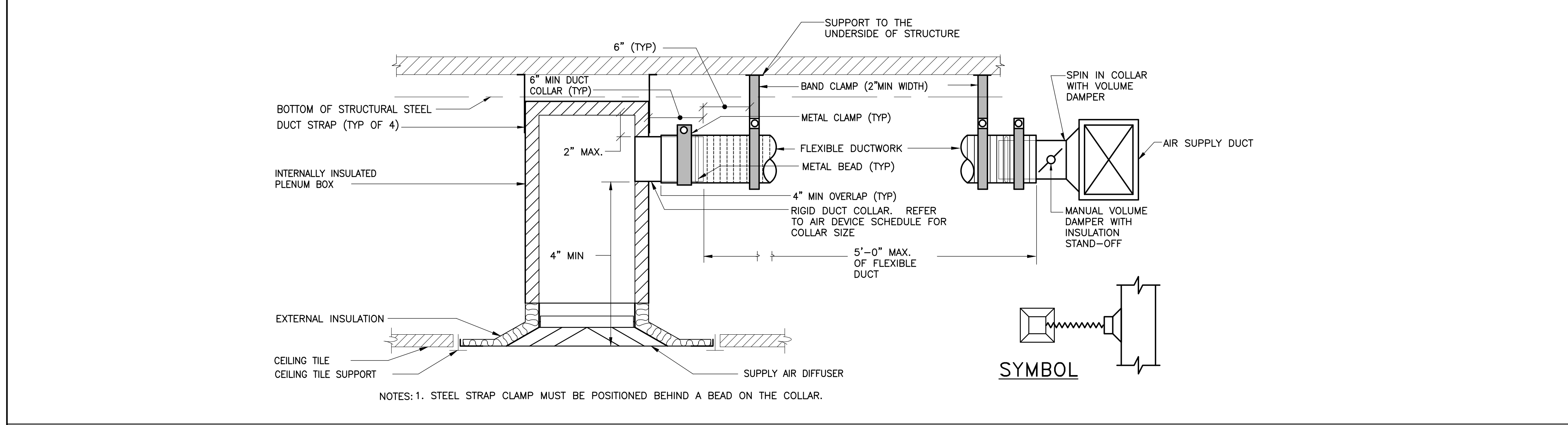
PARK CODE



1 TYPICAL DUCT OFFSET AND TRANSITION DETAILS SCALE: NONE

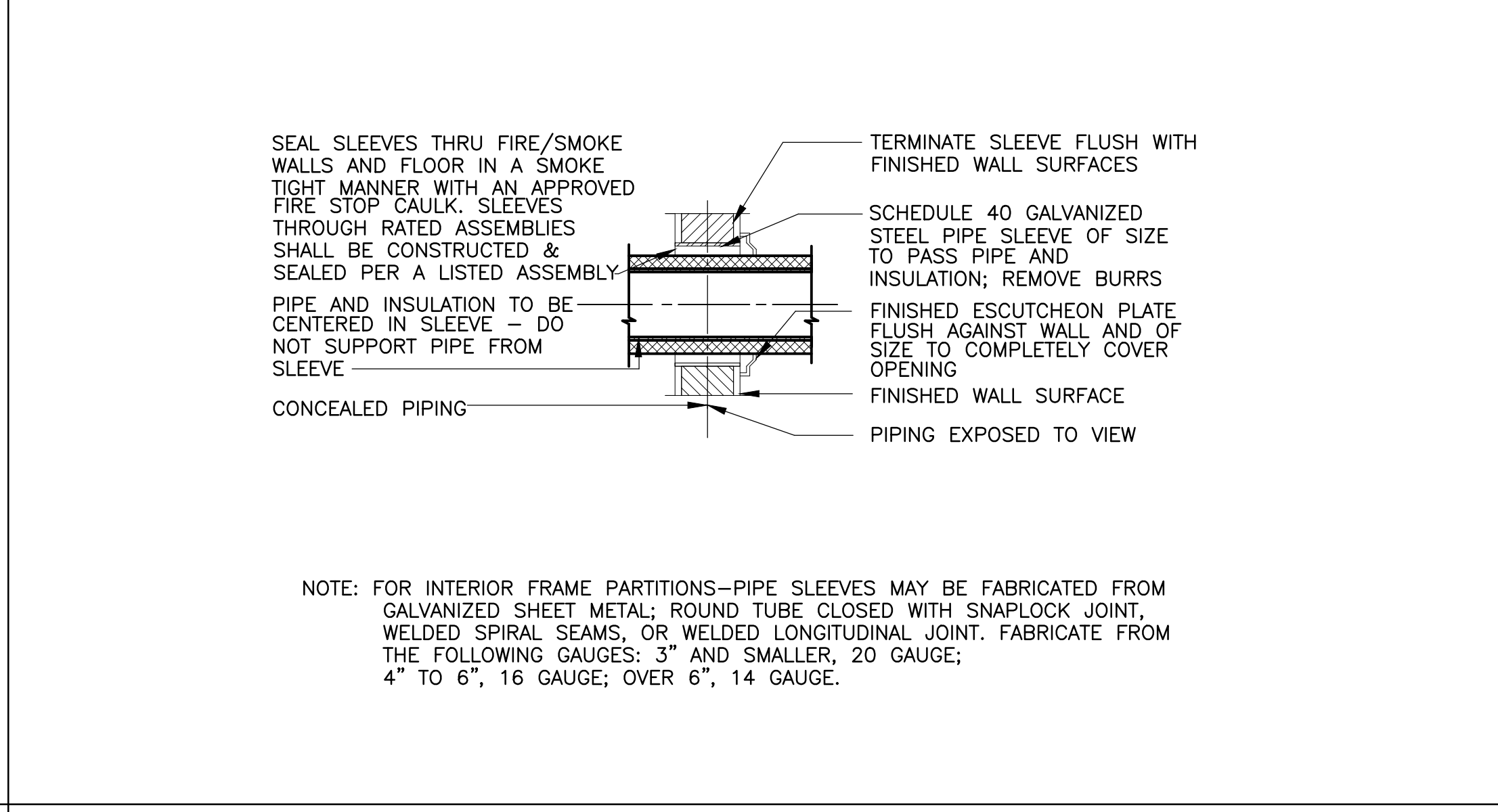
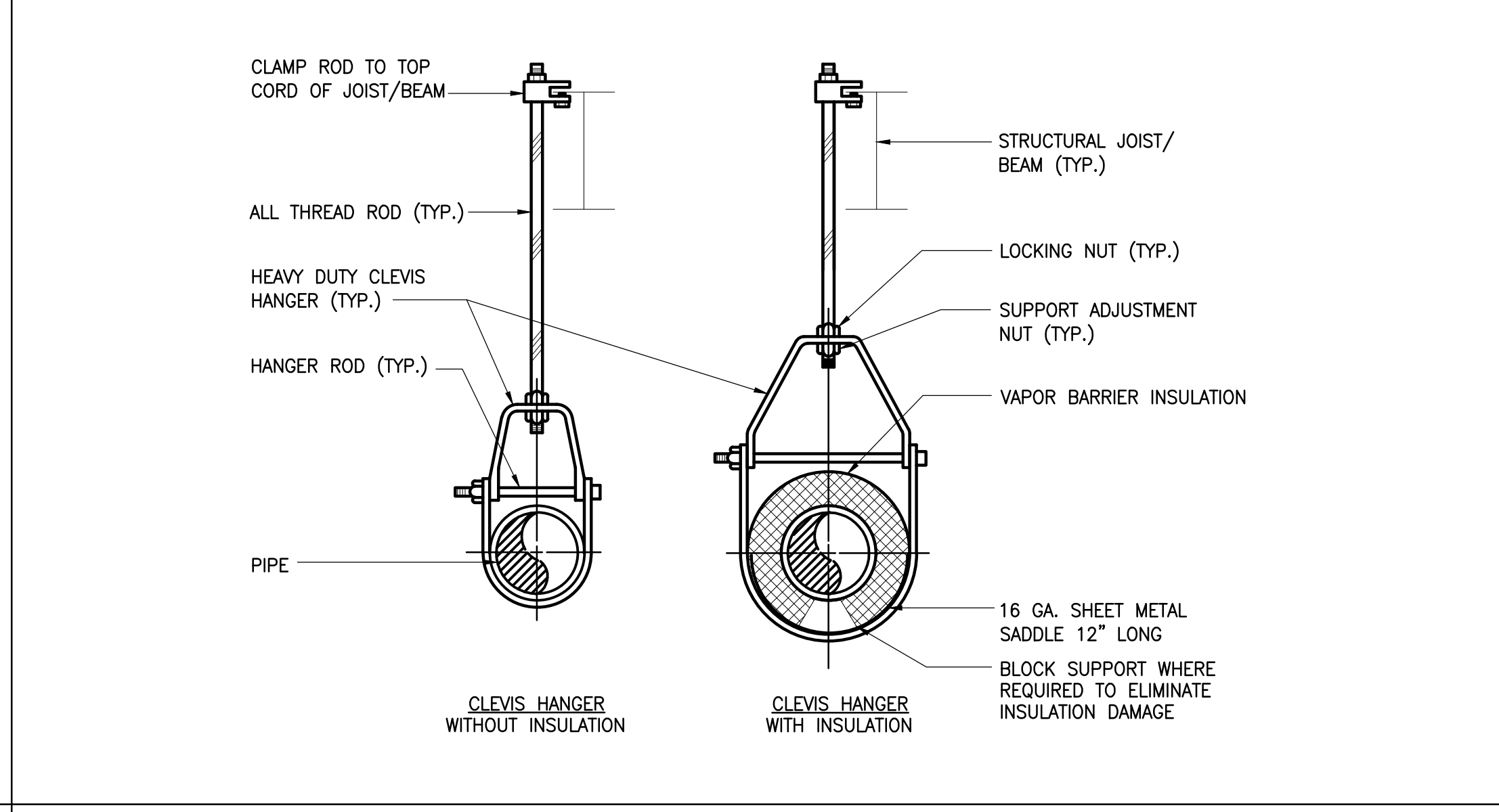
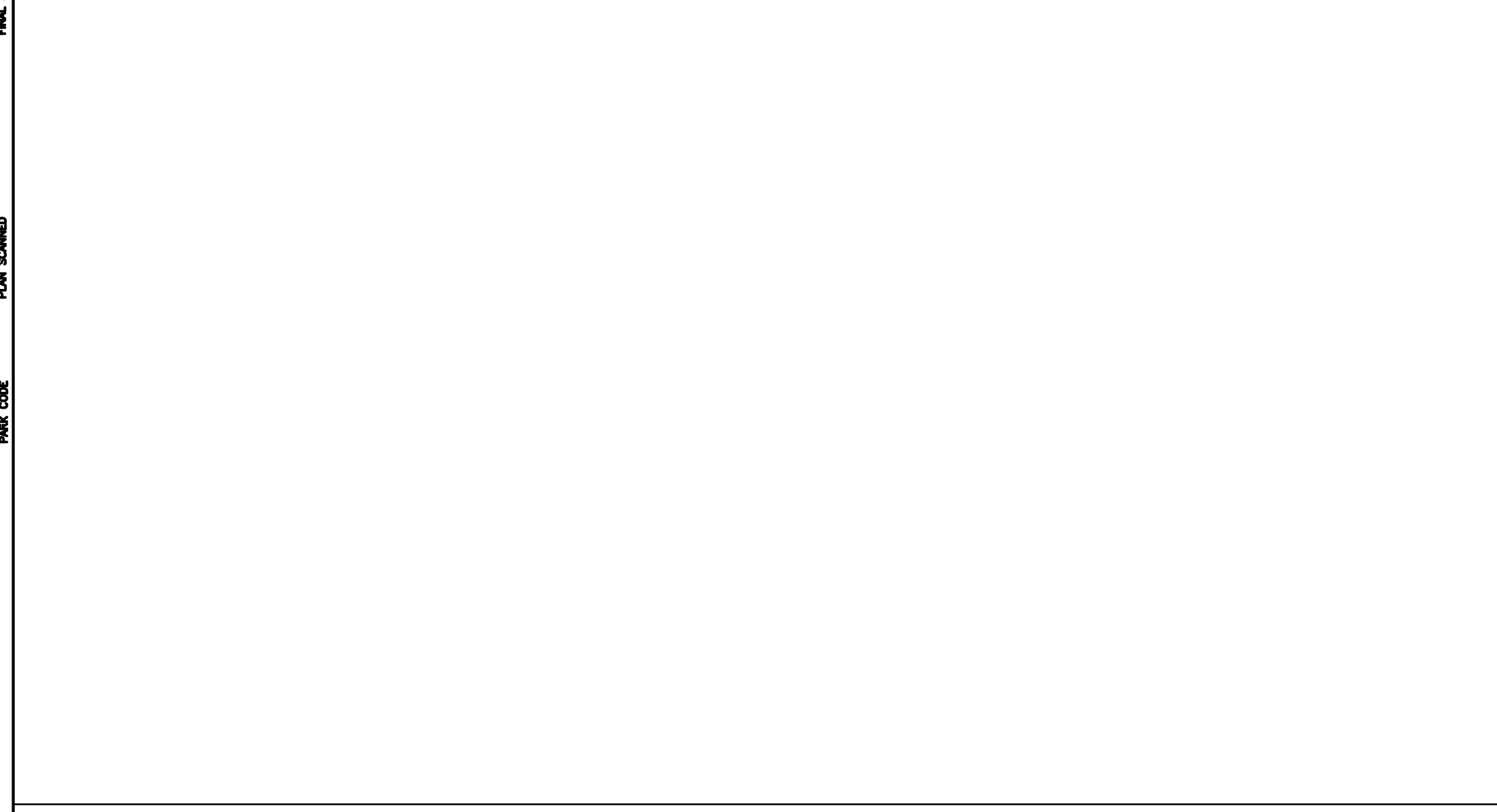
2 TYPICAL RECTANGULAR DUCT CONSTRUCTION DETAIL SCALE: NONE

3 TYPICAL PARALLEL FLOW BRANCHES DETAIL SCALE: NONE



4 TYPICAL SUPPLY AIR DEVICE INSTALLATION DETAIL SCALE: NONE

5 TYPICAL CEILING RETURN AND EXHAUST AIR DEVICE DETAIL SCALE: NONE



6 NOT USED

7 TYPICAL PIPE SUPPORT DETAIL SCALE: NONE

8 TYPICAL PIPE SLEEVE THROUGH INTERNAL WALL DETAIL SCALE: NONE

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

BALTIMORE, MD
31 Light Street, Suite #500
Baltimore, MD 21202
T 410 290 9580
MICHAELGRAVES.COM

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Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

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SUBMISSION / REVISION		
Rev. No.	Date	Description

DUCTWORK & AIR DEVICE DETAILS

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

M7.01

DPS PERMIT USE

SPLIT SYSTEM SCHEDULE

INDOOR N° (SS-X)	OUTDOOR N° (SSCU-X)	SERVICE	LOCATION		MAX CFM	REFRIGERANT TYPE	COOLING CAPACITY (BTUs)	HEATING CAPACITY (BTUs)	MAX CAPACITY FULL LOAD (TONS)	INDOOR CONDITIONS			OUTDOOR EAT DB (°F)	ELECTRIC					EMERGENCY POWER	INDOOR UNIT SIZE (L X W X H)	OUTDOOR UNIT MAX OPERATING WT (LBS)	BASED ON LG			
			EVAPORATOR	CONDENSER						EAT DB (°F)	EAT WB (°F)	INDOOR UNIT V/ø/Hz		MCA	OUTDOOR UNIT V/ø/Hz	MCA	MOCP	EVAPORATOR				CONDENSER			
1	1																								
2	2																								

- NOTES:
1. BASED ON MITSUBISHI INVERTER DRIVEN COMPRESSOR R410A REFRIGERANT AND DEHUMIDIFICATION MODE OR EQUAL
 2. LOW AMBIENT CONTROL (COOLING TO 0°F OUTDOOR AIR TEMPERATURE) AND WIND BAFFLE.
 3. SPLIT SYSTEMS LOCATED IN IDF/MDF SPACES SHALL HAVE TEMPERATURE SENSOR WITH HI-TEMP ALARM FURNISHED BY THE ATC CONTRACTOR.
 4. SPLIT SYSTEMS SHALL BE PROVIDED WITH INTEGRAL CONDENSATE PUMP MODEL MAXIBLUE ADVANCED BY BLUEDIAMOND

FAN COIL UNIT SCHEDULE

FCU-X	SERVICE	TYPE	FAN CHARACTERISTICS						ELEC. CHAR. V/ø/Hz	DX COIL COOLING CHARACTERISTICS						HEAT PUMP HEATING CHARACTERISTICS			TYPE OF CONTROL		BASED ON	FCU-X		
			CFM	O/A CFM	TYPE	#	HP	EAT (°F) DB		LAT (°F) WB	MAX FACE VEL	MAX APD (IN H ₂ O)	SENS CAP (MBH)	TOTAL CAP (MBH)	EAT (°F)	LAT (°F)	TOTAL CAP (MBH)	HEATING/COOLING	METHOD OF CONTROL					
1																								1
2																								2
3																								3
4																								4
5																								5

- NOTES: 1. ATC CONTRACTOR TO PROVIDE ALL CONTROLS AND COORDINATE WITH MANUFACTURE

FAN SCHEDULE

FAN # (F-X)	AREA SERVED	INTERLOCK	CHARACTERISTICS								TYPE	BASED ON (GREENHECK)			
			CFM	ESP (IN H ₂ O)	FRPM	DRIVE TYPE	MOTOR		ELECTRICAL						
										HP	TYPE	V/ø/Hz	EMERGENCY POWER		
1															
2															
3															
4															

- NOTES: 1. TSTAT=THERMOSTAT; HSTAT=HUMIDISTAT; SW=SWITCH; SP=STATIC PRESSURE, TD=WITH 15 MINUTE TIME DELAY
 2. PROVIDE FACTORY MOUNTED DISCONNECT SWITCH FOR ALL EXHAUST FANS, COORDINATING REQUIREMENTS AND INTERLOCKS WITH ELECTRICAL.
 3. REFER TO CONTROL DIAGRAMS FOR SPECIFIC SEQUENCES OF OPERATION AND INTERLOCK ARRANGEMENTS.

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MICHAEL GRAVES

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SUBMISSION / REVISION

Rev. No.	Date	Description

MECHANICAL SCHEDULES

NEEDWOOD MANSION
 Renovation
 6700 NEEDWOOD ROAD DERWOOD, MD 20855
 SCALE: As Shown

DWG. #

M9.01

PLAN SCHEDULE

PLAN SCHEDULE

PLAN SCHEDULE

DPS PERMIT USE

ABBREVIATIONS:

A	AMPERE, AMPERES
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
AIC	AMPERE INTERRUPTING CAPACITY
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
B.O.D.	BASIS OF DESIGN
BLC	BUILDING LIGHTING CONTROL PANEL
CATV	CABLE TELEVISION
CCTV	CLOSED CIRCUIT TELEVISION
C	CONDUIT
CB	CIRCUIT BREAKER
DWG	DRAWING
ECB	ENCLOSED CIRCUIT BREAKER
EF	EXHAUST FAN
EPO	EMERGENCY POWER OFF
ETR	EXISTING TO REMAIN
EWC	ELECTRIC WATER COOLER
EX	EXISTING
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FAFP	FIRE ALARM CONTROL PANEL
FLA	FULL LOAD AMPERES
FSS	FUSED SAFETY SWITCH
G	GROUND
GFEP	GROUND FAULT EQUIPMENT PROTECTION
GFI	GROUND FAULT INTERRUPTING
HOA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HWG	HOT WATER HEATER GENERATOR
IDF	INTERMEDIATE DISTRIBUTION FRAME
IMC	INTERMEDIATE METAL CONDUIT
KCMIL	THOUSAND CIRCULAR MILS
KVA	KILOVOLT-AMPERES
KW	KILOWATT
LFS	LIGHT FIXTURE SCHEDULE
LOS	LIGHTING OVERRIDE SWITCH
LRA	LOCKED ROTOR AMPERES
LMS	LUMENS
MCA	MINIMUM CIRCUIT AMPERES
MCB	MAIN CIRCUIT BREAKER
MDF	MAIN DISTRIBUTION FRAME
MLO	MAIN LUGS ONLY
MPOP	MAIN POINT OF PRESENCE
MSB	MAIN SWITCHBOARD
MTD	MOUNTED
MH	MOUNTING HEIGHT/MANHOLE
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
N.L.P.	NETWORKED LIGHTING CONTROL PANEL
NFSS	NON-FUSED SAFETY SWITCH
NO	NUMBER
OS	OCCUPANCY SENSOR
OC	ON CENTERS
P	POLE, POLES
Ø	PHASE
PNL	PANEL
PVC	POLYVINYL CHLORIDE
RAF	RETURN AIR FAN
RGS	RIGID GALVANIZED STEEL
RX	REMOVE EXISTING
SSBJ	SUPPLY SIDE BONDING JUMPER
TYP	TYPICAL
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
UH	UNIT HEATER
VS	VACANCY SENSOR
V	VOLT, VOLTS
VR	VANDAL RESISTANT
WP	WEATHERPROOF
W	WATTS, WIRE, WIRES
XFMR	TRANSFORMER
TTB	TELEPHONE TERMINAL BOARD
UTP	UNSHIELDED TWISTED PAIR
U.O.N.	UNLESS OTHERWISE NOTED

GENERAL NOTES:

- THE ELECTRICAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE DRAWINGS OF ALL OTHER TRADES ON THE PROJECT. ELECTRICAL OR SYSTEMS CONNECTIONS INDICATED ON ARCHITECTURAL, MECHANICAL, CIVIL, STRUCTURAL, KITCHEN AND ALL OTHER DRAWINGS WHICH ARE PART OF THIS PROJECT, SHALL BE CONSIDERED A PART OF THIS CONTRACT AND SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND AS SUCH SHALL NOT BE SCALED. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF DEVICES AND EQUIPMENT AND DIMENSIONAL INFORMATION PRIOR TO ROUGH-IN. COORDINATE LOCATIONS OF MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN OF SERVICE EQUIPMENT AND WIRING.
- COORDINATE MOUNTING HEIGHTS OF ALL DEVICES WITH ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS AND CASEWORK DRAWINGS.
- COORDINATE WALLS THAT ARE TO REMAIN AND NEW WALLS WITH ARCHITECTURAL PLANS.
- WIRING AND CONDUIT SIZES INDICATED IN PANEL SCHEDULES ARE MINIMUM ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT WIRING AND CONDUIT SIZES. CONTRACTOR SHALL PROVIDE SPLICE BLOCKS AND REDUCING PINS AS REQUIRED TO TERMINATE WIRING AND MAKE FINAL CONNECTIONS.
- ELECTRICAL BOXES IN FIRE RATED PARTITIONS SHALL NOT EXCEED 16 SQUARE INCHES IN AREA (IF 4"x4"), SHALL BE MADE OF STEEL, AND SHALL BE SUCH THAT THE CUMULATIVE AREA OF BOX "CUTOUTS" IN THE FIREWALL DOES NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. ELECTRICAL BOXES ON OPPOSITE SIDES OF THE SAME FIREWALL SHALL BE SEPARATED BY A HORIZONTAL AND VERTICAL DISTANCE OF NOT LESS THAN 24 INCHES. THE ELECTRICAL CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS, AS NECESSARY, TO ELECTRICAL BOX LOCATIONS TO ENSURE COMPLIANCE WITH THIS REQUIREMENT SINCE BOX LOCATIONS ARE TYPICALLY NOT DIMENSIONED ON THE DRAWINGS. CONSULT ARCHITECT IF CLARIFICATION IS REQUIRED.
- ALL CONDUIT SHALL BE CONCEALED IN WALLS, FLOORS, ABOVE CEILING OR THROUGH MILLWORK. AT TIMES CONDUIT ROUTING IS SHOWN FOR CLARITY AND IN NO WAY PROVIDES THE CONTRACTOR ABILITY TO NOT PROVIDE CONCEALED CONDUIT AT ANY POINT OTHER POINT NOT SHOWN IN THE BUILDING. REFER TO SPECIFICATIONS FOR CONDUIT AND WIRING REQUIREMENTS BASED ON APPLICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT ROUTING OF WIRING AND CONDUITS AND SHALL BE RESPONSIBLE FOR SIZING ALL BRANCH CIRCUIT WIRING TO LIMIT VOLTAGE DROP TO 3%. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE WIRING PER NEC.

DEMOLITION NOTES: [PARTIAL DEMO]

- DEMOLITION DRAWING IS DIAGRAMMATIC IN NATURE; AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING ELECTRICAL WORK IN AREAS INDICATED TO BE RENOVATED. ALL EXISTING ELECTRICAL WORK IS TO REMAIN UNLESS OTHERWISE NOTED. WHEN AN ITEM IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED ELECTRICAL WORK BACK TO POINT OF SOURCE.
- WHERE WORK PASSES THROUGH THE RENOVATION AREA TO SERVE OTHER PORTIONS OF THE BUILDING, OR WORK IN THE RENOVATION AREA INDICATED TO REMAIN, IT SHALL BE SUITABLY RELOCATED AND THE SYSTEMS RESTORED TO NORMAL. COORDINATE ANY OUTAGES WITH OWNER 7 DAYS IN ADVANCE.
- WHEN A RECEPTACLE SHOWN TO BE DEMOLISHED INTERRUPTS AN ETR CIRCUIT, CONTRACTOR SHALL RE-ROUTE WIRING AS REQUIRED TO KEEP CIRCUIT IN USE.
- WORK INDICATED TO REMAIN SHALL BE SUITABLY PROTECTED AGAINST DAMAGE.
- DISPOSE OF ALL PCB CONTAINING FLUORESCENT AND HID BALLASTS IN ACCORDANCE WITH EPA, DOT, STATE AND LOCAL REGULATIONS. IF THE PCB CONTENT IS NOT STATED ON THE BALLAST LABEL, THE BALLAST LABEL SHALL BE HANDLED AS A PCB BALLAST. DISPOSE OF ALL FLUORESCENT, INCANDESCENT AND HID LAMPS IN ACCORDANCE WITH EPA, DOT, STATE AND LOCAL REGULATIONS.
- ALL PA PHONES AND PA HEAD EQUIPMENT SHALL BE TURNED OVER TO OWNER.
- COORDINATE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES WITH THE OWNER TO MINIMIZE DISRUPTION OF THE NORMAL DAILY FUNCTIONING OF THE OWNERS OCCUPIED AREAS.
- REFER TO ARCHITECTURAL FLOOR PLANS FOR EXISTING WALLS. ALL NEW DEVICES LOCATED ON EXISTING WALLS SHALL BE FISHED TO BE INSTALLED CONCEALED AND FLUSH TO THE WALL; IF FISHING CANNOT OCCUR, PROVIDE APPROPRIATE SERIES WIREMOLD TO SURFACE MOUNTED DEVICES.
- ALL REMOVED DEVICE WALL PENETRATIONS SHALL BE PATCHED AND PAINTED TO MATCH EXISTING WALL COLOR OR WALL COLOR PER ARCHITECT'S DIRECTION.

OUTLETS

- DUPLEX RECEPTACLE; TAMPER RESISTANT 2P, 3W, 20A, 125V, NEMA 5-20R; MOUNT AT 18" A.F.F. U.O.N. SUBSCRIPT DENOTES INDICATES BRANCH CIRCUIT CONNECTION. REFER TO SPECIFICATIONS AND THIS DRAWING FOR WIRE AND CONDUIT REQUIREMENTS.
- DOUBLE DUPLEX RECEPTACLE; TAMPER RESISTANT 2P, 3W, 20A, 125V, NEMA 5-20R; MOUNT AT 18" A.F.F. U.O.N. SUBSCRIPTS: USB - PROVIDE USB IN FACEPLATE
- DUPLEX RECEPTACLE; TAMPER RESISTANT 2P, 3W, 20A, 125V, NEMA 5-20R; GROUND FAULT INTERRUPTER MOUNT AT 18" A.F.F. U.O.N.
- SPECIAL RECEPTACLE; TYPE AS NOTED; MOUNT AT 18" A.F.F. U.O.N.
- SLASH INDICATES DEVICE TO BE MOUNTED AT 42" A.F.F. OR 6" ABOVE COUNTER U.O.N.
- DUPLEX RECEPTACLE; 2P, 3W, 20A, 125V, NEMA 5-20R; WEATHER RESISTANT, GROUND FAULT INTERRUPTER WITH WHILE IN-USE WEATHERPROOF COVER; MOUNT AT 18" A.F.F. U.O.N.

POWER

- PANELBOARD; RECESSED, SURFACE MOUNTED. MOUNT AT 5'-6" A.F.F. TO TOP OF PANEL.
- SINGLE POLE MANUAL MOTOR STARTING SWITCH WITH HOA SWITCH; MOUNT AT 48" A.F.F. IN NEMA 1 ENCLOSURE U.O.N.
- MOTOR; TYPE AS NOTED.
- SAFETY DISCONNECT SWITCH - FUSED, NON-FUSED. MOUNT AT 48" A.F.F. U.O.N. FUSED AS NOTED. REFER TO SPECIFICATION FOR NEMA RATING.
- ENCLOSED CIRCUIT BREAKER. MOUNT AT 5'-6" A.F.F. TO TOP U.O.N. FUSE SIZE AS NOTED. REFER TO SPECIFICATIONS FOR NEMA RATING.
- JUNCTION BOX - CEILING MOUNTED, WALL MOUNTED. TYPE AS NOTED.

FIRE ALARM

- FIRE ALARM PULL STATION. MOUNT AT 48" A.F.F.
- SMOKE DETECTOR.
- DUCT TYPE SMOKE DETECTOR. PROVIDE EACH DUCT DETECTOR WITH REMOTE TEST SWITCH. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- HEAT DETECTOR.
- COMBINATION SMOKE/FIRE DAMPER. PROVIDE MONITOR MODULE FOR SMOKE DETECTOR FURNISHED WITH UNIT AND 120/24V TRANSFORMER WITH PRIMARY AND SECONDARY FUSING FOR POWER CONNECTION TO DAMPER AS REQUIRED.

LIGHTING

- LIGHT FIXTURE. TYPE AS SPECIFIED. REFER TO LIGHT FIXTURE SCHEDULE.
- WALL MOUNTED LIGHT FIXTURE - TYPE AS SPECIFIED. REFER TO LIGHT FIXTURE SCHEDULE.
- EXIT SIGNAGE - CEILING MOUNTED, WALL MOUNTED 6" ABOVE DOOR. SHADING INDICATES ILLUMINATED FACE. DIRECTIONAL ARROWS AS INDICATED.

SWITCHES

- LINE VOLTAGE TOGGLE SWITCH. MOUNT AT 48" A.F.F. U.O.N.
- THREE WAY LINE VOLTAGE TOGGLE SWITCH. MOUNT AT 48" A.F.F. U.O.N.

TELECOMMUNICATIONS

- DATA OUTLET - (1) RJ45 MODULAR JACK. MOUNT AT 18" A.F.F. U.O.N. SUBSCRIPT 'C' INDICATES DEVICE TO BE MOUNTED AT 42" A.F.F. OR 6" ABOVE COUNTER U.O.N.
- CEILING MOUNTED WIRELESS ACCESS POINT OUTLET. (1) CAT6 CABLE TERMINATED IN MALE RJ4 CONNECTOR ABOVE CEILING.

CONDUIT

- HOMERUN TO PANELBOARD; REFER TO PANEL SCHEDULES FOR MINIMUM WIRE AND CONDUIT SIZES.
- BRANCH CIRCUIT CONDUIT AND WIRING CONCEALED IN CEILING OR WALL SPACE, OR SURFACE MOUNTED WHERE NO CEILING OR WALL SPACE EXISTS. REFER TO PANEL SCHEDULES FOR MINIMUM WIRE AND CONDUIT SIZES.
- BRANCH CIRCUIT CONDUIT AND WIRING IN SLAB, UNDER FLOOR OR UNDERGROUND. REFER TO PANEL SCHEDULES FOR MINIMUM WIRE AND CONDUIT SIZES.

MISCELLANEOUS

- REFERENCE TO DRAWING NOTE.
- DETAIL REFERENCE: DETAIL NUMBER/DRAWING NUMBER
- ITEMS SHOWN DASHED/HEAVY ARE TO BE REMOVED.
- ITEMS SHOWN SOLID/LIGHT ARE EXISTING TO REMAIN.
- ELEVATION VIEW REFERENCE.

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION



BALTIMORE, MD
31 Light Street, Suite #500
Baltimore, MD 21202
T 410 250 9680
MICHAELGRAVES.COM


DRAWING CHECKED BY: ALBAN		
Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

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The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks
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(301) 495-2535

SUBMISSION / REVISION		
Rev. No.	Date	Description

ELECTRICAL LEGEND

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

E0.01

PLAN: 25/2024 PLAN: 25/2024 PARK CODE

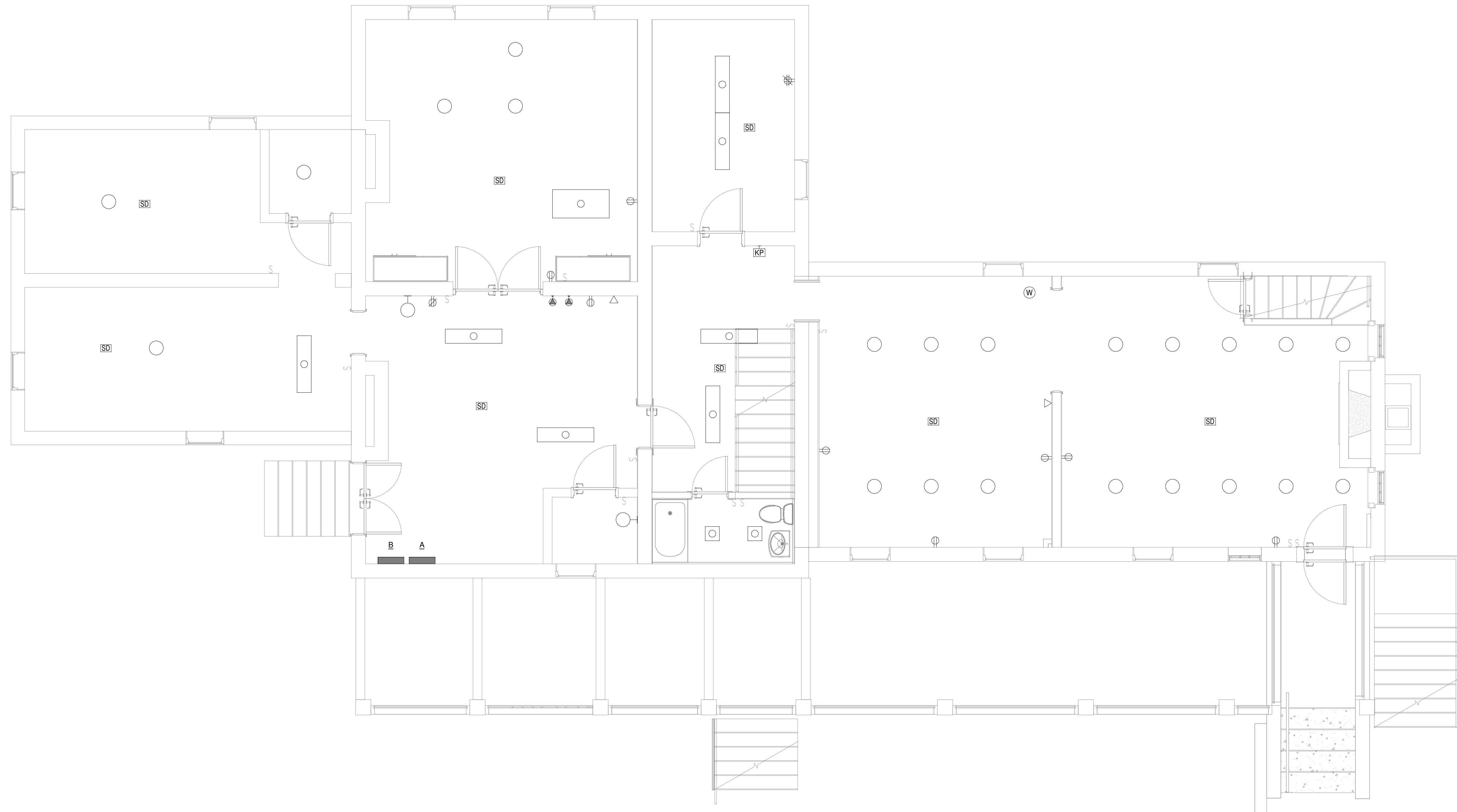
DPS PERMIT USE

GENERAL NOTES:

1. REMOVE AND REINSTALL CEILING DEVICES AS NECESSARY TO ACCOMMODATE ANY MECHANICAL/PLUMBING WORK.
2. PATCH/SEAL ALL PENETRATIONS TO MATCH EXISTING WALLS.

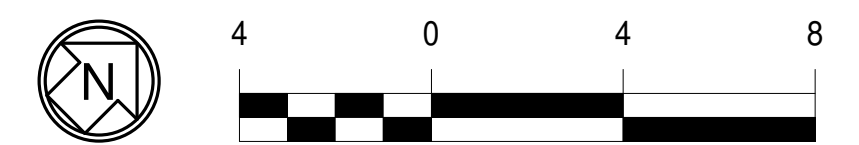
DRAWING NOTES:

1 ...



FLOOR PLAN - BASEMENT - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



DESIGN PROFESSIONAL / FIRM(S) LOGO
AND CONTACT INFORMATION

**MICHAEL
GRAVES**

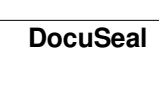
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FLOOR PLAN - BASEMENT - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

ED1.00

FINAL PLAN
PLAN STAMPED
PARK CODE

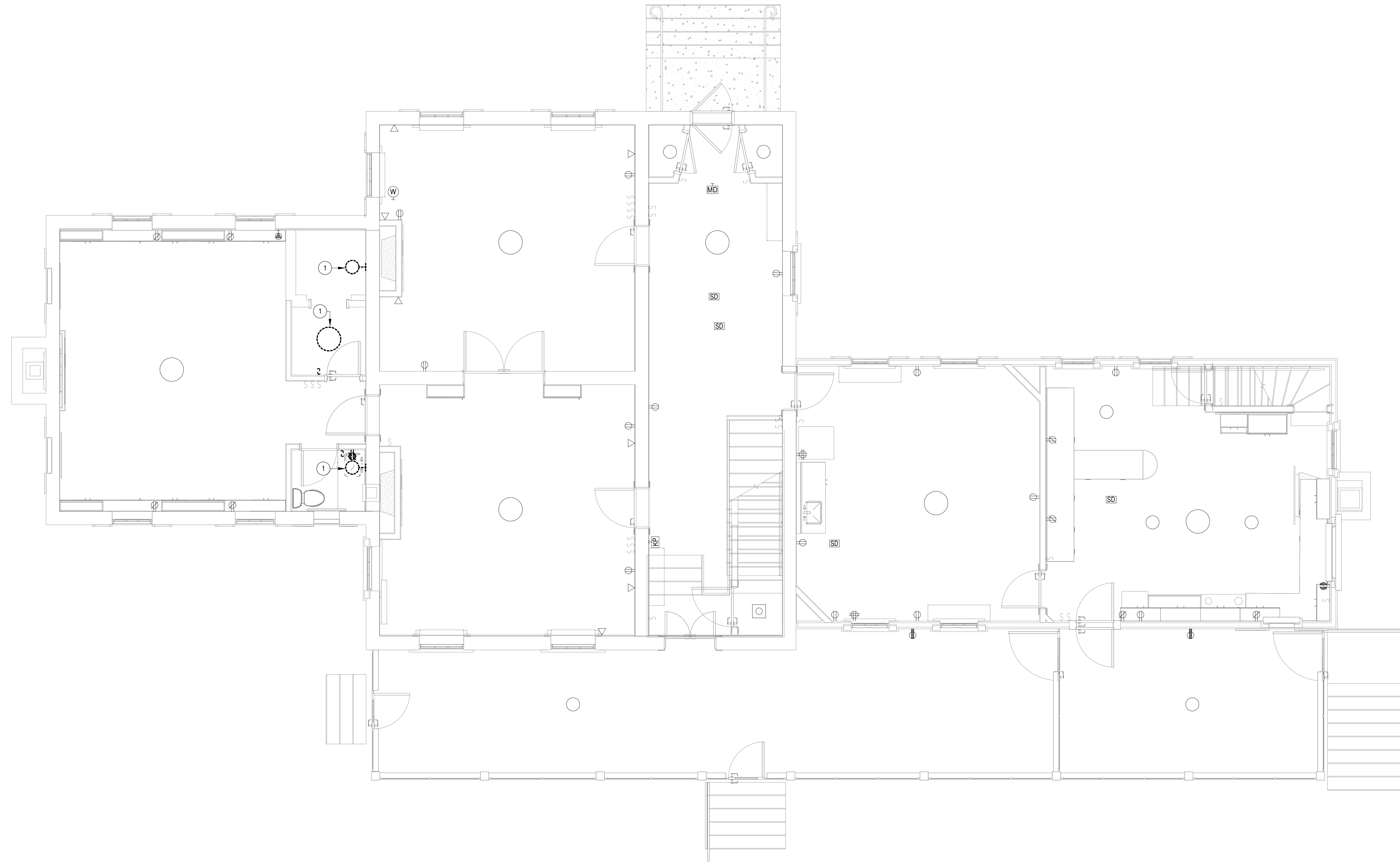
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DRAWING NOTES:

1. MAINTAIN CIRCUIT FOR RECONNECTION OF NEW FIXTURE. MAINTAINED/EXTENDED CIRCUIT AS REQUIRED TO ACCOMMODATE NEW FIXTURE.



FLOOR PLAN - LEVEL 1 - DEMOLITION
1/4" = 1'-0"



DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

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DRAWING CHECKED BY: ALBAN

Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/04/2024

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LICENSE NO. _____

EXPIRATION DATE: _____

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Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

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FLOOR PLAN - LEVEL 1 - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

ED1.01

FINAL PLAN

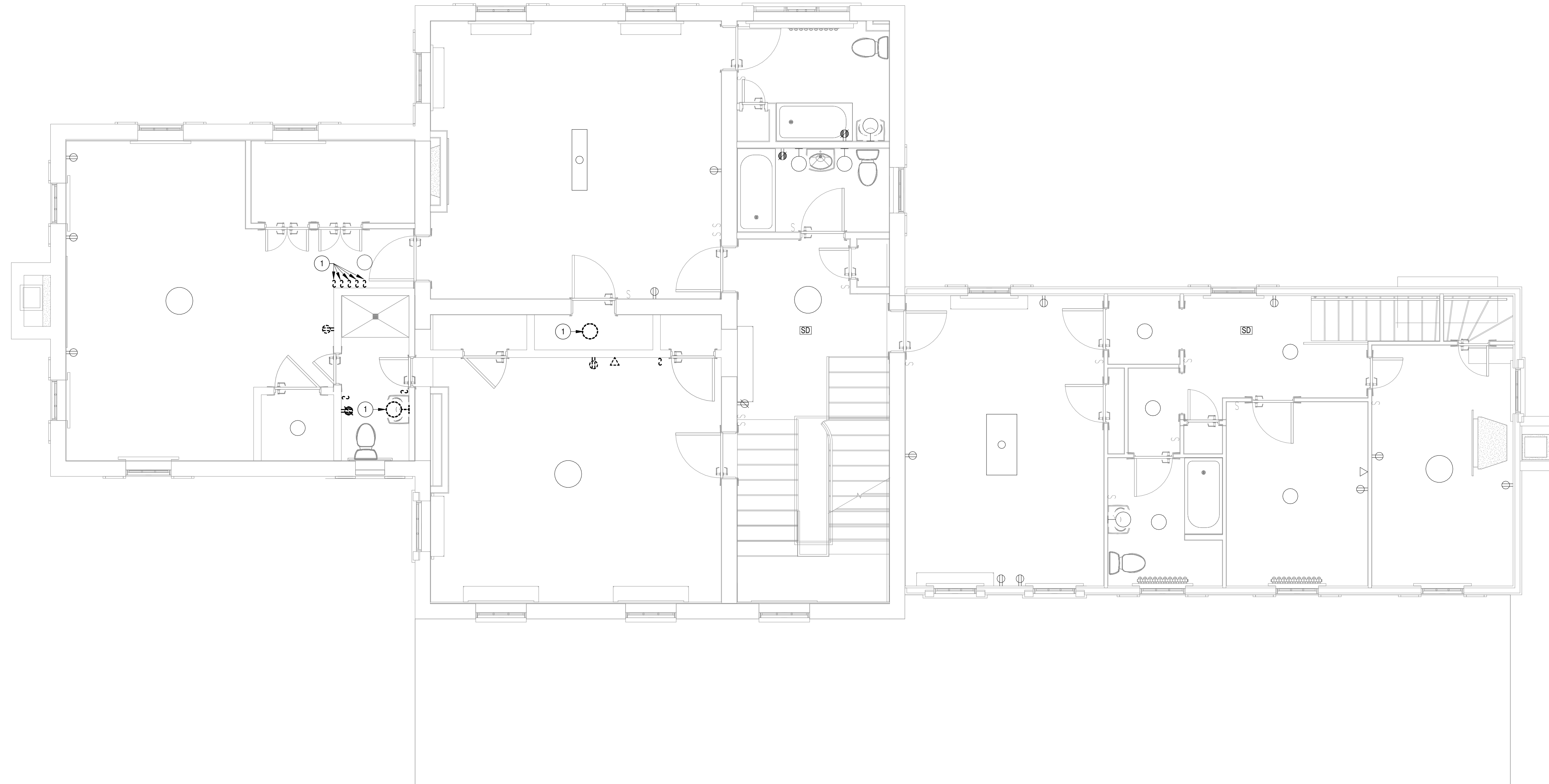
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1. REMOVE AND REINSTALL CEILING DEVICES AS NECESSARY TO ACCOMMODATE ANY MECHANICAL/PLUMBING WORK.
2. PATCH/SEAL ALL PENETRATIONS TO MATCH EXISTING WALLS.

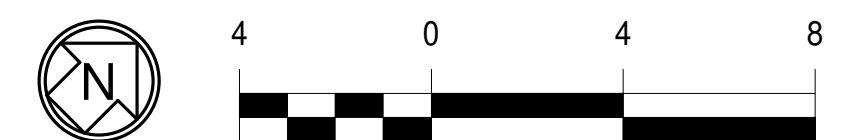
DRAWING NOTES:

1. MAINTAIN CIRCUIT FOR RECONNECTION OF NEW DEVICE/FIXTURE. MAINTAINED/EXTENDED CIRCUIT AS REQUIRED TO ACCOMMODATE NEW FIXTURE.



FLOOR PLAN - LEVEL 2 - DEMOLITION
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION

MICHAEL GRAVES

BALTIMORE, MD
31 Light Street, Suite #500
Baltimore, MD 21202
T 410 250 9680
MICHAELGRAVES.COM

DRAWING CHECKED BY: ALBAN

Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/04/2024

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws under of the State of Maryland.

LICENSE NO. _____
EXPIRATION DATE: _____

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The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
2425 Reedle Drive
Wheaton, Maryland 20902
(301) 495-2535

SUBMISSION / REVISION

Rev. No.	Date	Description

FLOOR PLAN - LEVEL 2 - DEMO

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

ED1.02

FINAL DRAWING

PLAN DRAWING

PARK CODE

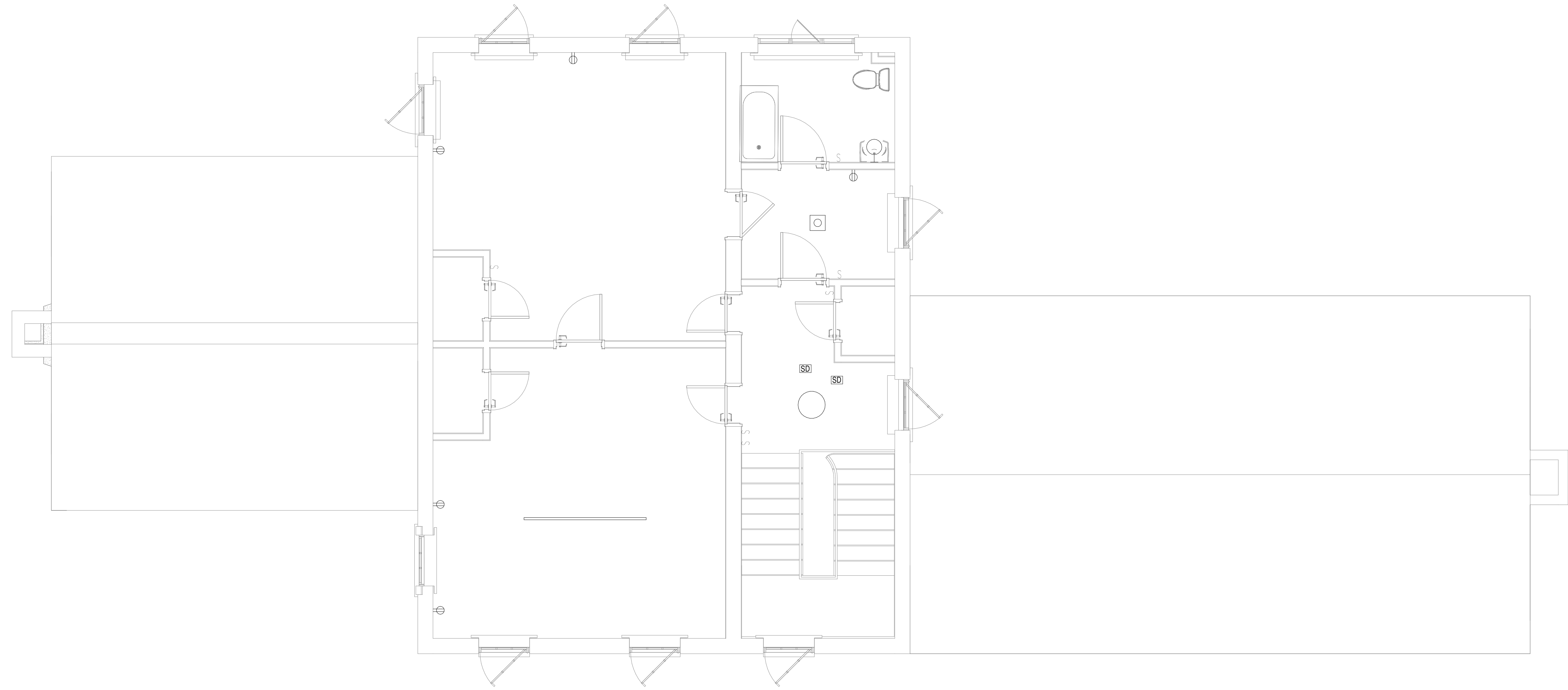
DPS PERMIT USE

GENERAL NOTES:

1. REMOVE AND REINSTALL CEILING DEVICES AS NECESSARY TO ACCOMMODATE ANY MECHANICAL/PLUMBING WORK.
2. PATCH/SEAL ALL PENETRATIONS TO MATCH EXISTING WALLS.

DRAWING NOTES:

① ...



FLOOR PLAN - LEVEL 3 - DEMOLITION

1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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Rev. No.	Date	Description

FLOOR PLAN - LEVEL 3 - DEMO

NEEDWOOD MANSION
 Renovation
 6700 NEEDWOOD ROAD DERWOOD, MD 20855
 SCALE: As Shown

DWG. #

ED1.03

PANEL 2/2

PANEL 2/2

PANEL 2/2

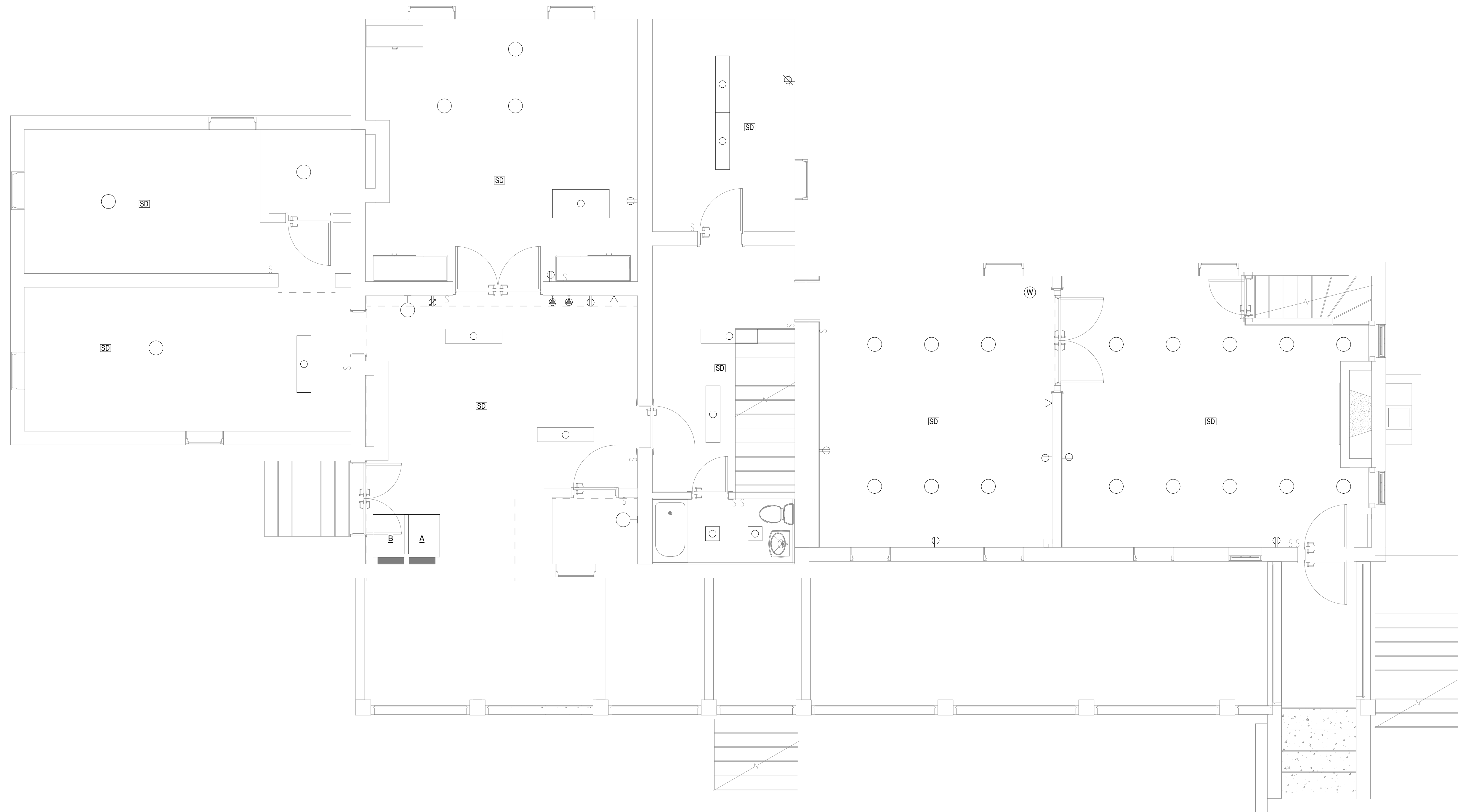
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GENERAL NOTES:

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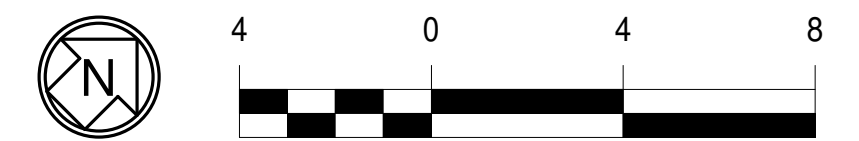
DRAWING NOTES:

1 ...



FLOOR PLAN - BASEMENT
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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AND CONTACT INFORMATION

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Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

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SUBMISSION / REVISION

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FLOOR PLAN - BASEMENT

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

E1.00

FINAL PLAN
PLAN STAMPED
PARK CODE

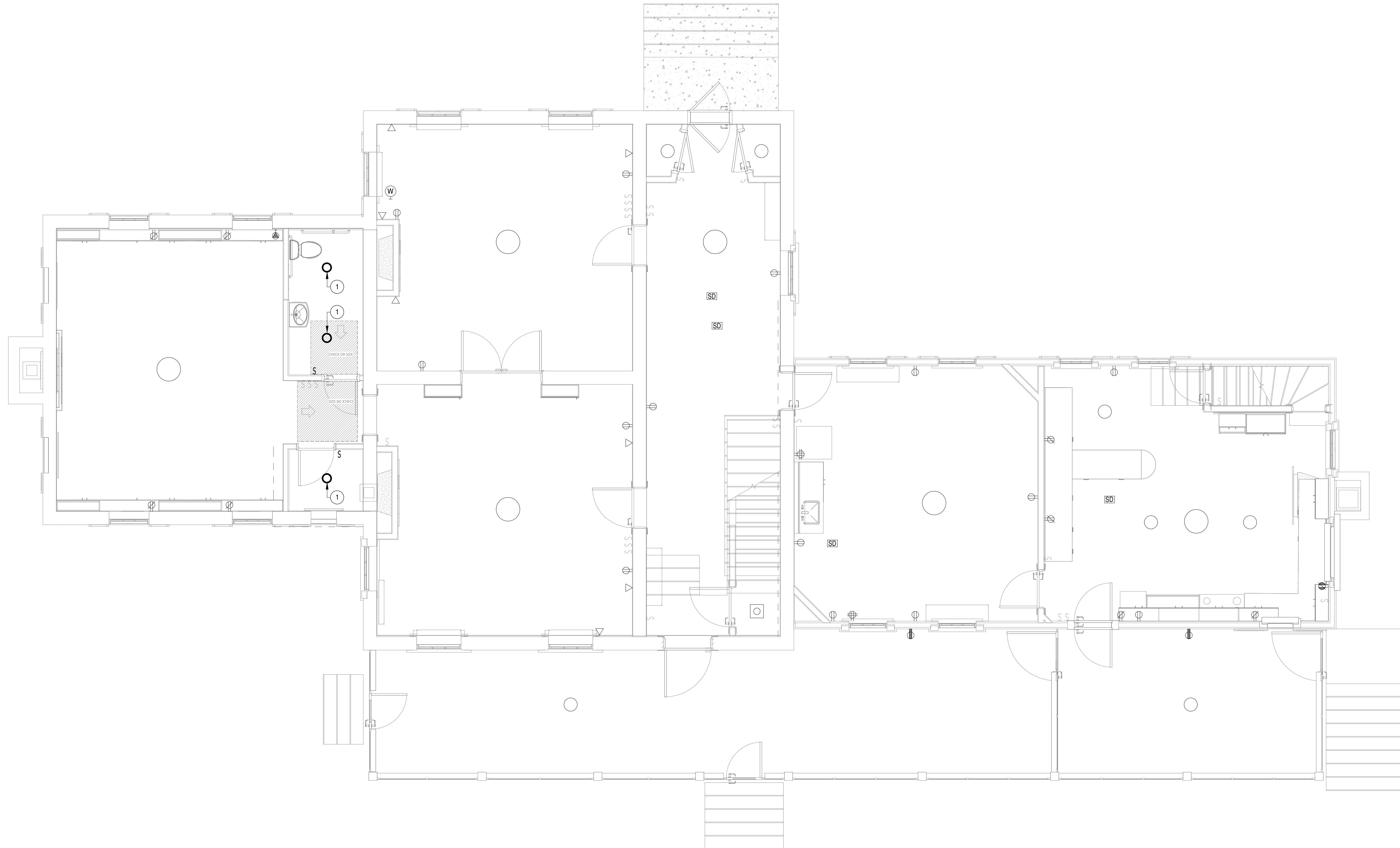
DPS PERMIT USE

GENERAL NOTES:

1. REMOVE AND REINSTALL CEILING DEVICES AS NECESSARY TO ACCOMMODATE ANY MECHANICAL/PLUMBING WORK.
2. PATCH/SEAL ALL PENETRATIONS TO MATCH EXISTING WALLS.

DRAWING NOTES:

1. PROVIDE XXX STYLE LED FIXTURE. XXX SERIES OR APPROVED EQUAL. MODIFY CIRCUITING TO ACCOMMODATE NEW SWITCHING ARRANGEMENT. RECONNECT TO EXISTING CIRCUIT MAINTAINED DURING DEMOLITION AND MAKE ALL CONNECTIONS AS REQUIRED.



FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

DESIGN PROFESSIONAL / FIRM(S) LOGO
AND CONTACT INFORMATION

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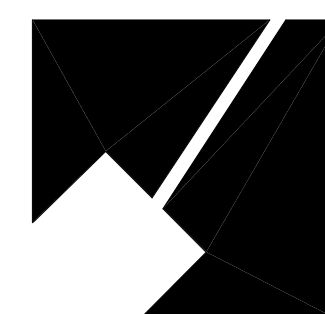
DRAWING CHECKED BY: ALBAN

Submission Name	Initials	Date
DEVELOPMENT DESIGN	ALBAN	03/06/24

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FLOOR PLAN - LEVEL 1

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

E1.01

FINAL PLAN

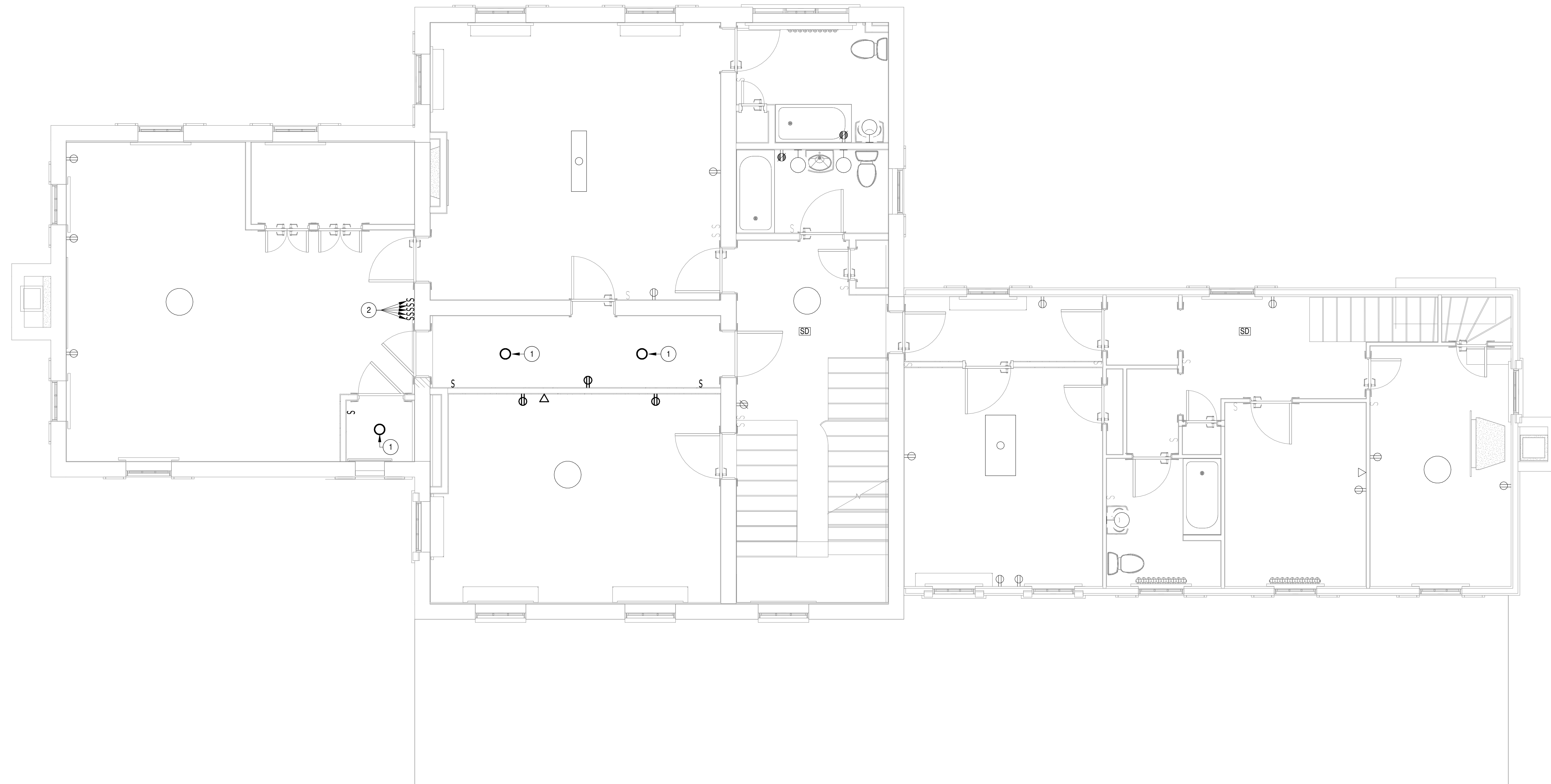
DPS PERMIT USE

GENERAL NOTES:

1. REMOVE AND REINSTALL CEILING DEVICES AS NECESSARY TO ACCOMMODATE ANY MECHANICAL/PLUMBING WORK.
2. PATCH/SEAL ALL PENETRATIONS TO MATCH EXISTING WALLS.

DRAWING NOTES:

- ① PROVIDE XXX STYLE LED FIXTURE. XXX SERIES OR APPROVED EQUAL. MODIFY CIRCUITING TO ACCOMMODATE NEW SWITCHING ARRANGEMENT. RECONNECT TO EXISTING CIRCUIT MAINTAINED DURING DEMOLITION AND MAKE ALL CONNECTIONS AS REQUIRED.
- ② RELOCATED DEVICES. CONNECT TO CIRCUIT MAINTAINED/MODIFIED DURING DEMOLITION.



FLOOR PLAN - LEVEL 2
1/4" = 1'-0"

DESIGN PROFESSIONAL / FIRM(S) LOGO
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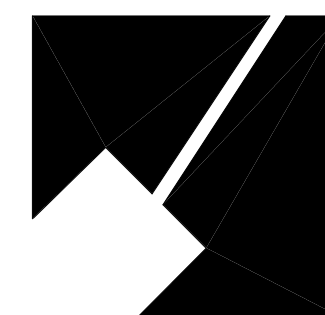
DRAWING CHECKED BY: ALBAN

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DEVELOPMENT DESIGN	ALBAN	03/06/24

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FLOOR PLAN - LEVEL 2

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

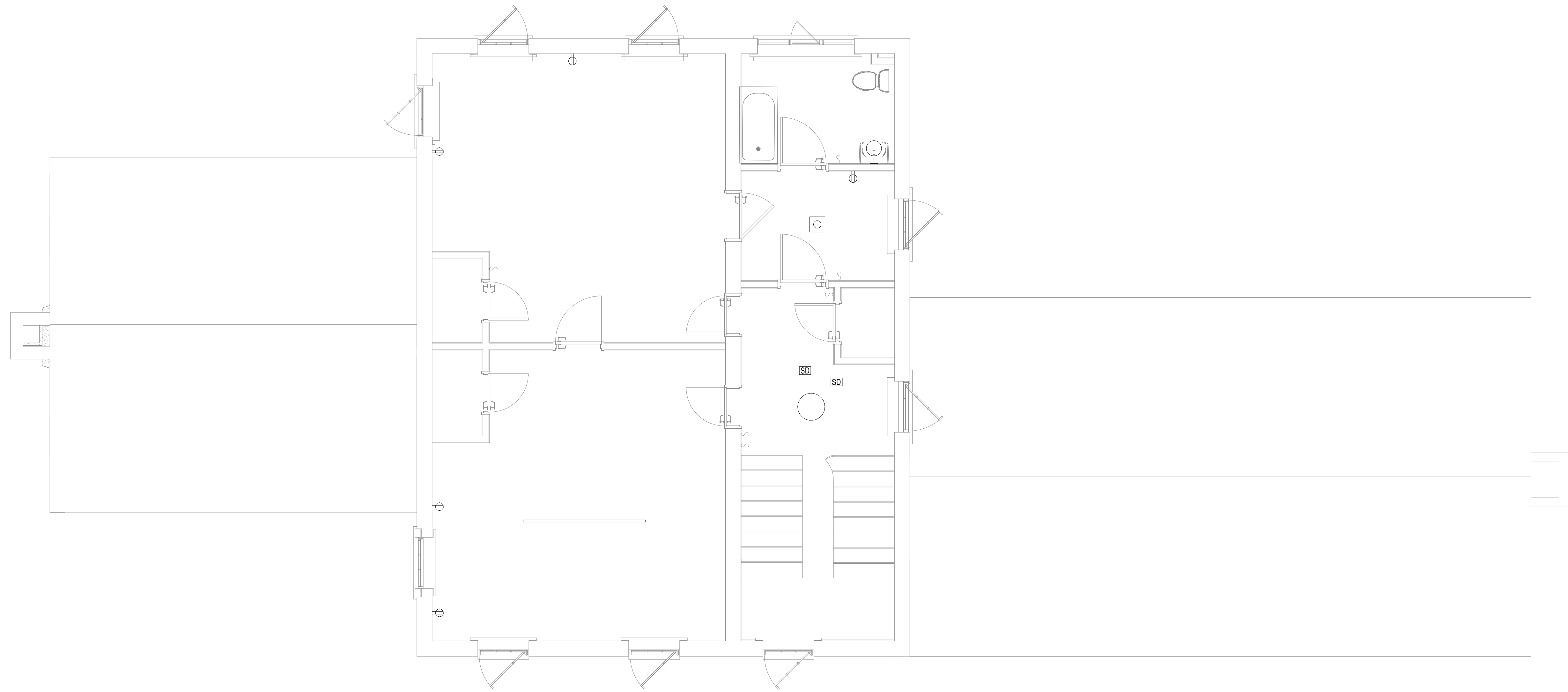
E1.02

FINAL DRAWING

PLAN DRAWING

PARK CODE

DPS PERMIT USE



FLOOR PLAN - LEVEL 3
1/4" = 1'-0"

DESIGN PROFESSIONAL / FIRM(S) LOGO
AND CONTACT INFORMATION

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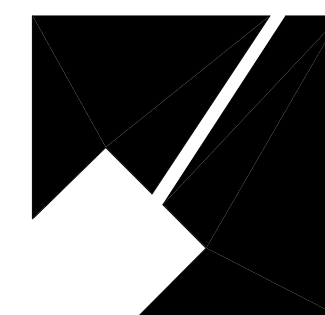
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FLOOR PLAN - LEVEL 3

NEEDWOOD MANSION
Renovation
6700 NEEDWOOD ROAD DERWOOD, MD 20855
SCALE: As Shown

DWG. #

E1.03

PWK 22482D

PWK 22482D

PWK 22482D

DPS PERMIT USE

Branch Panel: A

LOCATION: MECHANICAL ROOM 004
 SUPPLY FROM:
 MOUNTING: Surface

VOLTAGE: 120/208 Wye
 PHASE: 3
 WIRES: 4

A.I.C. RATING:
 MAINS RATING: 200 A
 MCB RATING: 200 A
 NEUTRAL RATING: 100%

Notes:

CKT	CIRCUIT	WIRE SIZE	P	CB	A	B	C	CB	P	WIRE SIZE	CIRCUIT	CKT
1	EXISTING CIRCUIT	--	1	20 A	0.0 kVA	0.0 kVA				20 A	1	2
3	EXISTING CIRCUIT	--	1	20 A		0.0 kVA	0.0 kVA			15 A	1	4
5	EXISTING CIRCUIT	--	1	15 A			0.0 kVA	0.0 kVA		15 A	1	6
7	EXISTING CIRCUIT	--	1	15 A	0.0 kVA	0.0 kVA				15 A	1	8
9	EXISTING CIRCUIT	--	1	15 A		0.0 kVA	0.0 kVA			15 A	1	10
11	EXISTING CIRCUIT	--	2	50 A			0.0 kVA	0.0 kVA		15 A	1	12
13	EXISTING CIRCUIT	--	1	20 A	0.0 kVA	0.0 kVA				15 A	1	14
15	EXISTING CIRCUIT	--	1	20 A		0.0 kVA	0.0 kVA			15 A	1	16
17	EXISTING CIRCUIT	--	1	20 A			0.0 kVA	0.0 kVA		15 A	1	18
19	EXISTING CIRCUIT	--	1	20 A	0.0 kVA	0.0 kVA				15 A	1	20
21	EXISTING CIRCUIT	--	1	20 A		0.0 kVA	0.0 kVA			20 A	1	22
23	EXISTING CIRCUIT	--	2	30 A			0.0 kVA	0.0 kVA		30 A	2	24
25	EXISTING CIRCUIT	--	2	60 A	0.0 kVA	0.0 kVA				15 A	1	26
27	EXISTING CIRCUIT	--	2	60 A		0.0 kVA	0.0 kVA			15 A	1	28
29	EXISTING CIRCUIT	--	1	15 A	0.0 kVA	0.0 kVA				20 A	2	30
31	EXISTING CIRCUIT	--	1	15 A	0.0 kVA	0.0 kVA				20 A	1	32
33	EXISTING CIRCUIT	--	1	15 A		0.0 kVA	0.0 kVA			20 A	1	34
35	EXISTING CIRCUIT	--	1	20 A			0.0 kVA	0.0 kVA		20 A	1	36
37	EXISTING CIRCUIT	--	2	20 A	0.0 kVA	0.0 kVA				15 A	1	38
39	EXISTING CIRCUIT	--	2	20 A		0.0 kVA	0.0 kVA			20 A	1	40
41												42
Total Connected Load:					0.0 kVA	0.0 kVA	0.0 kVA	0.0 kVA				

Legend:

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANELBOARD TOTALS
MOTOR -	0.0 kVA	0.00%	0.0 kVA	Total Conn. Load: 0.0 kVA
REC -	0.0 kVA	0.00%	0.0 kVA	Total Est. Demand: 0.0 kVA
MECHANICAL -	0.0 kVA	0.00%	0.0 kVA	Total Conn.: 0 A
LTG. -	0.0 kVA	0.00%	0.0 kVA	Total Est. Demand.: 0 A

Branch Panel: B

LOCATION: MECHANICAL ROOM 004
 SUPPLY FROM:
 MOUNTING: Surface

VOLTAGE: 120/208 Wye
 PHASE: 3
 WIRES: 4

A.I.C. RATING:
 MAINS RATING: 200 A
 MCB RATING: 200 A
 NEUTRAL RATING: 100%

Notes:

CKT	CIRCUIT	WIRE SIZE	P	CB	A	B	C	CB	P	WIRE SIZE	CIRCUIT	CKT
1	EXISTING CIRCUIT	--	1	15 A	0.0 kVA	0.0 kVA				20 A	2	2
3	EXISTING CIRCUIT	--	2	30 A		0.0 kVA	0.0 kVA			20 A	1	4
5	EXISTING CIRCUIT	--	1	20 A	0.0 kVA	0.0 kVA				20 A	1	6
7	EXISTING CIRCUIT	--	1	20 A		0.0 kVA	0.0 kVA			20 A	1	8
9	EXISTING CIRCUIT	--	1	20 A		0.0 kVA	0.0 kVA			20 A	2	10
11	EXISTING CIRCUIT	--	1	20 A			0.0 kVA	0.0 kVA		20 A	1	12
13	EXISTING CIRCUIT	--	1	20 A	0.0 kVA	0.0 kVA				15 A	1	14
15	EXISTING CIRCUIT	--	1	20 A		0.0 kVA	0.0 kVA			20 A	1	16
17	EXISTING CIRCUIT	--	1	15 A			0.0 kVA	0.0 kVA		20 A	1	18
19	EXISTING CIRCUIT	--	1	15 A	0.0 kVA	0.0 kVA				20 A	1	20
21	EXISTING CIRCUIT	--	1	30 A		0.0 kVA	0.0 kVA			20 A	2	22
23								0.0 kVA		20 A	2	24
25					0.0 kVA					20 A	1	26
27						0.0 kVA				20 A	2	28
29							0.0 kVA			20 A	2	30
31					0.0 kVA					20 A	1	32
33												34
35												36
37												38
39												40
41												42
Total Connected Load:					0.0 kVA	0.0 kVA	0.0 kVA	0.0 kVA				

Legend:

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANELBOARD TOTALS
MOTOR -	0.0 kVA	0.00%	0.0 kVA	Total Conn. Load: 0.0 kVA
REC -	0.0 kVA	0.00%	0.0 kVA	Total Est. Demand: 0.0 kVA
MECHANICAL -	0.0 kVA	0.00%	0.0 kVA	Total Conn.: 0 A
LTG. -	0.0 kVA	0.00%	0.0 kVA	Total Est. Demand.: 0 A

PANEL SCHEDULES
PLAN SCHEDULES
PANEL CODE

DESIGN PROFESSIONAL / FIRM(S) LOGO AND CONTACT INFORMATION



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