

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	17 West Kirke Street, Chevy Chase	<b>Meeting Date:</b>	3/20/2024
<b>Resource:</b>	Contributing Resource <b>Chevy Chase Village Historic District</b>	<b>Report Date:</b>	3/13/2024
<b>Applicant:</b>	Chuck Muckenfuss & Angela Lancaster (Dustin Hirt, Architect)	<b>Public Notice:</b>	3/6/2024
<b>Review:</b>	Historic Area Work Permit	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	1060991	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Partial deck and rear elevation demolition, construction of new elevator shaft, new pergola, fenestration and other alterations.		

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve with four (4) conditions** the HAWP:

1. Detailed window specifications that show permanently affixed exterior and interior grilles with an interior spacer bar shall be submitted to Staff for review and approval before issuing the final HAWP.
2. Gutter specifications for the elevator tower shall be submitted to Staff for review and approval before issuing the final HAWP. Final approval authority to determine that the gutters are compatible with the existing construction is delegated to Staff.
3. Detailed construction drawings showing the rafter tail detail of the elevator tower shall be submitted to Staff for review and approval before issuing the final HAWP. Final approval authority to determine that the detail sufficiently matches the existing construction is delegated to Staff.
4. Detailed specifications for the proposed skylight showing it matches the existing one shall be submitted to Staff for review and approval before issuing the final HAWP. If Staff verifies the replacement skylight is a replacement in-kind, the skylight replacement is eligible for the County's Historic Preservation Tax Credit.

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** c.1910 w/1991 addition



*Figure 1: The subject property is located in the northwest portion of the Chevy Chase Village Historic District.*

## **PROPOSAL**

The applicant proposes to construct an exterior elevator tower, demolish a portion of the rear deck and exterior stairs, and to construct a pergola over relocated HVAC condensers at the rear of the property.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District Guidelines***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate, and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Exterior trim on Outstanding resources should be subject to strict scrutiny if it is visible from the public right-of-way.
  - Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
  - Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
  - Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- The *Guidelines* state five basic policies that should be adhered to, including:
    - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
    - Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
    - Maintaining the variety of architectural styles and the tradition of architectural excellence.
    - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
    - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

***Secretary of the Interior’s Standards for Rehabilitation:***

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

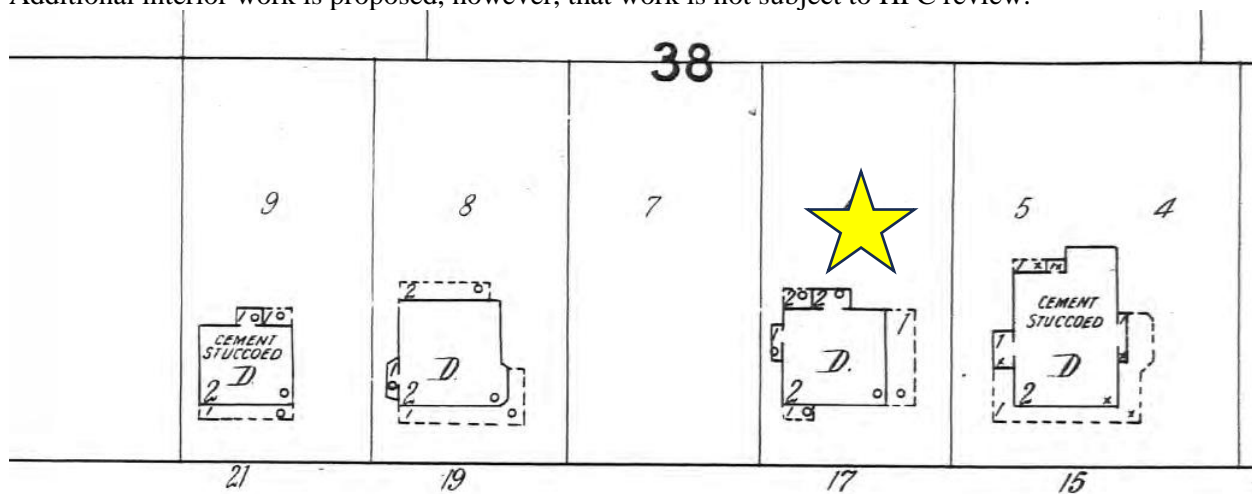
#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### STAFF DISCUSSION

The subject property is a c.1910 two-story house with Craftsman and Colonial Revival elements. In 1991, an addition was constructed on the west (left) side with a two-story turret at the rear. While the addition is compatible with the character of the house, it was constructed before the district was established and, therefore not subject to a HAWP. The applicant proposes three work items, all at the rear, under this HAWP:

- Demolish a portion of the rear deck and exterior stairs;
- Construct an exterior elevator tower; and
- Construct a pergola and fence around the relocated HVAC units.
- Fenestration and other alterations.

Additional interior work is proposed, however, that work is not subject to HPC review.



**W. KIRKE**

*Figure 2: 1916 Sanborn Fire Insurance map showing the subject property before the rear and west side additions.*

### **Partial Deck and Exterior Stair Demolition**

At the rear of the house, a deck runs nearly the full width of the house. In the northwest corner of the deck, there is a set of wood stairs. The applicant proposes to demolish this small portion of the deck and the exterior stairs. A new section of railing, matching the existing in materials, size, and design, will be installed. This section of the deck and stairs only touches the 1991 construction and will not impact the historic portion of the house. The removal of this portion of the deck and stairs is necessary to



accommodate the proposed elevator tower, as discussed below.



**Figure 3: A small section of the deck and the stairs will be demolished.**

Staff finds the existing deck and stairs are not historic features of the house and are not visible from the public right-of-way. The loss of these stairs will not impact the historic fabric or character of the property or the surrounding historic district. Staff finds the proposed demolition is consistent with the *Design Guidelines*, 24A-8(b)(2) and (d), and Standard 2.

### **Elevator Tower**

At the rear of the house, the applicant proposes to construct an exterior elevator tower. The tower will provide access to all three floors. The exterior of the elevator tower has a brick foundation, with cedar shake siding on the second and third floors. The applicant proposes to install a wood Marvin six-over-one sash window on the first and second stories of the rear elevation. The glazing for the windows will be tempered, as required for code, but the grille profile was not provided, and the only description for the windows is, “SDL-Resembling existing.” The tower roof will be asphalt shingles or a membrane roof. Dimensions for the proposed tower were not noted on the drawings, however, Staff estimates the tower measures 5’ × 7’ (five feet wide, by seven feet deep) and does not reach the ridge of the 1991 addition. The drawings note that the gutters will match the existing and the rafter tails will match the existing. Non-historic windows on the 1991 addition will be removed to accommodate the elevator tower. Because of its location, the elevator tower will not be visible from the public right-of-way.

The *Design Guidelines* state that alterations to properties that are not at all visible from the right-of-way should be subject to a very lenient review. Staff finds the size of the proposed elevator tower will not overwhelm the character of the house. Staff additionally finds the proposed materials (i.e., brick foundation, cedar shake siding, and wood windows) are all consistent with the historic house and its non-historic addition. However, Staff notes the general requirement for multi-light windows is that they have permanently affixed exterior and interior grilles with a spacer bar. Staff recommends the HPC add a condition to the approval of this HAWP that the proposed windows satisfy this condition, and the final approval authority delegated to Staff to verify the condition has been met. Additionally, Staff finds matching the gutters and rafter tail detail is an appropriate treatment, but notes that the submission does not include a material specification nor is the drawing detailed enough to evaluate how closely these details will match the existing construction. Staff recommends the HPC include a condition that the final permit set of documents includes a specification for the gutter and a detailed drawing showing the treatment of the rafter tails. Staff finds both shingle and membrane roofing are appropriate in this application because the roof will not be at all visible. Staff recommends the HPC approve the elevator tower under the *Design Guidelines*, 24A-(b)(2) and (d), and Standards 2, 9, and 10.



Figure 4: Partial rear elevation showing the proposed elevator tower (circled).

### Pergola and Fence Construction

To accommodate the construction of the elevator, the existing HVAC units will be removed. Upon the completion of construction, the applicant proposes to reinstall the HVAC condensers and construct a wood pergola with a lattice fence/screen. Like the other work under consideration under this HAWP, the pergola will not be visible from the right-of-way and should be reviewed under a very lenient level of scrutiny. The submitted drawings are not annotated to include dimensions, so all measurements of the pergola are approximate.

The proposed wood pergola measures approximately 8' (eight feet) and is 12' × 8' (twelve feet wide, by eight feet deep). Staff finds the size of the pergola does not overwhelm the rear of the house (see Figure 4, above), and that wood is the appropriate material for a feature of this type. Staff finds the pergola is compatible with the character of the house and surrounding district and recommends the HPC approve its construction under the *Design Guidelines*, 24A-8(b)(2) and (d), and Standards 2, 9, and 10.

### Fenestration and Other Alterations

There are three other changes proposed at the rear of the house. The proposed changes are, converting a non-historic basement door to a window, replacing an existing window underneath the rear porch, and replacing a non-historic skylight. None of these changes appear to significantly alter the historic character of the house.

In the basement, underneath the non-historic rear deck, there is a pair of single-light French doors that appear to date to the 1991 addition. The applicant proposes to remove these doors and install a large, wood picture window. The notes on the plans indicate the French doors will be stored in the garage. This feature is both below grade and on the rear of the property. Staff finds the existing doors are not historic and do not contribute to the historic character of the house. Staff further finds the proposed replacement window is compatible with the character of the site and surrounding district under a lenient scrutiny review.

The second proposed change is the replacement of an existing window underneath the rear porch. Details for the existing window were not included in the application. The proposed window will be a single-light awning window. While Staff would prefer more details about the proposed window, Staff finds that foundation-level windows on the rear are rarely architecturally significant, especially considering the jamb size for this opening is only 24" × 14" (twenty-four inches by fourteen inches). Staff finds this

proposed change will not have a material effect on the resource or surrounding district and additionally finds a wood single-light window at the foundation is an appropriate feature and recommends the HPC approve the basement window replacement.

The final change on the rear is the removal and replacement of a non-historic skylight on the rear. The drawings and window schedule indicate the skylight will be replaced with a Velux skylight that matches the dimensions of the existing one. Staff finds that this change would be a replacement in-kind that is eligible for the County's Historic Preservation Tax credit, however, full dimensions and details were not submitted with the material specifications. Detailed specifications for the skylight replacement need to be included with the final permit documents before the final HAWP can be issued.

Staff recommends the HPC approve the fenestration alterations with the added condition requiring detailed specifications for the skylight.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with four (4) conditions** the HAWP application;

1. Detailed window specifications that show permanently affixed exterior and interior grilles with an interior spacer bar shall be submitted to Staff for review and approval before issuing the final HAWP.
2. Gutter specifications for the elevator tower shall be submitted to Staff for review and approval before issuing the final HAWP. Final approval authority to determine that the gutters are compatible with the existing construction is delegated to Staff.
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4. Detailed specifications for the proposed skylight showing it matches the existing one shall be submitted to Staff for review and approval before issuing the final HAWP. If Staff verifies the replacement skylight is a replacement in-kind, the skylight replacement is eligible for the County's Historic Preservation Tax Credit;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), and the *Chevy Chase Village Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1060991
DATE ASSIGNED

APPLICANT:

HAWP: 1060991

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**PROPERTY DATA**

BLOCK: 38  
 LOT: P5  
 LEGAL DESCR.: LOTS 6&7 CHEVY CHASE SECTION 2  
 JURISDICTION: MONTGOMERY COUNTY, MARYLAND  
 AREA OF LOT: 15,150 SQ FT  
 YEAR BUILT: 1933  
 ZONE: R- 60  
 HISTORIC DISTRICT: CHEVY CHASE VILLAGE

LOT COVERAGE: 35%  
 SIDE SETBACK: 15'  
 REAR SETBACK: 20'  
 BLDING HEIGHT: 3 STORIES  
 FRONT SETBACK: 25'

**ISSUED SETS**

DATE	ISSUED FOR
03.03.23	PRELIMINARY DESIGN PLANS
03.24.23	DESIGN PRICING SET
02.13.24	PROGRESS SET
02.27.24	CHEVY CHASE VILLAGE
02.27.24	CONTRACT PRICING SET
02.28.24	PERMIT SET
02.29.24	HAWP

**SCOPE OF WORK**

- NEW ELEVATOR ADDITION AT REAR OF HOME.
- INTERIOR WORK ON BASEMENT, 1ST, AND SECOND FLOOR
- NEW EXTERIOR PERGOLA OVER RELOCATED CONDENSERS.

**PLAN REVISIONS**

# DATE

**SALTBOX**  
 ARCHITECTURE  
 5217 WISCONSIN AVENUE NW  
 WASHINGTON, D.C. 20015  
 OFFICE: 202-350-0000  
 WWW.SALTBOXDESIGN.COM

**PROPERTY INFO**

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER  
 LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2  
 HISTORIC DISTRICT: CHEVY CHASE VILLAGE  
 BLOCK: 38 LOT: P5 BUILT: 1933 LAND: 15,150 SF  
 JURISDICTION: MONTGOMERY COUNTY, MARYLAND ZONE: R- 60

**PLAN INFO**

PHASE: HISTORIC AREA WORK PERMIT (HAWP)  
 DATE: 02.28.24  
 SCALE: AS SHOWN  
 DRAWN: DTH  
 PERMIT NO.: 1060480  
 SWDB NO.: N/A

# LANCASTER-MUCKENFUSS RESIDENCE

17 WEST KIRKE STREET  
 CHEVY CHASE, MD 20815

**DRAWING INDEX**

0001	COVER SHEET
0002	EXISTING EXTERIOR PHOTOS

**SCHEDULES**

0003	SCHEDULES- WINDOW, SKYLIGHT, AND DOOR
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**SITE PLAN**

Z001	EXISTING AND PROPOSED
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**DEMOLITION**

D001	PARTIAL BASEMENT PLAN
D002	PARTIAL FIRST FLOOR PLAN
D003	PARTIAL SECOND FLOOR PLAN
D100	PARTIAL EXTERIOR ELEVATIONS

**ARCHITECTURAL**

A001	PARTIAL BASEMENT PLAN
A002	PARTIAL FIRST FLOOR PLAN
A003	PARTIAL SECOND FLOOR PLAN
A004	PARTIAL ROOF PLAN
A100	PARTIAL EXTERIOR ELEVATIONS

**CONTACT DATA**

**OWNER INFORMATION**

NAMES: CANTWELL MUCKENFUSS & ANGELA LANCASTER

**AGENT INFORMATION**

COMPANY: SALTBOX ARCHITECTURE LLC  
 CONTACT: DUSTIN HIRT  
 PHONE: 202-285-1499  
 EMAIL: DHIRT@SALTBOXDESIGN.COM

**ARCHITECT**

COMPANY: SALTBOX ARCHITECTURE LLC  
 CONTACT: KEVIN WINKLER  
 ADDRESS: 5217 WISCONSIN AVENUE NW  
 WASHINGTON D.C. 20015  
 PHONE: 240-988-4624  
 EMAIL: KWINKLER@SALTBOXDESIGN.COM

**STRUCTURAL ENGINEER**

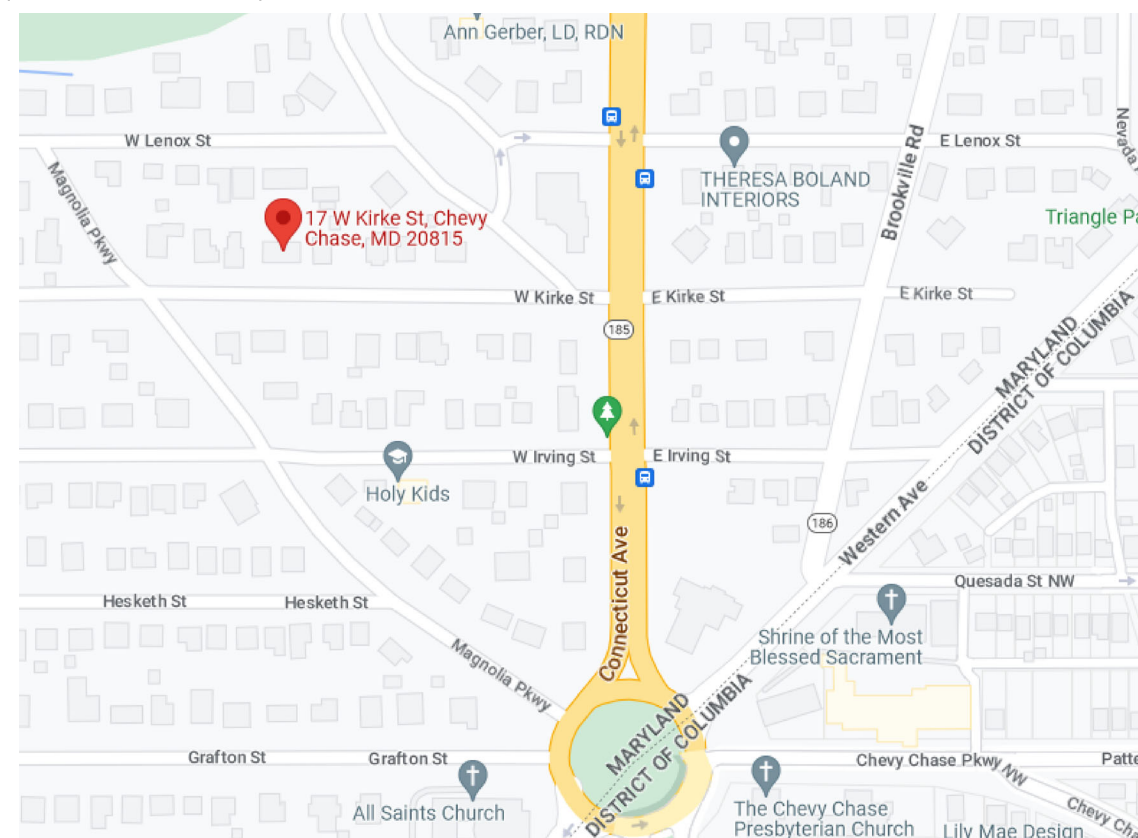
COMPANY: APAC ENGINEERING  
 CONTACT: ROBERT WIXSON  
 ADDRESS: 2110 SEMINARY ROAD  
 SILVER SPRING, MD 20910  
 PHONE: 301-565 0543  
 EMAIL: APACENGINEERING@AOL.COM

**CONSTRUCTION COMPANY**

COMPANY: LEY LTD, LLC  
 CONTACT: SIMON LEY  
 ADDRESS: 5110 McARTHUR BLVD NW  
 WASHINGTON, DC 20016  
 PHONE: 703-856-7429  
 EMAIL: SIMON@LEYLTD.COM

**VICINITY MAP**

(NOT TO SCALE)



HAWP #: 1060991  
 BUILDING PERMIT #: 1060480

**LANCASTER-MUCKENFUSS RESIDENCE**  
 17 WEST KIRKE STREET  
 CHEVY CHASE, MD 20815

COVER SHEET

SHEET

0001





PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE

5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015  
OFFICE: 202-350-0300  
WWW.SALTBOXDESIGN.COM

PROPERTY INFO

OWNER(S): CANTWELL, MUCKENFUSS & ANGELA LANCASTER  
LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2  
HISTORIC DISTRICT: CHEVY CHASE VILLAGE  
BLOCK: 38 | LOT: P5 | BUILT: 1933 | LAND: 15,150 SF  
JURISDICTION: MONTGOMERY COUNTY, MARYLAND | ZONE: R-60

PLAN INFO

PHASE	DATE	SCALE	DRAWN	PERMIT NO.	HISTORIC AREA WORK PERMIT (HAWP)	DTH	SWDB NO.
	02.28.24	AS SHOWN					

**LANCASTER-MUCKENFUSS  
RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

EXISTING  
EXTERIOR  
PHOTOS

SHEET

0002



PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE  
5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015  
OFFICE: 202-390-0000  
WWW.SALTBOXDESIGN.COM

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	BLOCK: 38
BUILT: 1933	LAND: 15,150 SF
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PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24
SCALE: AS SHOWN	DRAWN: DTH
PERMIT NO.:	SWDB NO. N/A

**LANCASTER-MUCKENFUSS RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

SCHEDULES

SHEET

0003

Door Schedule										
Purchased & Installed by Contractor										
Floor	Symbol	Location	Manuf.	Size	Description/Model	Slab thickness	Door Swing	Hardware	Allow	Comments
Basement	1	Rec Room/Exterior	Marvin or Eq	65x 80 (vfy with ex)	Outswing French door to replace existing		both	Can we reuse the existing hardware ?	---	Interior roll screen
	2	Rec Room/Elevator	Trustile	36x 80	5 Panel door to match existing		RH	Allow \$250		Verify needs with elevator
	3	Hall/Bsmt Storage	n/a	32 x 80	Any door to reuse?	n/a	LH	Can we reuse the existing hardware ?		
	4				Reuse existing door removed from wine storage					
	5	Half Bath		30 x 80	Existing door to remain		LH			
1st Floor	10	Breakfast Room/Elevator	Trustile	36x 80	5 Panel door to match existing	1-3/4"	RH	Allow \$250	Verify needs with elevator	
2nd Floor	20	Primary Bedroom/Elevator					RH	Allow \$250		

Door Notes:

Window & Skylight Schedule														
Purchased & Installed by Contractor														
Floor	Mark	Location	Type	Manu.	Series	Unit Jamb Size	Qty	Exterior Finish/Color	Interior Finish/Color	Glazing	Tempered	Grille	Lite Pattern	Comments
Basement	A	Rec Room	Fixed Picture	Marvin (match existing)	All wood (verify)	64x46	1	Wood/ Painted to match existing	Wd/ White	Low-E with Argon	No	n/a	Full lite	In old door opening. Infill below
	B	Half Bath	Awning			24x14	1				Yes	n/a	Full lite	New to replace existing. Security bars removed. Under deck.
1st	C	Elevator Shaft	Double Hung			30x60	1		Wd Primed	Order with no glass. See comments.	Yes- 'Safety Glass'	SDL- Resemble existing	6 over 1	Glass needs to be laminated and tempered per code for elevator shaft
2nd	D					30x60	1						6 over 1	
	SK1	Primary Bath	Skylight	Velux	FCM	48x48 (+/-) Match existing	1	---		Laminated		n/a	Existing skylight replaced with new of the same size	

Notes:

**SITE PLAN KEY**

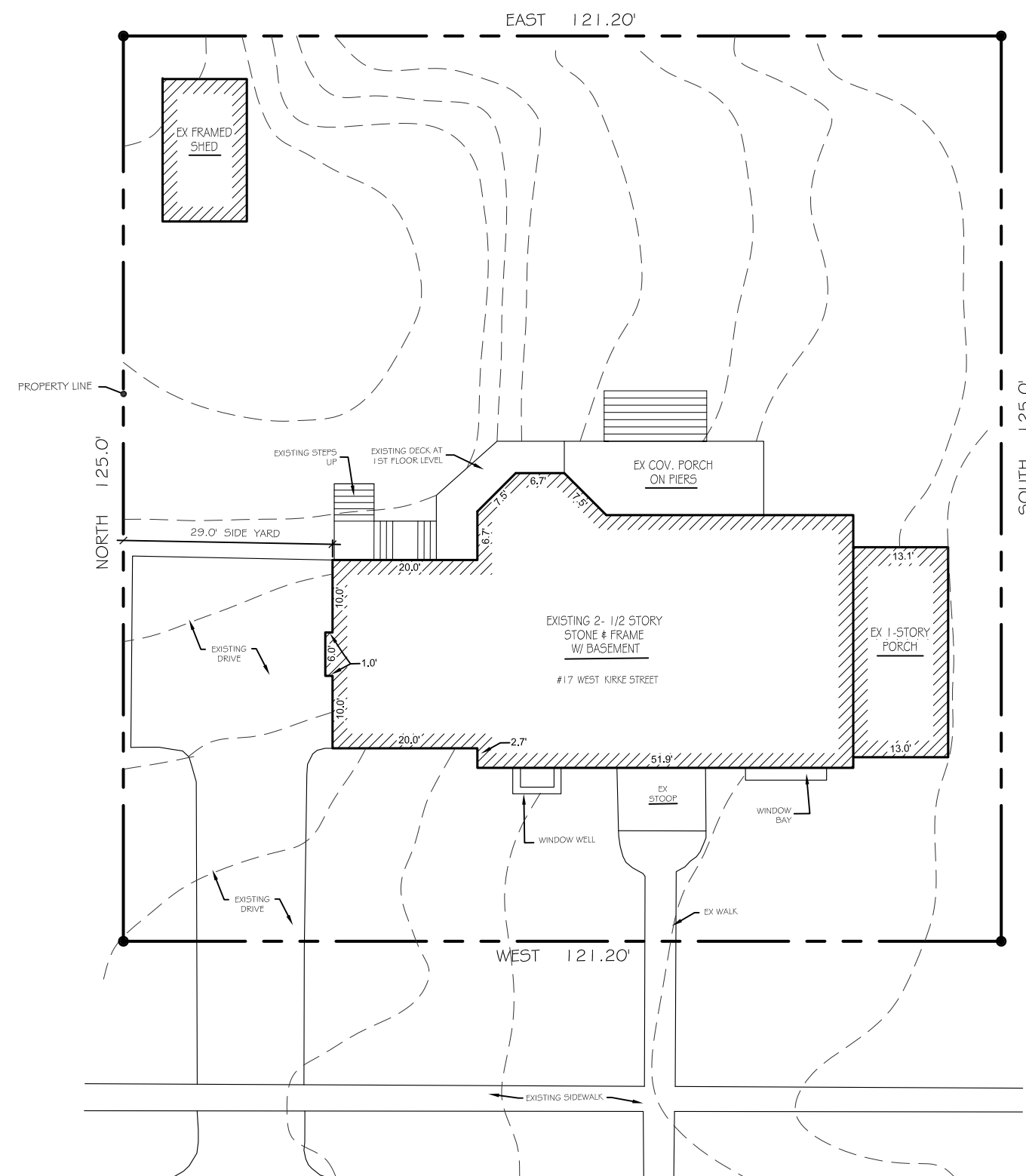
EXISTING 2' CONTOURS	-----
CRITICAL ROOT ZONE	----- CRZ
POINT ON PROP. LINE	P.O.L.
SPOT ELEVATION	.290.0
ELECTRIC METER	(EM)
POWER POLES	⊗
WATER METER	⊙
GAS LINE	--- G --- G ---
WATER LINE	--- W --- W ---
SEWER LINE	--- S --- S ---
WOOD FENCE	///
CHAIN LINK FENCE	○-○-○-○
SEWER MANHOLE (SMH)	⊙

**PROPERTY INFORMATION**

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JURISDICTION:	MONTGOMERY COUNTY, MARYLAND
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YEAR BUILT:	1933
ZONE:	R-60
TYPE:	SINGLE FAMILY DETACHED
HIST. DISTRICT:	YES - CHEVY CHASE VILLAGE
LOT COVERAGE:	35%
SIDE SETBACK:	8' (SUM OF 18')
REAR SETBACK:	20'
BLDNG HEIGHT:	35' (3 STORIES)
FRONT SETBACK:	25'

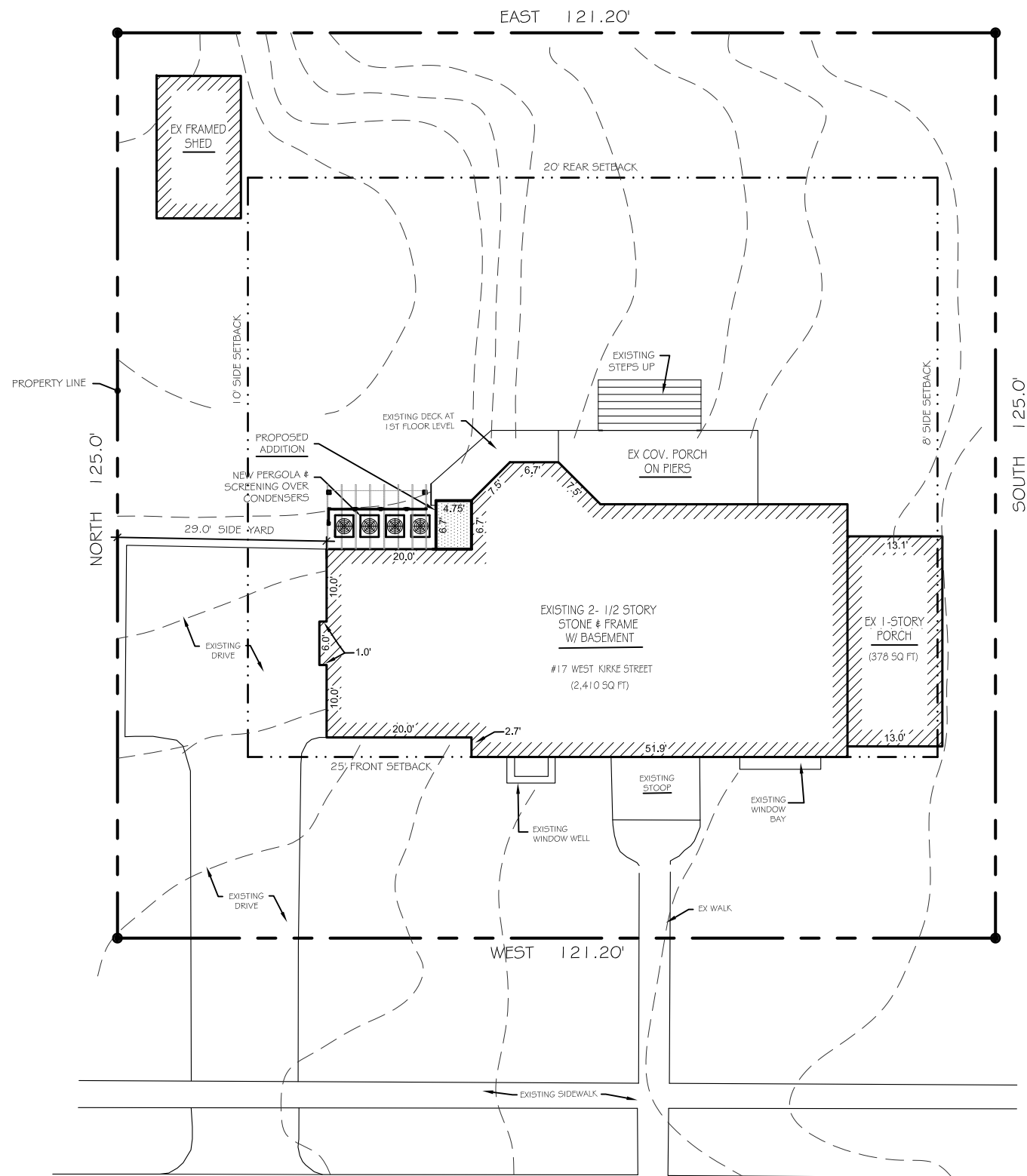
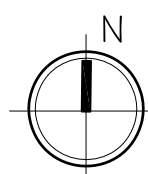
**LOT COVERAGE**

LOT SIZE:	15,150 SQ FT
EXISTING:	3,052 SQ FT
EX SHED:	228 SQ FT
ADDITION:	+ 33 SQ FT
<b>TOTAL LOT COVERAGE:</b>	<b>22%</b>
(ALLOWED COVERAGE:	35 %)



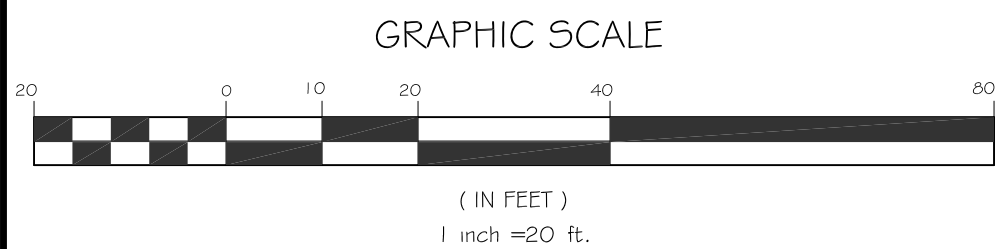
WEST KIRKE STREET

**2** EXISTING SITE PLAN  
SCALE: 1"=20'-0"



WEST KIRKE STREET

**1** PROPOSED SITE PLAN  
SCALE: 1"=20'-0"



PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE  
5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER
LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE
BLOCK: 38   LOT: P5   BUILT: 1933   LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND   ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24	SCALE: AS SHOWN	DRAWN: DTH	PERMIT NO.: 1060480	SWDB NO.: N/A
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**LANCASTER-MUCKENFUSS**  
**RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

SITE PLAN

SHEET

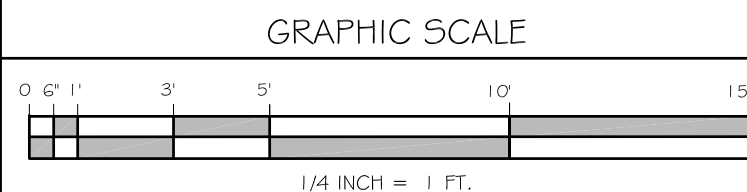
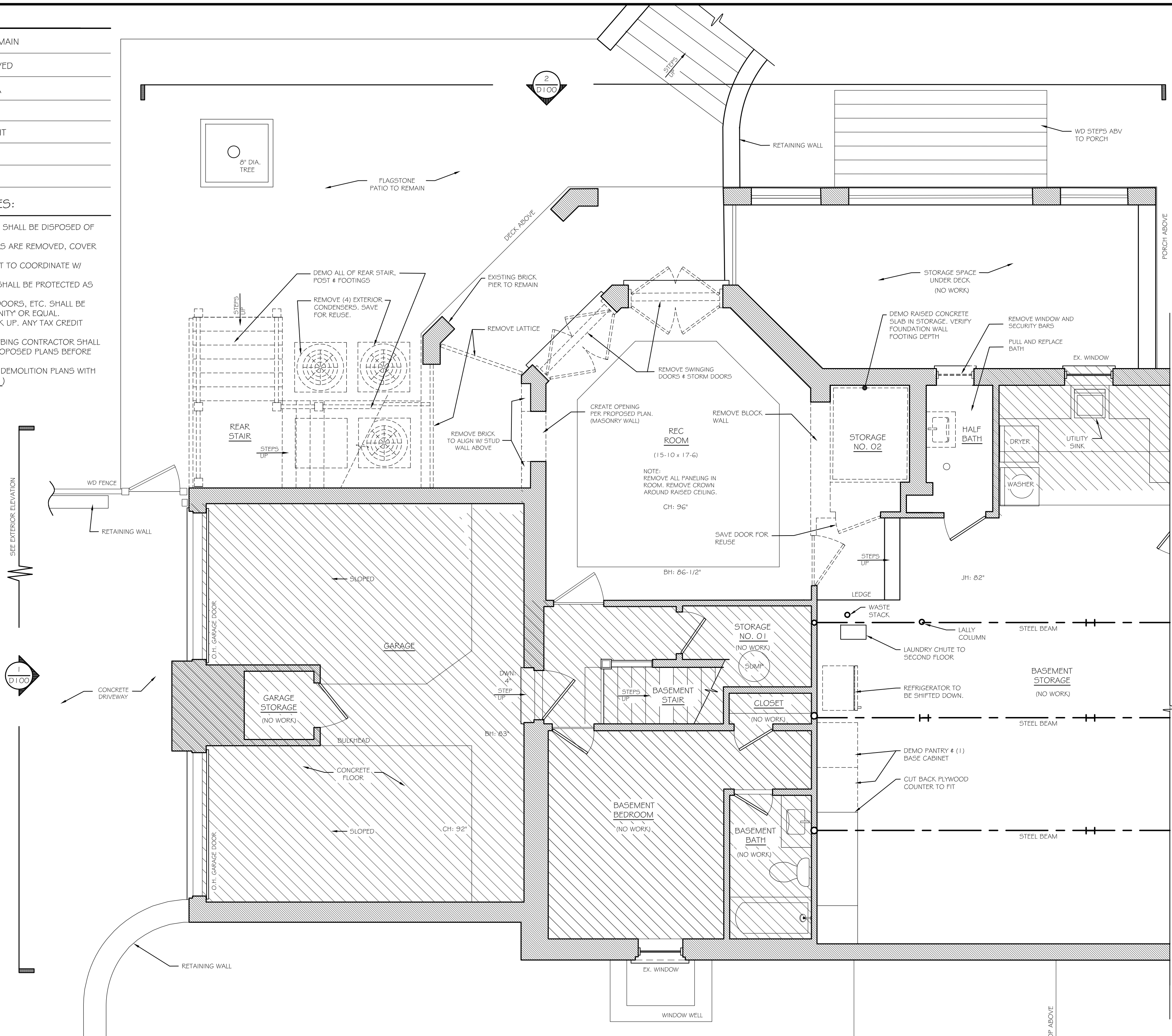
**Z001**

DEMOLITION PLAN LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING TO BE REMOVED
- NO WORK IN THIS AREA
- SPOT ELEVATION
- X: \_\_\_" DOOR/BULKHEAD HEIGHT
- CH CEILING HEIGHT
- SL SPRING LINE

DEMOLITION GENERAL NOTES:

1. ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF UNLESS OTHERWISE NOTED.
2. WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ FLYWOOD.
3. DUST PARTITIONS ARE TO BE BUILT TO COORDINATE W/ WORK.
4. ALL EX. FLOOR/FURNITURE/WALLS SHALL BE PROTECTED AS NEEDED.
5. PLUMBING FIXTURES, WINDOWS, DOORS, ETC. SHALL BE DONATED TO 'HABITAT FOR HUMANITY' OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP. ANY TAX CREDIT SHALL GO TO OWNER.
6. ELECTRICAL, MECHANICAL, & PLUMBING CONTRACTOR SHALL VERIFY ALL EX. CONDITIONS W/ PROPOSED PLANS BEFORE WORK BEGINS.
7. CONTRACTOR IS TO COORDINATE DEMOLITION PLANS WITH THE ARCHITECTURAL PLANS. (A \_\_\_)



DEMO- PARTIAL BASEMENT PLAN  
 SCALE: 1/4" = 1'-0"

PLAN REVISIONS

#	DATE

SALTBOX

ARCHITECTURE

5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015  
OFFICE: 202-390-0000  
WWW.SALTBOXDESIGN.COM

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	
BLOCK: 38	LOT: P5
BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24	SCALE: AS SHOWN	DRAWN: DTH
PHASE	DATE	SCALE	DRAWN
PERMIT NO.:	1060480	SWDB NO.:	N/A

LANCASTER-MUCKENFUSS  
RESIDENCE

17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

DEMOLITION - PARTIAL BASEMENT FLOOR PLAN

SHEET

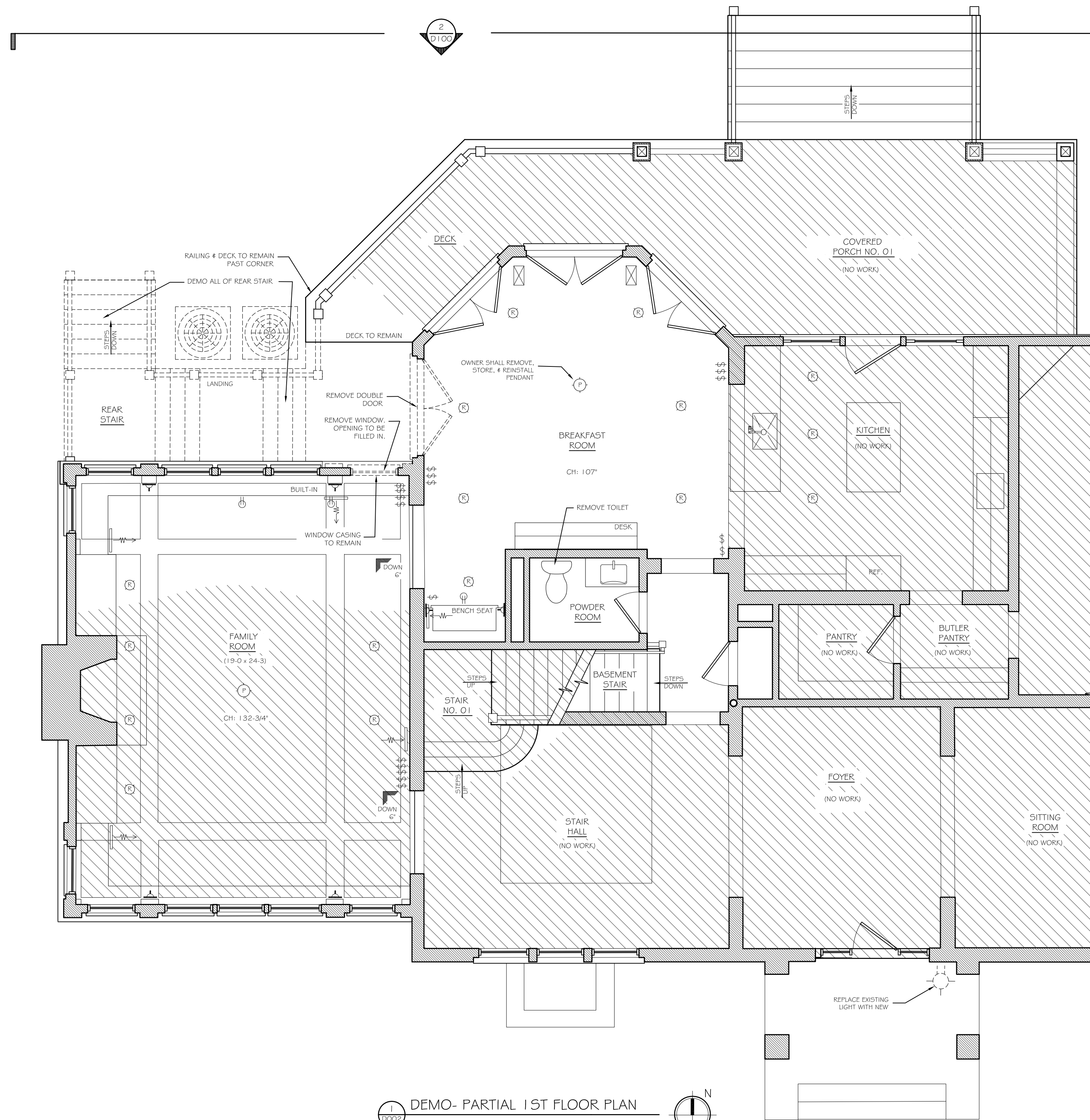
D001

DEMOLITION PLAN LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING TO BE REMOVED
	NO WORK IN THIS AREA
	SPOT ELEVATION
X: ___"	DOOR/BULKHEAD HEIGHT
CH	CEILING HEIGHT
SL	SPRING LINE

DEMOLITION GENERAL NOTES:

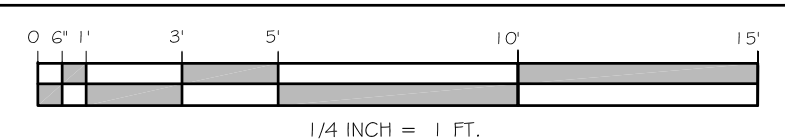
- ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF UNLESS OTHERWISE NOTED.
- WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ FLYWOOD.
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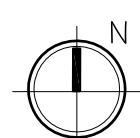
SEE EXTERIOR ELEVATION



GRAPHIC SCALE



D1002 DEMO- PARTIAL 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0"



PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE  
5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015  
OFFICE: 202-350-0000  
WWW.SALTBOXDESIGN.COM

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER
LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE
BLOCK: 38 LOT: P5 BUILT: 1933 LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	
PHASE	
DATE	02.28.24
SCALE	AS SHOWN
DRAWN	DTH
PERMIT NO.	1060480
SWDB NO.	N/A

**LANCASTER-MUCKENFUSS RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

DEMOLITION - PARTIAL FIRST FLOOR PLAN

SHEET

**D002**

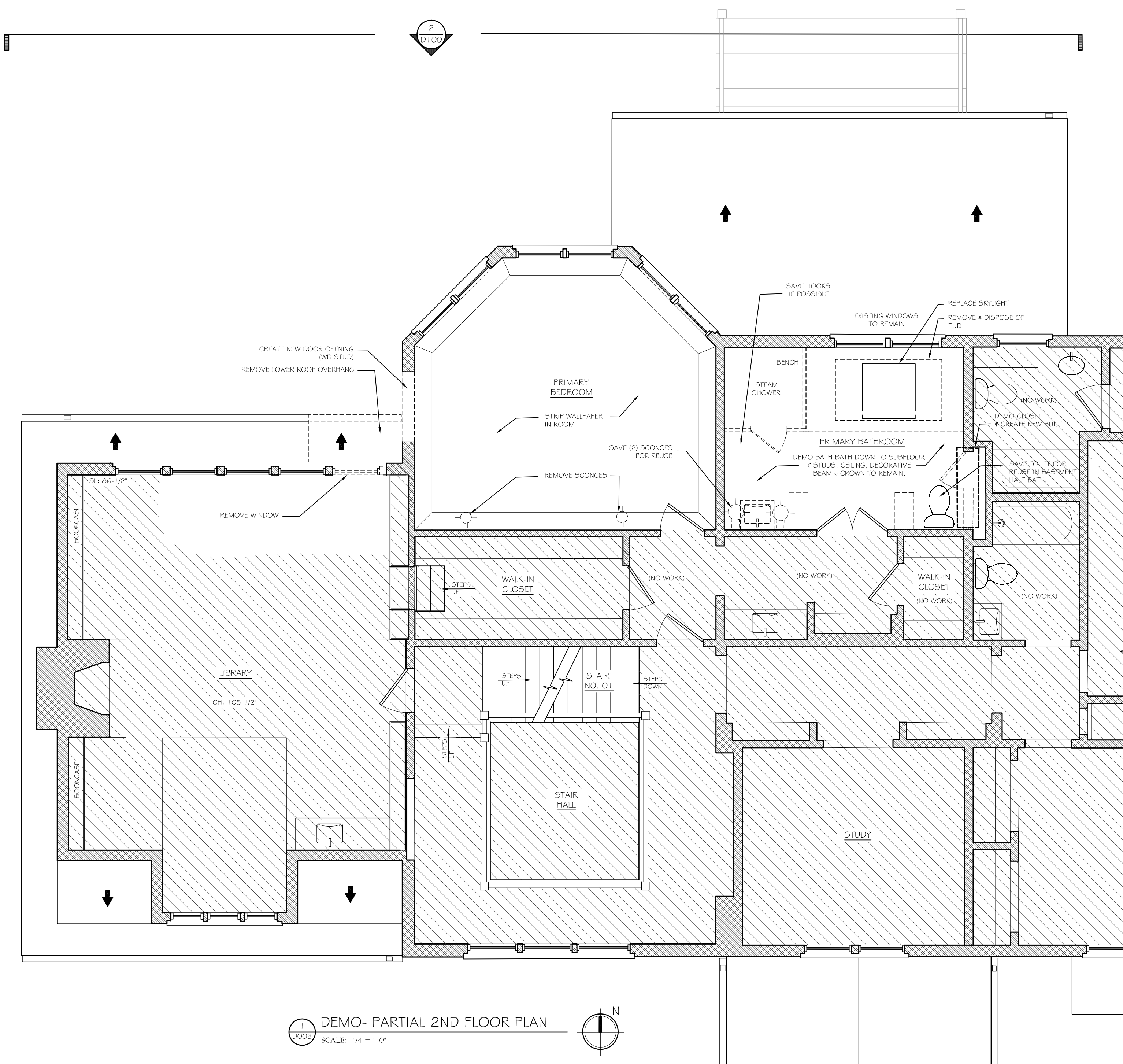


DEMOLITION PLAN LEGEND

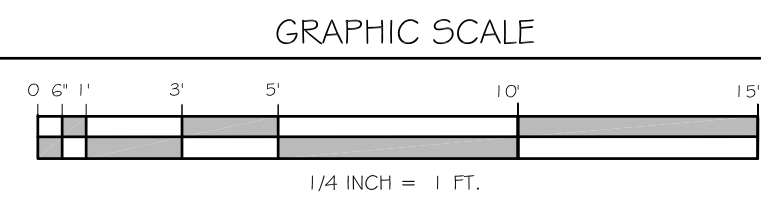
	EXISTING WALLS TO REMAIN
	EXISTING TO BE REMOVED
	NO WORK IN THIS AREA
	SPOT ELEVATION
X: ___"	DOOR/BULKHEAD HEIGHT
CH	CEILING HEIGHT
SL	SPRING LINE

DEMOLITION GENERAL NOTES:

- ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF UNLESS OTHERWISE NOTED.
- WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ FLYWOOD.
- DUST PARTITIONS ARE TO BE BUILT TO COORDINATE W/ WORK.
- ALL EX. FLOOR/FURNITURE/WALLS SHALL BE PROTECTED AS NEEDED.
- PLUMBING FIXTURES, WINDOWS, DOORS, ETC. SHALL BE DONATED TO 'HABITAT FOR HUMANITY' OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP. ANY TAX CREDIT SHALL GO TO OWNER.
- ELECTRICAL, MECHANICAL, & PLUMBING CONTRACTOR SHALL VERIFY ALL EX. CONDITIONS W/ PROPOSED PLANS BEFORE WORK BEGINS.
- CONTRACTOR IS TO COORDINATE DEMOLITION PLANS WITH THE ARCHITECTURAL PLANS. (A \_\_\_)



1 D003 DEMO- PARTIAL 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PLAN REVISIONS	
#	DATE

<b>SALTBOX ARCHITECTURE</b> 5217 WISCONSIN AVENUE NW WASHINGTON, D.C. 20015 WWW.SALTBOXDESIGN.COM	
PROPERTY INFO	
OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	BLOCK: 38 LOT: P5
BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60
PLAN INFO	
PHASE: HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24
SCALE: AS SHOWN	DRAWN: DTH
PERMIT NO.: 1060480	SWDB NO.: N/A
<b>LANCASTER-MUCKENFUSS RESIDENCE</b> 17 WEST KIRKE STREET CHEVY CHASE, MD 20815	
DEMOLITION - PARTIAL SECOND FLOOR PLAN	
SHEET	
<b>D003</b>	



DEMOLITION PLAN LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING TO BE REMOVED
- NO WORK IN THIS AREA
- SPOT ELEVATION
- X: \_\_\_" DOOR/BULKHEAD HEIGHT
- CH CEILING HEIGHT
- SL SPRING LINE

DEMOLITION GENERAL NOTES:

1. ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF UNLESS OTHERWISE NOTED.
2. WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ FLYWOOD.
3. DUST PARTITIONS ARE TO BE BUILT TO COORDINATE W/ WORK.
4. ALL EX. FLOOR/FURNITURE/WALLS SHALL BE PROTECTED AS NEEDED.
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6. ELECTRICAL, MECHANICAL, & PLUMBING CONTRACTOR SHALL VERIFY ALL EX. CONDITIONS W/ PROPOSED PLANS BEFORE WORK BEGINS.
7. CONTRACTOR IS TO COORDINATE DEMOLITION PLANS WITH THE ARCHITECTURAL PLANS. (A \_\_\_)



2 DEMO- EXTERIOR ELEVATION  
D100 SCALE: 3/16" = 1'-0" (REAR)



1 DEMO- EXTERIOR ELEVATION  
D100 SCALE: 3/16" = 1'-0" (WEST SIDE)

PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE  
5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015  
OFFICE: 202-390-0000  
WWW.SALTBOXDESIGN.COM

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	BLOCK: 38 LOT: P5
BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24	SCALE: AS SHOWN	DRAWN: DTH	PERMIT NO.: 1060480	SWDB NO.: N/A
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**LANCASTER-MUCKENFUSS**  
**RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

DEMOLITION - EXTERIOR ELEVATIONS

SHEET

**D100**

PLAN LEGEND

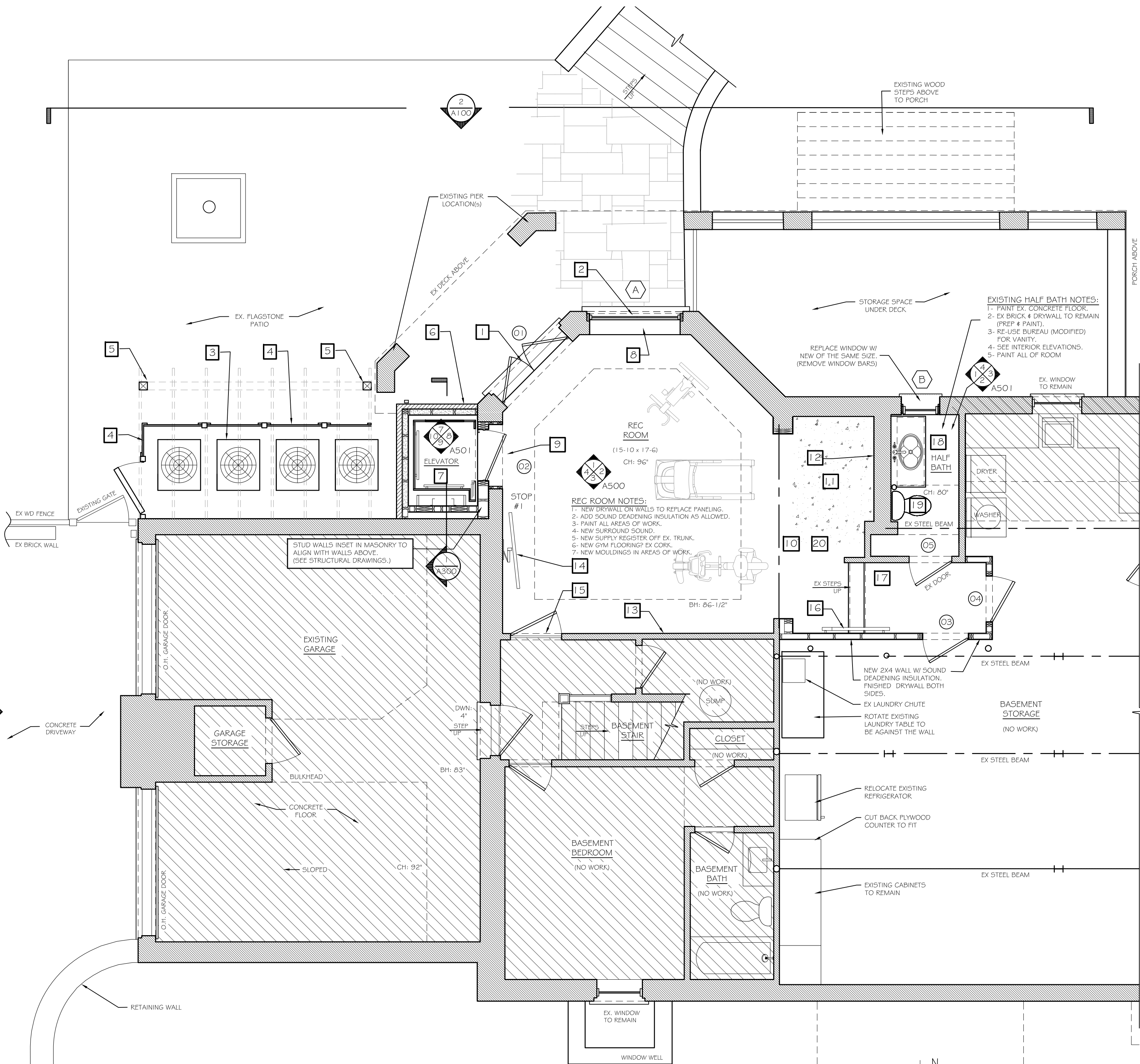
	EXISTING WALL
	NEW CMU WALL
	NEW BRICK (N/A)
	EXISTING TO REMAIN
	NEW CONCRETE
	SEE WINDOW SCHEDULE
	SEE DOOR SCHEDULE
WH	WINDOW HEIGHT
SH	SILL HEIGHT
CH	CEILING HEIGHT
SL	SPRING LINE
X: _"	DOOR/BULKHEAD HEIGHT
	SPOT ELEVATION
---370---	EXISTING 2 FT CONTOURS

GENERAL NOTES

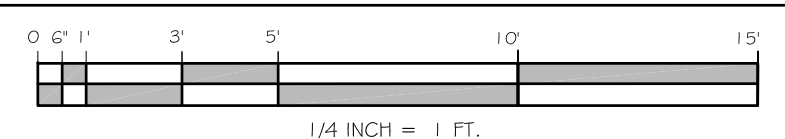
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL CODES, REGULATIONS & ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS W/ THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AS NEEDED TO PERFORM WORK.
- SEE SCHEDULES FOR MORE DETAILED INFORMATION.

BASEMENT FLOOR PLAN KEY

- NEW OUTSWING FRENCH DOOR TO REPLACE EXISTING OF THE SAME SIZE. INTERIOR ROLL SCREEN.
- NEW PICTURE WINDOW TO REPLACE EXISTING DOOR. SEE EXTERIOR & INTERIOR ELEVATION.
- EXISTING (4) CONDENSERS RELOCATED.
- NEW SCREENING. SEE EXTERIOR ELEVATION
- NEW POST & PERGOLA
- 4" BRICK + 2x4 STUD WALL W/ SPRAY FOAM INSULATION. (MIN R-21). BRICK TO 1ST FLR LEVEL.
- NEW ELEVATOR SHAFT. SEE DETAILS BY ELEVATOR MANUFACTURER. PROVIDE DRAIN AT BOTTOM OF PIT.
- BUILT-IN SHELVES BELOW WINDOW (12" DEEP) SEE INTERIOR ELEVATION.
- NEW 36" WIDE DOOR OPENING TO ELEVATOR ADDITION. SEE STRUCTURAL PLANS.
- NEW BEAM. SEE STRUCTURAL PLANS.
- DIG OUT RAISED CONCRETE SLAB. POUR NEW TO ALIGN WITH EXISTING. VERIFY EXISTING FOUNDATION WALL AND FOOTING DEPTH IS BELOW NEW SLAB.
- EXPOSED BRICK
- MIRROR ON WALL. SEE INTERIOR ELEVATION.
- FULL MOTION 48" WALL MOUNT TV
- EX DOOR SLAB TO REMAIN
- NEW PAINTED WD HANDRAIL
- PAINT EXISTING CONCRETE LANDING & EX STEP, TREAD, + RISERS.
- EXISTING HALF BATH PULL & REPLACE. SEE ROOM NOTES.
- REUSE EXISTING PRIMARY BATH TOILET IN THIS LOCATION.
- FRAME DOWN CEILING TO ALIGN WITH EXISTING BULKHEAD

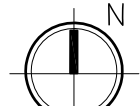


GRAPHIC SCALE



PARTIAL BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE  
5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	BLOCK: 38 LOT: P5
BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24	SCALE: AS SHOWN	DRAWN: DTH	PERMIT NO.: 1060480
SWDB NO.:	N/A			

**LANCASTER-MUCKENFUSS RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

PARTIAL BASEMENT FLOOR PLAN

SHEET

**A001**

PLAN LEGEND

	EXISTING WALL
	NEW CMU WALL
	NEW BRICK (N/A)
	EXISTING TO REMAIN
	NEW CONCRETE
	SEE WINDOW SCHEDULE
	SEE DOOR SCHEDULE
WH	WINDOW HEIGHT
SH	SILL HEIGHT
CH	CEILING HEIGHT
SL	SPRING LINE
X: _"	DOOR/BULKHEAD HEIGHT
	SPOT ELEVATION
---370---	EXISTING 2 FT CONTOURS

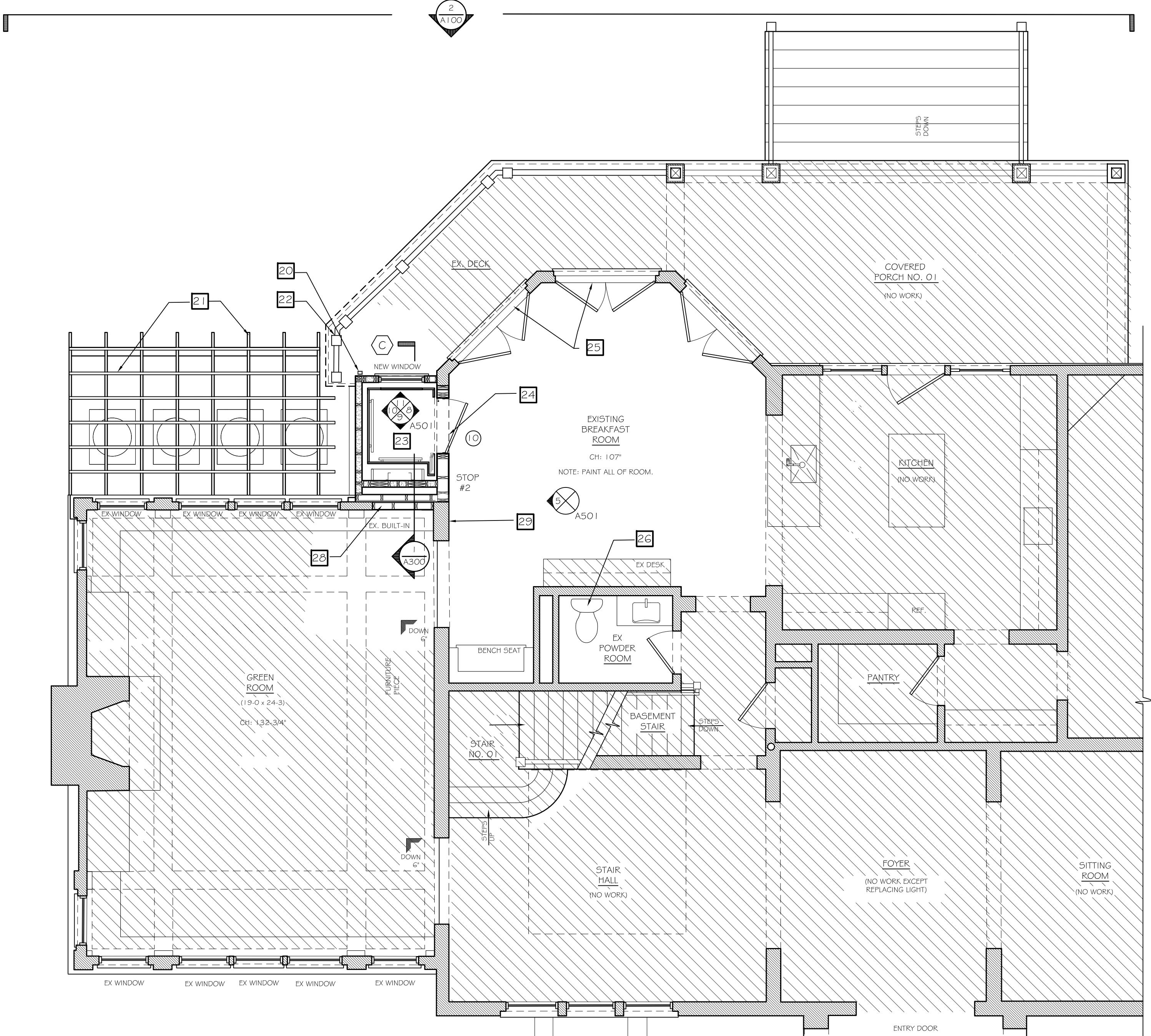
GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL CODES, REGULATIONS & ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS W/ THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AS NEEDED TO PERFORM WORK.
- SEE SCHEDULES FOR MORE DETAILED INFORMATION.

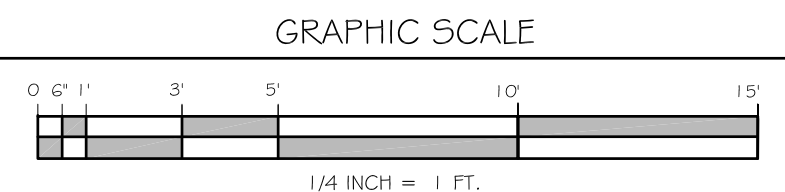
PARTIAL FIRST FLOOR PLAN KEY

- 20** 2x4 STUD WALL W/ SPRAY FOAM INSULATION. (MIN R-21)
- 21** NEW PAINTED WOOD PERGOLA OVER CONDENSERS. SEE EXTERIOR ELEVATIONS.
- 22** EX RAILING TO REMAIN AS ALLOWED. NEW TO MATCH EXISTING TO WRAP CORNER.
- 23** NEW ELEVATOR SHAFT. SEE DETAILS BY ELEVATOR MANUFACTURER.
- 24** NEW 36" WIDE DOOR OPENING TO ELEVATOR ADDITION. SEE STRUCTURAL PLANS. INFILL OLD FRENCH DOOR REMOVED.
- 25** INVESTIGATE EXISTING TRANSOMS. POSSIBLE AIR SEAL LEAKING.
- 26** NEW TOILET TO REPLACE EXISTING (LOW TANK).
- 27** DELETED
- 28** INFILL OLD WINDOW LOCATION. EX CASING TO REMAIN W/ PAINTED DRYWALL PANEL INSERT.
- 29** PAINT ALL OF BREAKFAST ROOM. WHERE APPLICABLE, LEAVE PICTURE NAILS IN WALL WHEN PAINTING SO NO RE-HANGING IS NEEDED EXCEPT FOR SECTION OF WALL NEXT TO ELEVATOR DOOR.

SEE EXTERIOR ELEVATION



**PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



<b>SALTBOX ARCHITECTURE</b>	
5217 WISCONSIN AVENUE NW WASHINGTON, D.C. 20015 OFFICE: 202-390-0000 WWW.SALTBOXDESIGN.COM	
<b>LANCASTER-MUCKENFUSS RESIDENCE</b>	
17 WEST KIRKE STREET CHEVY CHASE, MD 20815	
PARTIAL FIRST FLOOR PLAN	
SHEET	
<b>A002</b>	

PLAN REVISIONS	
#	DATE
PROPERTY INFO	
OWNERS: LANCASTER-MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	BLOCK: 38 LOT: P5
BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60
PLAN INFO	
HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24
SCALE: AS SHOWN	DRAWN: DTH
PERMIT NO.:	1060480
SWDB NO.:	N/A

PLAN LEGEND

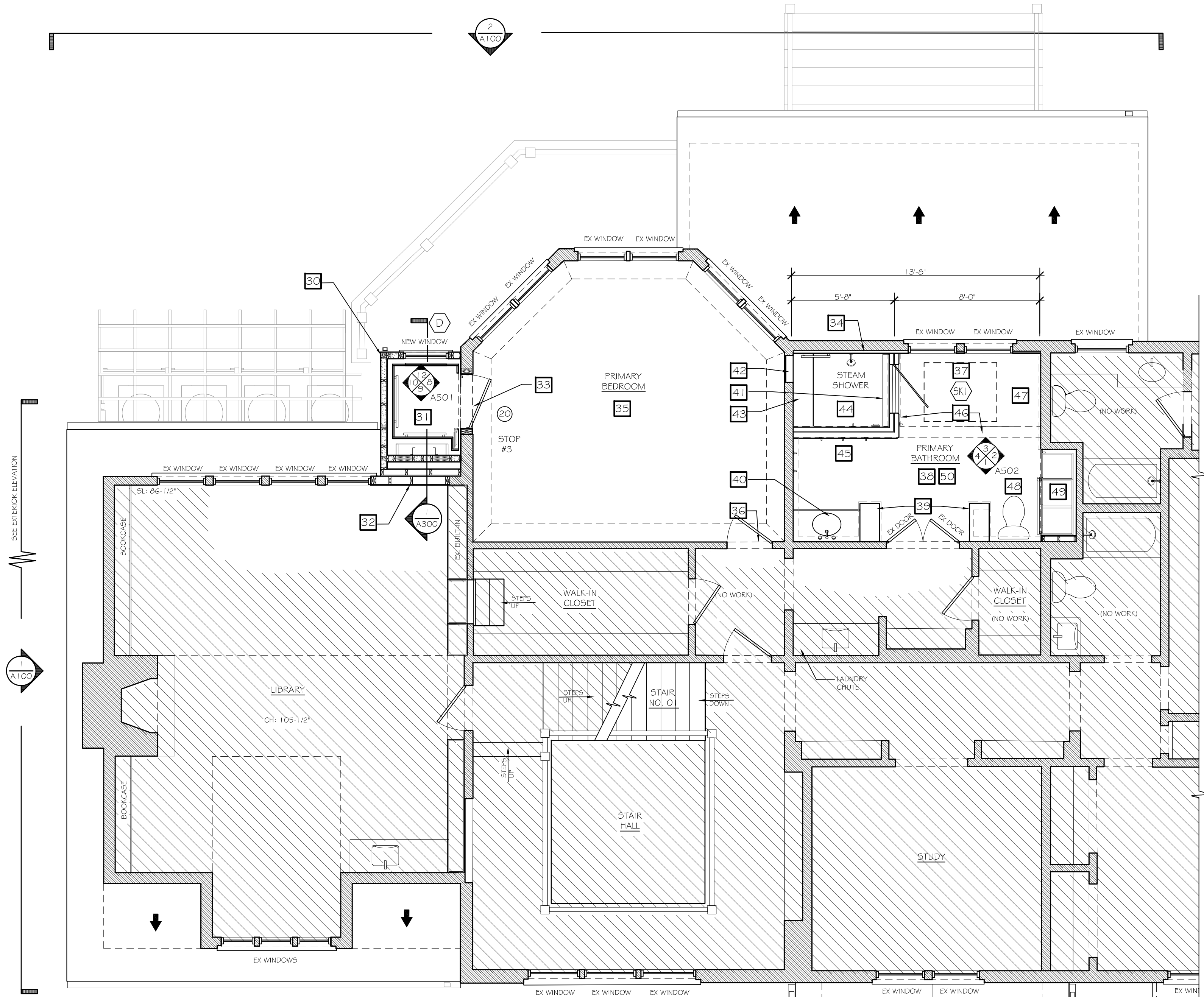
	EXISTING WALL
	NEW CMU WALL
	NEW BRICK (N/A)
	EXISTING TO REMAIN
	NEW CONCRETE
	SEE WINDOW SCHEDULE
	SEE DOOR SCHEDULE
WH	WINDOW HEIGHT
SH	SILL HEIGHT
CH	CEILING HEIGHT
SL	SPRING LINE
X: _"	DOOR/BULKHEAD HEIGHT
	SPOT ELEVATION
---370---	EXISTING 2 FT CONTOURS

GENERAL NOTES

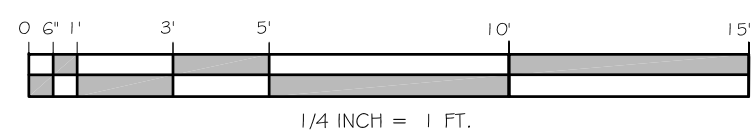
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL CODES, REGULATIONS & ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS W/ THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AS NEEDED TO PERFORM WORK.
- SEE SCHEDULES FOR MORE DETAILED INFORMATION.

PRIMARY SUITE FLOOR PLAN KEY

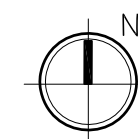
- 30** 2x4 STUD WALL W/ SPRAY FOAM INSULATION. (MIN R-21)
- 31** NEW ELEVATOR SHAFT. SEE DETAILS BY ELEVATOR MANUFACTURER.
- 32** INFILL OLD WINDOW LOCATION.
- 33** NEW 36" WIDE DOOR OPENING TO ELEVATOR ADDITION. SEE STRUCTURAL PLANS.
- 34** FURR OUT WALL ON THE FLAT FOR PLUMBING--VERIFY
- 35** NEW WALLPAPER ON ALL FOUR WALLS TO REPLACE EXISTING.
- 36** EXISTING DOOR TO REMAIN.
- 37** REPLACE EXISTING SKYLIGHT WITH NEW OF THE SAME SIZE. STAINED GLASS?
- 38** ALL NEW TILE THROUGHOUT BATH TO RESEMBLE EXISTING. SEE INTERIOR ELEVATIONS & FINISH SCHEDULE.
- 39** NEW KNEE WALLS TO MATCH EXISTING. (VERIFY)
- 40** NEW VANITY TO REPLACE EXISTING SINK.
- 41** LINEAR DRAIN & LOW QUARTZ SHOWER CURB
- 42** SHOWER NICHES (SEE INTERIOR ELEVATION)
- 43** SHOWER BENCH. MATCH EXISTING HEIGHT & DEPTH.
- 44** NEW STEAM SHOWER TO REPLACE EXISTING. SEE SCHEDULES AND INTERIOR ELEVATIONS. MR STEAM UNIT TO BE IN THE EX ATTIC ABOVE.
- 45** NEW TILE KNEE WALLS AROUND PERIMETER.
- 46** EXISTING & NEW DECORATIVE BEAM(S) AT CEILING.
- 47** EXISTING FURNITURE BY OWNER.
- 48** NEW TOILET TO REPLACE EXISTING IN THE SAME LOCATION.
- 49** NEW BUILT-IN CABINETS (SEE INTERIOR ELEVATION)
- 50** PAINT ALL OF PRIMARY SUITE. NOTE: WHERE APPLICABLE LEAVE NAILS IN WALL WHEN PAINTING SO NO RE-HANGING IS NEEDED. PROVIDE PAINT SAMPLE FOR APPROVAL.



GRAPHIC SCALE



**PARTIAL SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE  
5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015  
OFFICE: 202-390-0000  
WWW.SALTBOXDESIGN.COM

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	BLOCK: 38 LOT: P5
BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE	SCALE	DRAWN	PERMIT NO.
02.28.24	AS SHOWN	DTH	1060480	

**LANCASTER-MUCKENFUSS RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

PARTIAL SECOND FLOOR PLAN

SHEET

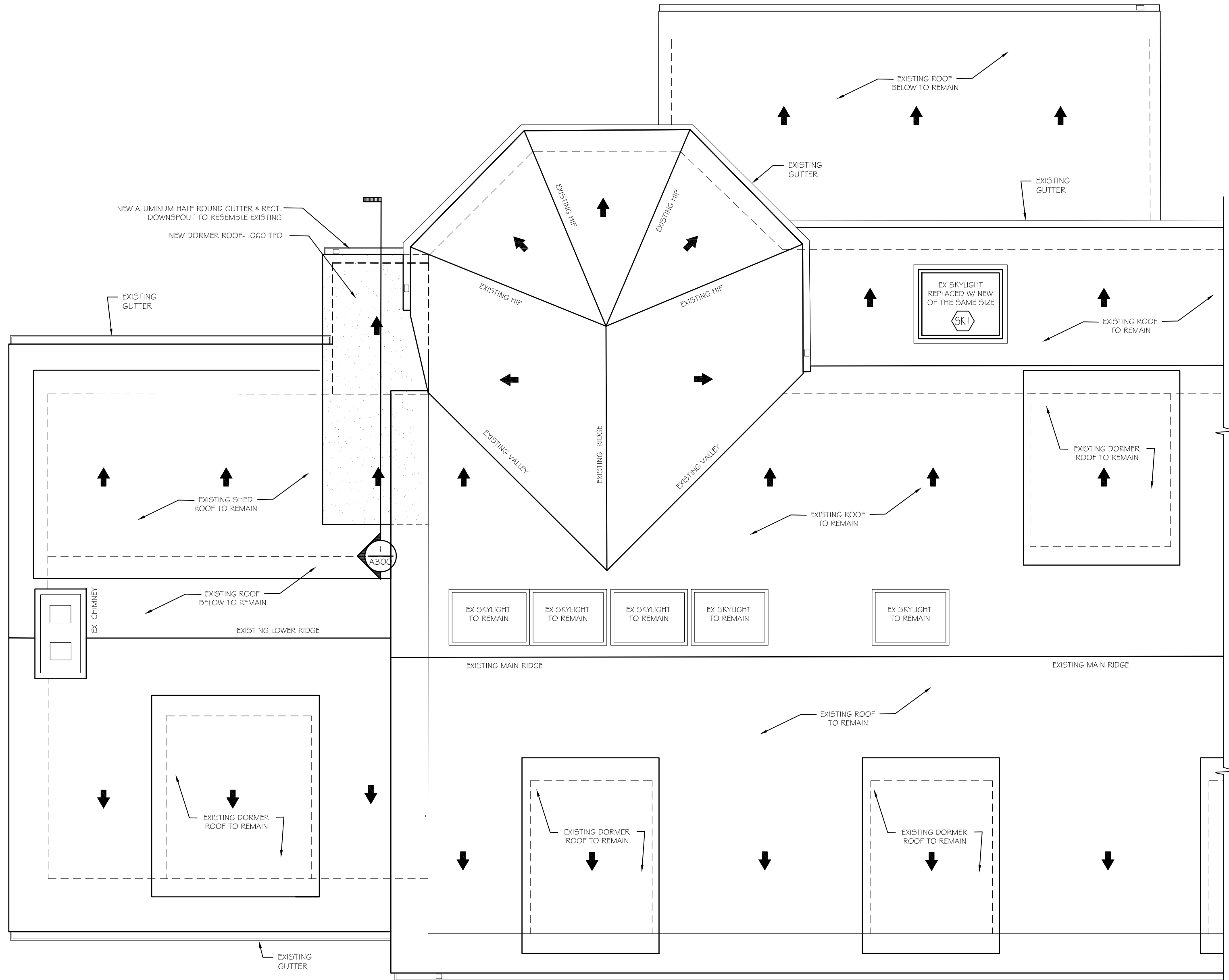
**A003**

PLAN LEGEND

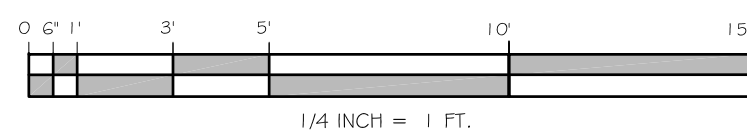
	EXISTING WALL
	NEW CMU WALL
	NEW BRICK (N/A)
	EXISTING TO REMAIN
	NEW CONCRETE
	SEE WINDOW SCHEDULE
	SEE DOOR SCHEDULE
WH	WINDOW HEIGHT
SH	SILL HEIGHT
CH	CEILING HEIGHT
SL	SPRING LINE
X: _"	DOOR/BULKHEAD HEIGHT
	SPOT ELEVATION
---370---	EXISTING 2 FT CONTOURS

GENERAL NOTES

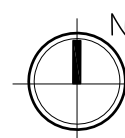
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL CODES, REGULATIONS & ORDINANCES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS W/ THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING WITH THE WORK.
3. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AS NEEDED TO PERFORM WORK.
4. SEE SCHEDULES FOR MORE DETAILED INFORMATION.



GRAPHIC SCALE



**PARTIAL ROOF PLAN**  
SCALE: 1/4" = 1'-0"



PLAN REVISIONS

#	DATE

**SALTBOX**  
ARCHITECTURE  
5217 WISCONSIN AVENUE NW  
WASHINGTON, D.C. 20015  
OFFICE: 202-390-0000  
WWW.SALTBOXDESIGN.COM

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
HISTORIC DISTRICT: CHEVY CHASE VILLAGE	BLOCK: 38   LOT: P5
BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE	SCALE	DRAWN	PERMIT NO.
02.28.24	AS SHOWN	DTH	1060480	N/A

**LANCASTER-MUCKENFUSS**  
**RESIDENCE**  
17 WEST KIRKE STREET  
CHEVY CHASE, MD 20815

PARTIAL ROOF PLAN

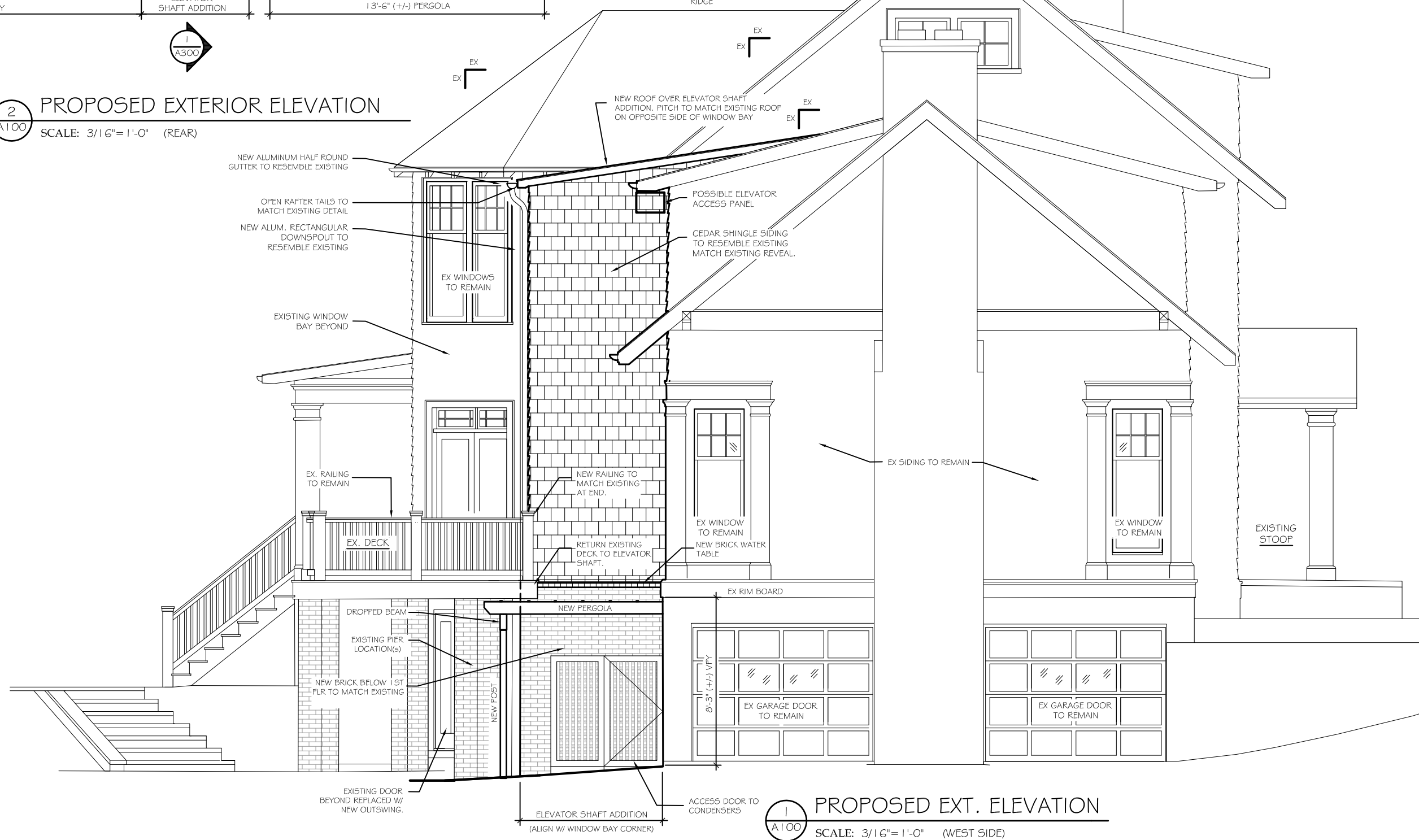
SHEET

**A004**





2 PROPOSED EXTERIOR ELEVATION  
 A100 SCALE: 3/16" = 1'-0" (REAR)



1 PROPOSED EXT. ELEVATION  
 A100 SCALE: 3/16" = 1'-0" (WEST SIDE)

PLAN REVISIONS	
#	DATE

**SALTBOX**  
 ARCHITECTURE  
 5217 WISCONSIN AVENUE NW  
 WASHINGTON, D.C. 20015

PROPERTY INFO

OWNERS: CANTWELL MUCKENFUSS & ANGELA LANCASTER	LEGAL DESCRIPTION: LOTS 6&7 CHEVY CHASE SECTION 2
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BUILT: 1933	LAND: 15,150 SF
JURISDICTION: MONTGOMERY COUNTY, MARYLAND	ZONE: R-60

PLAN INFO

HISTORIC AREA WORK PERMIT (HAWP)	DATE: 02.28.24	SCALE: AS SHOWN	DRAWN: DTH	PERMIT NO.: 1060480	SWDB NO.: N/A
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**LANCASTER-MUCKENFUSS**  
**RESIDENCE**  
 17 WEST KIRKE STREET  
 CHEVY CHASE, MD 20815

PROPOSED EXTERIOR ELEVATIONS

SHEET

**A100**