

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|-----------------------|--|-----------------------|--------------|
| Address: | 17 West Irving Street, Chevy Chase | Meeting Date: | 4/17/2024 |
| Resource: | Non-Contributing Resource (Chevy Chase Village Historic District) | Report Date: | 4/10/2024 |
| | | Public Notice: | 4/3/2024 |
| Applicant: | Ed and Carolyn Norberg (Luke Olson, architect) | Tax Credit: | N/A |
| Review: | HAWP | Staff: | Chris Berger |
| Permit Number: | 1064778 | | |

PROPOSAL: Partial demolition and construction of new two-story addition, 1.5-story garage, and patio.

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve with two conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall submit specification sheets for all features, including the siding, frieze boards, soffit, lighting, vents, flagstone, brick, and gutters and downspouts, prior to final approval of the HAWP.
2. All proposed building features and materials should be included and labeled on the elevations and site plan prior to final approval of the HAWP.

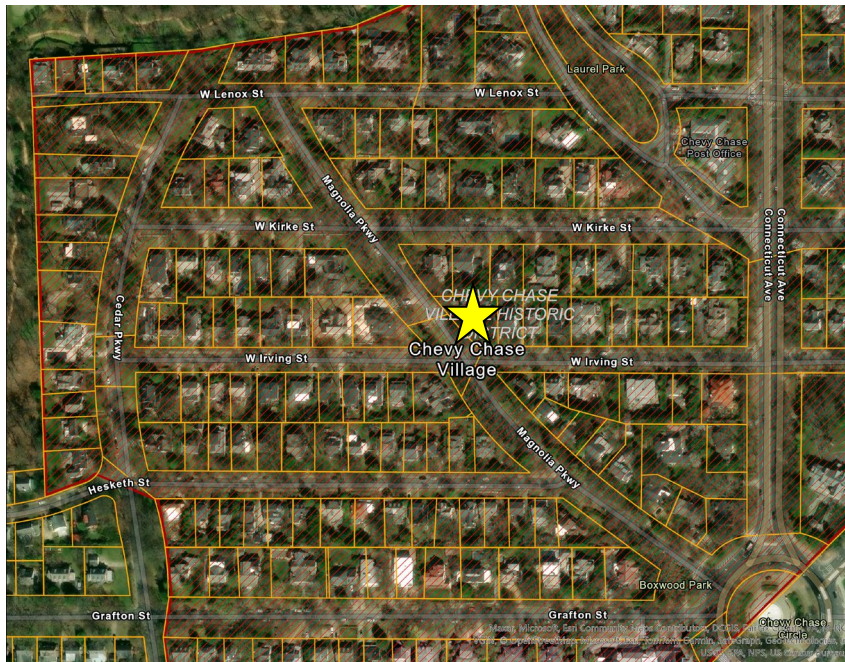


Figure 1: The subject property is located at the northeast corner of West Irving Street and Magnolia Parkway in the Chevy Chase Village Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Chevy Chase Village Historic District
 STYLE: Modern Victorian Revival
 DATE: c. 1892-1916

The 2,632-square-foot, rectangular-shaped home is located on an irregularly shaped, 0.3-acre lot at the northeast corner of Magnolia Parkway and West Irving Street. A circa 1871, 1.5-story carriage house is the focal point of the property. It includes a cross-gable roof with cross-brace frieze board in the gable that faces West Irving Street. The gable end on the right-side elevation of the former carriage house features a projecting arch.

The carriage house underwent a drastic alteration in 1975 when architect Hugh Newell Jacobsen converted the building into a single-family residence with a 1.5-story addition and basement on the west side of the building connected to the original section with a glassed-in hyphen. The addition has frieze board in the gable that matches the design on the original carriage house. The home underwent further alterations in 1985 when the front patio/terrace and ornate gazebo were constructed. A one-story octagonal-shaped room addition with an octagonal roof is located on the west side of the original section and linked by a hyphen. A one-story gable-roofed shed is located in the side yard to the east of the circa 1975 addition. There is a curb cut on West Irving Street for an asphalt parking pad in the front yard.

The house is clad in painted lap siding. All the fenestration is of a replacement material. Window types include 2/2, 6/6, and 9/9 wood double hung and 2/2 casements. In addition to the decorative frieze boards, ornamentation includes one story bays with standing seam hip roofs; gable-roofed dormers; shingles in the some of the gable ends; and half-round gutters.

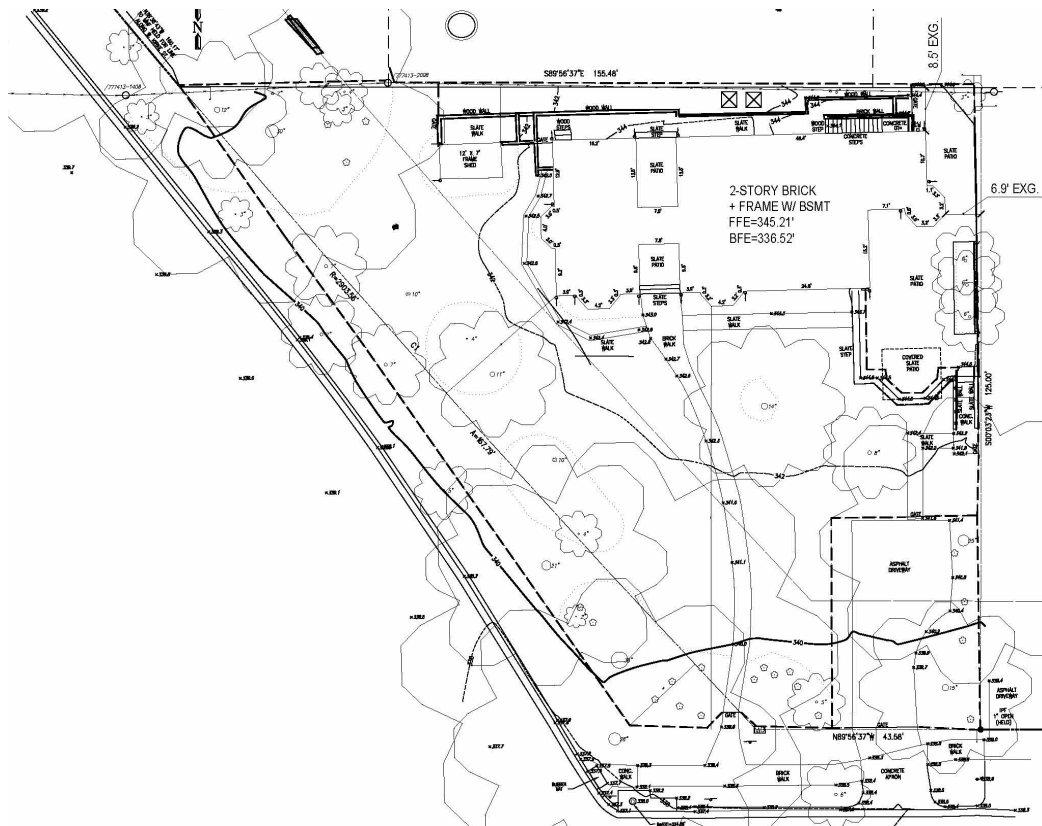


Figure 2: The existing site plan for the property.



Figure 3: The façade of the subject property from West Irving Street. A two-story addition, 1.5-story garage, and patio are proposed where the gazebo and fence are currently located.



Figure 4: The subject property as viewed from the parking pad off West Irving Street.



Figure 5: The octagonal room and hyphen on the right-side elevation will be demolished to accommodate the two-story addition.



Figure 6: The left-side elevation as viewed from Magnolia Parkway.

PROPOSAL

The applicant proposes to demolish the patio and gazebo and replace them with a two-story addition and new patio; demolish the right-side octagonal wing and construct a two-story addition; and construct a 1.5-story garage toward West Irving Street. The proposal will change the form of the building from rectangular to L-shaped.

The architect described the improvements as follows:

We are proposing a split-level addition that allows us to provide full-height space on both levels and direct access to an at-grade attached garage while also matching the 1.5 story massing of the existing house. Given the non-conforming location of the house on the lot and the irregular shape of the corner lot, an addition to the front-right where the current raised patio and pergola currently stand would provide the additional space they require with minimal impact to the existing house while maintaining the open feel of the lot. Additionally, this would allow us to use the existing curb-cut and driveway to provide a 1-car attached garage on the property in the general location of the existing parking pad with minimal impact to the large tree adjacent to the parking pad on the property line.

While we recognize attached 1-car garages are not typically appropriate for historic districts, they do exist in the [Chevy Chase Village Historic District] (9 West Irving just down the block is a notable example). Further, given the location of the current house on the lot, the County restrictions related to detached accessory structures in front yards, the lack of rear yard space on the property, and the more restrictive [Chevy Chase Village Historic District] setbacks and regulations prohibiting eave projects into those setbacks, there is no suitable location for a detached garage on the property. An attached garage is also one way to identify this house/addition as non-historic & non-contributing. We've reduced the massing of the garage structure and detailed it as if it were once a separate building that has been attached over time in order to minimize [its] appearance/impact from the street. We've also taken cues from the original use of the current structure on the lot as a carriage house as a way to reference the history of the property.

To the extent possible, we plan to emulate the existing exterior detailing on the addition with [painted] composite trim and siding, clad-wood [simulated-divided lite] windows and doors, [painted metal] half-round gutters and downspouts, and an asphalt shingle roof.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the HPC in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Historic District Guidelines

The *Guidelines* state that the following five basic policies should be adhered to:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Non-Contributing/Out-of-Period Resources

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these types of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the demolition and new construction and recommends approval. According to the *Guidelines*, additions to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major additions or alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole. Additionally, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.”

The gazebo, patio, and right-side wing and associated hyphen proposed for demolition are all additions to the non-contributing resource that date to the 1970s and 1980s. (Staff finds the gazebo to be beautifully designed and encourages the applicant to have the structure salvaged.) As noted by the architect, the irregularly shaped corner lot has limitations in terms of where additions can be constructed. Staff finds the proposed siting of the 1,414 square feet in additions toward the east side of the parcel maintains the openness of the corner lot toward the intersection of Magnolia Parkway and West Irving Street. The garage will be set back approximately 45 feet from West Irving Street. This set back is in keeping with the residences along West Irving Street that range in setback from approximately 40 to 50 feet when measured from the front wall planes to the street curb.

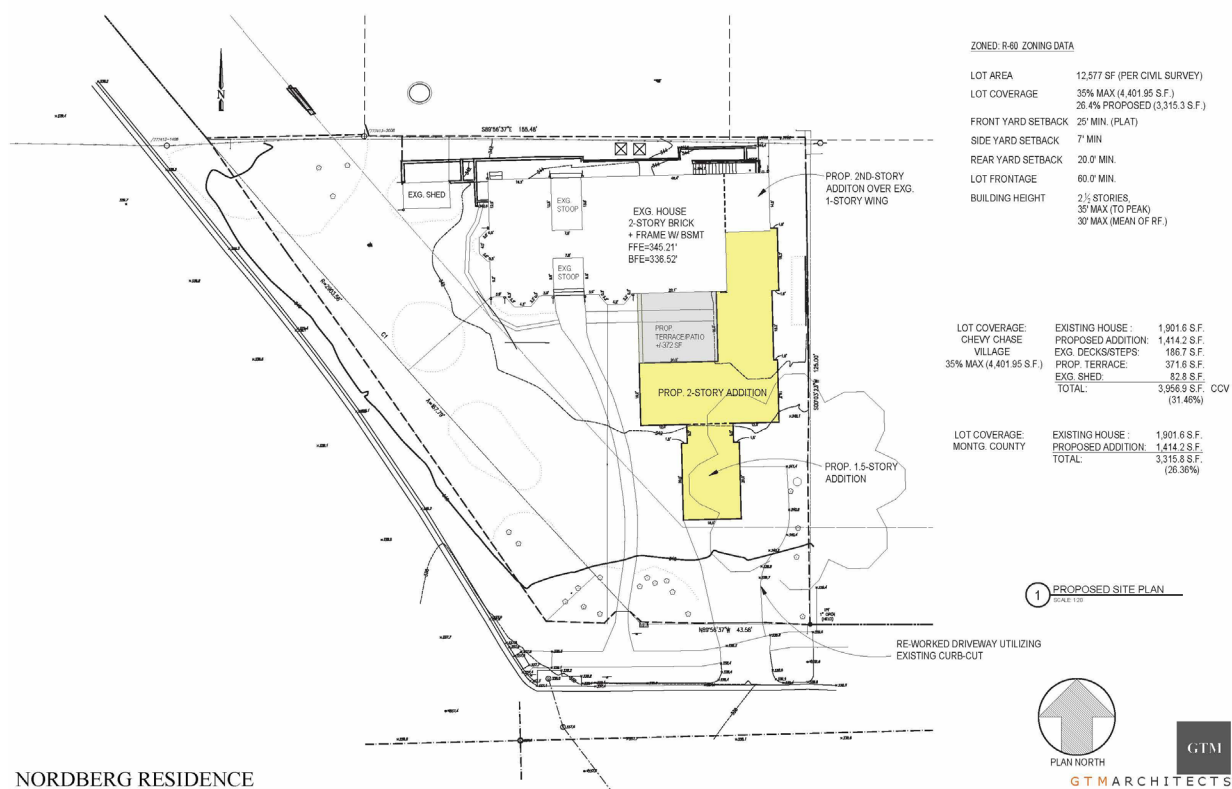
The architecture, materials, size, scale, and massing of the new construction are complimentary to the existing residence. The two-story addition will be the same height as the 25-foot tall existing residence. The garage will be lower and measure 21.5 feet tall. The brick-clad foundation will be the same as the existing. The fiber cement siding on the two-story addition will match the size and design of the existing coved siding. The shingles and frieze boards in the gable ends will be similar to those found on the existing residence. The windows on the new construction will be different in type and size than the existing house but will maintain the 2/2 design. This 2/2 glass design is also reflected on the two egress doors proposed for the right-side elevation. The roofs on the additions will be cross-gables and covered with architectural grade shingles to match the existing. The shed-roofed bump out on the left-side elevation of the second-floor of the addition will be covered with standing-seam metal to match the existing bump out roofs. The new 372-square-foot patio will be flagstone with brick facing at the steps.

The board and batten siding on the proposed 1.5-story garage achieves the desired effect to differentiate that section of the building from the rest of the addition. It will have paired carriage style doors on the front elevation that that mimic barn doors, and the second floor will include paired doors to emulate a hayloft. A cupola measuring approximately 2-by-3 feet will be added to the roof. Staff notes that per

Chapter 24A-8(c), new construction should not be limited to one any one period or architectural style.

Staff recommends a condition that the specification sheets are provided for all proposed building features. A number of building features and materials are not labeled on the elevations, and some hardscaping is not included on the site plan, so staff seeks a second condition that they are labeled on both the elevations and site plan.

In accordance with the *Guidelines*, the addition preserves the integrity of the Chevy Chase Village Historic District and maintains the tradition of architectural excellence in the district. The addition, garage, and patio meet Chapter 24-8A(b)(2) because they are compatible with the character of the district. In accordance with the applicable *Standards*, the historic character of the property will be retained and preserved by the new construction; the work will not destroy historic materials that characterize a property; and the integrity of the historic property and environment will be unimpaired if the improvements are removed in the future.



NORDBERG RESIDENCE

Figure 7: The proposed site plan with the new construction in yellow and patio in gray.

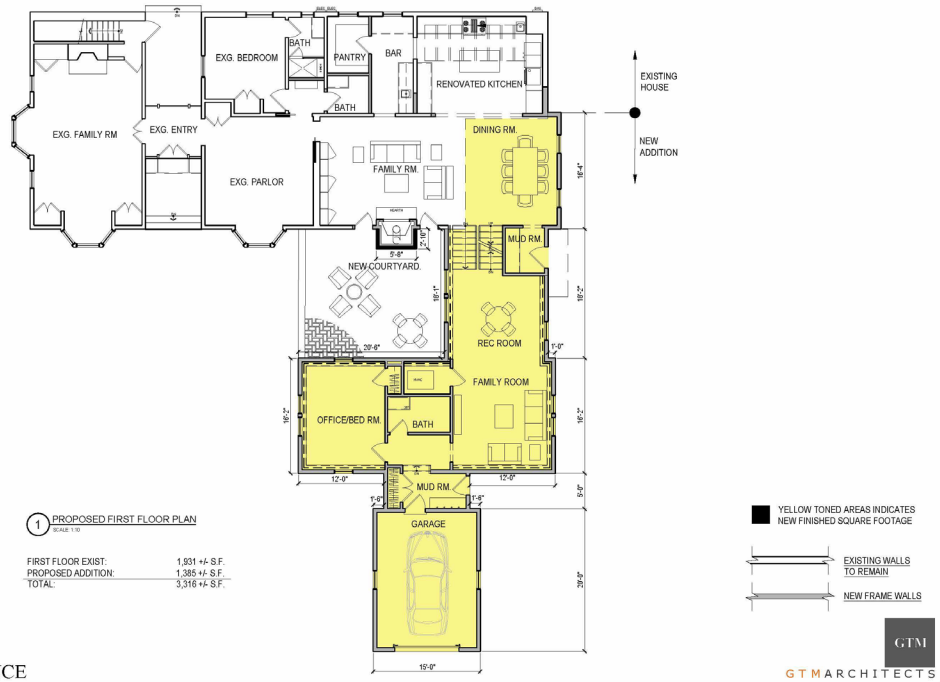


Figure 8: The proposed first floor plan.

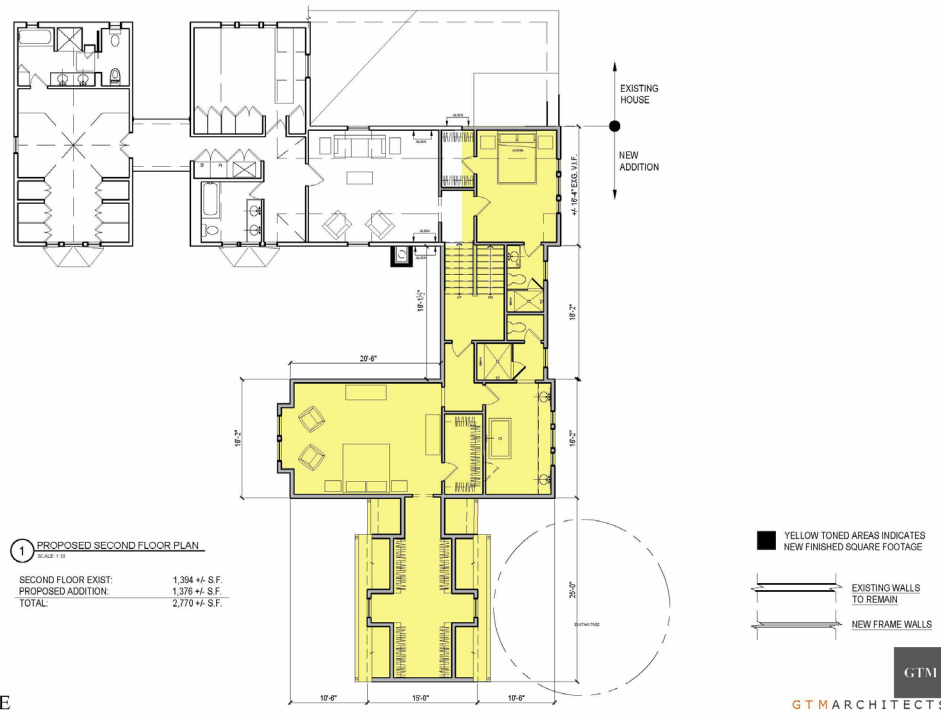


Figure 9: The proposed second floor plan.



Figure 10: The existing front elevation, top, and proposed.

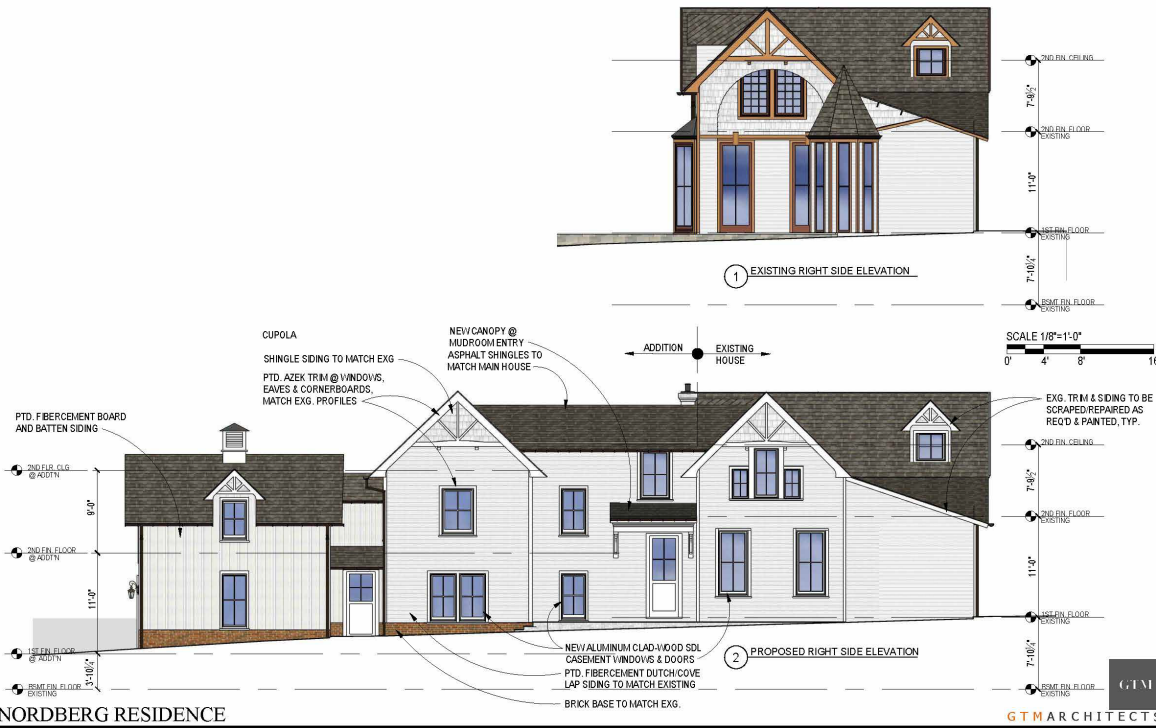


Figure 11: The existing right-side elevation, top, and proposed.



Figure 12: The existing left-side elevation, top, and proposed.



Figure 13: The existing rendered view from Magnolia Parkway, left, and proposed.



Figure 14: The existing rendered view from the intersection of Magnolia Parkway and West Irving Street, left, and proposed.



Figure 15: The existing rendered view from West Irving Street, left, and proposed.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with two conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall submit specification sheets for all features, including the siding, frieze boards, soffit, lighting, vents, flagstone, brick, and gutters and downspouts, prior to final approval of the HAWP.
2. All proposed building features and materials should be included and labeled on the elevations and site plan prior to final approval of the HAWP.

under the Criteria for Issuance in Chapter 24A-8(b)(2) and (d), having found that the proposal, as modified by the conditions, is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation 2, 9, and 10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Ed and Carolyn Nordberg E-mail: enordberg@wakefieldcapital.com
Address: 2 Wisconsin Circle Ste 810 City: Chevy Chase Zip: MD
Daytime Phone: 301-941-1670 Tax Account No.: 00455532

AGENT/CONTACT (if applicable):

Name: LUKE OLSON E-mail: LOLSON@GTMARCHITECTS.COM
Address: 7735 OLD GEORGETOWN RD STE 700 City: BETHESDA Zip: 20814
Daytime Phone: 240-333-2021 Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 17 Street: W Irving St
Town/City: Chevy Chase Nearest Cross Street: Magnolia Pkwy
Lot: 10 Block: 33 Subdivision: 0009 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|---|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 3/25/24

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Ed & Carolyn Nordberg
2 Wisconsin Circle Ste 810
Chevy Chase MD 20815

Owner's Agent's mailing address

Luke Olson
7735 Old Georgetown Rd Ste 700
Bethesda, MD 20814

Adjacent and confronting Property Owners mailing addresses

Charles & Honor Ingersoll
15 Magnolia Pkwy
Chevy Chase, MD 20815

Thomas Dupree
8 Magnolia Pkwy
Chevy Chase, MD 20815

Michael Friedman
16 Magnolia Pkwy
Chevy Chase, MD 20815

Alexandra and Franz Drees Gross
15 W Irving St
Potomac, MD 20854

Benjamin & Kristine Gielow
17 Magnolia Pkwy
Chevy Chase, MD 20815

Clare Anderson & John Chapoton
18 W Kirke St
Chevy Chase, MD 20815

Dean & Debra Graham
16 W Kirke St
Chevy Chase, MD 20815

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Non-historic resource in the CCV Historic District. Originally a carriage house built in 1871 for a residence that no longer exists. Was converted to a single-family residence in 1975 by Hugh Newell Jacobsen with substantial interior renovations and a glass hyphen connecting a 1.5 story + bsmt front-gable wing on the left side to the existing 1.5 story side gable structure. Additional renovations completed in 1985, included the renovation/addition of the 1-story kitchen + basement with a raised front patio/terrace and gazebo structure. The house is clad in ptd wood trim and ptd. wood dutch/cove lap siding sitting on a brick and block foundation, with an asphalt shingle roof, and painted mtl half-round gutters and 3x5 downspouts. The windows and doors have all been replaced, with a majority of the windows being 2 over 2 ptd. wood double hungs with some 6 over 6 and 9 over 9 double hungs on the rear, and 2 over 2 push-out casements on the 2nd level. The doors on the right side are recent clad-wood replacement units. The house is sited in a non-conforming location on the lot, sitting 8.5' from the rear lot line and 6.9' from the right side lot line. There is a curbcut on W Irving Street for an asphalt driveway leading to a 2-car parking pad in the front yard.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Despite it's status as a non-contributing resource, the owners appreciate the quality and history of the house and want to retain the majority of the existing structure and add-on in a way that minimally impacts the existing structure. We are proposing a split-level addition that allows us to provide full-height space on both levels and direct access to an at-grade attached garage while also matching the 1.5 story massing of the existing house. Given the non-conforming location of the house on the lot and the irregular shape of the corner lot, an addition to the front-right where the current raised patio and pergola currently stand would provide the additional space they require with minimal impact to the existing house while maintaining the open feel of the lot. Additionally, this would allow us to use the existing curb-cut and driveway to provide a 1-car attached garage on the property in the general location of the existing parking pad with minimal impact to the large tree adjacent to the parking pad on the property line. While we recognize attached 1-car garages are not typically appropriate for historic districts, they do exist in the CCV historic district (9 West Irving just down the block is a notable example). Further, given the location of the current house on the lot, the County restrictions related to detached accessory structures in front yards, the lack of rear yard space on the property, and the more restrictive CCV setbacks and regulations prohibiting eave projects into those setbacks, there is no suitable location for a detached garage on the property. An attached garage is also one way to identify this house/addition as non-historic & non-contributing. We've reduced the massing of the garage structure and detailed it as if it were once a separate building that has been attached over time in order to minimize it's appearance/impact from the street. We've also taken cues from the original use of the current structure on the lot as a carriage house as a way to reference the history of the property. To the extent possible, we plan to emulate the existing exterior detailing on the addition with ptd. composite trim and siding, clad-wood sdl windows and doors, ptd mtl half-round gutters and downspouts, and an asphalt shingle roof.



17 W IRVING ST, CHEVY CHASE, MD 20815

SCOPE OF WORK: 2-STORY FRONT SPLIT-LEVEL ADDITION WITH 1.5 STORY ATTACHED CARRIAGE HOUSE, NEW COURTYARD, AND RE-CONFIGURED DRIVEWAY UTILIZING EXISTING CURB-CUT

NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

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VIEW FROM MAGNOLIA PKWY



VIEW FROM IRVING ST AT CURB CUT



RIGHT SIDE VIEW FROM IRVING ST



FRONT VIEW



FRONT VIEW OF MAIN HOUSE



VIEW FROM LEFT

NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

EXISTING CONDITIONS PHOTOS

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LEFT SIDE VIEW W/ SHED



REAR VIEW FROM LEFT SIDE



REAR VIEW



RIGHT SIDE VIEW



GAZEBO VIEW FROM FRONT YARD



VIEW OF HYPHEN & ROOF/EAVE DETAILS

NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

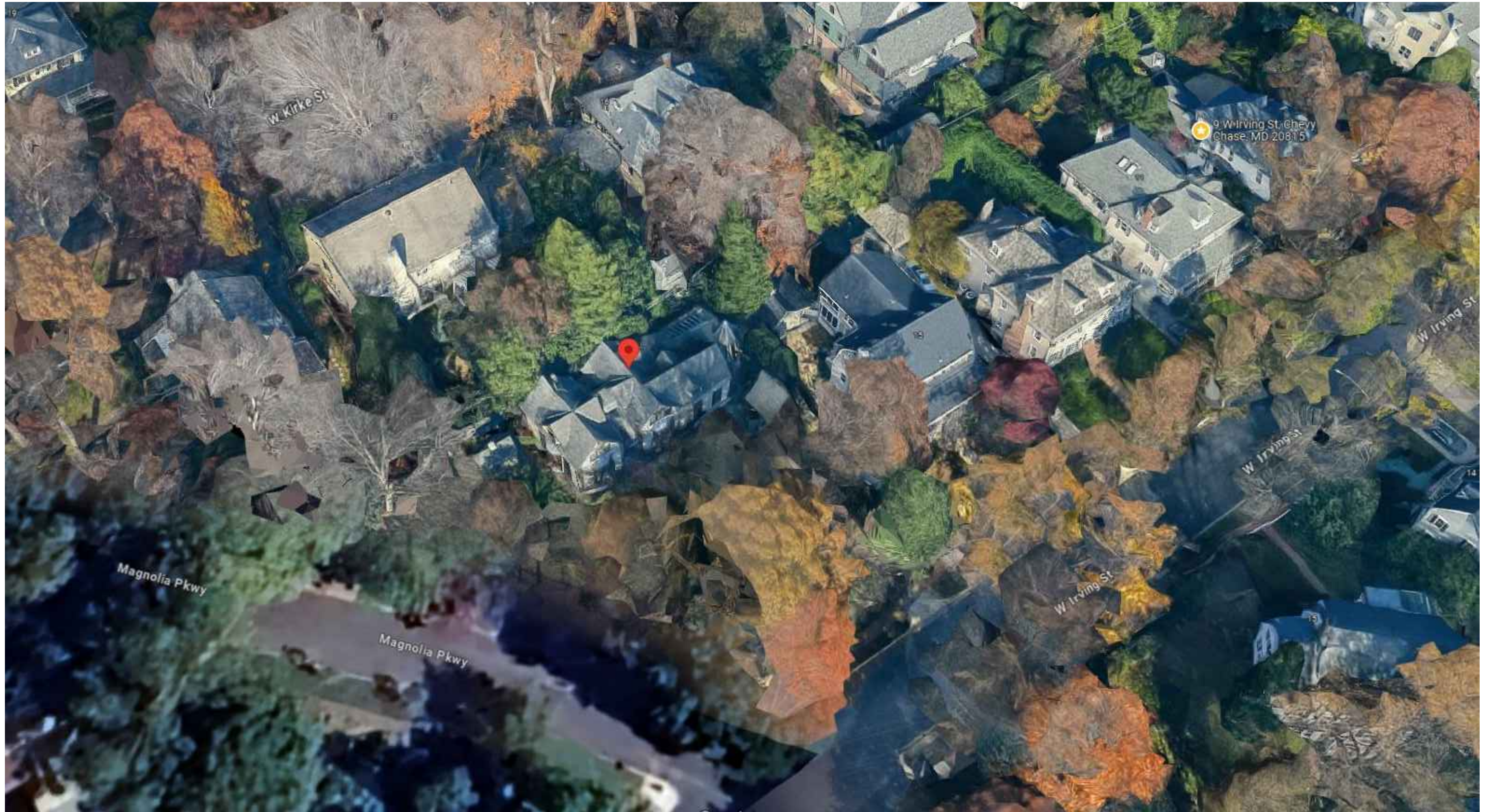
EXISTING CONDITIONS PHOTOS

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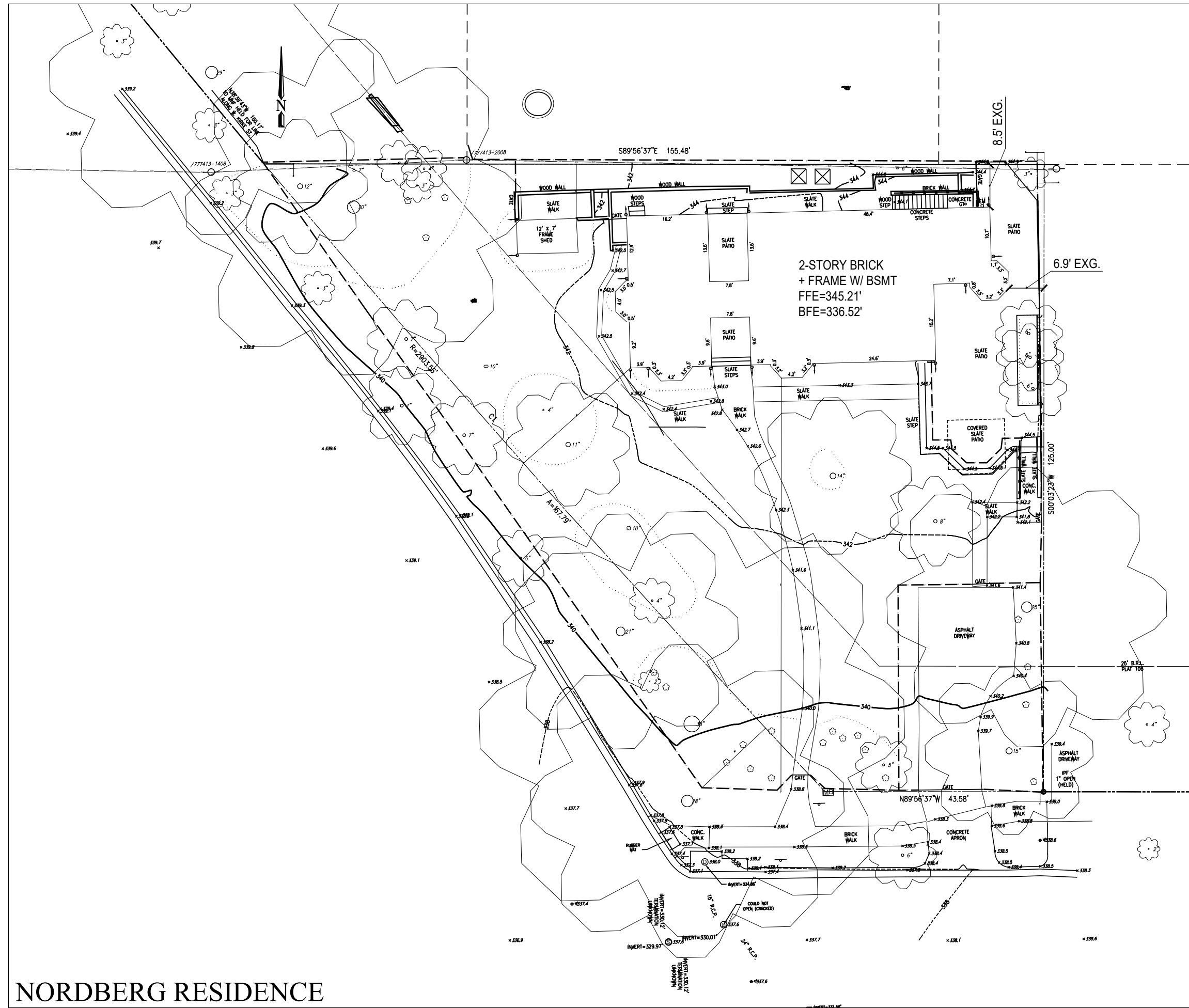
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EXISTING CONDITIONS AERIAL VIEW

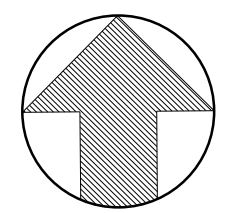




ZONED: R-60 ZONING DATA

| | |
|--------------------|--|
| LOT AREA | 12,577 SF (PER CIVIL SURVEY) |
| LOT COVERAGE | 35% MAX (4,401.95 S.F.) 16.92% EXG. (2,127.9 S.F.) |
| FRONT YARD SETBACK | 25' MIN. (PLAT) |
| SIDE YARD SETBACK | 7' MIN |
| REAR YARD SETBACK | 20.0' MIN. |
| LOT FRONTAGE | 60.0' MIN. |
| BUILDING HEIGHT | 2 1/2 STORIES, 35' MAX (TO PEAK) 30' MAX (MEAN OF RF.) |

1 EXISTING SITE PLAN
SCALE: 1:20



PLAN NORTH



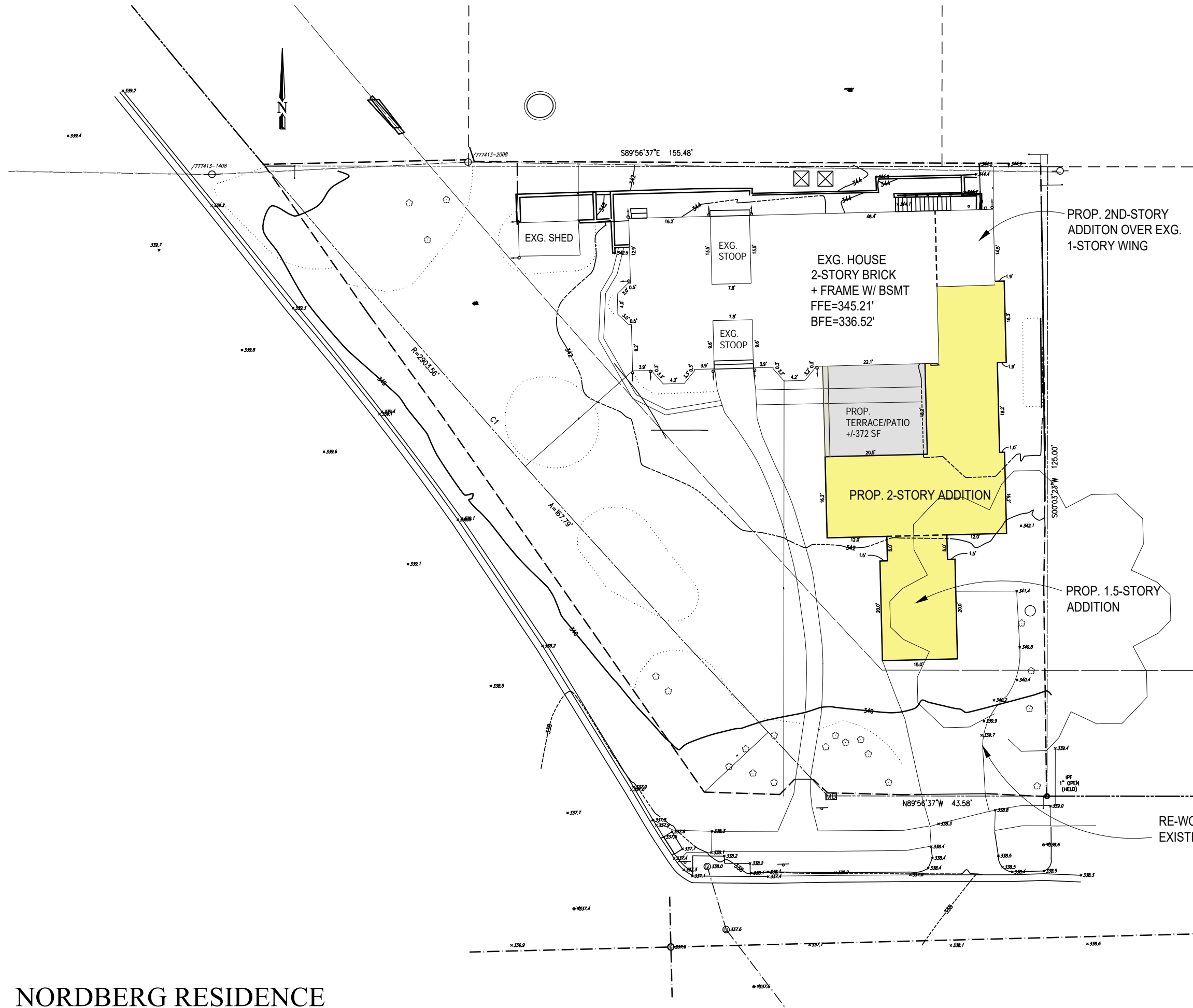
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NORDBERG RESIDENCE

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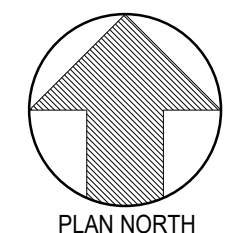
ZONED: R-60 ZONING DATA

| | |
|--------------------|---|
| LOT AREA | 12,577 SF (PER CIVIL SURVEY) |
| LOT COVERAGE | 35% MAX (4,401.95 S.F.) 26.4% PROPOSED (3,315.3 S.F.) |
| FRONT YARD SETBACK | 25' MIN. (PLAT) |
| SIDE YARD SETBACK | 7' MIN |
| REAR YARD SETBACK | 20.0' MIN. |
| LOT FRONTAGE | 60.0' MIN. |
| BUILDING HEIGHT | 2½ STORIES, 35' MAX (TO PEAK) 30' MAX (MEAN OF RF.) |

| | | |
|-------------------------|--------------------|------------------|
| LOT COVERAGE: | EXISTING HOUSE : | 1,901.6 S.F. |
| CHEVY CHASE | PROPOSED ADDITION: | 1,414.2 S.F. |
| VILLAGE | EXG. DECKS/STEPS: | 186.7 S.F. |
| 35% MAX (4,401.95 S.F.) | PROP. TERRACE: | 371.6 S.F. |
| | EXG. SHED: | 82.8 S.F. |
| | TOTAL: | 3,956.9 S.F. CCV |
| | | (31.46%) |

| | | |
|---------------|--------------------|--------------|
| LOT COVERAGE: | EXISTING HOUSE : | 1,901.6 S.F. |
| MONTG. COUNTY | PROPOSED ADDITION: | 1,414.2 S.F. |
| | TOTAL: | 3,315.8 S.F. |
| | | (26.36%) |

1 PROPOSED SITE PLAN
SCALE: 1:20



PLAN NORTH



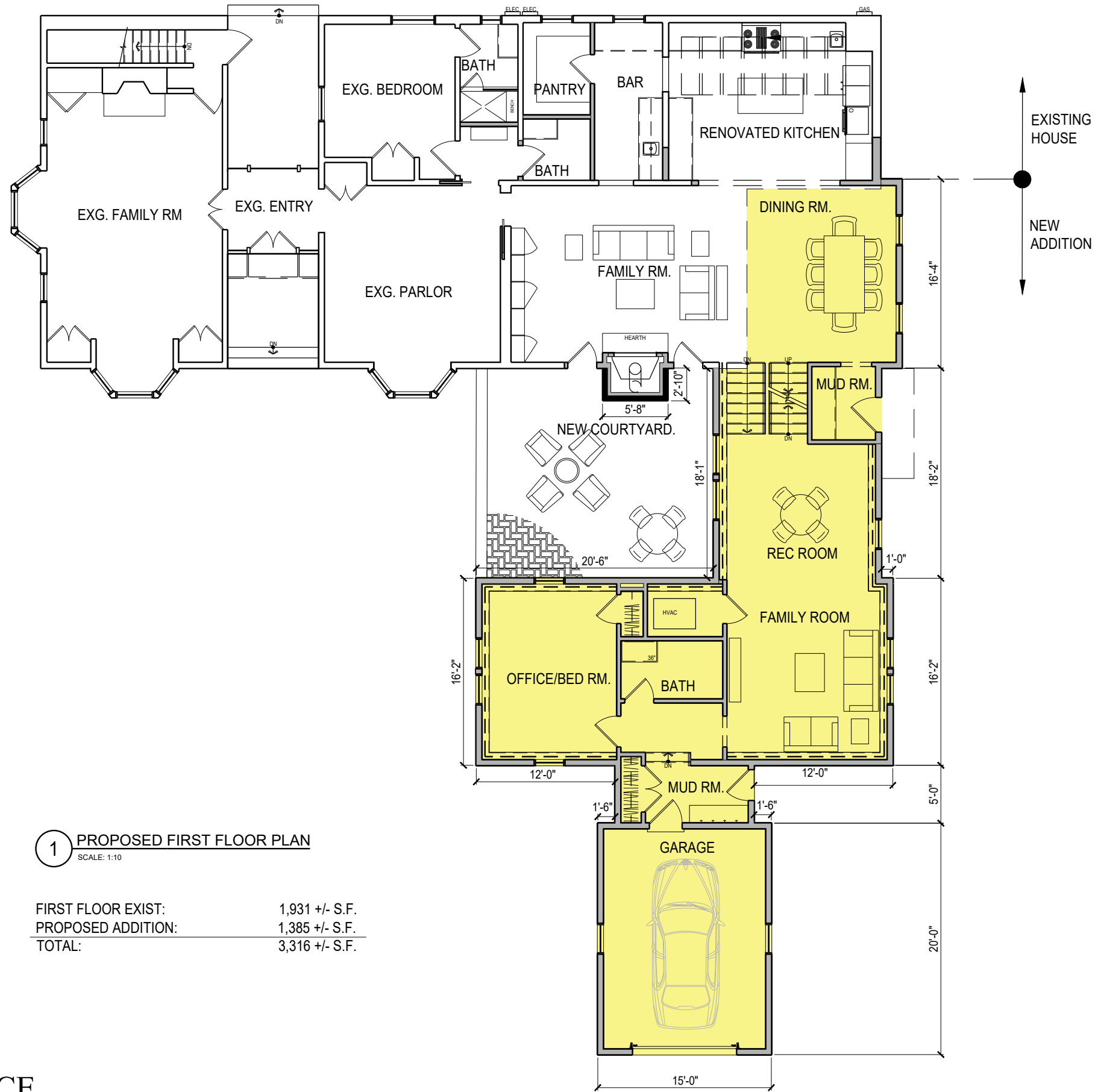
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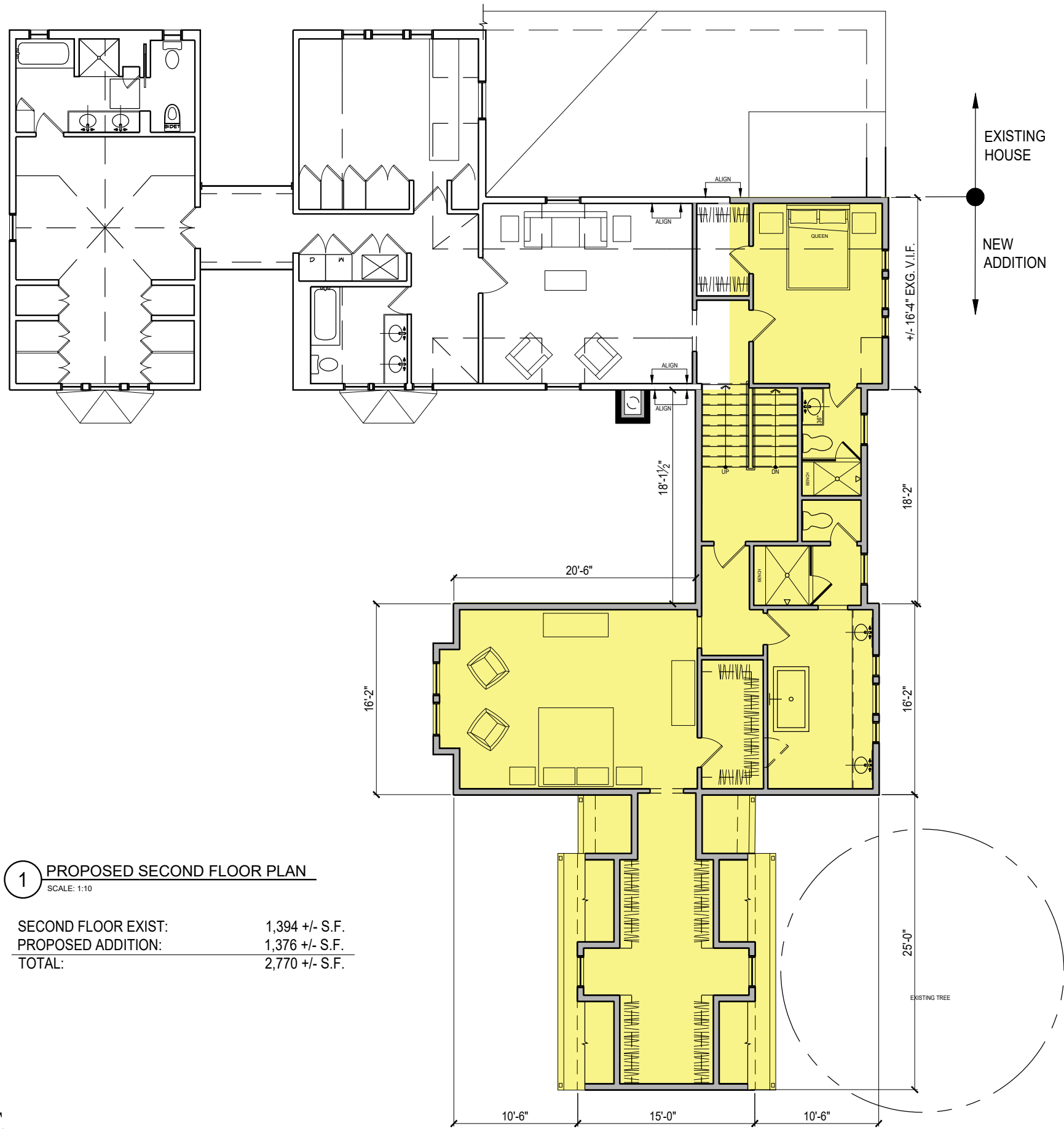
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1 PROPOSED FIRST FLOOR PLAN
SCALE: 1:10

| | |
|--------------------|-----------------------|
| FIRST FLOOR EXIST: | 1,931 +/- S.F. |
| PROPOSED ADDITION: | 1,385 +/- S.F. |
| TOTAL: | 3,316 +/- S.F. |

NORDBERG RESIDENCE



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1:10

| | |
|---------------------|-----------------------|
| SECOND FLOOR EXIST: | 1,394 +/- S.F. |
| PROPOSED ADDITION: | 1,376 +/- S.F. |
| TOTAL: | 2,770 +/- S.F. |

■ YELLOW TONED AREAS INDICATES
NEW FINISHED SQUARE FOOTAGE

— EXISTING WALLS
TO REMAIN

— NEW FRAME WALLS



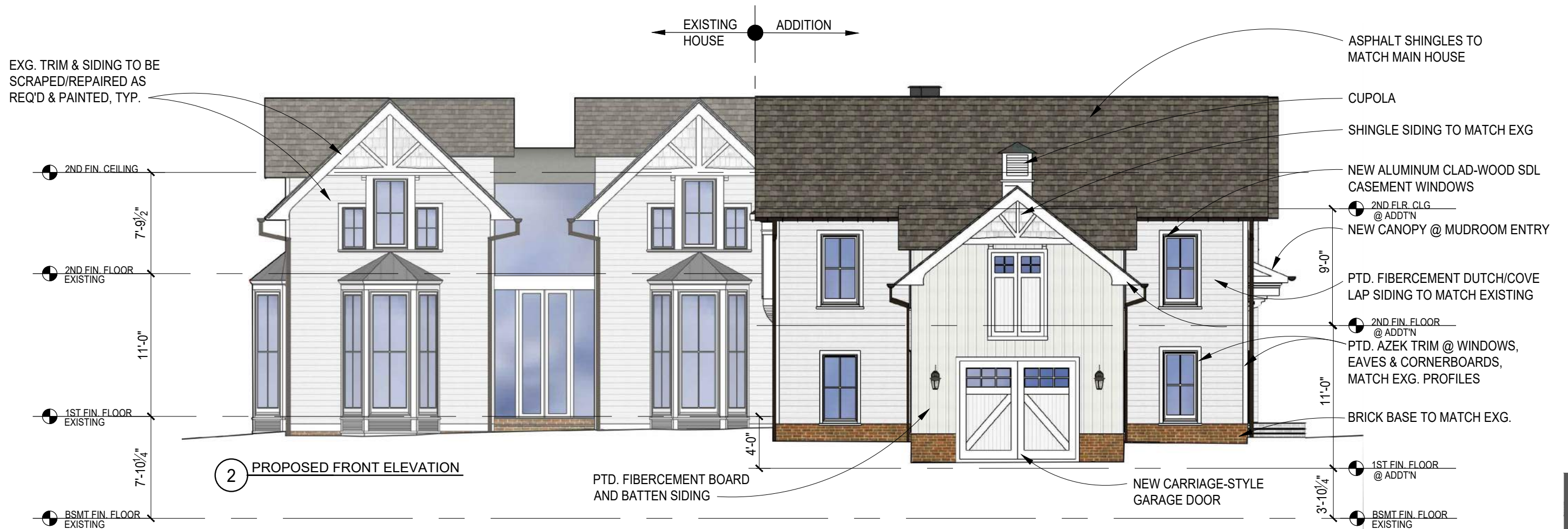
GTM ARCHITECTS

NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

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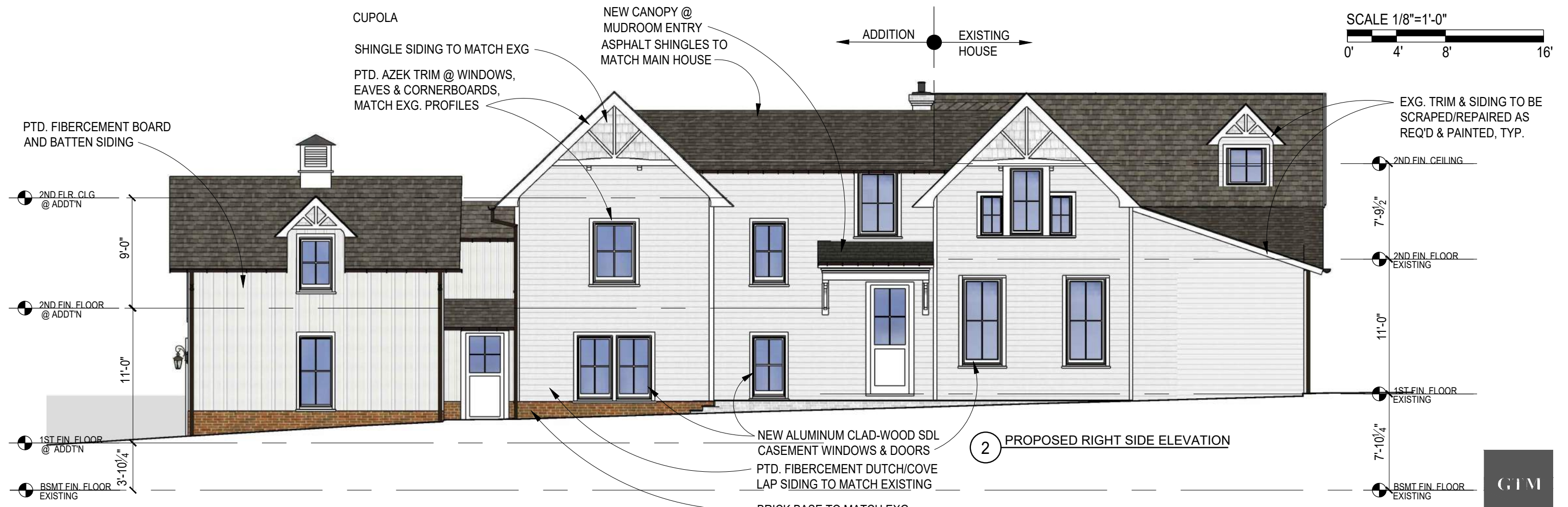
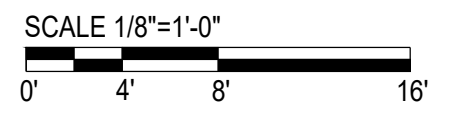
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NORDBERG RESIDENCE



1 EXISTING RIGHT SIDE ELEVATION



2 PROPOSED RIGHT SIDE ELEVATION

NORDBERG RESIDENCE





1 EXISTING RIGHT SIDE ELEVATION



2 PROPOSED RIGHT SIDE ELEVATION



ATTACHED CARRIAGE HOUSE OPT 1



ATTACHED CARRIAGE HOUSE OPT 2

NORDBERG RESIDENCE

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EXISTING

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PROPOSED

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EXISTING

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PROPOSED

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EXISTING

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PROPOSED

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EXISTING - AERIAL

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PROPOSED - AERIAL

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Residential remodeling
and addition,
Chevy Chase, Maryland
Hugh Jacobsen, Architect

Few readers will recognize Hugh Jacobsen's touch in the exterior of this remodeled Victorian house in a suburb of Washington, D.C. The original portion of this house was built in 1871 as an outbuilding to a larger house of similar style. The main house was long ago erased by a change in the street plan, but the small house remained, surviving several owners and a series of modest alterations.

When the present owner purchased the property in 1975, Hugh Jacobsen was retained to make a new addition and to thoroughly modernize the interiors. But because the neighborhood was old, the corner site prominent, and the Victorian character of the design so lovingly preserved through earlier alterations, Jacobsen carried out the new exterior work using the old mold—or carefully studied reproductions of that mold. The original entry with its covered porch was removed. A floor-to-ceiling bay window was substituted and then repeated on the new wing. Window trim, fenestration and eave details were carefully researched as were paint colors used in small country houses of the 1870s. Both in the old exterior and in the addition, the ethos of the earlier era was preserved, including the promise of well proportioned, carefully developed spaces within.

On the inside, however, the Old Queen would not have found herself at home. The house is fully air conditioned and the interior development of the spaces, their arrangement, their furnishing are pure Jacobsenian. Starting with the glass entry link, and continuing across two floors, the house is contemporary and equipped with all the appurtenances of modern life.

There is always a special feeling about houses in which the old and the new are beautifully harmonized. Here this harmony is achieved very purposefully through a process of historical allusion that, as recently as five years ago, might have been unthinkable for most architects and even today takes courage and sensitivity.



Architect: Hugh Newell Jacobsen
1427 27th Street, N.W.
Washington, D.C.

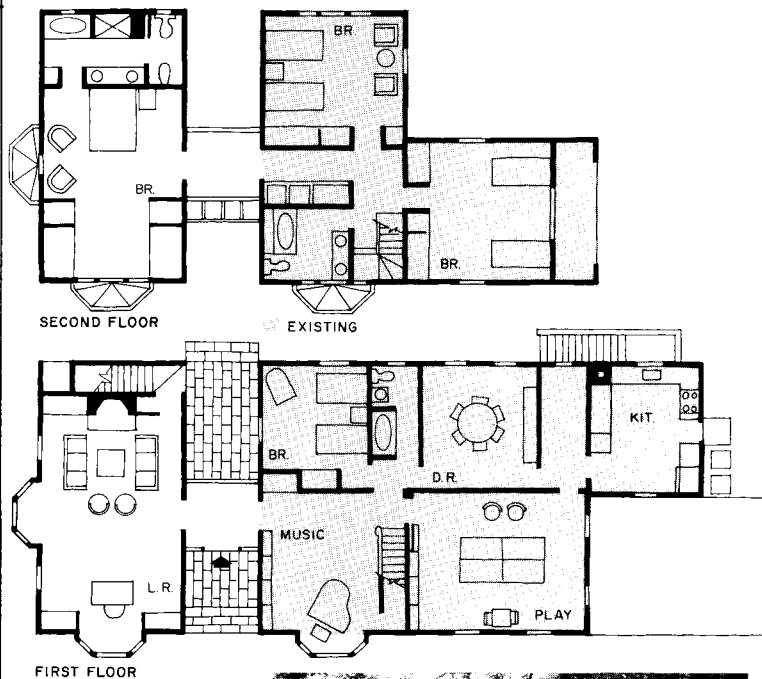
Engineer:

Kraas & Mok (structural)

Contractor: Owner

Photographer: Robert Lautman

Courtesy of House & Garden © 1977,
Coude-Nast Publications, Inc.



The small photo (above) shows the original portion of the small house. The entrance, across a porch, leads into what is now the music room (photo lower right). The living room (photo below) and bedroom above make up the new addition.





Chevy Chase house was redesigned in 1970s by Hugh Newell Jacobsen

HOUSE OF THE WEEK | The four-bedroom, three-bathroom house, renovated in the 1970s by the prominent architect, is listed at \$3.25 million



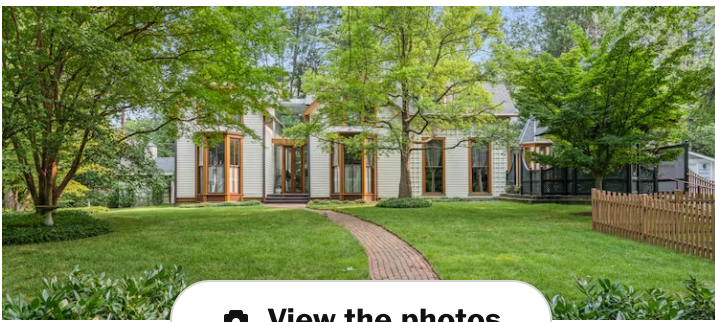
By [Sophia Solano](#)

October 6, 2023 at 5:00 a.m. EDT

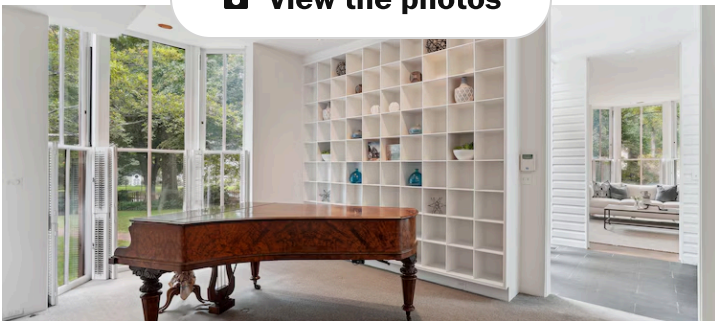
About 50 years after Hugh Newell Jacobsen, a famed modernist architect, renovated this house in Chevy Chase Village, Md., it remains largely unchanged — a marriage of Victorian design and his signature egg-crate bookcases, high ceilings and oversize windows.

The house, on a corner lot at 17 West Irving St., was built in 1871 as a carriage house for a residence that no longer stands. Robert and Judith Elliott bought the property in 1975 despite the house's turquoise exterior, according to a 1988 American Institute of Architects Press article. The Elliotts asked Jacobsen, who had worked with them on another renovation, to visit the property before they bought it, according to Meg Smith, their daughter and the current seller.

“He took one look at this tiny little sort of farmhouse cottage that had 10-foot ceilings on the main level and said, ‘Yes, we can work with this,’” Smith said.



[View the photos](#)



An existing wing of the house was preserved during the renovation, which took more than a year, and another wing was added. Jacobsen retained some of the house’s Victorian characteristics (though not the turquoise exterior), but he downplayed their importance.

“The mix works best when it’s 90 percent modern,” he told *House & Garden* in May 1977. “In effect, this house is as Victorian as a Chevrolet.”

In 1985, Jacobsen oversaw further renovations, including remodeling the kitchen. A patio and a Victorian-style gazebo were added to the front yard. The striking outdoor structure, according to a 1988 *Architectural Digest* article, is a result of the Elliotts asking Jacobsen to “carve a private backyard within the front yard.” The finished product includes a nearly seven-foot weather vane in the shape of an English griffin.

Jacobsen described the house — now on the market for \$3.25 million — as “a maverick,” and others have admired its originality. It won an American Institute of Architects award in 1978 and another in 1988. It stands out among its neighbors in the Chevy Chase Village Historic District, where such renovations are no longer allowed.

Jacobsen, who died in 2021, worked for such prominent clients as Jacqueline Kennedy Onassis and Meryl Streep, and he left his mark in and around D.C. His own home, in Georgetown, was [listed this summer for \\$6.2 million](#).

The wood-and-glass front entryway of the Chevy Chase house leads, on one side, to a living room with floor-to-ceiling windows and, on the other, to a parlor with egg-crate bookshelves (named for their many interlocking compartments).

In back, the house has the dining room and kitchen, with a 12-foot ceiling and skylights. It also has a family room, a den (or additional bedroom) and a full bathroom. A patio wraps around one side and the back of the house.

The primary bedroom suite fills the newer wing's second level. It includes a dressing area, vaulted ceilings and a bathroom with a skylight. A washer and dryer are also on this level, along with two more bedrooms with large closets and a shared hall bathroom. The lower level includes unfinished storage space.

The property has not changed families since the Elliotts bought it in the mid-1970s. "It's going to be weird to let it go," Smith said. She lived in the house until she moved out after college in 1989. "It's been such a fixture in my life."

\$3,250,000

17 West Irving St., Chevy Chase, Md.

- **Bedrooms/bathrooms:** 4/3
- **Approximate square footage:** 3,200
- **Lot size:** 0.28 acres
- **Features:** Originally built in 1871 as a carriage house, this residence underwent a major renovation in the mid-1970s by prominent modernist architect Hugh Newell Jacobsen but retains Victorian touches. The clapboard-sided house has a front-yard gazebo, a wheelchair-accessible ramp entrance and driveway parking for two cars.
- **Listing agent:** Liz Lavette Shorb, Washington Fine Properties

- What is the measurement of the existing height of the house from ground to roof peak, and what are the proposed heights of the addition and garage?

At the entry to the existing house, the overall height from grade to roof peak is approximately 25'-4".

- What will be the setback from the front of the proposed garage to West Irving Street?

The front of the proposed garage to W Irving St is approximately 44'-9".

- What will be the material of the decorative bracing in the pediments?

Painted timber.

- What will be the material of the garage and egress doors?

Please see attached documents showing garage door and egress door specifications.

- What will be the material of the cupola?

Please see attached documents showing the cupola specifications.

- Will all the windows be aluminum-clad wood?

All new windows will be aluminum-clad wood SDL.

- What will be the material of the driveway?

The material of the driveway will match the existing material, asphalt.

- What will be the material of the shingles?

Asphalt shingles to match existing.

- What will be the material of the roofs over the proposed bays?

Standing seam metal to match existing.

- What will be the material of the brackets supporting the shed roof over the mudroom on the right-side elevation?

Painted timber.

- What will be the material of the terrace/patio?

The terrace patio and new walkways will be flagstone, and the faces will be brick.

- Please confirm that the garage roof will be a gable and not a gambrel as is shown on the one of the renderings options.

Confirmed, we are moving forward with the gable roof garage scheme.

Questions before you order? Call us at 866-400-1776.



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| Metal Roof Colors | | |
|-------------------------------------|---------------------------------------|-----------------------------------|
| <input type="checkbox"/> Bare Metal | <input type="checkbox"/> Forest Green | <input type="checkbox"/> Charcoal |
| <input type="checkbox"/> Bronze | <input type="checkbox"/> Brass | <input type="checkbox"/> Copper |

Hamlin Style Cupola 24" w x 35" h

\$699.00

Shipping calculated at checkout.

4 interest-free installments, or from **\$63.09/mo** with [shop Pay](#)

Check your purchasing power

Color

24" w x 35" h with a Copper Roof

Add Screens

No

Quantity

1

ADD TO CART

This cupola will handle up to a 10/12 pitch. Another option is a Window Hinge.

Made in the USA from maintenance free, 3/4" PVC vinyl trim board. Valley Forge Cupolas takes great pride in working with our Amish cupola makers who build all of our beautiful cupolas right here in Pennsylvania. Add curb appeal to

your roof with our magnificent cupolas, weathervanes and finials. Call us with any cupola questions.

Our cupolas are weathervane ready with 3/4" weathervane hole, a plug or no weathervane hole.

The vinyl material is easily paintable with Sherwin Williams "Duration" paint.

The Copper Roofs are 16 oz., 24 gauge copper.

Installation Instructions are supplied with the cupola.

To purchase more than two cupolas please call 866-400-1776.

Cupolas Banish Boring Rooflines.



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Hamlin Style Cupola 30"w x 42"h
from \$833.00



Hamlin Style Cupola 22" w x 30" h
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Hamlin Style Cupola 36" w x 50" h
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America's Favorite Garage Doors[®]



*Model CGU/CG/GD12 with ARCH3 Windows.
Shown with Sandtone Steel Base
and Standard White Composite Overlays;
Standard Spade Handles and Step Plates.*

COACHMAN[®] garage doors

Coachman[®] garage doors give your home classic elegance while complementing your home's architectural style. With four distinctive series, Coachman offers the sophisticated expression of a carriage house door with the science of durable steel and composite construction. It's the perfect blend of beauty and practicality — masterful in the details and innovative in design — and it's only from Clopay.

4-Layer Construction


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insulation technology

Warmer. Quieter. Stronger.

Coachman[®] garage doors featuring Intellcore[®] insulation technology represent the ultimate smart choice for homeowners. Clopay's Intellcore[®] is a proprietary polyurethane foam that is injected into a garage door, expanding to fill the entire structure. The result is a door with incredible strength and durability. Its dense insulation also produces a quieter door, and with one of the industry's leading R-values of 18.4, it provides year-round comfort and improved energy efficiency. Smart, indeed.



Composite overlay with beveled, coped edge and center groove creates a detailed carriage house look.

| CGU MODELS | | CG MODELS | | CD MODELS | |
|---|----------------------------|-----------|------|-------------------------------|---------|
|  | 2" POLYURETHANE INSULATION | R-VALUE | 18.4 | 2" POLYSTYRENE INSULATION | R-VALUE |
| | | | 9.0 | 1 3/8" POLYSTYRENE INSULATION | R-VALUE |
| | | | | | 6.5 |

Calculated door section R-value is in accordance with DASMA TDS-163.

Model CGU/CG/CD21 with ARCH3 Windows.
 Shown with Standard White Steel Base and
 Standard White Composite Overlays;
 Standard Spade Handles and Step Plates.



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SERIES TWO DESIGNS

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| | TOP11 (Solid) | TOP12 (Solid) | TOP13 (Solid) | ARCH1 (Solid) | ARCH1 Window | ARCH3 Window | ARCH4 Window | ARCH13 Window | ARCH14 Window | SQ23 Window | SQ24 Window | REC11 Window | REC13 Window | REC14 Window |
| CGU CG CD 21 | | | | | | | | | | | | | | |

| | | | | | | | | | | | | | | |
|-----------------------|------------------|------------------|------------------|------------------|-----------------|-----------------|-----------------|------------------|------------------|----------------|----------------|-----------------|-----------------|-----------------|
| | TOP11 (Solid) | TOP12 (Solid) | TOP13 (Solid) | ARCH1 (Solid) | ARCH1 Window | ARCH3 Window | ARCH4 Window | ARCH13 Window | ARCH14 Window | SQ23 Window | SQ24 Window | REC11 Window | REC13 Window | REC14 Window |
| CGU CG CD 22 | | | | | | | | | | | | | | |

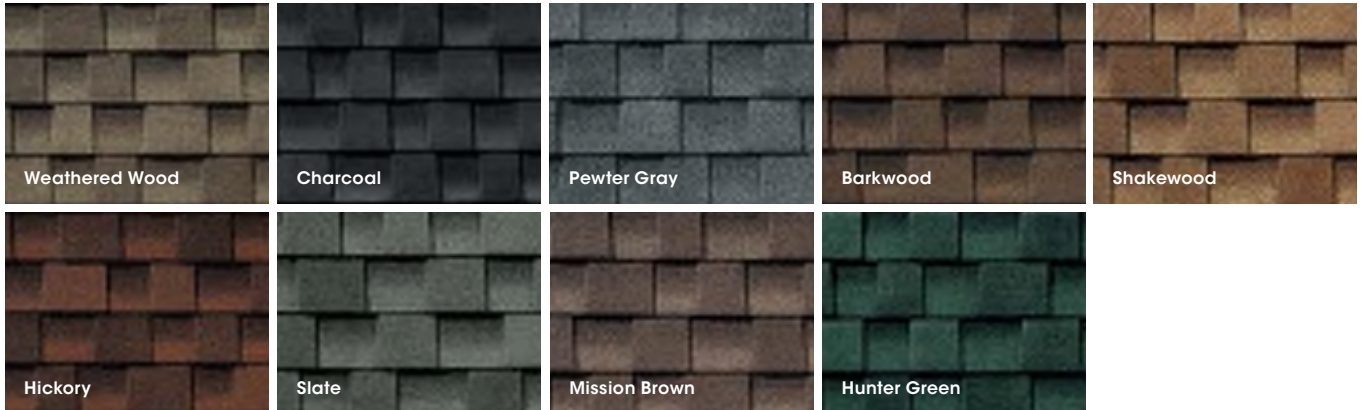
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|-----------------------|------------------|------------------|------------------|------------------|-----------------|-----------------|-----------------|------------------|------------------|----------------|----------------|-----------------|-----------------|-----------------|
| | TOP11 (Solid) | TOP12 (Solid) | TOP13 (Solid) | ARCH1 (Solid) | ARCH1 Window | ARCH3 Window | ARCH4 Window | ARCH13 Window | ARCH14 Window | SQ23 Window | SQ24 Window | REC11 Window | REC13 Window | REC14 Window |
| CGU CG CD 23 | | | | | | | | | | | | | | |

9' wide x 7' high; shown with Sandtone base and Standard White overlays. Consult your Clopay Dealer or clodaydoor.com for additional sizes.

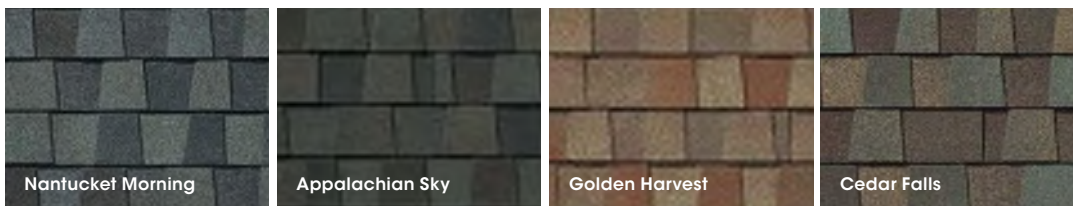
Color Availability



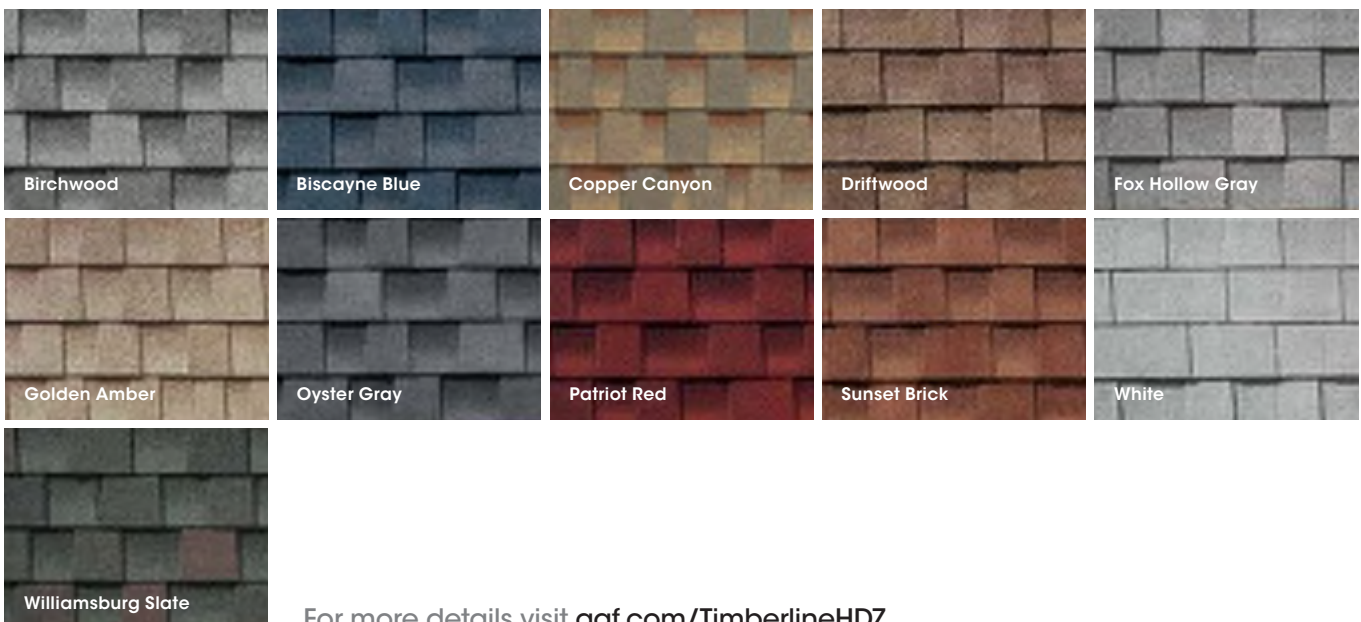
Nationally Available Colors



Harvest Blend Colors



Regionally Available Colors (See next page for details.)



For more details visit gaf.com/TimberlineHDZ

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

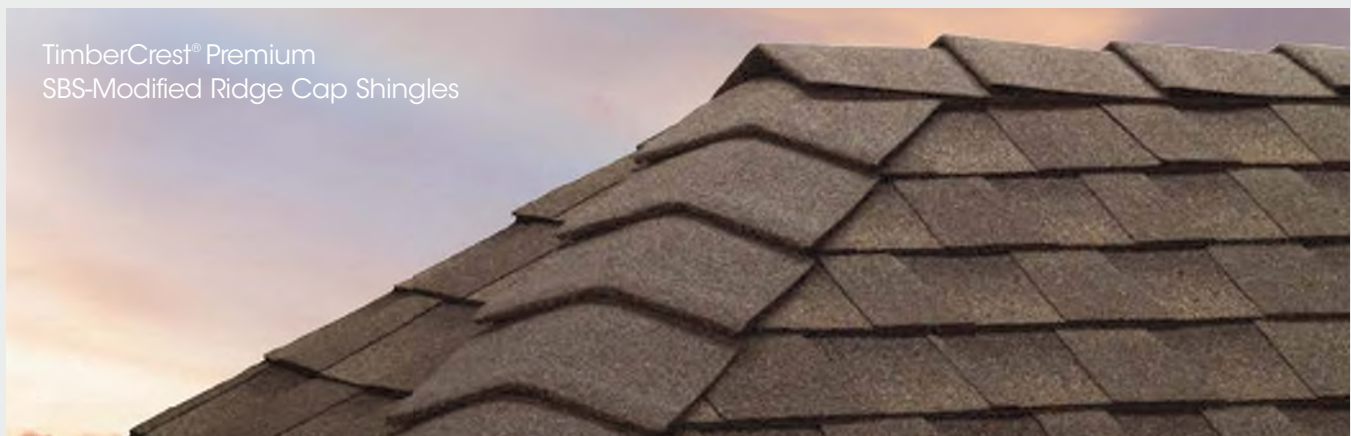
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Hip & Ridge Cap Shingles accentuate the natural beauty of your architectural shingle roof. They're the perfect finishing touch that helps defend against leaks at the hips and ridges. gaf.com/ridgecaps



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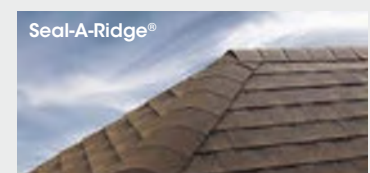
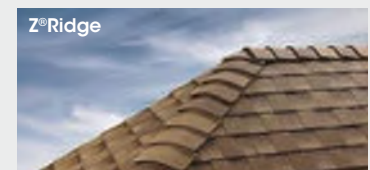


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TimberTex® and TimberCrest® Premium Ridge Cap Shingles are designed to complement the color of your Timberline® Shingles. To ensure the closest color consistency for your roof, ask your contractor to use genuine TimberTex® or TimberCrest® Premium Ridge Cap Shingles.¹

- Accentuate the beauty of your newly installed shingle roof
- Protect against leaks and blow-offs at the hip and ridge areas of your roof
- Complement the color of your GAF Shingles with hip and ridge cap shingles manufactured by GAF
- 25-year StainGuard Plus™ Algae Protection Limited Warranty² against blue-green algae discoloration uses GAF Time-Release Algae-Fighting Technology to help protect your ridge cap shingles from unsightly stains.

Also available¹



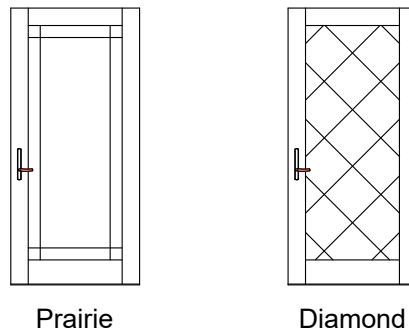
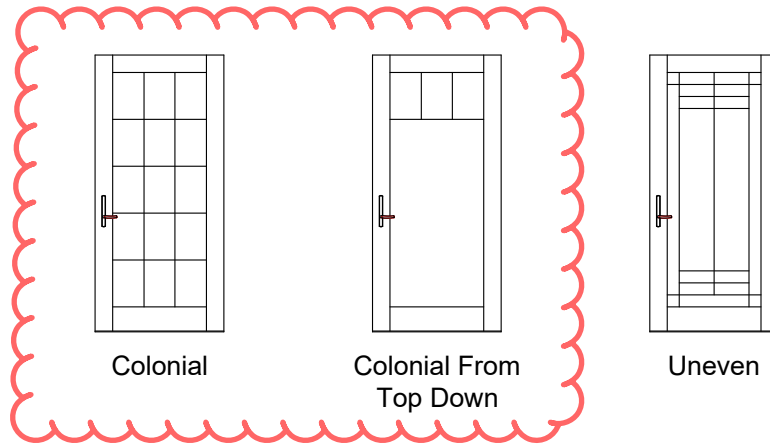
¹ These products are not available in all areas. See gaf.com/ridgecapavailability for details.

² 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.

GRID PATTERNS

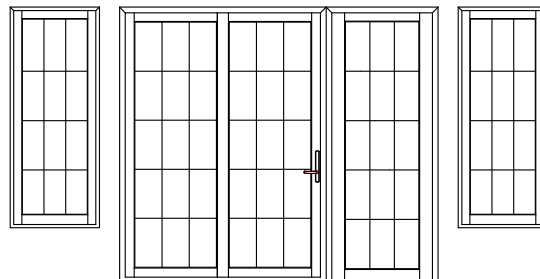
Siteline® Clad Wood Inswing Patio Doors are available with Grilles Between Glass (GBG), or Simulated Divided Lites (SDL) in various widths and styles. The standard grid patterns are shown below.

Special grid patterns can include a wide variety of straight line and radius patterns. Non-standard patterns are subject to factory approval.



Bar Alignment

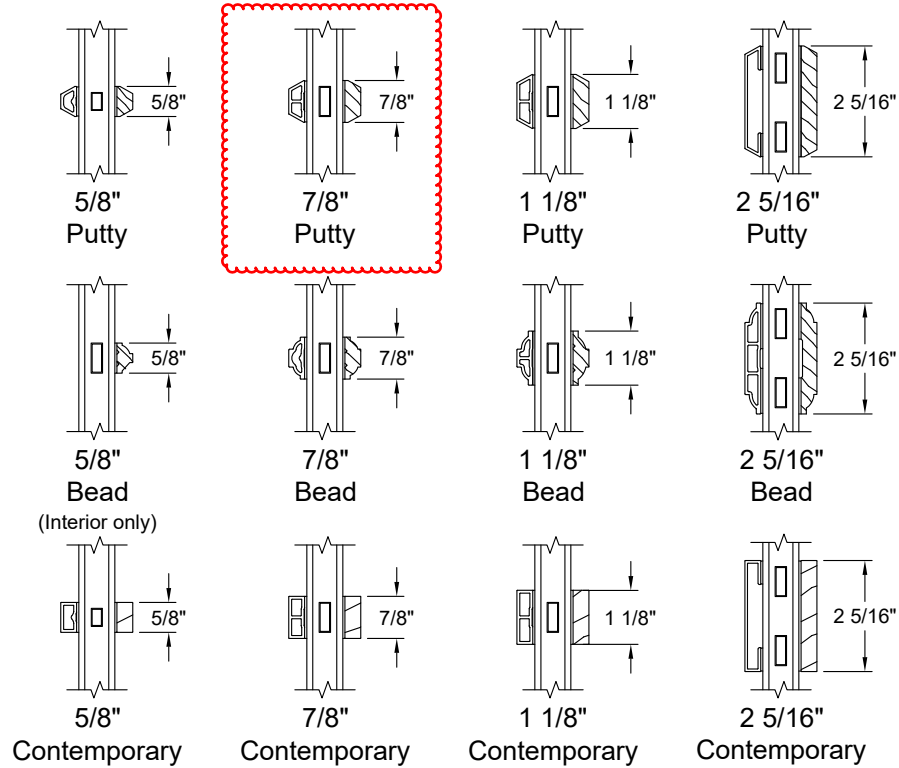
Alignment of bars from patio door to window is often required. SDL, GBG, and wood grilles may be specified with bars aligned.



GRID OPTIONS

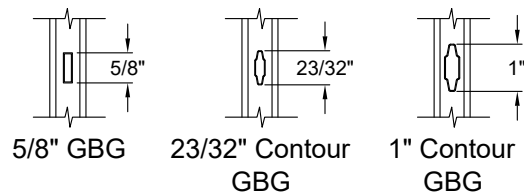
Exterior ← → Interior

SDL Options

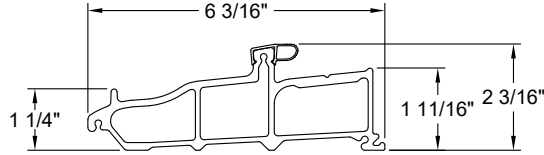


Various Combinations of the SDL Bars Shown are Available

GBG Options

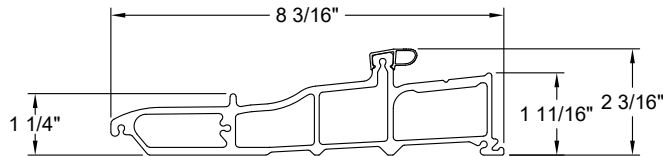


SILL OPTIONS



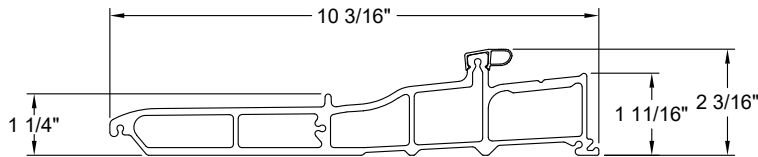
4 9/16" Hydrolock™ Sill

Used on jambs greater than or equal to 4 9/16" and less than 5 1/4"



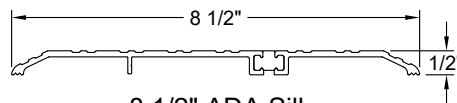
6 9/16" Hydrolock™ Sill

Used on jambs greater than or equal to 5 1/4" and less than 7 1/4"



8 9/16" Hydrolock™ Sill

Used on jambs greater than or equal to 7 1/4" and less than or equal to 9 1/4"

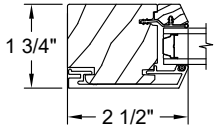


8 1/2" ADA Sill

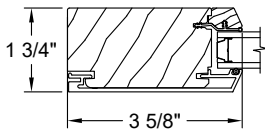
Used on ADA jambs greater than or equal to 4 9/16".
Maximum jamb width with ADA sill is 5 5/16".

STILE, BOTTOM RAIL, GLASS STOP & JAMB EXTENDER OPTIONS

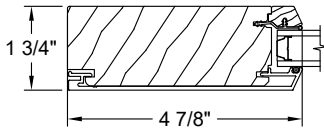
Stile Options



Sidelite Stile

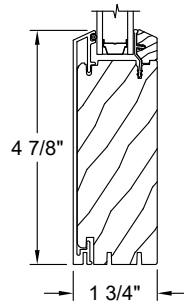


Narrow Stile

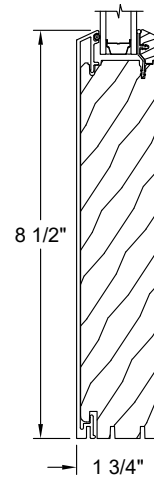


Wide Stile

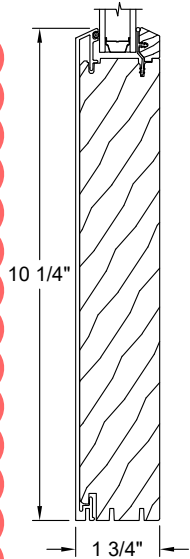
Bottom Rail Options



4 7/8" Contemporary

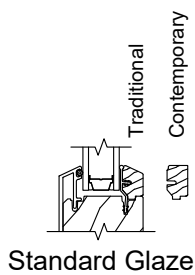


8 1/2" Standard

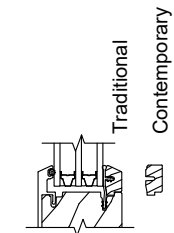


10 1/4"

Glass Stop Options

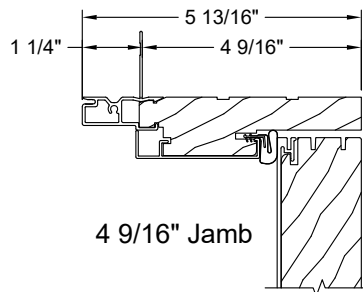


Standard Glaze

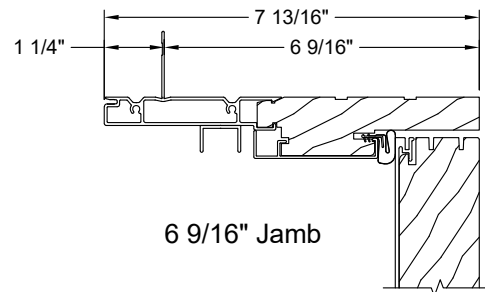


Triple Glaze

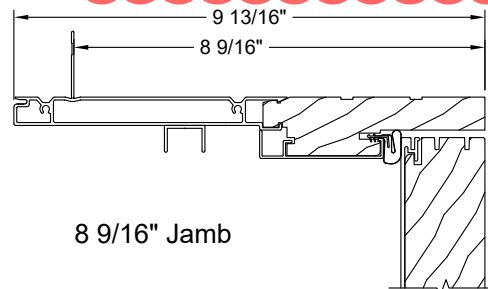
Jamb Extender Options



4 9/16" Jamb



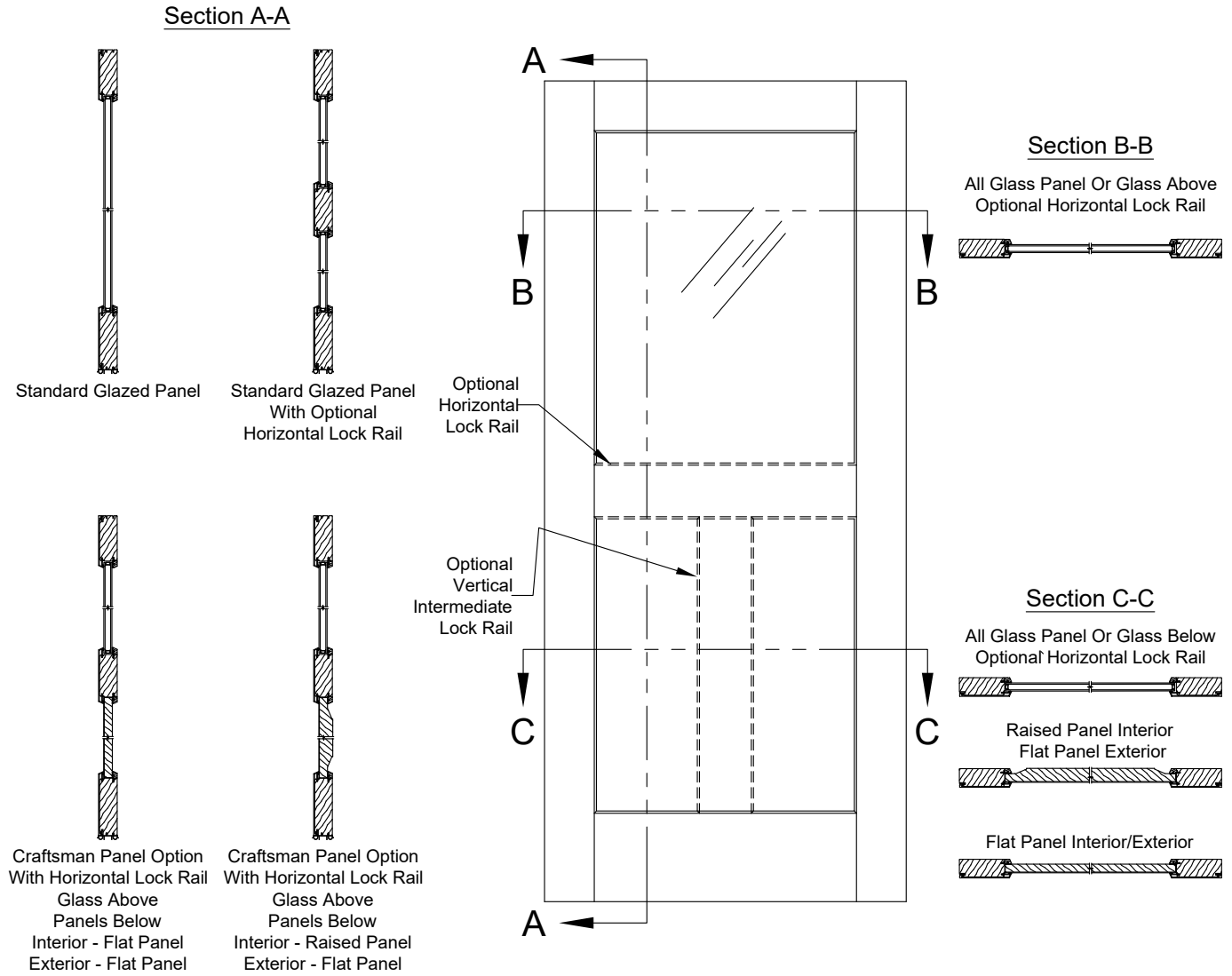
6 9/16" Jamb



8 9/16" Jamb

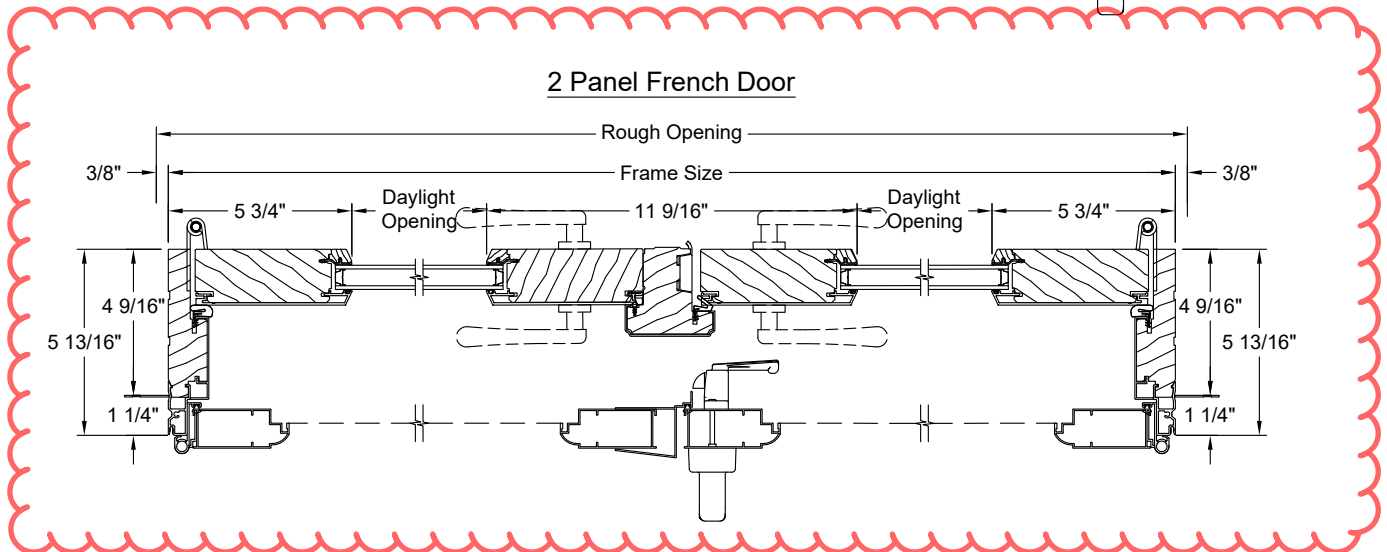
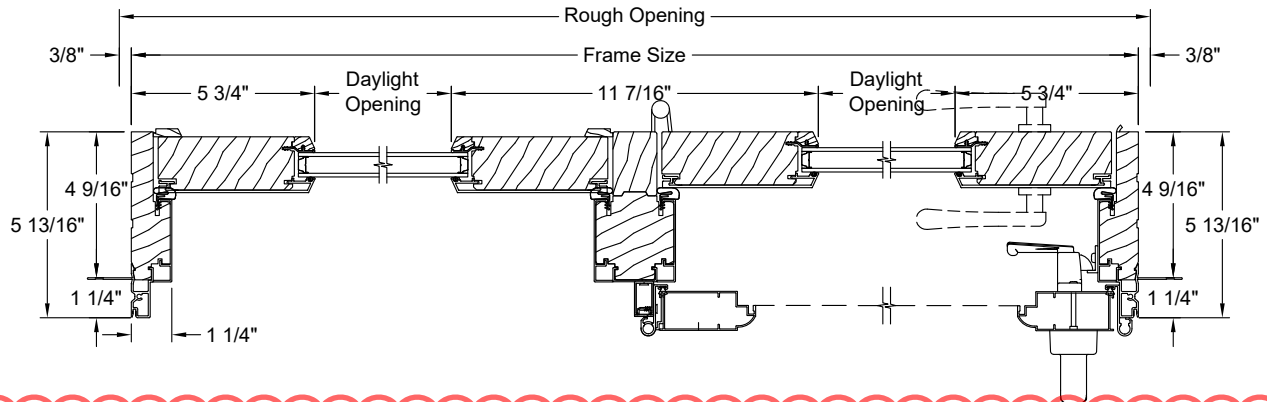
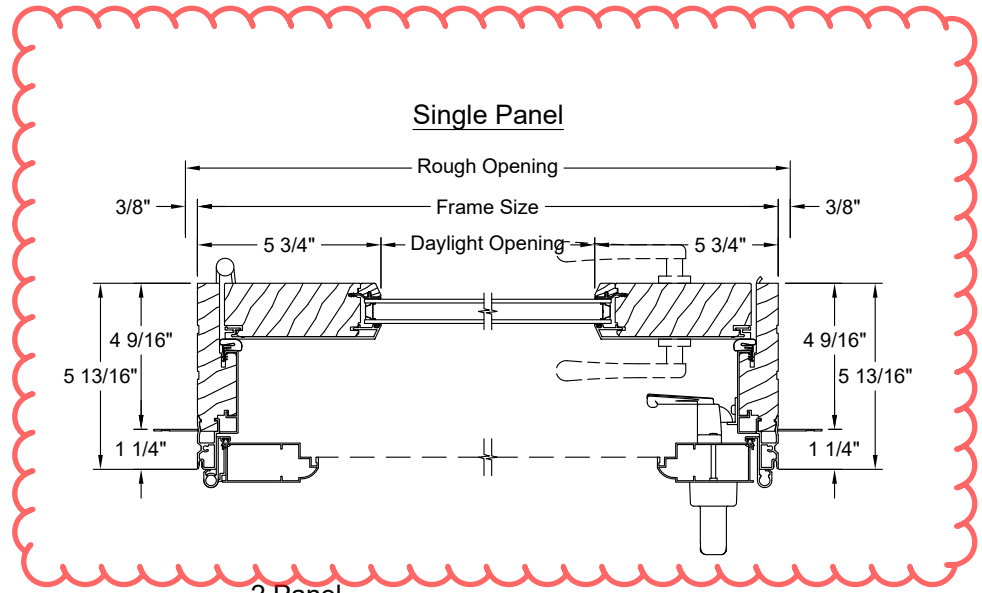
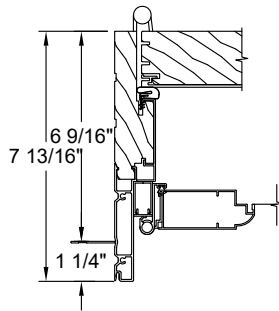
Note: Triple Glazed units use different cladding and glass stops than standard units.

RAISED PANEL OPTIONS



HORIZONTAL OPERATOR SECTIONS - HINGED SCREEN

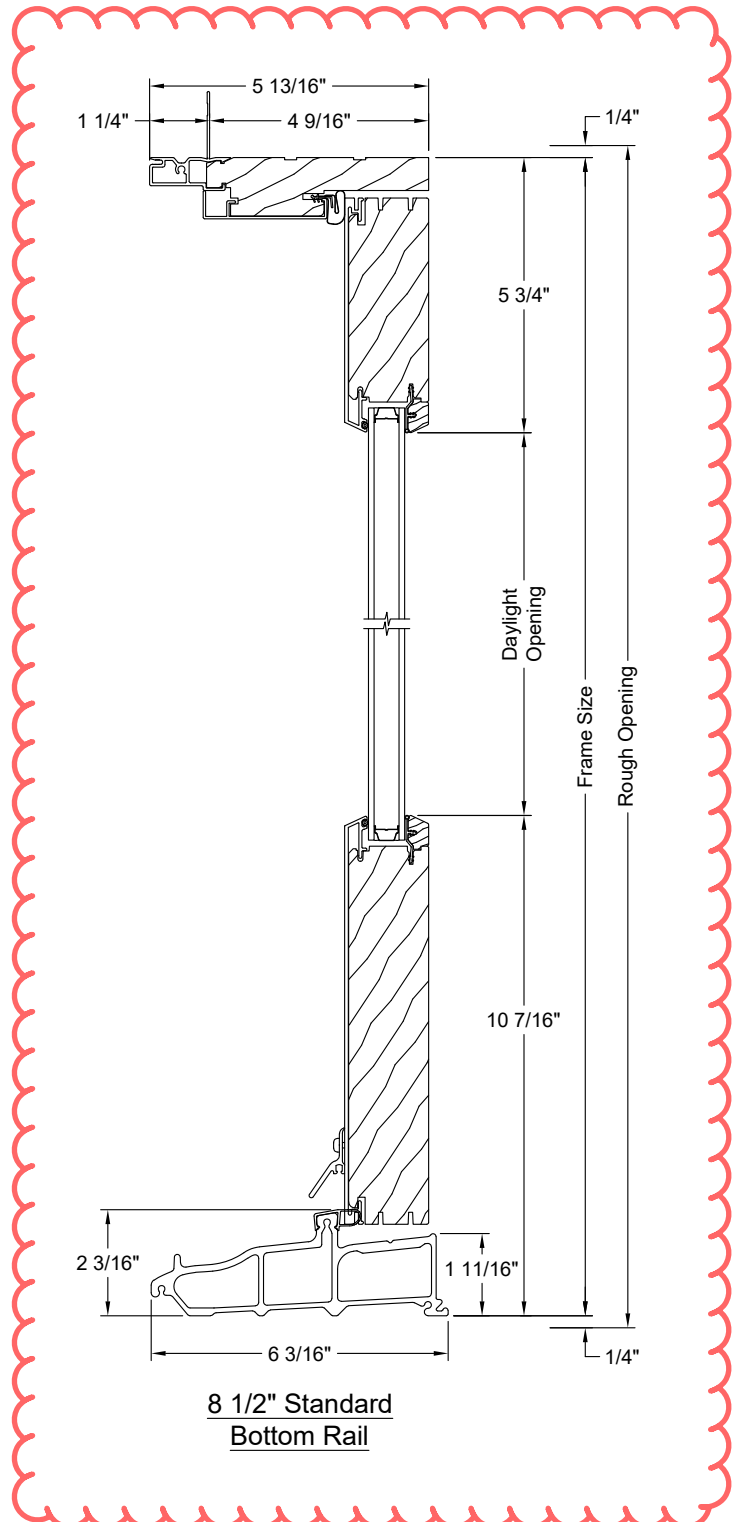
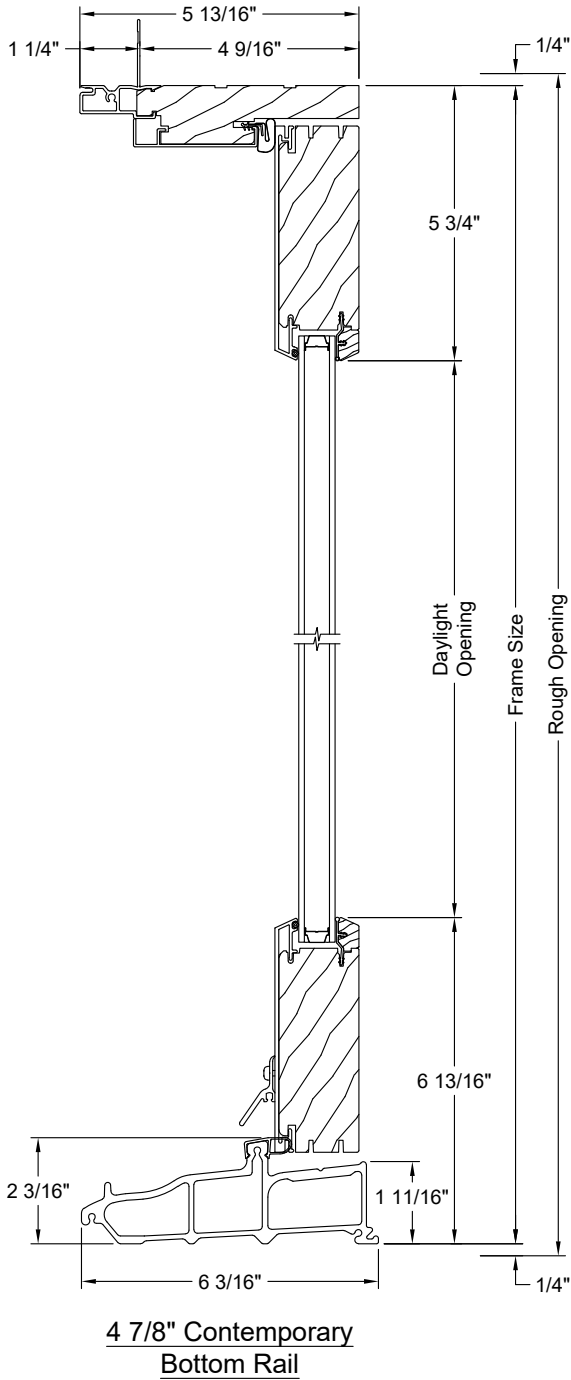
Jamb & head section
for jambs 6 9/16" or
greater.



Notes:

- Screen shown on wide stile units; other options are available.
- Sections shown for 4 9/16" jamb depth; sections vary for other depths.

VERTICAL OPERATOR SECTIONS - CONTEMPORARY & STANDARD



Trim

Designed to be used in non-load-bearing applications, TruExterior Trim is suitable for ground and masonry contact and moisture-prone areas, which makes it ideal for exterior trim applications such as fascia, door trim, soffits, rake boards and a variety of other applications. There is no need to prime ends or field cuts. Plus, it can be painted any color. TruExterior Trim accepts common high-quality, exterior-grade fasteners and can be installed using standard woodworking tools and methods.





| 5/8 Trim Sizes | | 1X Trim Sizes | | 5/4 Trim Sizes | | 2X Trim Sizes | |
|----------------|----------------|---------------|----------------|----------------|--------------|---------------|------------------|
| Nominal | Actual | Nominal | Actual | Nominal | Actual | Nominal | Actual |
| — | — | — | — | — | — | 2 x 2 | 1-1/2" x 1-1/2" |
| — | — | 1 x 3 | 3/4" x 2-1/2" | 5/4 x 3 | 1" x 2-1/2" | — | — |
| 5/8 x 4 | 5/8" x 3-1/2" | 1 x 4 | 3/4" x 3-1/2" | 5/4 x 4 | 1" x 3-1/2" | 2 x 4 | 1-1/2" x 3-1/2" |
| — | — | 1 x 5 | 3/4" x 4-1/2" | 5/4 x 5 | 1" x 4-1/2" | — | — |
| 5/8 x 6 | 5/8" x 5-1/2" | 1 x 6 | 3/4" x 5-1/2" | 5/4 x 6 | 1" x 5-1/2" | 2 x 6 | 1-1/2" x 5-1/2" |
| 5/8 x 8 | 5/8" x 7-1/4" | 1 x 8 | 3/4" x 7-1/4" | 5/4 x 8 | 1" x 7-1/4" | 2 x 8 | 1-1/2" x 7-1/4" |
| 5/8 x 10 | 5/8" x 9-1/4" | 1 x 10 | 3/4" x 9-1/4" | 5/4 x 10 | 1" x 9-1/4" | 2 x 10 | 1-1/2" x 9-1/4" |
| 5/8 x 12 | 5/8" x 11-1/4" | 1 x 12 | 3/4" x 11-1/4" | 5/4 x 12 | 1" x 11-1/4" | 2 x 12 | 1-1/2" x 11-1/4" |

TruExterior Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

BOARD-AND-BATTEN SIDING

Whether a Modern Farmhouse design or creating accents on a gable, board-and-batten is one of the hottest trends in home exterior design. And it's easy to create the board-and-batten look using just TruExterior Trim.



TruExterior Trim comes pre-primed and does require paint.

WHITE OR READY-TO-PAINT TRIM

AZEK OFFERS STYLE-BASED SOLUTIONS

Ready-to-Install Classic AZEK® Trim: Crisp, Bright White

The ultimate exterior matchmaker, AZEK Trim comes ready to install in brilliant white with two finish options (smooth and woodgrain) to complement and instantly elevate any surrounding. AZEK Classic Trim can be painted — but because paint is not required for a clean, finished look, installations go faster.



Ready-to-Paint PaintPro Enhanced Trim: The Best Substrate for Paint

If your project requires painting trim, AZEK PVC Trim with PaintPro technology is the perfect choice. Ready to paint. No sanding. No priming. PaintPro Trim maintains the long-lasting, low-maintenance benefits of PVC trim while adding enhanced paintability. Paint bonds securely for lasting adhesion that resists splits, chips, and flakes.



*PaintPro must be painted within 180 days of installation.
Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.AZEKexteriors.com/products/trim/trim-boards/paintpro-trim)

AZEK TRIM OUTPERFORMS WOOD TRIM

AZEK Trim is made from 100% engineered polymer to provide a durable, long-lasting building material that is far more resistant to the elements than wood. No sealants are needed on surfaces or cut ends; every inch of our trim is equally protected against moisture. With superior uniformity, durability, workability, beauty, and much more, AZEK PVC Trim is the better choice for exteriors than wood.

| | AZEK PVC TRIM | WOOD TRIM |
|---|---------------|-----------|
| UNIFORMITY | | |
| Square edges | ★ | ★ |
| No knots, no waste; every inch usable | ★ | |
| DURABILITY | | |
| Will not rot, split, splinter, delaminate, warp, or swell excessively from moisture | ★ | |
| Impervious to moisture and insect-resistant | ★ | |
| Suitable for ground and masonry contact | ★ | |
| Lifetime limited warranty | ★ | |
| Handles easily without breakage | ★ | ★ |
| WORKABILITY | | |
| Use standard woodworking tools | ★ | ★ |
| Safely milled, shaped, and molded without special safety equipment | ★ | ★ |
| Can be heat-formed | ★ | |
| Fasten close to edge without predrilling | ★ | |
| BEAUTY | | |
| Readily accepts paint* | ★ | ★ |
| Can be crafted for unique applications | ★ | ★ |
| EXTRAS | | |
| Available in trim boards, sheets, cornerboards, beadboard, and mouldings | ★ | |
| Special labor-saving solution profiles available | ★ | |

★ ALL PRODUCTS MEET CRITERIA
 † SOME PRODUCTS MEET CRITERIA

*PaintPro must be painted within 180 days of installation.
 Visit [AZEKexteriors.com/products/trim/trim-boards/paintpro-trim](https://www.AZEKexteriors.com/products/trim/trim-boards/paintpro-trim).



GET FREE TRIM SAMPLES WITH
PAINTPRO® TECHNOLOGY



CLASSIC AZEK

Available in smooth or woodgrain finish

PAINTPRO TECHNOLOGY

Reversible (one side smooth, one side woodgrain)

Smooth Finish

Woodgrain Finish

All AZEK Trim is long-lasting, moisture-resistant, and keeps its appearance with very little maintenance. Easily mill and router our trim, or heat form it before painting, for exquisite customized or curved applications. Classic AZEK Trim's brilliant white complements any exterior while AZEK Trim with PaintPro® was made to be painted.

PROTECTIVE FILM KEEPS CLASSIC WHITE TRIM CLEAN

Classic AZEK Trim with protective film is available for smooth and woodgrain finishes. To ensure it looks as beautiful on your client's home as it does when it leaves our facilities, a protective film preserves AZEK Trim's crisp white semi-matte finish.

| NOMINAL THICKNESS | NOMINAL WIDTH | | | | | | |
|-------------------|---------------|----|----|----|----|----|----|
| | 4 | 5 | 6 | 8 | 10 | 12 | 16 |
| 5/4 | SW | SW | SW | SW | SW | SW | SW |
| 4/4 | SW | SW | SW | SW | SW | SW | SW |
| 5/8 | SW | SW | SW | SW | SW | SW | SW |

The film protects AZEK Trim through every production phase:

- Shipping
- Repackaging
- Installation
- Storage
- Handling

AZEK Trim with protective film should be kept dry prior to installation. Do not expose film to direct sunlight for extended periods. Protective film can be removed prior to, during, or immediately after installation.



AZEK® TRIM

8/4 X THICKNESS

| NOMINAL | ACTUAL | 18' |
|----------|------------------|-----|
| 8/4 x 4 | 1 1/2" x 3 1/2" | S |
| 8/4 x 6 | 1 1/2" x 5 1/2" | S |
| 8/4 x 8 | 1 1/2" x 7 1/2" | S |
| 8/4 x 10 | 1 1/2" x 9 1/2" | S |
| 8/4 x 12 | 1 1/2" x 11 1/2" | S |

6/4 X THICKNESS

| NOMINAL | ACTUAL | 20' |
|----------|------------------|-----|
| 6/4 x 4 | 1 1/2" x 3 1/2" | W |
| 6/4 x 6 | 1 1/2" x 5 1/2" | W |
| 6/4 x 8 | 1 1/2" x 7 1/2" | W |
| 6/4 x 10 | 1 1/2" x 9 1/2" | W |
| 6/4 x 12 | 1 1/2" x 11 1/2" | W |

5/4 X THICKNESS

| NOMINAL | ACTUAL | 12' | 16' | 18' | 20' |
|----------|--------------|-----|-----|-----|-----|
| 5/4 x 4 | 1" x 3 1/2" | SW | P | SW | SW |
| 5/4 x 5 | 1" x 4 1/2" | SW | | SW | SW |
| 5/4 x 6 | 1" x 5 1/2" | SW | P | SW | SW |
| 5/4 x 8 | 1" x 7 1/2" | SW | P | SW | SW |
| 5/4 x 10 | 1" x 9 1/2" | SW | P | SW | SW |
| 5/4 x 12 | 1" x 11 1/2" | SW | P | SW | SW |
| 5/4 x 16 | 1" x 15 1/2" | SW | P | SW | SW |

4/4 X THICKNESS

| NOMINAL | ACTUAL | 12' | 16' | 18' |
|---------|----------------|-----|-----|-----|
| 1 x 2 | 3/4" x 1 1/2" | | P | SW |
| 1 x 3 | 3/4" x 2 1/2" | | P | |
| 1 x 4 | 3/4" x 3 1/2" | SW | P | SW |
| 1 x 5 | 3/4" x 4 1/2" | SW | | SW |
| 1 x 6 | 3/4" x 5 1/2" | SW | P | SW |
| 1 x 8 | 3/4" x 7 1/2" | SW | P | SW |
| 1 x 10 | 3/4" x 9 1/2" | SW | P | SW |
| 1 x 12 | 3/4" x 11 1/2" | SW | P | SW |
| 1 x 16 | 3/4" x 15 1/2" | SW | P | SW |

5/8 X THICKNESS

| ACTUAL | 12' | 18' |
|----------------|-----|-----|
| 5/8" x 3 1/2" | SW | SW |
| 5/8" x 5 1/2" | SW | SW |
| 5/8" x 7 1/2" | SW | SW |
| 5/8" x 9 1/2" | SW | SW |
| 5/8" x 11 1/2" | SW | SW |
| 5/8" x 15 1/2" | SW | SW |

Smooth Finish (S)

Woodgrain Finish (W)

PaintPro Technology (P)

PaintPro Sheet Sheet ATM Sheet

AZEK SHEET

Applications over 16" wide are easy with AZEK Sheet. Use Sheet for bay windows, dormers, and raised panels.

| SHEET | 8' | 10' | 12' | 18' | 20' |
|-----------|-----|-----|-----|-----|-----|
| ACTUAL | | | | | |
| 3/8" x 4' | SW | SW | S | S | |
| 1/2" x 4' | SWP | SWP | SP | S | |
| 5/8" x 4' | S | S | S | S | |
| 3/4" x 4' | SWP | SWP | S | S | |
| 1" x 4' | S | S | S | S | S |

AZEK-TO-MILL (ATM)

ATM's thick profile makes it an ideal material for fabrication. Its consistent density offers a superior product for milling operations.

| AZEK-TO-MILL | 8' | 10' | 12' | 18' | 20' |
|--------------------|----|-----|-----|-----|-----|
| ACTUAL | | | | | |
| 1 1/4" x 9 1/2" | | | | S | |
| 1 1/2" x 3 1/2" | | | | S | |
| 1 1/2" x 5 1/2" | | | | S | |
| 1 1/2" x 7 1/2" | | | | S | |
| 1 1/2" x 9 1/2" | | | | S | |
| 1 1/2" x 11 1/2" | | | | S | |
| 1 1/2" x 48" Sheet | S | | | | |
| 1 1/2" x 48" Sheet | S | S | S | | S |

AZEK® MOULDING

With over 30 different profiles to mix and match, you can customize any build with a distinctive look.



THE MOST BEAUTIFUL, HIGH-PERFORMANCE MOULDING LINE AVAILABLE

With crisp, architectural details reminiscent of premium wood mouldings, high-performance AZEK® Moulding will last beautifully without the maintenance hassles associated with wood. Backed by AZEK's promise of high quality and lasting performance, AZEK Moulding will retain a like-new appearance despite the tests of time and weather. AZEK Moulding offers greater stability and predictability when fastening. Unlike traditional wood moulding, AZEK Moulding resists moisture and insect damage and will not rot or split.

CROWN PROFILES

Crown moulding profiles are typically decorative mouldings designed for use along the intersection of a wall or ceiling. They may be combined with other mouldings to create a built-up profile.

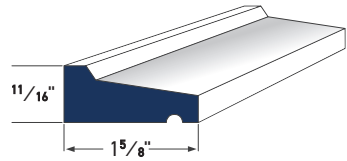
| | | | |
|--|--|--|---|
| <p>3" CROWN AZM-52 LENGTH: 16'</p> | <p>4" CROWN AZM-49 LENGTH: 16'</p> | <p>5" CROWN AZM-47 LENGTH: 16'</p> | <p>6" CROWN AZM-45 LENGTH: 16'</p> |
| <p>8" CROWN AZM-43 LENGTH: 16'</p> | <p>COVE MOULDING AZM-80 LENGTH: 16'</p> | <p>BED MOULDING AZM-75 LENGTH: 16'</p> | <p>3 1/2" BED MOULDING AZM-28 LENGTH: 16'</p> |
| <p>IMPERIAL RAKE CROWN AZM-6937 LENGTH: 16'</p> | <p>RAMS CROWN AZM-6934 LENGTH: 16'</p> | <p>SOLID CROWN AZM-7954 LENGTH: 16'</p> | <p>CROSSHEAD PEDIMENT AZM-6216 LENGTH: 18'</p> |

DETAIL & SILL/DRIP PROFILES

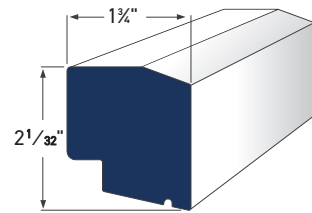
AZEK® Drip profiles can be used as a water table or brick ledge for separation and watershed against two different materials. AZEK Sill profiles shed water and offer architectural detail.



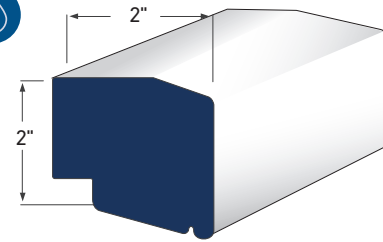
Denotes Water Management Drip Edge



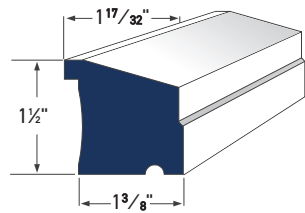
DRIP CAP AZM-197
LENGTH: 16'



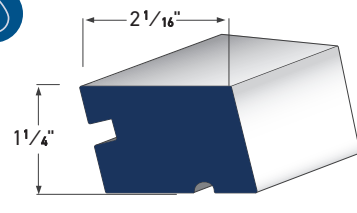
HISTORIC SILL AZM-6930
LENGTH: 16'



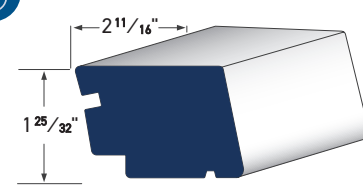
LARGE SILL NOSE AZM-7979
LENGTH: 16'



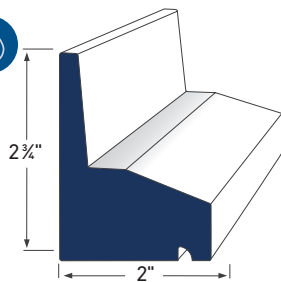
SUB SILL NOSE AZM-6933
LENGTH: 16'



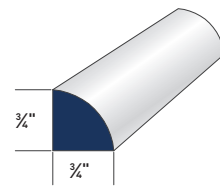
WINDOW SILL NOSE AZM-7974
LENGTH: 12'



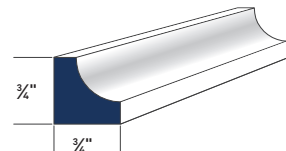
LARGE HISTORIC SILL AZM-7958
LENGTH: 16'



WATER TABLE AZM-6935
LENGTH: 18'



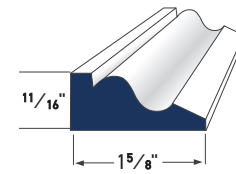
QUARTER ROUND AZM-105
LENGTH: 16'



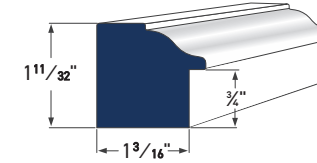
SCOTIA AZM-93
LENGTH: 16'

CASING PROFILES

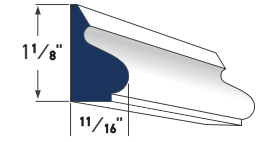
Use AZEK® Casing Profiles as decorative moulding against a wall, door, or window to create surrounds. Elevate your framing with style and durability.



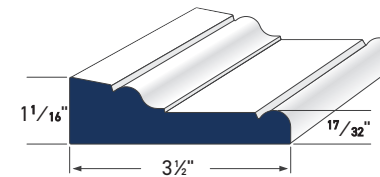
BAND MOULDING AZM-217
LENGTH: 16'



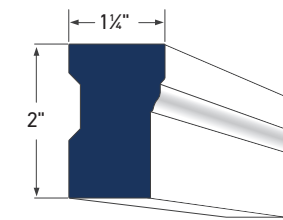
BACK BAND AZM-6931
LENGTH: 16'



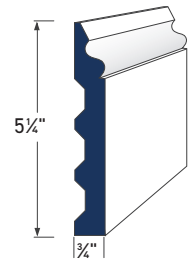
BASE CAP AZM-164
LENGTH: 16'



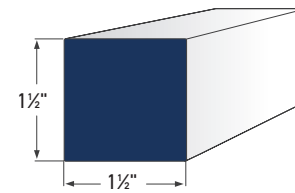
ADAMS CASING AZM-97
LENGTH: 16'



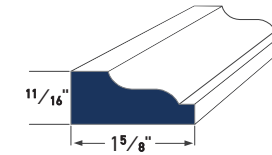
BRICK MOULD AZM-180
LENGTHS: 16', 17' and 18**



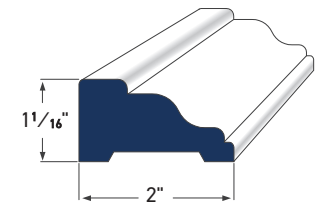
COLONIAL BASE CAP AZM-163
LENGTH: 16'



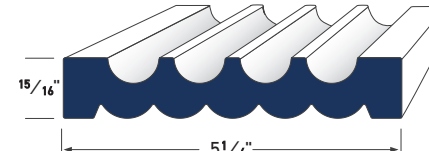
SQUARE PROFILE AZM-236
LENGTH: 12'



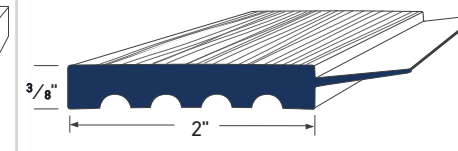
SHINGLE MOULD AZM-210
LENGTH: 16'



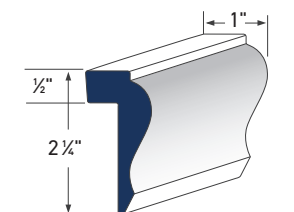
RAKE MOULDING AZM-287
LENGTH: 16'



FLUTED/REEDED AZM-606
LENGTH: 16'



GARAGE DOOR THERMOSTOP
AZM-6936 LENGTHS: 7', 9', and 16'



WAINSCOT CAP AZM-284
LENGTH: 16'

**18' Brick Mould (AZM-180) is available in full units only and cannot be ordered via the Pick & Pack program.

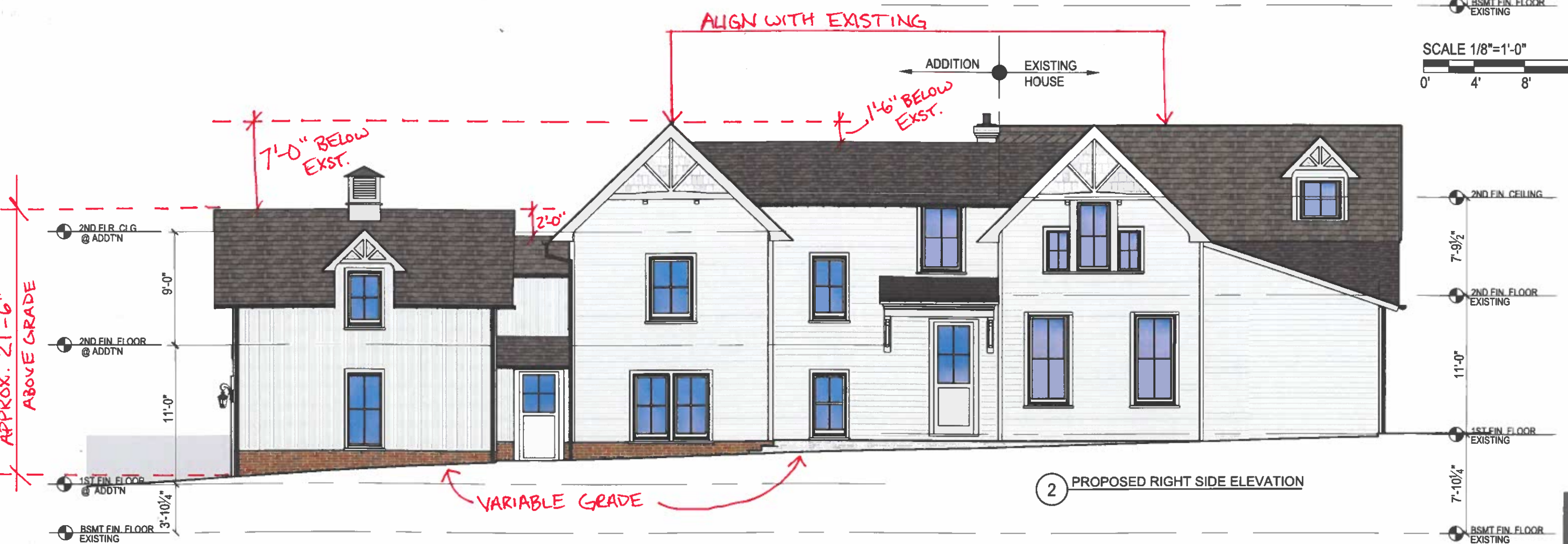
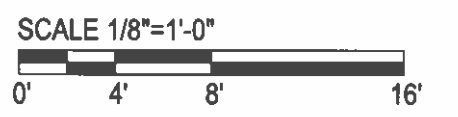


FLAGSTONE
TOP

BRICK FACE TO MATCH
EXST.



1 EXISTING RIGHT SIDE ELEVATION



2 PROPOSED RIGHT SIDE ELEVATION

NORDBERG RESIDENCE

17 W IRVING ST, CHEVY CHASE, MD 20815

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GTM ARCHITECTS

Chris Berger Site Visit 4.3.24
Facade from West Irving Street



Chris Berger Site Visit 4.3.24
Facade from West Irving Street



Chris Berger Site Visit 4.3.24
Facade from West Irving Street



Chris Berger Site Visit 4.3.24
Frieze detail



Chris Berger Site Visit 4.3.24
Facade



Chris Berger Site Visit 4.3.24
Rear elevation



Chris Berger Site Visit 4.3.24
Facade and gazebo



Chris Berger Site Visit 4.3.24
Right-side addition and hyphen



Chris Berger Site Visit 4.3.24
Left and front elevations



Chris Berger Site Visit 4.3.24
Left elevation



Chris Berger Site Visit 4.3.24
Front elevation from Magnolia Parkway



Chris Berger Site Visit 4.3.24
Front elevation from Magnolia Parkway

