

Second Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	19820 White Ground Road, Boyds	Meeting Date:	4/3/2024
Resource:	Non-Contributing Resource Boyds Historic District	Report Date:	3/27/2024
Applicant:	Danilza Garcia	Public Notice:	3/20/2024
Review:	2 nd Preliminary Consultation	Staff:	Chris Berger
Proposal:	Construction of new single-family house.		

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return with an Historic Area Work Permit application.

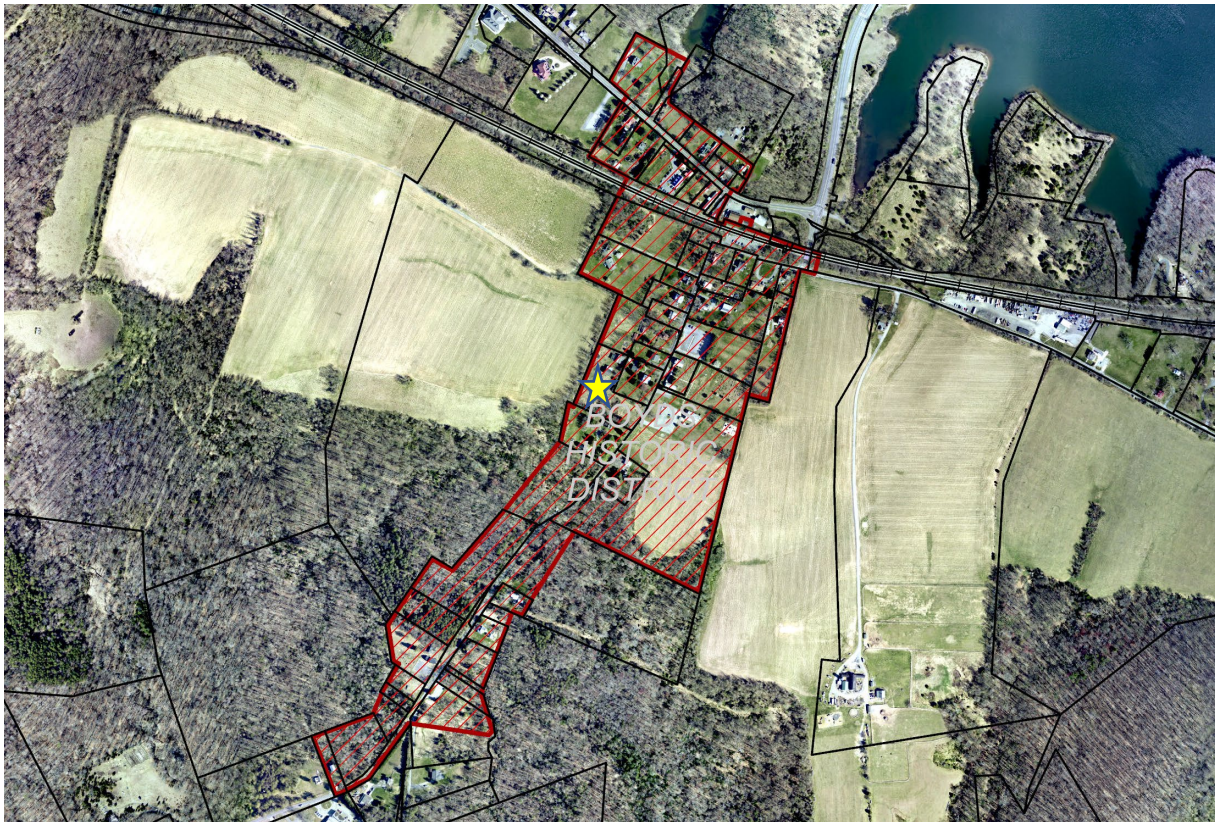


Figure 1: The Boyds Historic District is shown in red cross hatch on this aerial. The subject property is marked with a star.

PROPERTY DESCRIPTION

SIGNIFICANCE: Non-Contributing to Boyds Historic District
 STYLE: Vernacular
 DATE: early 2000s

Four contemporary buildings are located on the property: three large agricultural buildings toward the northwest corner of the property and a small, wood-frame storage shed at the south property line about 90 feet from White Ground Road.

The Boyds Historic District is significant because of its cohesive grouping of residential, religious, and commercial structures that are characteristic of a 19th century agricultural town. Founded by Col. James A. Boyd, the town was conveniently located along the B & O Railroad for farmers who were transporting produce for shipment.

The design, setting, and building materials of the existing buildings in the district have not changed significantly since their original construction. The Boyds Historic District, from its original mill era buildings to B & O Railroad-era buildings, recalls a sense of place as a rural Maryland agricultural community circa 1900.

BACKGROUND

The subject house is a Non-Contributing Resource in the Boyds Historic District. The applicant owns the 2.21-acre, L-shaped lot, partially located behind a two-story farmhouse (Primary Resource) at 19900 White Ground Road.

The HPC has approved several HAWPs related to 19820 White Ground. In 2002, the commission approved HAWP #18/08-02A¹ for the construction of a 2.5-story house with a side wing and a one-story barn with conditions that the proposed barn was returned to a one-story building; the chimney on right-side elevation was to be removed from application; the side wing extension will be reduced in width to no greater than 18 feet; and the newly-configured side wing extension's dormer proportions was to be reviewed at staff level. The house was to be set back approximately 150 feet from the right of way in an attempt to minimize its visual impact.

The applicant, Paul Chretien, appealed the decision (Case #A-5758) and requested that the Board of Appeals approve a second story on the barn, a second chimney on the house, and the extend the width of the side wing to 23 feet. On Sept. 25, 2002, HPC Commissioner Kim Williams testified at the hearing that she found that a two-story barn could be compatible. She testified the wing on the house was out of character with the district, but the HPC was attempting to be lenient by approving the 18-foot wing on the new construction. She said that the second chimney was out of character with the existing vernacular buildings.

The Board found that the side wing of the proposed house and the chimney on the right side of the house were not compatible with the historical and architectural features of the Boyds Historic District and they would be detrimental features to the historic district. They added that that a two-story, working barn would not be detrimental to the district.

The Board of Appeals ruling set the permissible size, location, and general design for a single-family house on this lot, in particular for the wing/side addition. The previous owner appealed the HPC's 2002

¹ [18-08-02A_Boyds Historic District_19820 White Ground Rd_12-05-2002.pdf \(mcatlas.org\)](#)

HAWP approval, and one of the grounds for appeal was the proposed width of the side addition/wing. The previous owner requested a side addition/wing of 23 feet. The case was reviewed *de novo* by the Board of Appeals. One of the appeal items was the width of the side addition/wing. The HPC and Historic Preservation staff established findings of fact in 2002 that there were historically no side additions of this size and type in Boyds and that such a design feature was out of character with the historic district. They approved a HAWP with a side addition/wing measuring no more than 18 feet. The Board of Appeals in their *de novo* review upheld this finding of fact and HPC condition of approval, finding that a 23-foot wide side addition/wing was incompatible with the historic district. Though this is a new case, the fundamental elements of design and their consideration in new construction are still bound by these findings by the Board of Appeals from 2002 for a new single-family house on this lot. Staff maintains it would be arbitrary and capricious for the HPC to approve a side addition/wing wider than what was previously recommended for a compatible new house on this lot within the historic district.

Following this ruling by the Board of Appeals, Mr. Chretien submitted HAWP #18/08-02C² for the construction of a two-story barn and a house described as follows:

The proposed house is a 2-1/2-story, five-bay, frame dwelling with a side gable roof, a fullwidth front porch and a two-story frame extension measuring 18' x 25.' protruding from the north (side) elevation. The footprint of the proposed house is 1,602 sq. ft. not including the sq. ft. of the front porch (147 sq. ft). The applicant is also proposing to construct a rear deck, with a footprint of 360 sq. ft. The house will be clad in painted, "hardi-plank" fiber-cement, rough sawn, "cedar" grain, lap siding. The chimney will be finished with E.I.F.S (Exterior Insulation Finish System) stucco finish. The roof of the house's main massing will be 30 year, architectural shingles. The roof of the side extension and the front porch will be standing seam metal. All details including the front porch construction, the front door and the 1/1 windows will be wood and surrounded with wood trim and details.

The HPC approved the HAWP at its Dec. 4, 2002, meeting with the conditions that no tree larger than 6 inches in diameter was to be removed and the right (north) chimney was not constructed.



Figure 2. In 2002, the HPC approved HAWP #18/08-02C for the construction of a residence at 19820 White Ground Road. It was not built.

² [18-08-02C Boyds Historic District 19820 White Ground Rd 12-05-2002.pdf \(mcatlas.org\)](#)

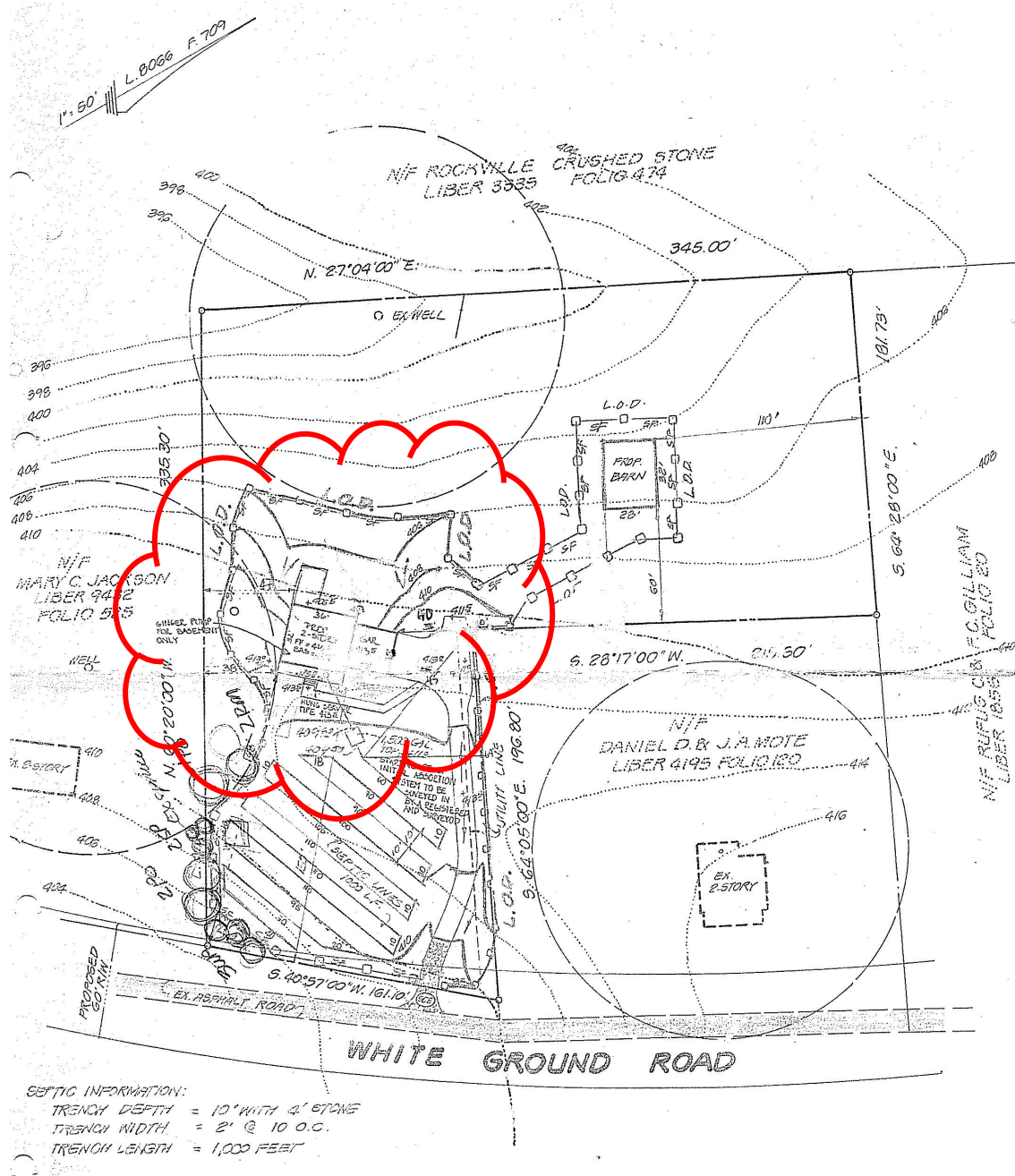


Figure 3. The site plan for HAWP #18/08-02C at 19820 White Ground Road. The proposed house location was set back about 150 feet from White Ground Road and is clouded in red.

The barn was constructed, but the house was not. In 2003, the HPC approved HAWP #18/08-03C for two additional outbuildings.³ According to aerials, the small wood-frame storage shed was installed circa 2003.

At its November 15, 2023, the HPC approved HAWP #1046013 for tree removals and a new fence at the property.⁴

³ [18-08-03C Boyds Historic District 19820 White Ground Rd 06-25-2003.pdf \(mcatlas.org\)](#)

⁴ [1046013 Boyds Historic District 19820 White Ground Rd 11-15-2023.pdf \(mcatlas.org\)](#)

1st Preliminary Consultation

On February 7, 2024, the HPC heard a Preliminary Consultation to construct a house on the property.⁵ The HPC was generally supportive of the design of the proposed house but recommended modifications so it was compatible with the resources in the Boyds Historic District.

The majority of commissioners commented on the placement and size of the building and recommended the following:

- Move the house back farther from White Ground Road. As was proposed, the house would have been on the highest point of the property and approximately 100 feet from the right of way. The house proposed in 2002 as part of HAWP No. 18/08-02C was set back 150 feet from the right of way, and HPC advised a return to that set back so it would be less visible from the right of way.
- Reduce the building's roof height. At 34'9" tall from grade to the roof peak, the building was too tall for its location—especially with its proposed location on top of a rise.
- Reduce the size of the house. At approximately 4,000 square feet, the proposed house would be the largest house in the district by about 1,000 square feet. Most houses in the district are less than 2,000 square feet, including the most recently constructed home in the district at 15020 Clopper Road that measures 1,810 square feet and was built in 2012.
- Reduce the building's massing. The building is too boxy when compared to the other homes in the historic district. The design should harmonize with the existing building in Boyds community and not stand out for its large size.

The HPC requested the following:

- Show the septic system location.
- A three-dimensional sketch or another plan to show how the house will relate to its site and other buildings in the historic district.
- Include material details on the plans. The materials should be of a high quality that match those materials found on existing buildings within the district.

The Chair recommended a second Preliminary Consultation.

Staff suggested the following in the Preliminary Consultation Report after the meeting:

- Include proposed hardscaping locations, dimensions, and materials on the plan.
- Include plans for a detached garage--if one is to be built.
- Include dimensions on the floorplans and elevations.
- Include building set back measurements on the site plan.

PROPOSAL

The applicant proposes to construct a new single-family house.

⁵ The staff report for the first Preliminary Consultation is available here: <https://montgomeryplanning.org/wp-content/uploads/2024/02/II.B-19820-White-Ground-Road-Boyds-1050805.pdf>

The meeting can be viewed here: https://mncppc.granicus.com/MediaPlayer.php?publish_id=c949c82b-c6a9-11ee-8fe8-0050569183fa

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Boyds Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Vision of Boyds: A Long-Range Preservation Plan (Vision)*⁶, Montgomery County Code Chapter 24A (Chapter 24A), and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below. Additionally, the HPC should use the parameters for compatibility established by the Board of Appeals in their review of the appealed HAWP from 2002.

The *Vision* provides the following analysis on the buildings in the Boyds Historic District:

Building Setbacks

Dwellings for the most part are set back from the main street. and occupy a small percentage of the lot. The distance between the house and the street is remarkably similar in the Boyds residential sections ranging from 20 feet to 50 feet. This characteristic is one of the most important elements that unifies a residential block.

Rhythm and Spacing Between Buildings

In the residential district around the Boyds Presbyterian Church, a major component of the streetscape, the houses are constructed on regular parcels of land with similar setbacks from White Grounds Road. These buildings are spaced evenly from each other, with similar setbacks creating the strongest sense of continuity along the streetscape in the district. These buildings have small front yards and larger rear yards, many with barns or outbuildings.

Geographic and Landscape Features

Boyds is dominated by large, impressive trees that line White Grounds Road. In the summer, these trees create an alley of shade along the winding course of the road. Dwellings are primarily located in the middle of the parcel of land, with fences or landscaping defining the setting of the house. Many of the houses are framed by two large trees with smaller more manicured plantings and flowers in front, and immediately surrounding the dwelling. Grass is the primary ground cover. Large expanses of grass or cultivated gardens are located behind the primary resources.

Scale and Building Height

The historic houses in Boyds are very similar in height, ranging only from two stories to two-and-a-half stories. Of the 27 historic houses in Boyds, 76% are two-and-one-half stories in height. Twenty-three percent of the dwellings are two stories high. This uniform scale contributes and is critical to the reading of the village streetscape, particularly as it winds along White Grounds Road.

Directional Expression of Building

The historic houses in Boyds show a balance between horizontal and vertically emphasized facade composition. This variety reflects the changing styles of the 19th and early 20th century that generally tended to be more horizontal than the vertically-oriented houses of the Victorian era in the late 19th century.

Roof Form and Material

While the majority of Boyd's historic residences have gable roof forms, there are numerous variations including end gables, cross gables and elongated gables.

⁶ *Vision of Boyds: A Long Range Preservation Plan* can accessed here: <https://montgomeryplanning.org/wp-content/uploads/2019/09/Vision-of-Boyds.pdf>

Porch

A wide variety of porch types are located in Boyds reflecting all of Boyds' historic house styles. The dominate porch type is the one-story full width porch which characterizes the streetscape particularly along White Grounds Road. Seventy-six percent of the dwellings in Boyds have full one-story front porches.

Dominant Building Material

The dominant building material in Boyds is wood, executed in clapboard and weatherboard.

Architectural Style – Gothic Revival

The Gothic Revival style as executed in Boyds is characterized by its symmetrical facade with side gables and a prominent cross gable, oftentimes decorated with bargeboards. Typically the houses have a one-story entry or full-width porch with decorative brackets, spindles or posts.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

The Secretary of the Interior's Standards for Rehabilitation

1. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is located within the Boyds Historic District on the west side of White Ground Road.

The property is L-shaped and measures 2.21 acres. According to the survey provided, the topography rises 14 feet from the right of way before it peaks and slopes down toward the back of the property line. Four buildings are located on the property: three large agricultural toward the northwest corner of the property and a small, wood-frame storage shed at the south property line about 90 feet from White Ground Road.

According to the applicant's architect, the following changes were made after the first preliminary consultation:

- Building was set back approximately 150 feet from White Ground Road.
- The roof trusses were engineered, lowering the building 12 inches into grade, and setting the building at a lower contour, which reduced the building's height.
- The building square footage was reduced from approximately 4,259 to 3,678 square feet.
- On the front elevation the right side of the house was set back an additional 6 feet.
- A service entry porch was added with a pent roof and brackets.
- Portions of the right-side elevation were removed and two additional turned gables were created.
- Added shutters or traditional trim at windows on all elevations.
- On the left-side elevation exterior stair wall was projected and a single window with shutters were added. A gable was also added.
- On the rear elevation the turn gable was simplified.
- Exterior doors were changed to paneled doors to match existing in Boyds.

Siting

The home will be set back approximately 150 feet from White Ground Road. The proposed set back was 100 feet on the plans submitted for the first preliminary consultation. Staff finds the new location 50 feet farther back from White Ground Road to be an improvement. The increased setback and reduced building height will reduce the visual impact from the right of way. Landscaping between the right of way and residence should further soften the building's appearance. The site plan shows a proposed driveway of an unknown material with a loop in front of the proposed residence and another loop in front of one of the proposed outbuildings. The existing driveway is gravel, which is the most common driveway material in Boyds, so staff recommends the applicant also choose that material for the drive.

The subject property is adjacent to two residences listed as Primary Resources within the Boyds Historic District: 19810 White Ground Road, a circa 1880s 2.5-story vernacular farmhouse measuring 1,322 square feet to the south, and 19900 White Ground Road, a circa 1880s 2.5-story Gothic Revival residence measuring 2,340 square feet, to the north. The residence at 19810 White Ground Road is set back 90 from the road, and 19900 White Ground Road is set back 35 feet. The new siting moves the proposed residence at 19820 White Ground Road farther from the adjacent historic residences; 19810 White Ground Road will now be about 125 feet away, and 19900 White Ground Road will now be about 250 feet away.

Size, Scale, and Massing

The applicant proposes a 2.5-story residence measuring 3,678 square feet. The square footage was reduced nearly 600 square feet from what was proposed as part of the first preliminary consultation. The house will have a three-bay wide symmetrical core with a centered gable roof. It will measure 30 feet, 2 inches, tall from ground to roof peak. This is a reduction of 4-feet, 7 inches, from the building height proposed as part of the first preliminary consultation. A two-bay wing will be located at the right side measuring nearly 23 feet wide. The wing will be one-story tall toward the front of the house before it steps up to 2.5 stories toward the back. The wing will set back 8 feet, an increase of 7 feet from the setback initially

proposed. An appendage will extend 10 feet off the rear elevation.

Staff still is concerned that the proposed building's size, scale, and massing are too large when compared to the Primary Resources within the district and in conformance with 24A-8(d) and *Standards* 9 and 10. Though the smaller wing is an improvement, Staff still would like it reduced in size, scale, and massing to better match the design of the wing approved for a residence on the property in 2002. The applicant has reduced the size of the wing and made it subservient to main core of the home, but it still will be taller and about 5 feet wider than the wing on the design approved by HPC in 2002 with *HAWP #18/08-02C* (*Figure 2*). The applicant is not required to copy the design approved by the HPC in 2002, but the design is the framework for what would be compatible for the property. The Board of Appeals decision set the permissible boundaries for an appropriate size and massing for a new house on this lot, and the proposed design, while smaller than the previous submission, is still not in conformance with these size standards. The side addition/wing should be no wider than 18'.

The *Secretary of the Interior's Treatment Guidelines* specify that infill construction should not be larger than the existing adjacent buildings within a district or individual site.⁷ At 3,689 square feet, the proposed home will be the largest home in the district by at least 500 square feet, and the wing should be further reduced in size to better align the size of the home with others in the district and further reduce the home's massing, size, and scale. Staff is aware of only one other centered-gable home in the district with a side wing, and that was the home built in 1995 at 19930 White Ground Road and was reviewed by the HPC after it was nearly completed.

Architectural Style

The foundation will be clad in cultured stone and will contain a basement. Staff notes that the elevations provided are illustrative and do not accurately show the grade, particularly toward the back of the house where the topography slopes down. The building will be clad in horizontal Hardieplank siding with a 7-inch reveal. (The finish of the siding is not indicated on the plans, but staff recommends that it be smooth.) Fenestration will include 1/1 sash windows; a sliding door on the rear elevation, and an paneled front door with sidelights and transom. The material of the windows has not been indicated. The cross-gable, hip, and shed roofs will be covered with architectural-grade asphalt shingles. A covered porch with concrete floor that measures 29-by-6 feet will extend along the core of the house. It will have a hip roof supported by four columns. This is a change from the porch reviewed at the first preliminary consultation that had ornate columns and balustrade. Ornamentation will include 4-inch Hardie window surrounds; louvered vents; window lintels and sills; and faux shutters of an unknown material beside most of the windows.

The *Vision* provides criteria for the evaluation of new construction in the Boyds Historic District, and the traditionally styled building contains some elements found on historic homes in the district. The full-width front porch and horizontal siding are features common in the district, and the Gothic Revival-style homes have steeply pitched centered gables. Staff finds the proposed fiber cement siding, stone foundation, and architectural grade asphalt shingles to be appropriate for the proposed construction. Either aluminum or aluminum clad wood windows would be appropriate as well. Staff would support the installation of solar panels on the main house roof should the applicant wish to pursue.

The centered gable on the façade provides an opportunity to add improve compatibility with the historic homes in the Boyds Historic District. The gable is currently proposed to have a rectangular vent, but could be a character-defining window, similar to those found in other centered gables in the district. The

⁷ <https://www.nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf>, pg. 162. Other Recommended/Not Recommended treatments for New Construction are throughout the document.

inclusion of brackets or other decorative trim along the eaves could also add visual interest to the building. The application should also consider the addition of a small chimney.

Staff also recommends the applicant alter the porch's design. A return to the turned columns and balustrade on the front porch, as was proposed as part of the first preliminary consultation, also would make it more compatible. Instead of the concrete floor, staff instead suggests the applicant install piers clad in stone to match the foundation with tongue and groove decking built of wood or wood composite. The front door provides another opportunity to better assimilate the home into the district. Staff supports the paneled door with sidelights and transom but would be open to a more decorative alternative.

Staff recommends that the faux shutters be scaled appropriately to the particular window where they be installed. Staff finds the design of the side and rear elevations could be simplified to make the home's design more compatible. Staff encourages the applicant to design the building holistically on all elevations. Therefore, the windows on the side elevations should be grouped together symmetrically and not vary considerably in size as is currently the case.



Figure 4: The proposed house footprint is clouded in red in the site plan of the property set back about 150 feet from the right of way. This was at the request of the HPC at the first preliminary consultation.

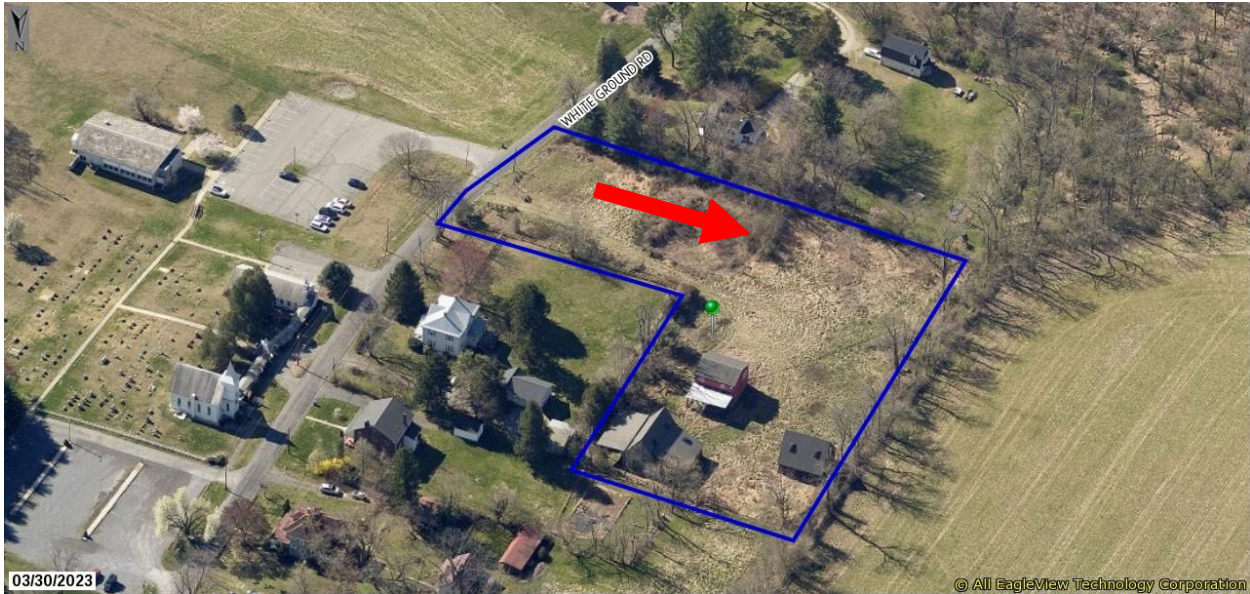


Figure 5. This CONNECTExplorer aerial shows the subject property outlined in blue. The proposed house location is indicated with a red arrow.



Figure 6: The applicant provided this rendering to show the proposed residence, indicated with a red arrow, in relation to its surroundings.



Figure 7: In this rendering, the proposed house is seen from the right of way. The home will be set back about 150 feet from White Ground Road in the area indicated with a red arrow.

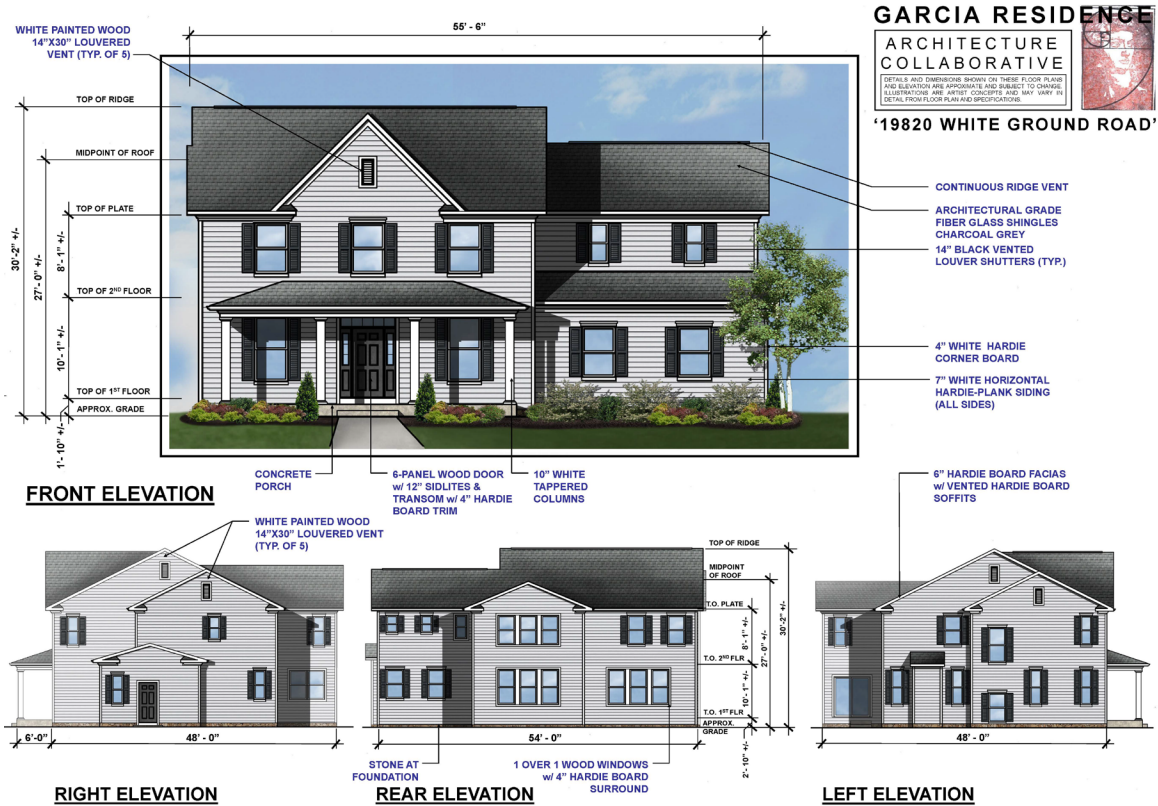


Figure 8: The proposed architectural plans for the subject property.

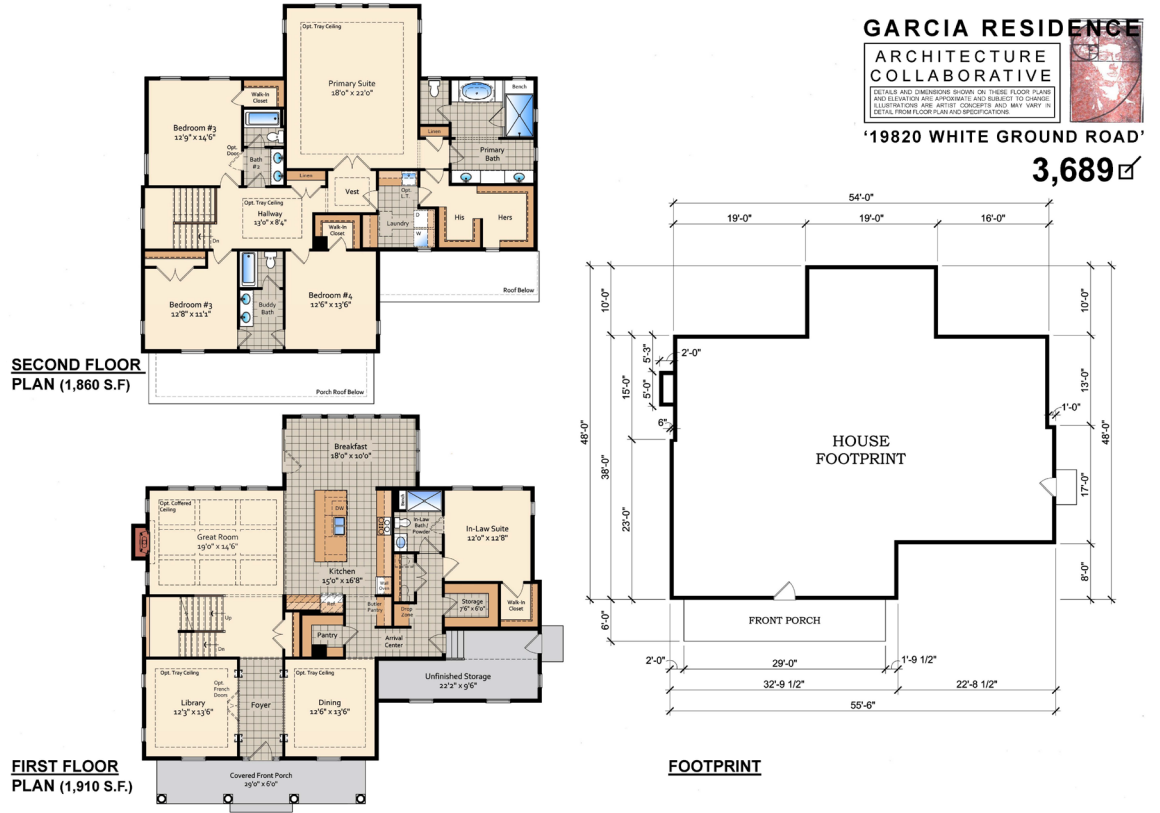


Figure 9: The proposed floor plans for the subject property.

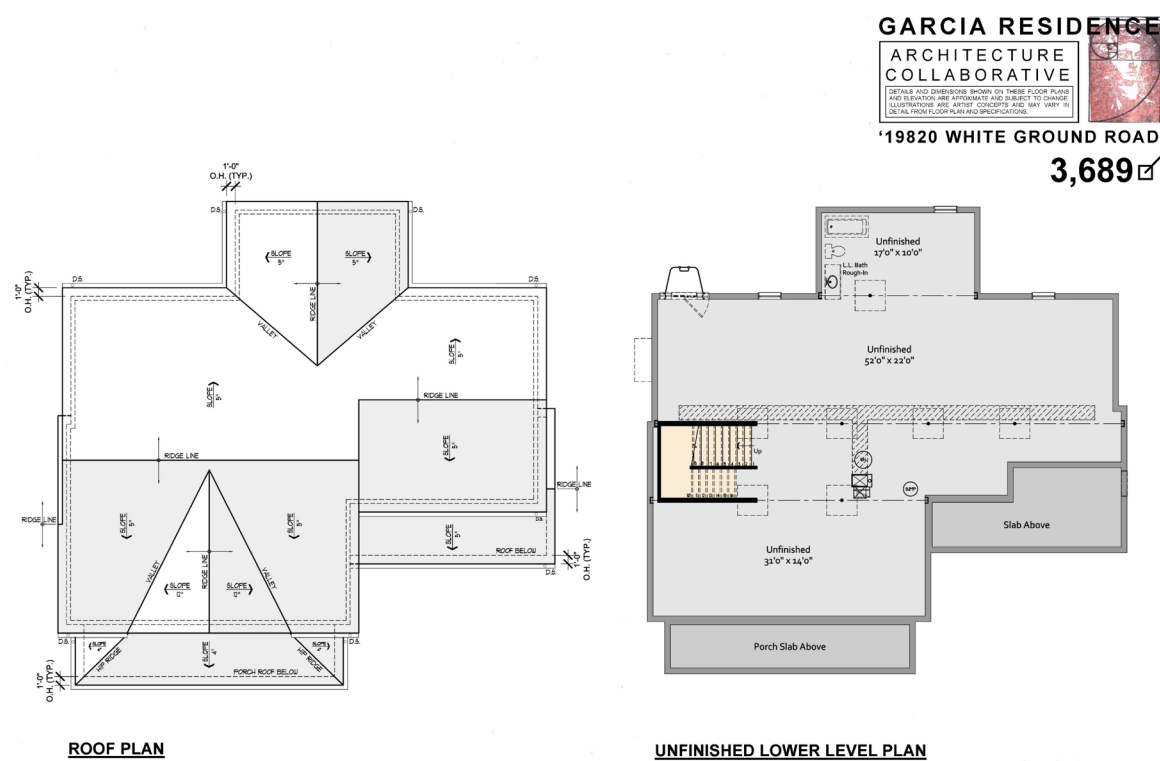


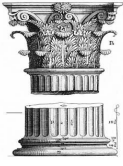
Figure 10: The roof and basement plans for the subject property.

STAFF RECOMMENDATIONS

Staff recommends the applicant make any revisions recommended by the HPC and return with a HAWP.

Staff requests feedback from the HPC on:

- The appropriateness of the house's siting.
- The appropriateness of the house's size, particularly the wing.
- The appropriateness of the house's scale, particularly the wing.
- The appropriateness of the house's massing, particularly the wing.
- Appropriate driveway materials.
- Traditional Boyds design elements that could be integrated into the design.
- Alternatives to the vent proposed for the front centered gable.
- The sizing and appropriate material of the proposed shutters.
- The grouping of the windows, particularly on the side elevations.
- The simplified front porch design, and the appropriateness of its concrete floor and foundation.
- The proposed paneled front door.
- Any other comments.



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Garcia Residence @ 19820 White Ground Road, Boyd's MD.

We started our planning with numerous site surveys to Boyd's community to identify common architectural elements in the autumn and early winter (September 2023 - February 2024)

We identified numerous elements throughout the community to incorporate into our design.

- Traditional front elevation with three windows on the second floor over two windows with a center front door on the first floor
- Center gable with decorative gable feature.
- Full Porch with a hip roof incorporated with 6x6 turned wooden post with decorative brackets.
- Reduced the exposed foundation by 12".
- We attempted to break down the massing by setting the right-side behind the main body of the house. Also breaking the roof line with two clerestory windows.

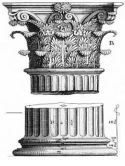
Based on the comments from the HPC meeting the board asked us to reduce the square footage and further break up the massing. Set the building back approximately 150ft from White Ground Road which puts the house in a lower contour line reducing the height of the building an additional 2'-0" (see site plan).

We made the following adjustments to the building per the HPC recommendations.

- Setback building approximately 150 feet from White Ground Road.
- By reengineered the roof trusses, lowering the building 12" into grade, and setting the building at a lower contour (2'-0") allowed us to reduce the height of house by approximately 6'-7".
- The building square footage was reduced approximately 4,259 to 3,678 S.F. This reduced the finished square footage by 581 square feet.

Board recommends to reduce the massing of the building.

- On the front elevation we further set back the right side of the house an additional 6'-0" breaking up the massing on both the front and right side of the elevation.
- Added a service entry porch with a simple pent roof and brackets.
- We removed portions of the right-side creating opportunity for two additional turned gables, which visually suggests that the building was added to over time and brings the massing closer to grade.
- Added shutters or traditional trim at windows on all facades.
- On the left elevation we projected the exterior stair wall and went to a single window with shutters which is more in keeping with surrounding houses.
- This projection also allowed us to add a gable which further breaks down the massing.



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- On the rear elevation we simplified the turn gable and went to a more traditional addition.
- Both exterior doors went to panel doors to be more in keeping with the Boyd's community.

In summary we feel the HPC recommendations and proposed modification make the Garcia residence @ 19820 White Ground Road contextually more in keeping with the Boyd's Historic District.

Sincerely,

David Robbins
Architecture

From: [David McKee](#)
To: [Berger, Chris](#)
Cc: [rdavis](#); [Danilza Garcia](#); [Jaime Garcia](#); [Jonathan Tepper](#)
Subject: Septic Plan for 19820 White Ground Road
Date: Wednesday, March 20, 2024 9:12:27 AM

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

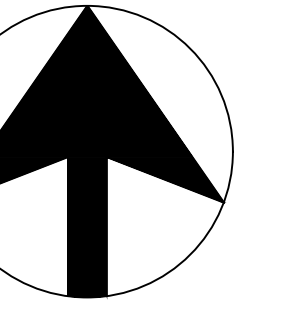
Hello Mr. Berger,

The applicant for the HAWP for this property asked me to reach out to you to explain our septic plan. The proposed septic system reserve area (drainfield) is shown on the latest site plan in front of the property between the proposed homesite location and White Ground Road. This placement is consistent with previous plans submitted to the HPC and to DPS by a previous applicant who had proposed building on the property according to records we obtained from the County. There is an existing well on the property along the back property line as shown on our current site plan. Placement of the septic system in front allows this well to be retained for use by the owners. Finally, the percolation test records for the property indicate there were tests run in the area where the proposed septic system is located and these tests were satisfactory. We anticipate submitting a plan for septic approval to the Well & Septic office of DPS soon to confirm and obtain final approval of the septic plan.

Feel free to reach out with any questions.

Thank you,
Dave

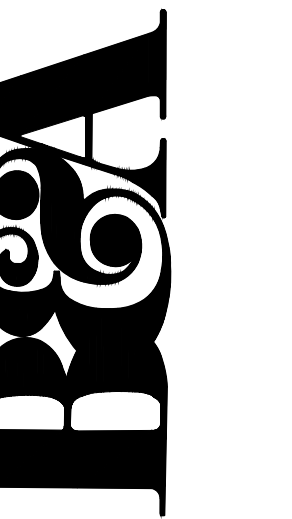
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Web: www.benninglandplan.com



date: 02/27/2024

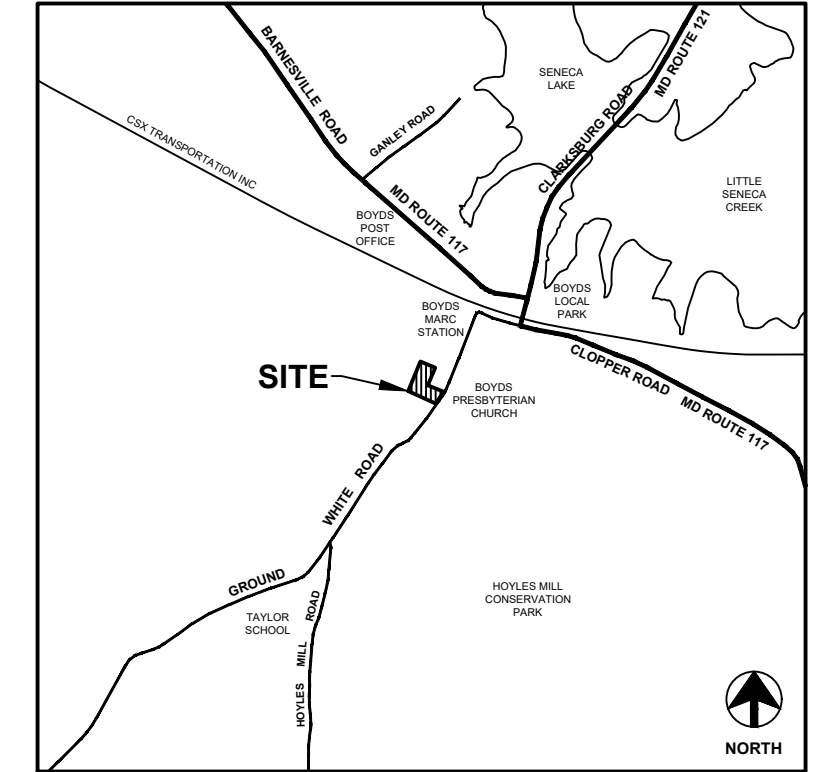
scale: 1" = 20'

Benning & Associates, Inc.
Landscape Architects
8933 Shady Grove Court
Gaithersburg, MD 20878
(301)944-0240



SITE PLAN
19820 White Ground Road - P404
L.67100 F.128
Montgomery County, Maryland

PREPARED FOR:
**Daniza Del Carmen Garcia
& Jaime Antonio Garcia**
11134 Newport Mill Road
Kensington, MD 20895
Daniza: 301-728-983
Jaime: 301-755-4862
danizag@yahoo.com
Chiry829@gmail.com



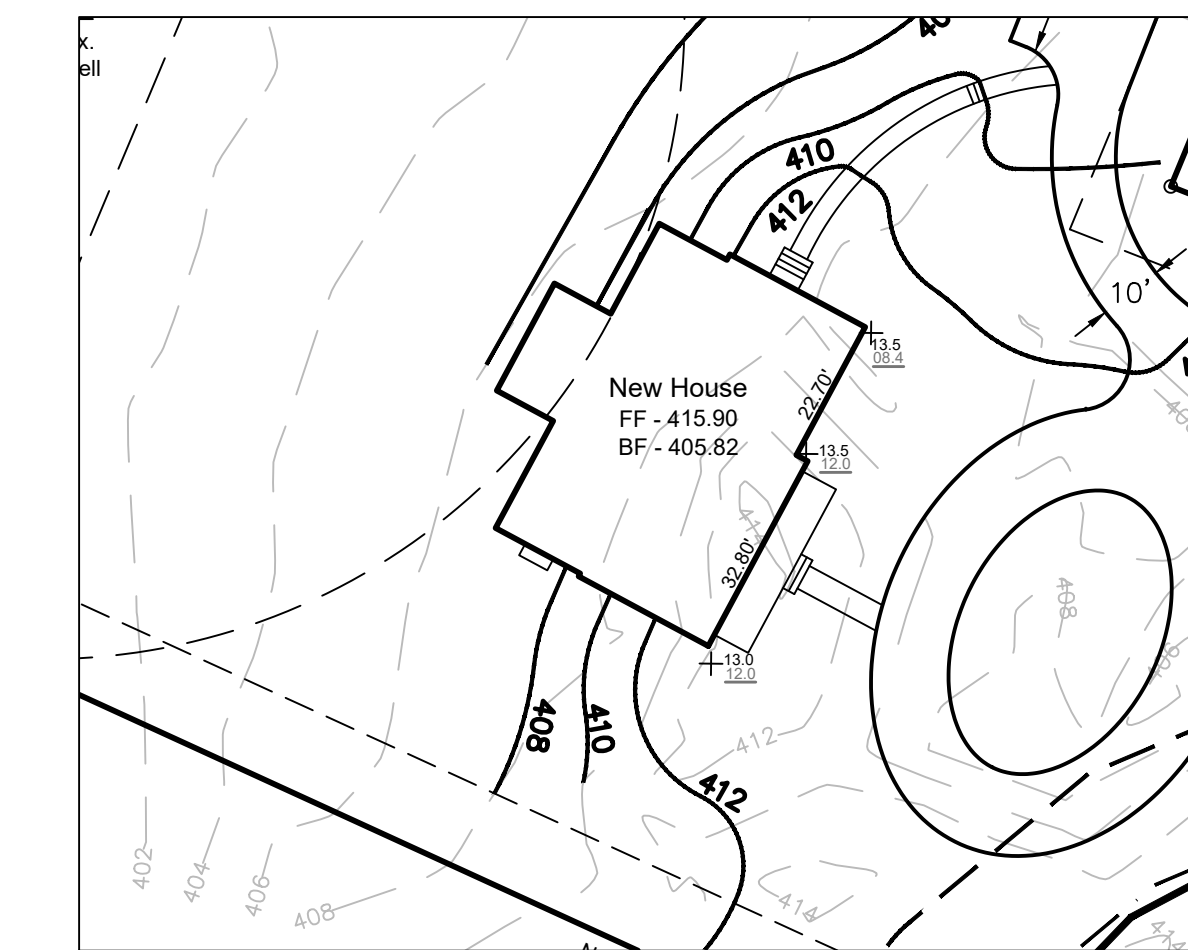
VICINITY MAP
SCALE: 1" = 2,000'

GENERAL NOTES:

1. L.67100 F.128
2. Area of property - 2.06 ac. (90,103 sf)
3. Zoning: R-200
4. Property served by private on-site well and septic system.

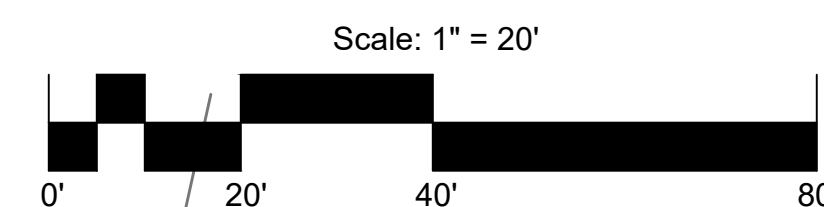
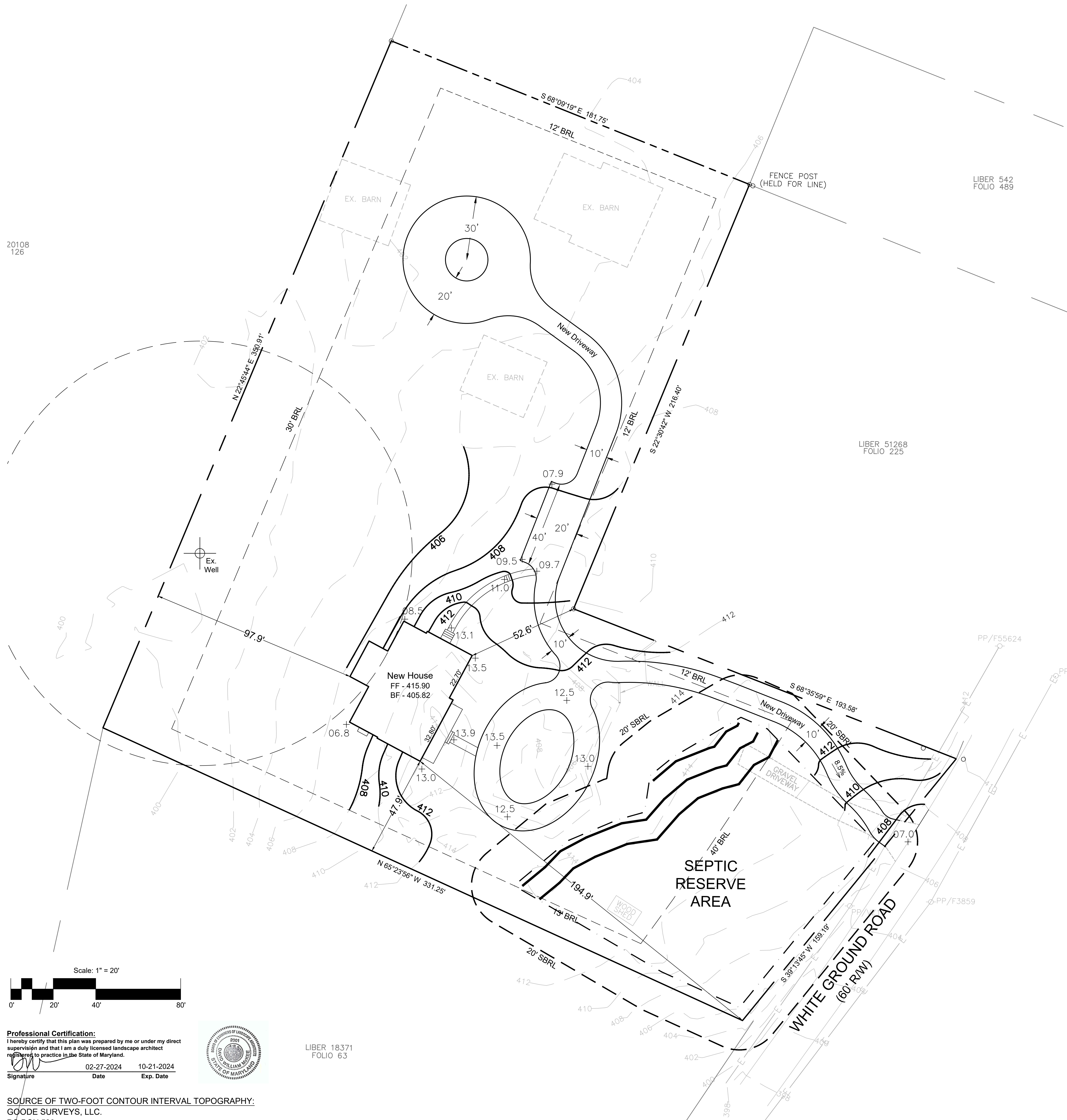
ZONING NOTES:

1. Setbacks -
Front - 40' or EBL, whichever is greater
Side - 25', min. one side 12'
Rear - 30'
2. Minimum Lot Frontage -
25' at street
100' at front building line
3. Maximum Building Height - 50' if lot area is 40,000 sf or more.
Calculations -
32.8' section x avg. elev. 412.0 (pre-development) = 13,513.60'
22.7' section x avg. elev. 410.2 (post-development) = 9,311.54'
22,825.14 / 55.50' = 411.26' (average post-development front elevation)
FFE 415.9 + 28.33' (height from FFE to peak height of roof per architectural drawings) = 444.23'
444.23' - 411.26' = 32.97' (Average front elevation of building to peak height of roof)
4. Lot Coverage - 25% (including accessory buildings)
90,103 x 25% = 22,525 sf (maximum allowed)
New House footprint - 2,234 sf
Ex. Barns - 3,872 sf
Total - 6,106 sf (6.8%)
5. Maximum area allowed for parking in front yard (R-200) - 30%
Area of front yard - 6,969 sf
Area of proposed driveway - 1,376 sf
1,376 sf / 6,969 sf = 19.74%



DETAIL VIEW: BUILDING HEIGHT EXHIBIT
1" = 30'

20108
126



Professional Certification:
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed landscape architect registered to practice in the State of Maryland.

Signature: *[Signature]* Date: 02-27-2024 Exp. Date: 10-21-2024



LIBER 18371
FOLIO 63

SOURCE OF TWO-FOOT CONTOUR INTERVAL TOPOGRAPHY:
GOODE SURVEYS, LLC.
PO BOX 599
DAMASCUS, MD 20872
301-368-3700

WHITE PAINTED WOOD
14"X30" LOUVERED
VENT (TYP. OF 5)

55' - 6"

TOP OF RIDGE
MIDPOINT OF ROOF
TOP OF PLATE
TOP OF 2ND FLOOR
TOP OF 1ST FLOOR
APPROX. GRADE
1'-10" +/-
10'-1" +/-
27'-0" +/-
8'-1" +/-
30'-2" +/-



GARCIA RESIDENCE

ARCHITECTURE
COLLABORATIVE

DETAILS AND DIMENSIONS SHOWN ON THESE FLOOR PLANS
AND ELEVATION ARE APPROXIMATE AND SUBJECT TO CHANGE.
ILLUSTRATIONS ARE ARTIST CONCEPTS AND MAY VARY IN
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'19820 WHITE GROUND ROAD'

CONTINUOUS RIDGE VENT

ARCHITECTURAL GRADE
FIBER GLASS SHINGLES
CHARCOAL GREY

14" BLACK VENTED
LOUVER SHUTTERS (TYP.)

4" WHITE HARDIE
CORNER BOARD

7" WHITE HORIZONTAL
HARDIE-PLANK SIDING
(ALL SIDES)

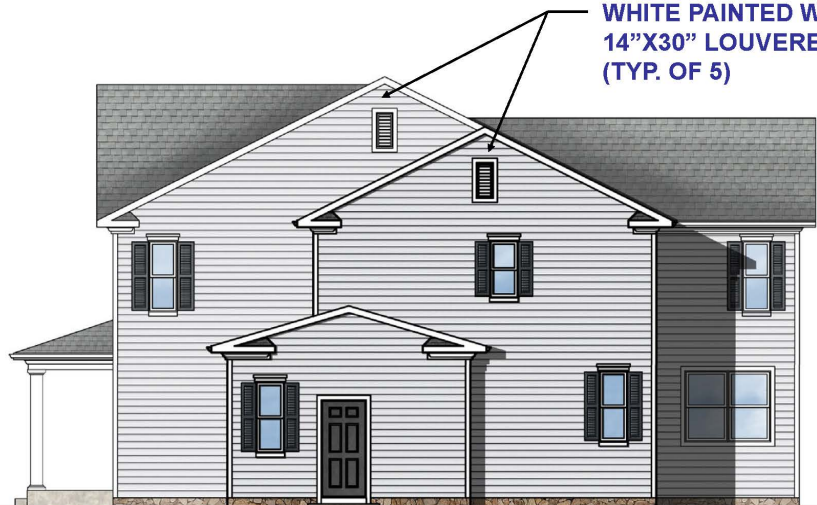
CONCRETE
PORCH

6-PANEL WOOD DOOR
w/ 12" SIDLITES &
TRANSOM w/ 4" HARDIE
BOARD TRIM

10" WHITE
TAPERED
COLUMNS

FRONT ELEVATION

WHITE PAINTED WOOD
14"X30" LOUVERED VENT
(TYP. OF 5)



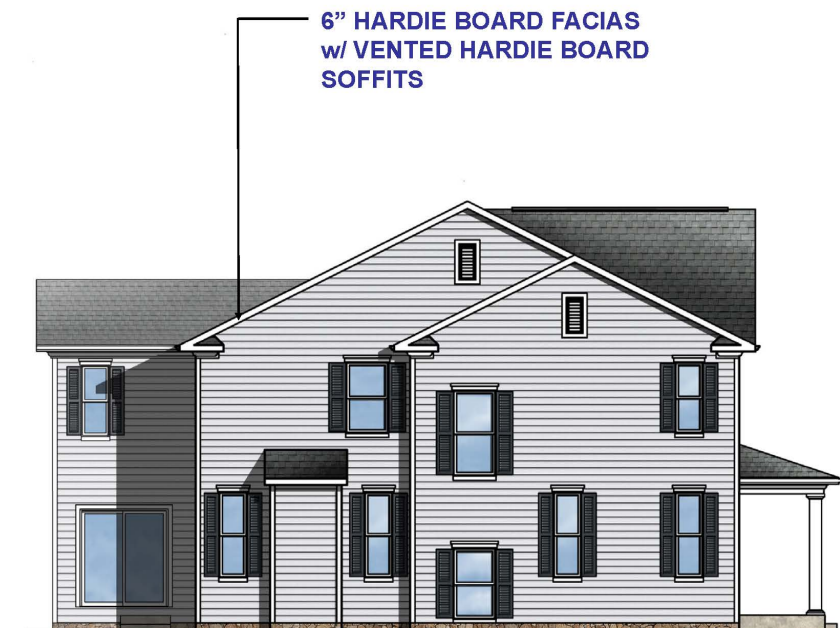
TOP OF RIDGE
MIDPOINT OF ROOF
T.O. PLATE
T.O. 2ND FLR
T.O. 1ST FLR
APPROX. GRADE
2'-10" +/-
10'-1" +/-
27'-0" +/-
8'-1" +/-
30'-2" +/-

STONE AT
FOUNDATION

1 OVER 1 WOOD WINDOWS
w/ 4" HARDIE BOARD
SURROUND

RIGHT ELEVATION

REAR ELEVATION



6" HARDIE BOARD FACIAS
w/ VENTED HARDIE BOARD
SOFFITS

LEFT ELEVATION

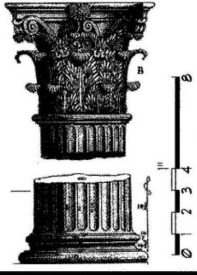
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Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 468-7500 Fax: (410) 468-0903

GARCIA RESIDENCE
GarciaResidence_Linden_Renderings.dwg 01/15/24
scale 3/16" = 1' FILE# 2024.01.15
19820 WHITE GROUND ROAD

REVISIONS	DATE	CLIENT REVIEW COMMENT	HISTORICAL REVIEW COMMENT	HISTORICAL REVIEW COMMENT	BUILDER COMMENT	CLIENT / BUILDER & H.R. COMMENTS
01/16/24						
01/23/24						
02/23/24						
02/26/24						
03/07/24						
03/12/24						

SHEET #



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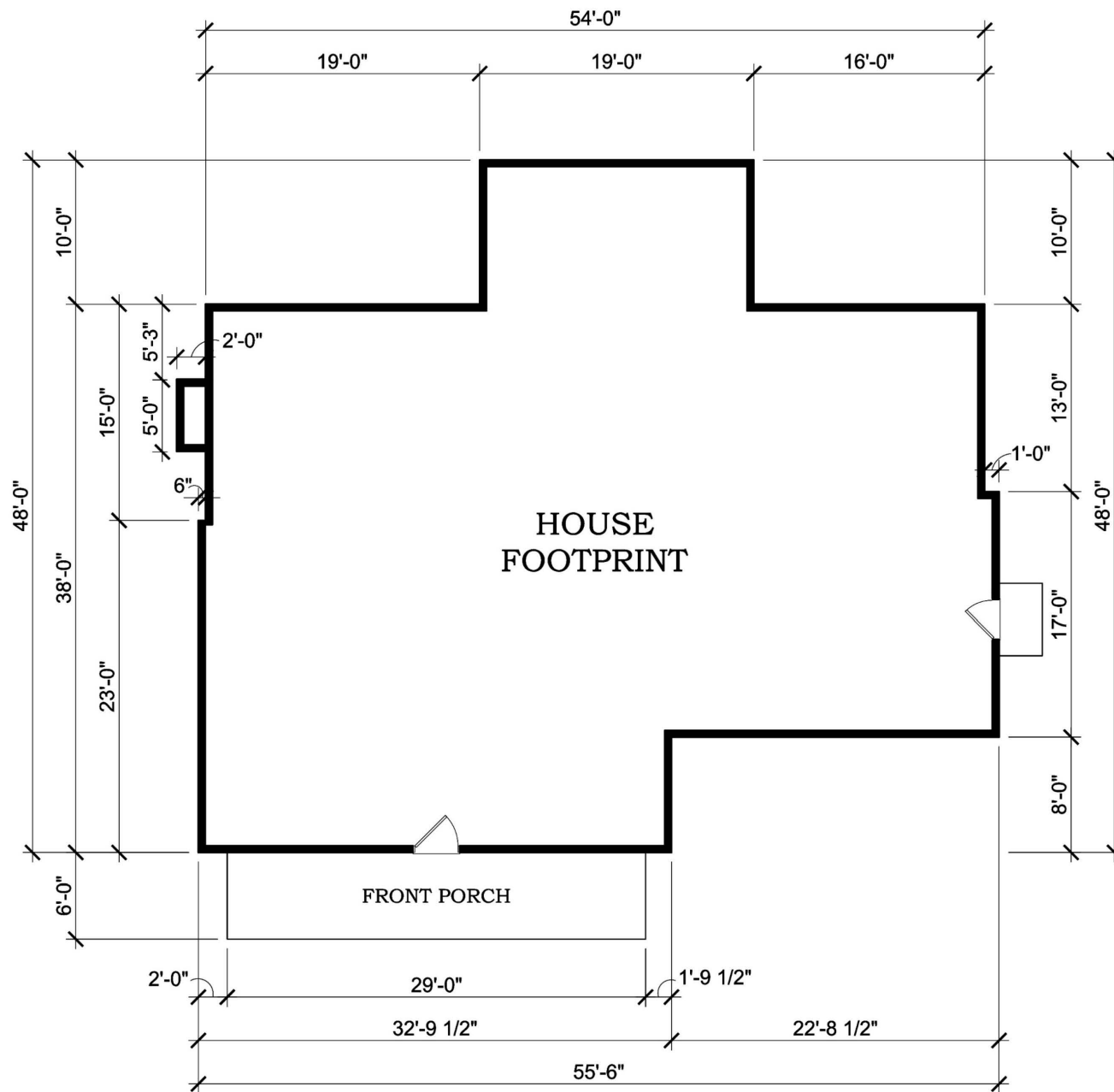
'19820 WHITE GROUND ROAD'
3,689



SECOND FLOOR PLAN (1,860 S.F.)



FIRST FLOOR PLAN (1,910 S.F.)



FOOTPRINT

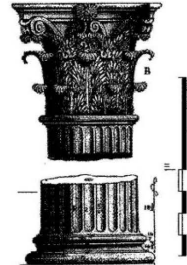
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content	GARCIA RESIDENCE		
scale	3/16" = 1'	FILE#	2024.01.15
date	01/15/24	title	19820 WHITE GROUND ROAD

revisions	CLIENT REVIEW COMMENT	HISTORICAL REVIEW COMMENT	BUILDER COMMENT	CLIENT / BUILDER & H.R. COMMENTS
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02/23/24				
02/26/24				
03/07/24				
03/12/24				

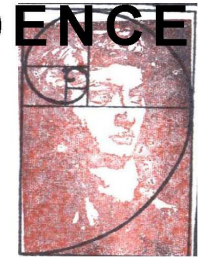
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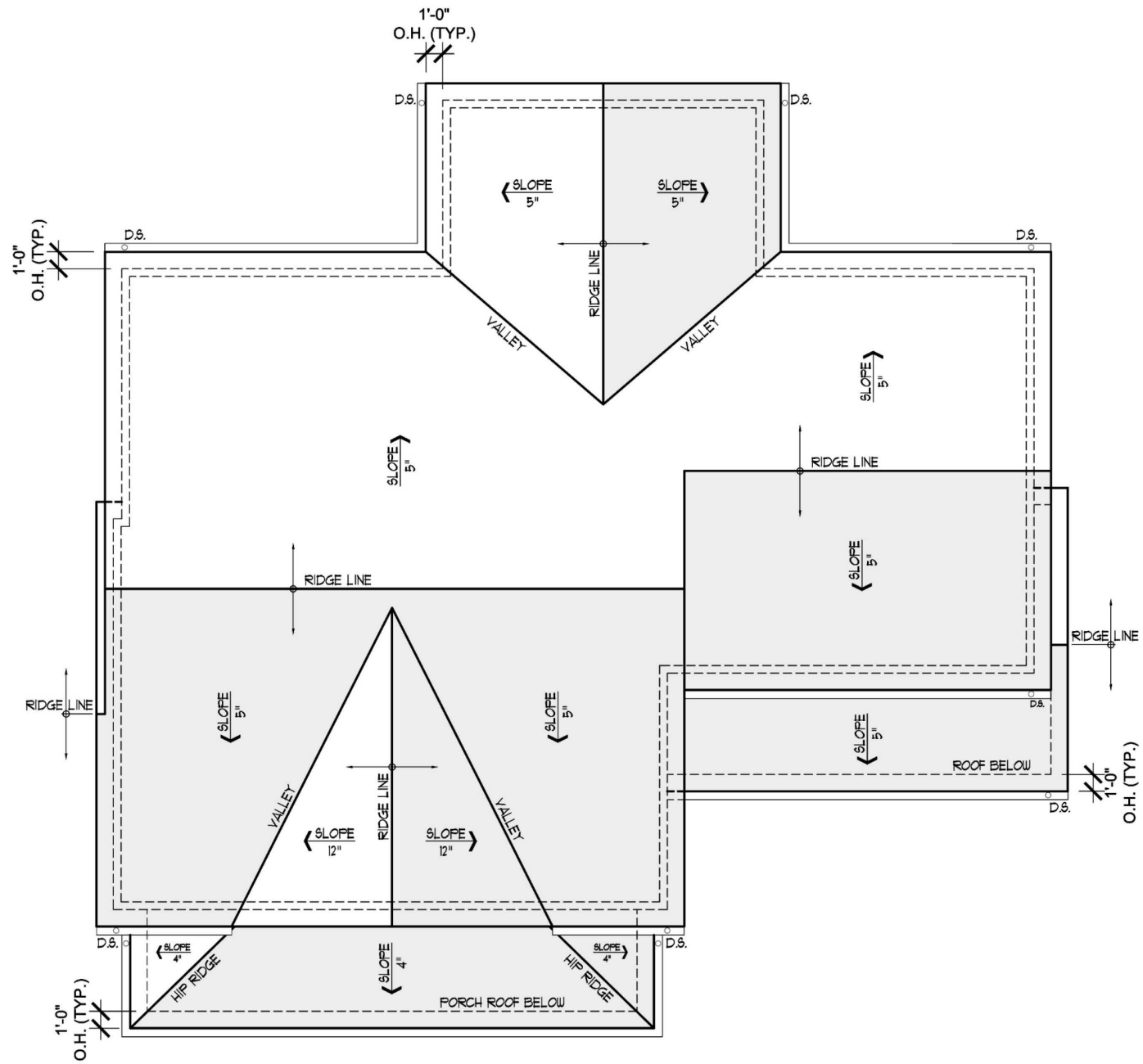
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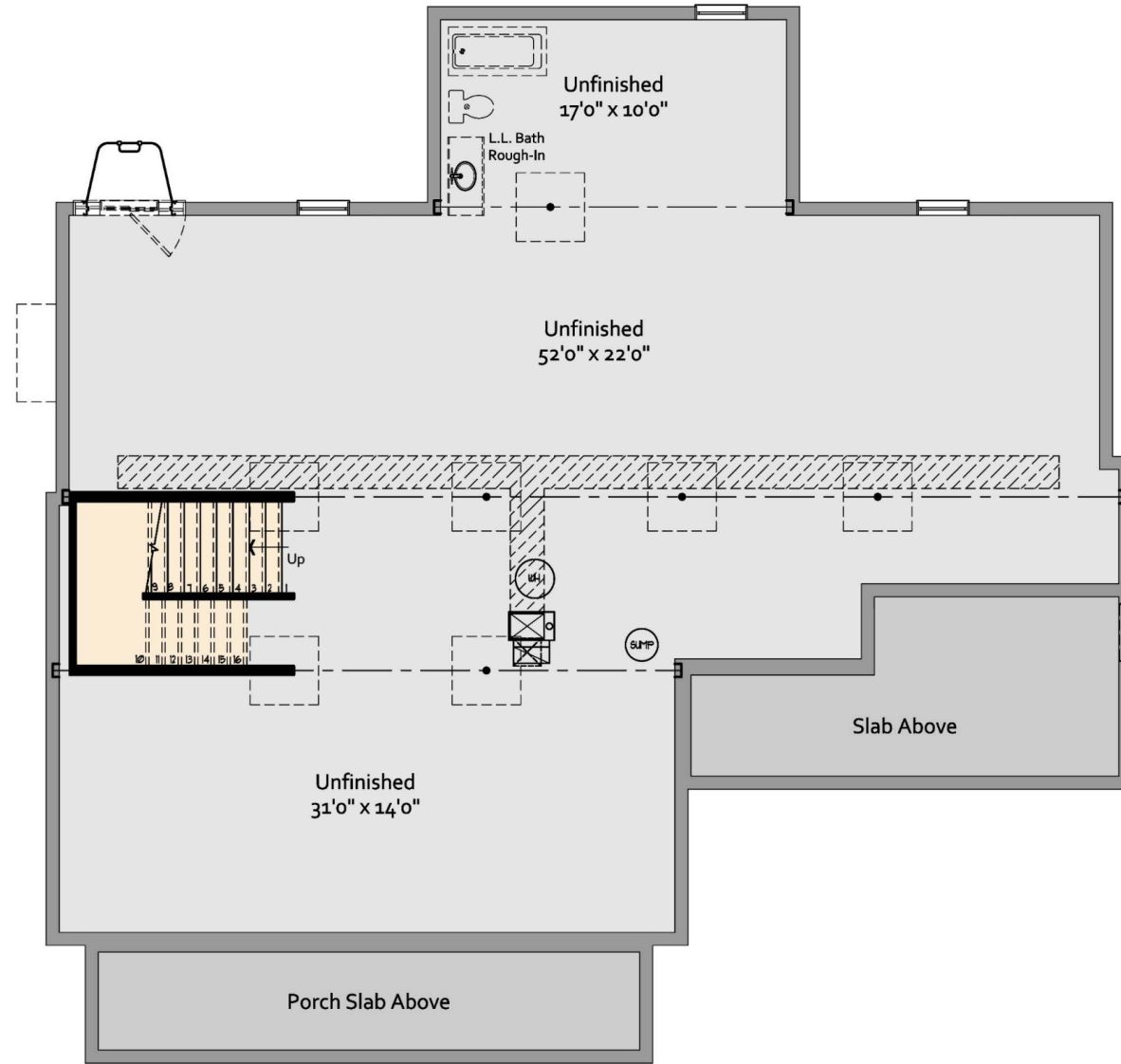
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'19820 WHITE GROUND ROAD'
3,689



ROOF PLAN



UNFINISHED LOWER LEVEL PLAN

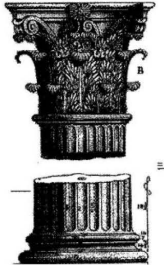
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 date 01/15/24
19820 WHITE GROUND ROAD
 title

revisions	CLIENT REVIEW COMMENT
01/16/24	CLIENT REVIEW COMMENT
02/23/24	HISTORICAL REVIEW COMMENT
02/26/24	BUILDER COMMENT
03/07/24	CLIENT/BUILDER & H.R. COMMENTS
03/12/24	CLIENT/BUILDER & H.R. COMMENTS
03/19/24	ROOF & LOWER LEVEL PLAN

SHEET #

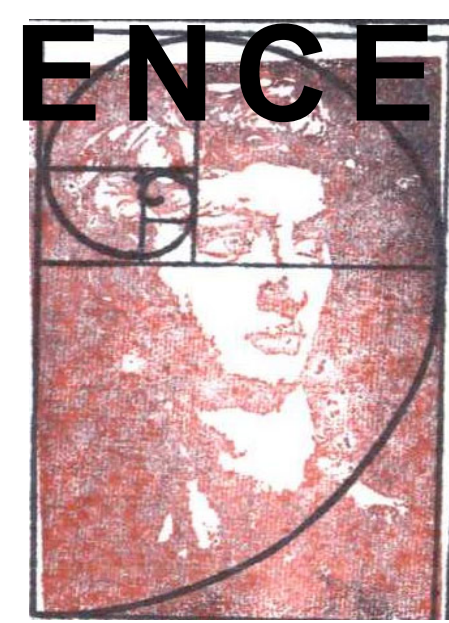


3D SKETCH



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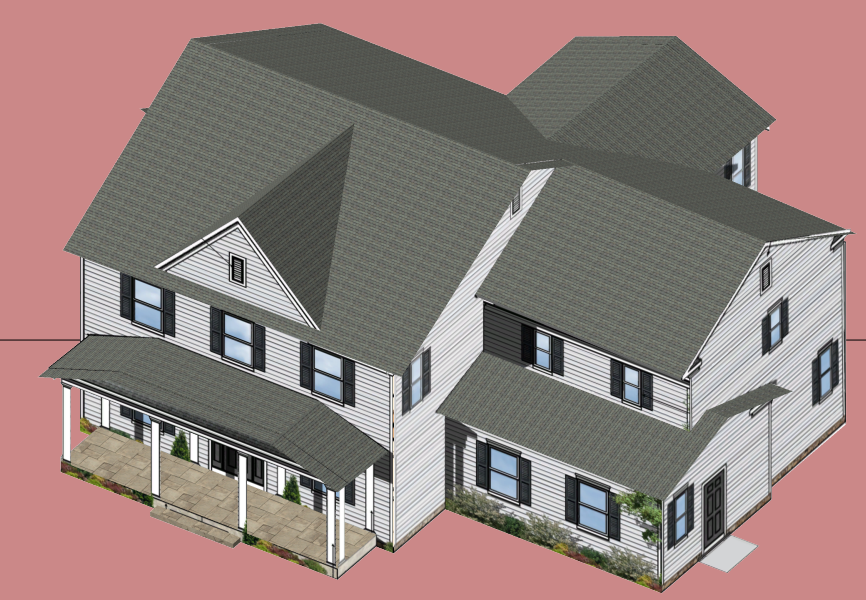
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'19820 WHITE GROUND ROAD'

3D
VIEWS



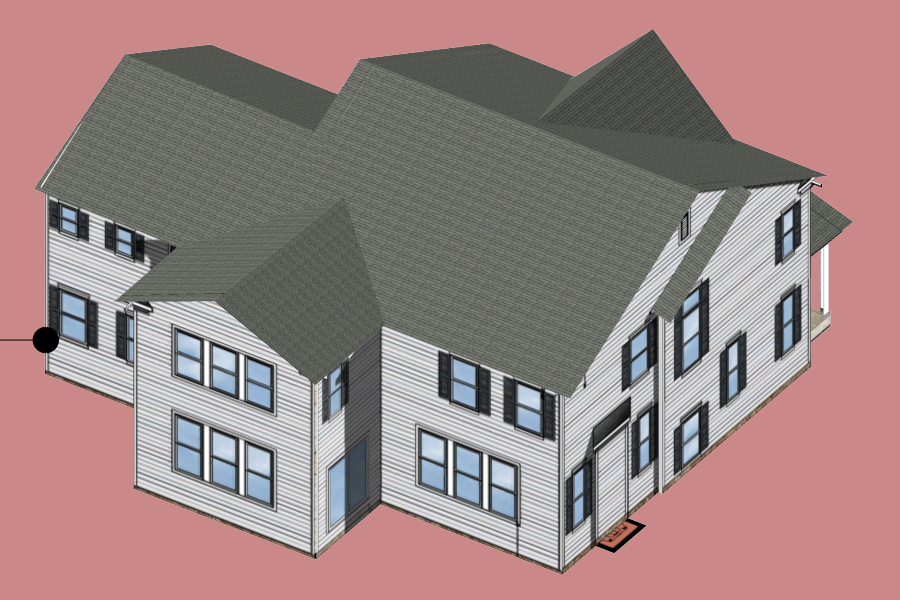
Right Isometric



Left Isometric



Right Rear Isometric
Scale: 1:200



Left Rear Isometric
Scale: 1:200



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'19820 WHITE GROUND ROAD'

3D SKETCH