

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	518 Philadelphia Avenue, Takoma Park	Meeting Date:	4/3/2024
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	3/27/2024
Applicant:	Bradley DeGregorio (Richard J. Vitullo, architect)	Public Notice:	3/20/2024
Review:	Historic Area Work Permit	Tax Credit:	No
		Staff:	Chris Berger
Permit Number: 1059042			

PROPOSAL: Partial demolition, building addition, fenestration alteration, deck construction.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with four conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall submit specification sheets for all features, including the doors, windows, siding, soffit, trim, roofing, hardscaping, lighting, vents, and gutters and downspouts, prior to final approval of the HAWP.
2. The applicant shall contact the City of Takoma Park Urban Forester; follow all recommendations and requirements; and forward the correspondence to staff.
3. The applicant shall provide a roof plan prior to final approval of the HAWP.
4. The aluminum clad window grilles shall be either full divided lite or simulated divided lite with permanent exterior and interior grilles.



Figure 1: A yellow star indicates the location of the subject property at 518 Philadelphia Avenue. The black line is the boundary of the Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Noncontributing Resource within the Takoma Park Historic District
 STYLE: Minimal Traditional
 DATE: circa 1930s

BACKGROUND

The HPC conducted a preliminary consultation for this case at the March 6, 2024, meeting.

The commissioners supported the demolition of the rear, one-story addition and deck.

They generally supported the proposed 2.5-story rear addition, but they expressed concerns on its massing—particularly from the side. They sought 3-D rendered plans to better understand how the addition would appear in relation to the existing house, streetscape, and adjacent homes. They said the addition should be inset six inches and suggested the inclusion of a faux window on the right-side elevation to break up the massing if a real window could not be added. They favored a 7-inch smooth fiber cement panel reveal if an 8-inch smooth panel could not be sourced to match the size of the existing lap siding’s reveal.

The commissioners opposed enclosure of the front porch with fiber-cement siding. The majority encouraged the applicant to retain the existing open, inset porch and find an alternative location for the proposed mudroom. However, the majority of commissioners recognized the enclosure would meet the design guidelines. There were differing opinions on how to best to infill the space. Three commissioners favored glassing in the porch so that the existing architectural features were retained, including the brick support. Two commissioners favored blocking in the entire porch with brick, including the brick support, and placing the door in the center of the newly bricked-in space. Should the porch be enclosed, the commissioners supported shifting the existing front door to the exterior wall.

The commissioners supported the window reconfiguration on the façade.

Commissioners requested a 3-D rendering of the proposed rear addition to show the building’s massing and a faux window to break up the massing on the right-side elevation.

PROPOSAL

The applicant’s architect described the project as follows:

The existing (later) 6’-0” x 25’-0” 1-story wood-framed rear addition and wood deck will be demolished. In its place will be built a new 18’-0” x 19’-0” 2-story gabled wood-framed addition (11.5:12 [roof] slope), set on 3 brick piers. Behind this addition will be built a 5’-0” x 16’-0” wood deck, with stairs to grade. At the 2nd floor, 3 new casement windows (the new center window to be for egress) will replace one double-hung for the front bedroom.

In response to the HPC’s comments, the following changes were made to the plans after the preliminary consultation:

- The front porch will no longer be enclosed.
- The height of the addition was reduced 6 inches.
- An awning window measuring 2-feet-by-1-foot, 9-inches, was added to the second floor on the

right-side elevation.

- Two 1-by-8-inch Boral band-boards with a drip edge cap were added to the bottom and mid-point of the wall on the additions. Above the band board will be 7-inch exposure smooth fiber cement lap siding and below will be 4-inch exposure smooth fiber cement lap siding.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A* (Chapter 24A), and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts that apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The subject property falls under the category of Non-Contributing/Out-of-Period Resources, defined as either having little or no architectural and historical significance to the historic district or was constructed outside of the district's primary periods of historical importance. The design guidelines state that these types of resources should receive the most lenient level of design review and should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing that affect the surrounding streetscape and/or landscape and could impair the character of the historic district.

Montgomery County Code Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design

significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Existing Building Description

The subject property is a Non-Contributing Resource to the Takoma Park Historic District and features a 1.5-story, Minimal Traditional-styled house constructed in the 1930s (*Figures 2-4*). The brick house rests on a brick and concrete foundation. The walls are brick with wood lap siding in the gable ends. The asphalt-shingle roof features gable-roof dormers that face both the left- and right-side elevations. A one-story addition on the rear elevation extends the length of the elevation and measures approximately 150 square feet and is present on the 1959 Sanborn Fire Insurance Map (*Figure 5*). It appears to be a former porch that was enclosed. The facade includes two steeply pitched gable roofs and a 106-square foot inset front porch with a flat roof. The windows on the front wall feature arched header casements and are located under an arched brick pattern. Other window types include six- and eight-lite wood casements and 6/1, 6/6, and 2/2 wood double-hung sash. Octagonal vents are located at the roof peaks on the front and rear elevations. A prominent brick chimney is located on the right-side elevation on the outside wall.



Figure 2: The front elevation of the subject property.



Figure 3: The right-side elevation along the driveway.



Figure 4: The rear elevation includes the addition, which is covered with wood siding, and a deck.

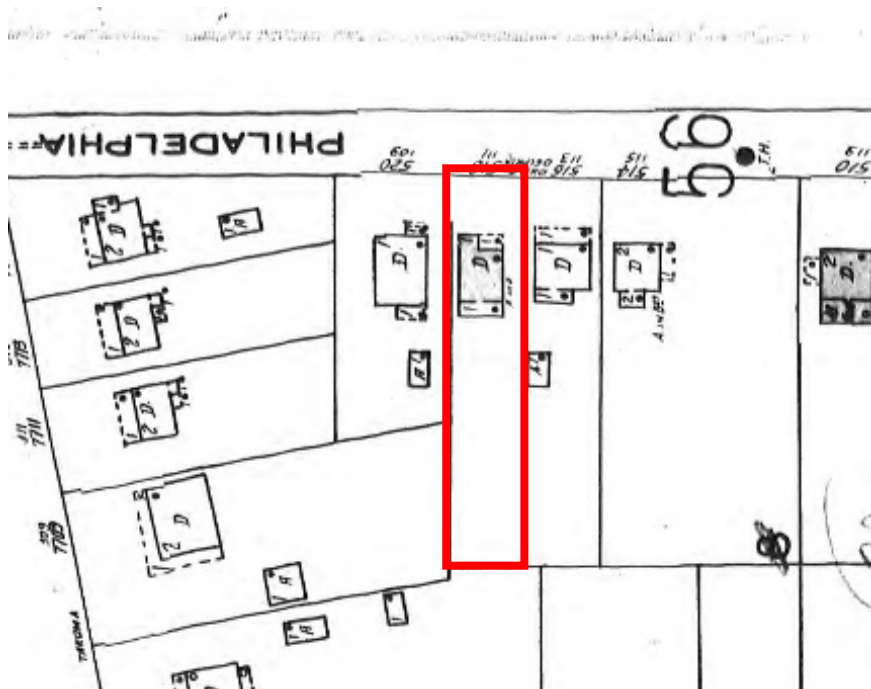


Figure 5: The 1959 Sanborn Fire Insurance Map shows the subject property before it was subdivided.

Demolition of Rear Addition and Deck

The applicant proposes to demolish the one-story, rear addition, which extends the length of the rear elevation and measures approximately 250 square feet (*Figure 6*). The addition was present by 1959. The deck appears to have been built in the 1990s.

According to the *Guidelines*, additions to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff is supportive of the demolition of the addition and deck because their removal will not affect the existing streetscape, landscape, and building patterns and do not impair the character of the historic district. Further, the proposal meets Chapter 24-8A(b)(1), because the proposal will not substantially alter the exterior features of an historic resource within an historic district, and Chapter 24-8A(b)(2) because the proposal is compatible in the character of the historic district. In accordance with the applicable *Standards*, the historic character of the property will be retained and preserved by the demolition and the exterior alteration will not destroy historic materials that characterize a property.



Figure 6: The subject property is outlined in blue. The deck and one-story rear addition to be demolished are clouded in red. Source: CONNECTExplorer.

Construction of Rear Addition with Deck

The applicant proposes the construction of a 2.5-story addition measuring approximately 700 square feet at the rear of the existing 1.5-story house (*Figures 7-12*). The addition will be inset 6 inches to meet the

HPC's recommendation. The existing house at the front measures 21 feet, 5 inches, from the first floor to the roof peak; the proposed roof peak will measure 5 feet taller.

Brick piers will support the walls, covered in smooth fiber cement lap siding. The fiber cement lap siding is a compatible material for the building, which has lap siding in the upper gables. The applicant was unable to match the 8-inch lap siding reveal on the existing residence, but the 7-inch siding on the second floor of the addition will be a close approximation and was supported by the HPC at the preliminary consultation. The first floor of the addition will have 4-inch lap siding. The gable roof pitch will be 11.5/12 inches to match the pitch of the two existing gable roofs. The roof will be covered with architectural-grade asphalt shingles. (Staff seeks a condition that a roof plan is provided.) An octagon-shaped vent is proposed for the gable peak of the new gable roof to match the existing roof vents at the gable ends; the materials of the proposed vent are unknown. The aluminum-clad wood windows will be 6/1 and 1/1 double hung sash; 1/1 light sliding; and one-lite casement. A window was added to the right-side elevation in response to HPC's direction. On the rear elevation four doors will be installed to the proposed deck. The window, door, and corner trim will be painted Boral, and the window sills will be Azek. An 80-square-foot pressure-treated wood deck with stairs will be built to the rear of the new addition.

According to the *Guidelines*, additions to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC "shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district." Staff supports the design of the proposed addition and the proposed materials. Though it will be one story taller than the existing house, it will be located on the downslope. The addition will be located on the rear elevation, and it will not impair the character of the historic district. The proposed gable roof's placement and slope harmoniously matches the existing roof pitches when viewed from the right of way. Further, the addition meets Chapter 24-8A(b)(1), because the proposal will not substantially alter the exterior features of an historic resource within an historic district, and Chapter 24-8A(b)(2) because the addition is compatible in the character of the historic district. In accordance with the applicable Standards, the historic character of the property will be retained and preserved by the addition; the exterior alteration will not destroy historic materials that character a property; and the integrity of the historic property and environment will be unimpaired if the addition is removed.

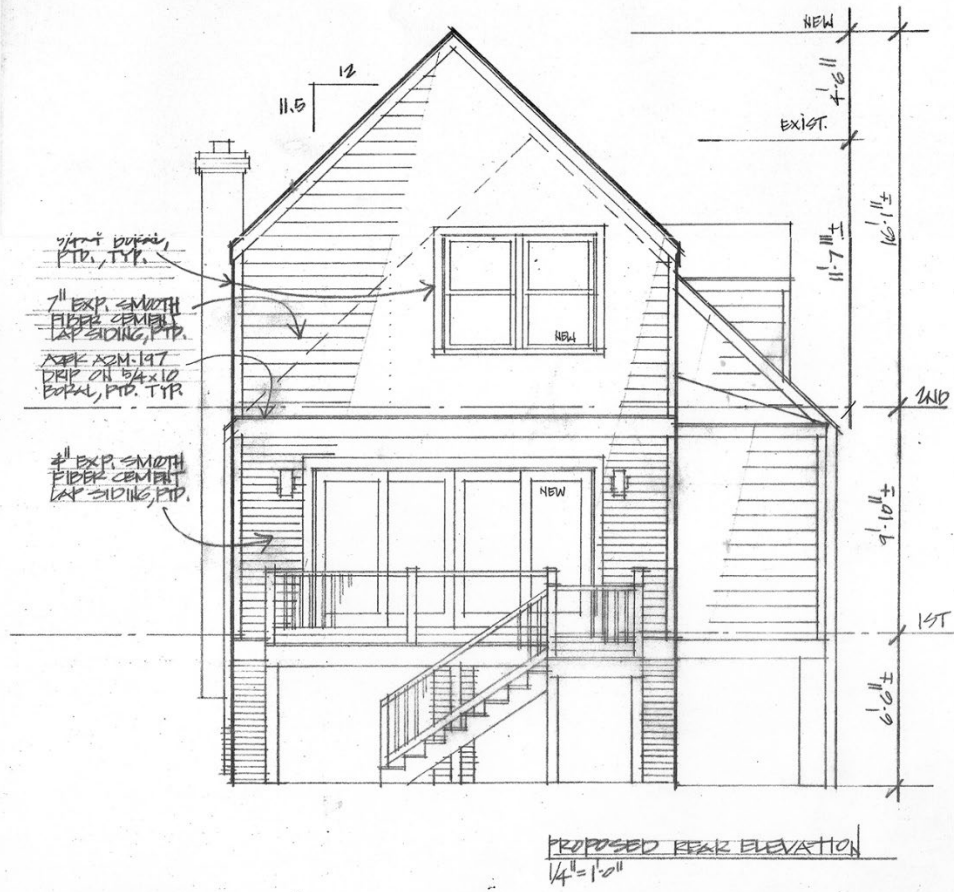


Figure 9: The proposed rear elevation.

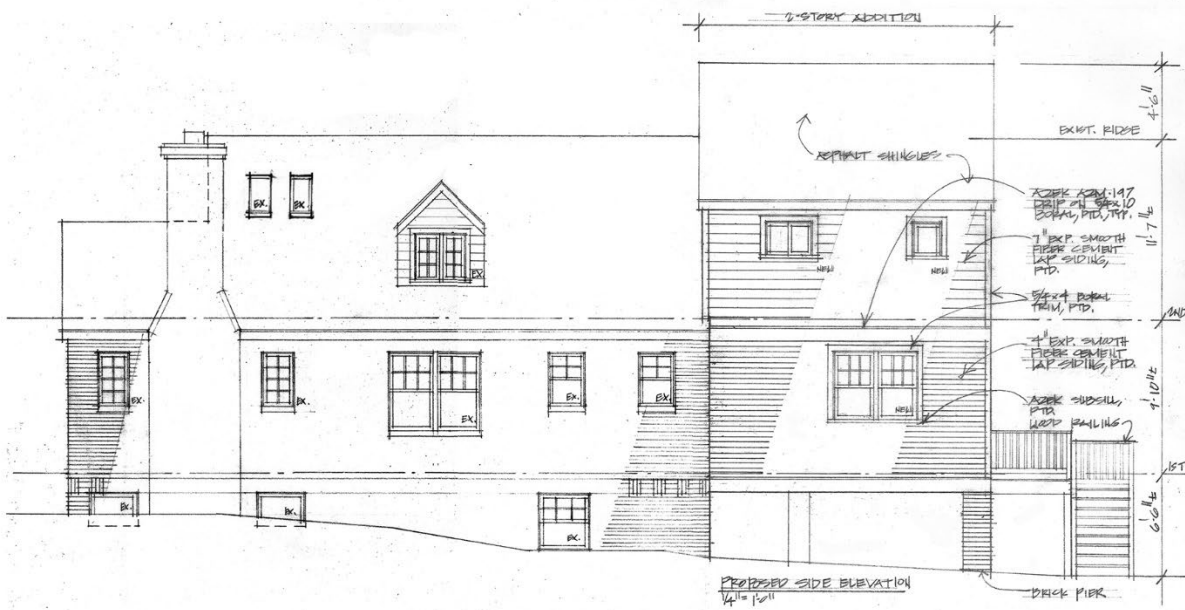


Figure 10: The proposed right-side elevation.



Figure 11: This rendering shows the proposed addition from the right of way.

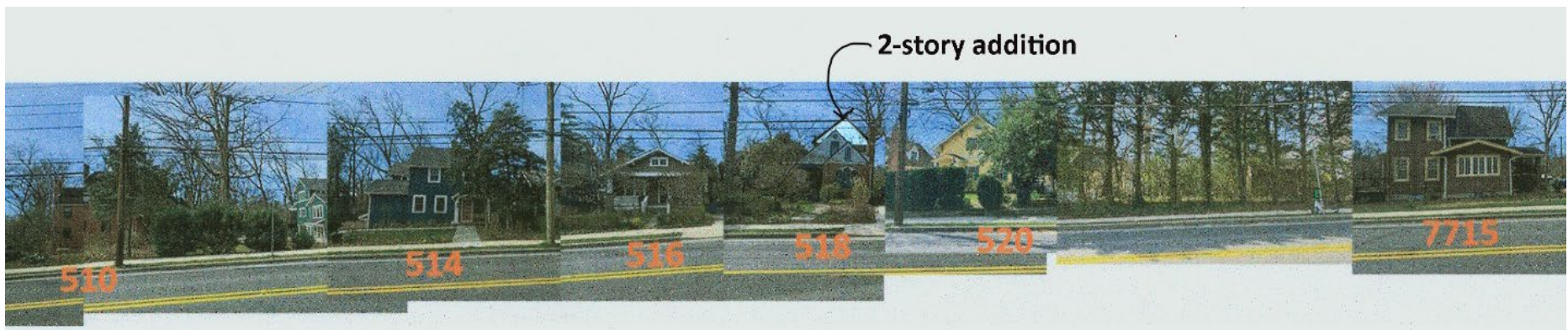


Figure 12: This streetscape shows how the addition will be scaled to the residences along Philadelphia Avenue.

Window Alteration on the Second Story on the Front Elevation

The existing 6/6 sash window on the front elevation will be replaced with a 6/1 wood casement egress window. Six-lite aluminum-clad wood casements will be installed to either side of the 6/1 (*Figure 13*). The larger window will serve as egress for the bedroom. Staff recommends that the muntins of the windows are either true-divided lite or simulated divided lite with permanent exterior and interior grilles.

According to the *Guidelines*, alterations to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24-A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff does not find the proposed window alteration would impair the character of the district. They are of an appropriate size and scale, and the triple window grouping reflects the three grouped windows found on the first floor of the façade. Further, the alteration meets Chapter 24-8A(b)(1), because the proposal will not substantially alter the exterior features of an historic resource within an historic district, and Chapter 24-8A(b)(2) because the addition is compatible in the character of the historic district. In accordance with the applicable Standards, the historic character of the property will be retained and preserved by the window alteration; the work will not destroy historic materials that character a property; and the integrity of the historic property and environment will be unimpaired if the windows are removed.

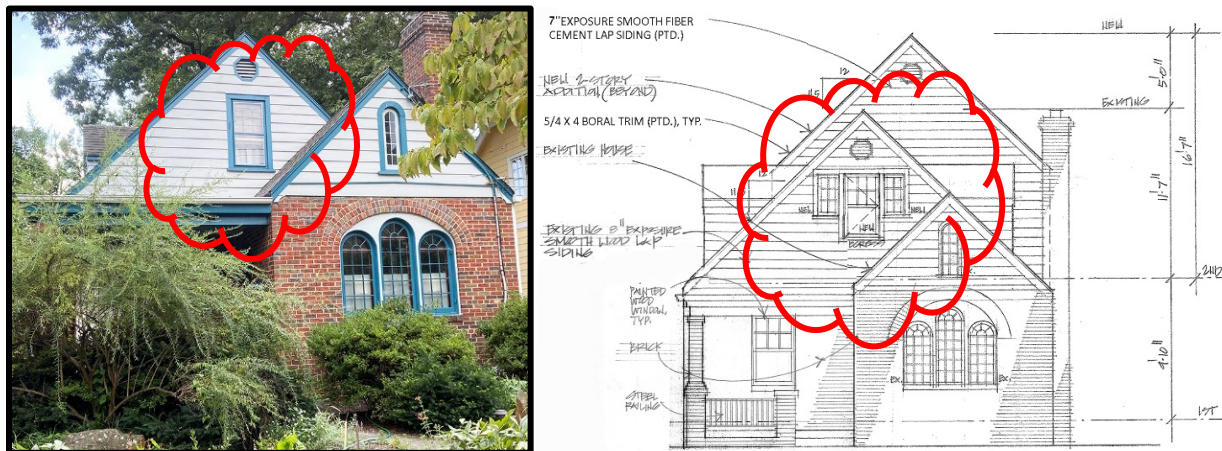


Figure 13: The existing window, left, will be replaced and two casement windows will be installed to either side of it.

After full and fair consideration of the applicant’s submission, staff finds the proposal consistent with the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) and Chapter 24A-8(d), having found the proposal is consistent with the *Guidelines* and *Standards* # 2, 9, and 10.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with four conditions** the HAWP application;

1. The applicant shall submit specification sheets for all features, including the doors, windows, siding, soffit, trim, roofing, hardscaping, lighting, vents, and gutters and downspouts, prior to final approval of the HAWP.

2. The applicant shall contact the City of Takoma Park Urban Forester; follow all recommendations and requirements; and forward the correspondence to staff.
3. The applicant shall provide a roof plan prior to final approval of the HAWP.
4. The aluminum clad window grilles shall be either full divided lite or simulated divided lite with permanent exterior and interior grilles.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* # 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

From: [Richard Vitullo](#)
To: [Berger, Chris](#)
Cc: [Brad De Gregorio](#); [Ballo, Rebecca](#)
Subject: RE: 518 Philadelphia Avenue, Takoma Park
Date: Thursday, March 14, 2024 11:57:18 AM
Attachments: [518 philadelphia ave right side perspective.pdf](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Chris:

The attached PDF is the only view that really effectively shows the addition in relation to the adjacent houses. The view from the left would be frankly difficult to generate and isn't nearly as helpful as the view from the right side.



Richard J. Vitullo AIA

Vitullo Architecture Studio, PC

7016 Woodland Ave.

Takoma Park, MD 20912

(301) 806-6447 cell

From: Berger, Chris <Chris.Berger@montgomeryplanning.org>
Sent: Wednesday, March 13, 2024 6:45 PM
To: Richard Vitullo <rjv@vitullostudio.com>
Cc: Brad De Gregorio <brad.degregorio@gmail.com>; Ballo, Rebecca <rebeccah.ballo@montgomeryplanning.org>
Subject: RE: 518 Philadelphia Avenue, Takoma Park

The streetscape showing the addition in relation to the facades of the other homes on the block is helpful, but we believe HPC is seeking additional views to better understand the massing of the addition from the sides.

Your perspective drawing of the front and right-side elevation is on the right track; just step back the view to include the adjacent houses at 516 and 520 Philadelphia. Then do the same with the left-side elevation.

Chris Berger, AICP

Cultural Resources Planner III

Montgomery County Planning Department

2425 Reedy Drive, 13th Floor, Wheaton, MD 20902

Chris.Berger@montgomeryplanning.org

Office: 301-495-4571

From: Richard Vitullo <rjv@vitullostudio.com>

Sent: Tuesday, March 12, 2024 4:12 PM

To: Berger, Chris <Chris.Berger@montgomeryplanning.org>

Cc: Brad De Gregorio <brad.degregorio@gmail.com>; Ballo, Rebeccah <rebeccah.ballo@montgomeryplanning.org>

Subject: RE: 518 Philadelphia Avenue, Takoma Park

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Chris:

I didn't really understand what exactly Commissioner Hains's comments meant on a "3D view". But here attached are extra images/drawings to supplement the new HAWP:

1. Neighborhood site plan
2. Montage of front elevations of the existing streetscape
3. Montage of front elevations of the existing streetscape with addition photoshopped in.
4. Perspective of 518 with new addition shown.



Richard J. Vitullo AIA

Vitullo Architecture Studio, PC

7016 Woodland Ave.

Takoma Park, MD 20912

(301) 806-6447 cell

From: Berger, Chris <Chris.Berger@montgomeryplanning.org>

Sent: Tuesday, March 12, 2024 9:30 AM

To: Richard Vitullo <rjv@vitullostudio.com>

Cc: Brad De Gregorio <brad.degregorio@gmail.com>; Ballo, Rebeccah <rebeccah.ballo@montgomeryplanning.org>

Subject: RE: 518 Philadelphia Avenue, Takoma Park

Good morning,

The HPC will be pleased to see the porch will remain.

The 3D rendering is also to show the rear addition in context of the streetscape and adjacent homes. Here's a link to Commissioner Hains' comments for reference:

<https://www.youtube.com/live/qyCSn48ghHc?si=XywNZSJXYi7JLeJ8&t=7543>

We need that completed plan before we can place the application on an HPC agenda.

Chris Berger, AICP

Cultural Resources Planner III

Montgomery County Planning Department
2425 Reedie Drive, 13th Floor, Wheaton, MD 20902
Chris.Berger@montgomeryplanning.org
Office: 301-495-4571

From: Richard Vitullo <rjv@vitullostudio.com>
Sent: Monday, March 11, 2024 4:46 PM
To: Berger, Chris <Chris.Berger@montgomeryplanning.org>
Cc: Brad De Gregorio <brad.degregorio@gmail.com>
Subject: RE: 518 Philadelphia Avenue, Takoma Park

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Chris:

Here are the amended drawings showing our reaction to the Commission's comments. Here is a summation of the alterations:

1. Leaving the front porch as -is; no enclosure (although this may get revisited as a separate HAWP in the future)
2. Reducing the height of the new addition by 6".
3. Adding a small window to right side elevation on the 2nd floor: a 1'-9" wide x 2'-0" high awning window in the rear walk-in closet.
4. Adding two 1 x 8 Boral band-boards, with a drip edge cap, to the elevations of the addition; one at the bottom and one at the mid-point of the wall. Above the band-board will be 7" exposure smooth fiber cement lap siding and below will be 4" exposure smooth fiber cement lap siding.

I also drew a perspective from the street showing the addition in the rear.

All of the photos from the first HAWP will apply here as well. By the way, I'm not sure why the addition is being referred to as a "2 ½-story addition" since the only space above the 2nd floor is an attic. To me, a "1/2-story" implies some kind of limited livable space.

Let me know if you need anything else. We would hope to be on the agenda for the April 3 meeting.



Richard J. Vitullo AIA

Vitullo Architecture Studio, PC

7016 Woodland Ave.
Takoma Park, MD 20912

(301) 806-6447 cell

N46°38'00"W
50.00

PART OF
LOT 11

11,250 S.F.(REC.)
11,211.7 S.F.(SURV.)

LOT 8



P.O.L.
NAIL SET
ON LINE ±

P.O.L.
NAIL SET
ON LINE ±

FENCE
CORNER
ON LINE ±

0.5'±
FENCE
CORNER

R/C FND

REMAINDER
PART OF
LOT 11

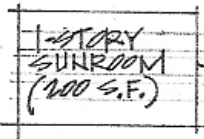
224.02' (SURVEY)
225.00' (RECORD)

P.O.L.
NAIL SET
ON LINE ±

34" Ø WHITE
OAK
BRICK PATIO

225.00' (RECORD)
224.28' (SURVEY)

N/F
PART OF
LOT 9



S 43°28'43"W
S 43°22'00"W

14.9'

2ND STORY
DECK

O/H

0.1'±
FENCE
CORNER

P.O.L.
NAIL SET
ON LINE ±

N 43°22'00"E
N 43°29'26"E

26.1'
2 STORY
BRICK/FRAME
#518

P.O.L.
NAIL SET
ON LINE ±

0.5'±
WALL
CORNER

14.5'

11.8'
CONC.
PORCH

CONC.
DRIVEWAY

N/F
PART OF
LOT 10

SURVEYOR

EXISTING
SITE PLAN



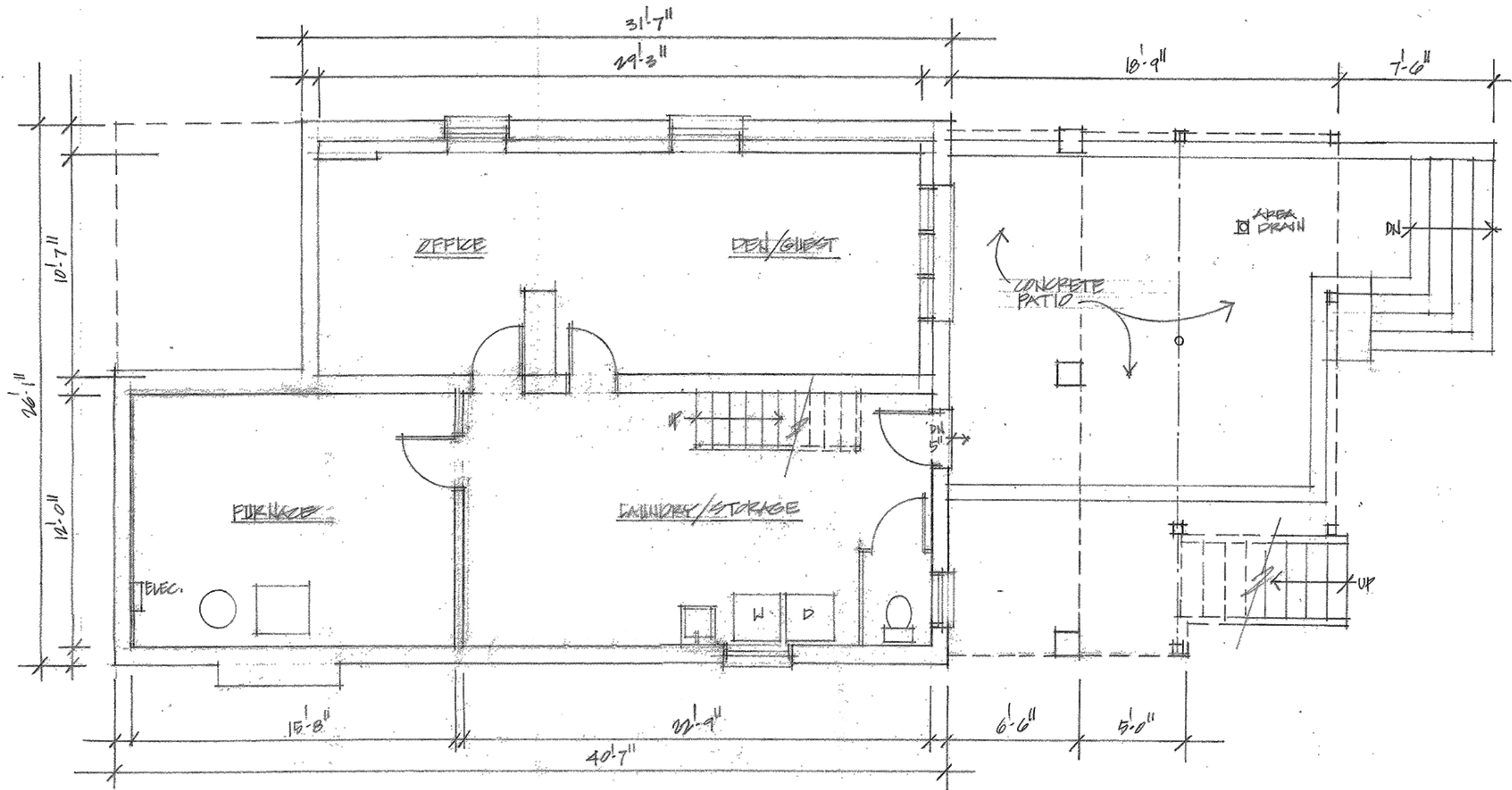
SURVEY

NAIL SET

NAIL SET

, BLOCK 73
Co.'s

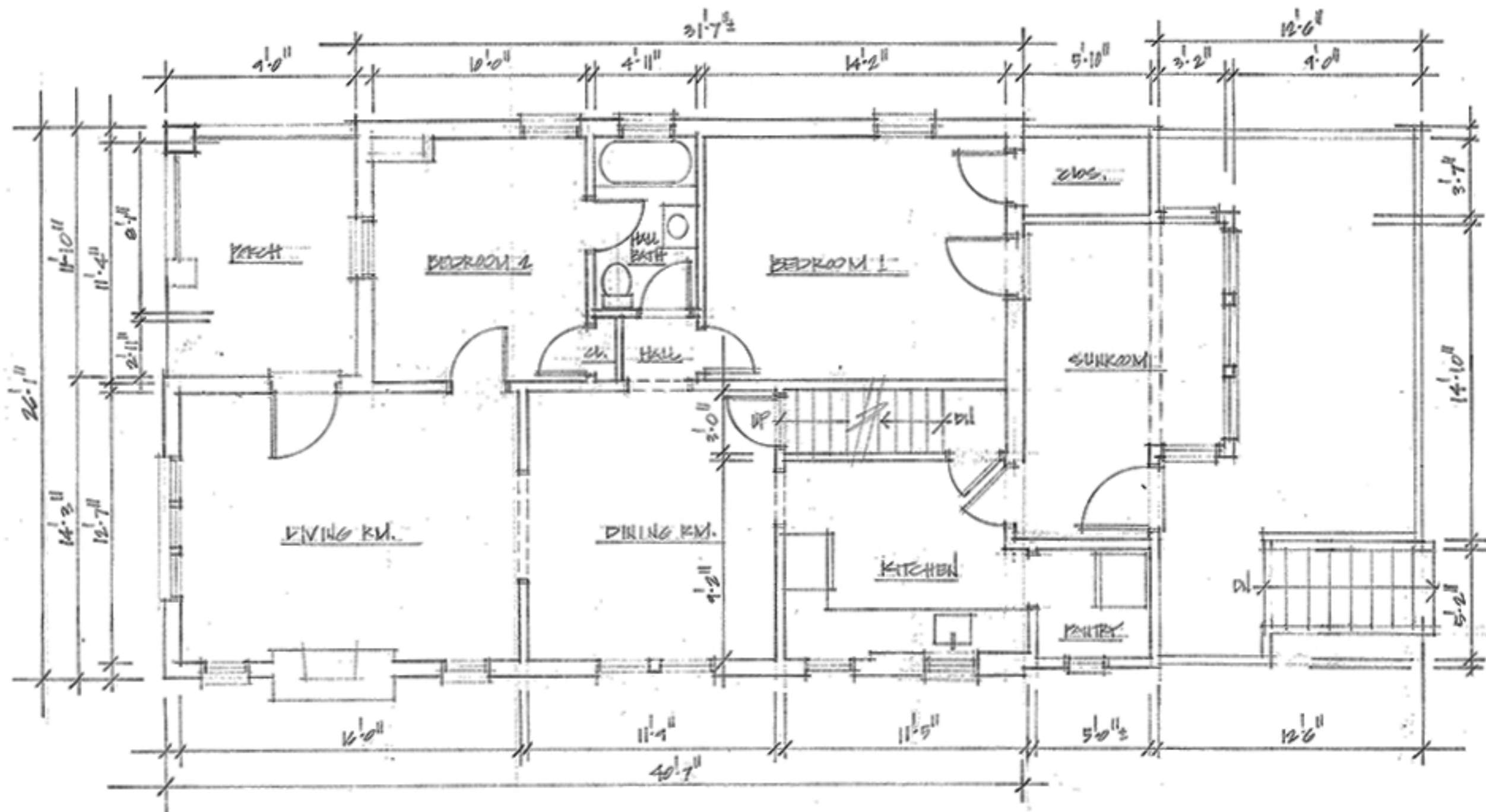
S 46°38'00"E 50.00' (RECORD)
S 46°29'35"E 50.00' (SURVEY)



EXISTING BASEMENT

1/4" = 1'-0"

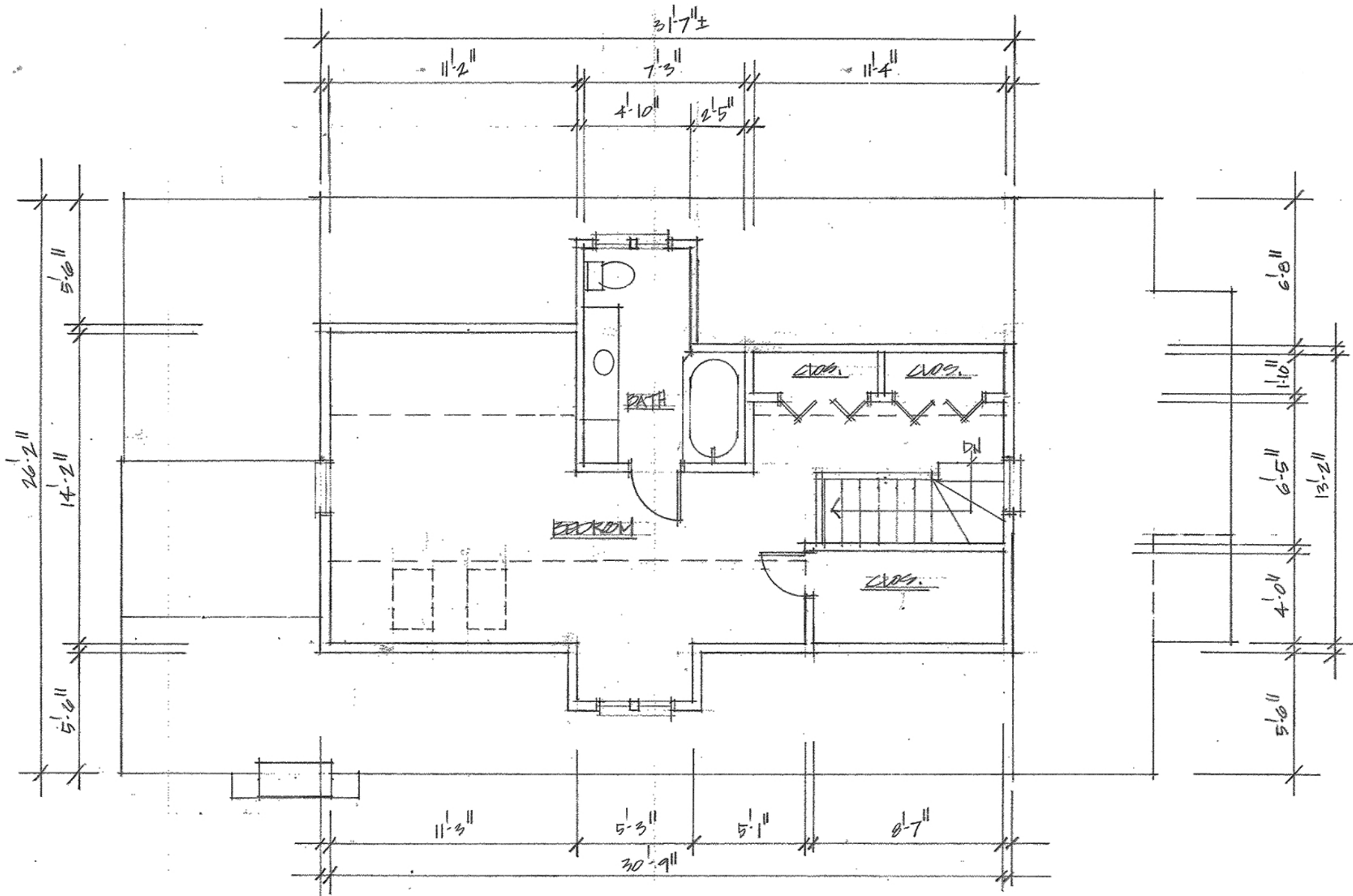
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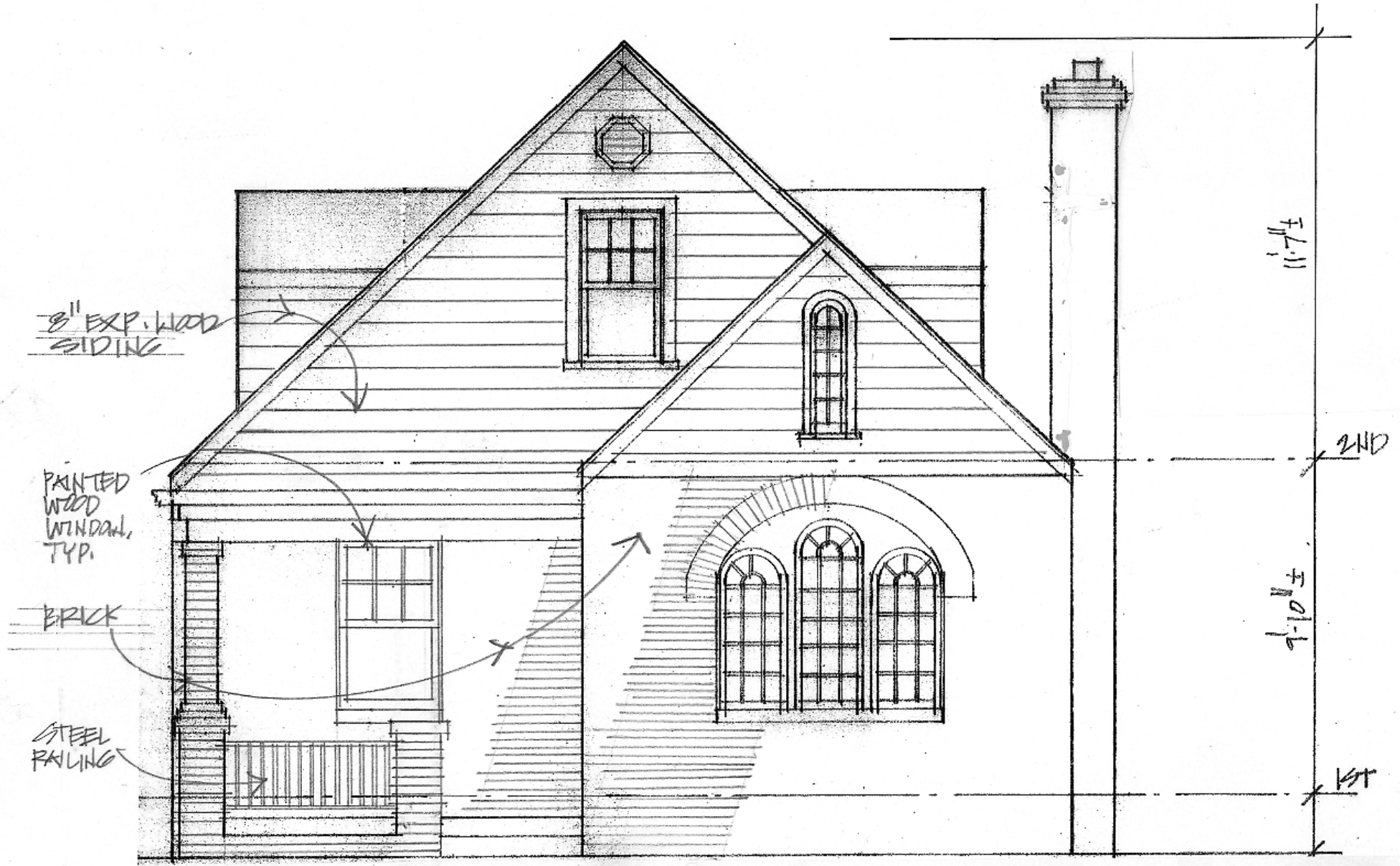
EXISTING FIRST FLOOR
 1/4" = 1'-0"

HILGER AND DEBREGGIO
 319 PHILADELPHIA AVE.

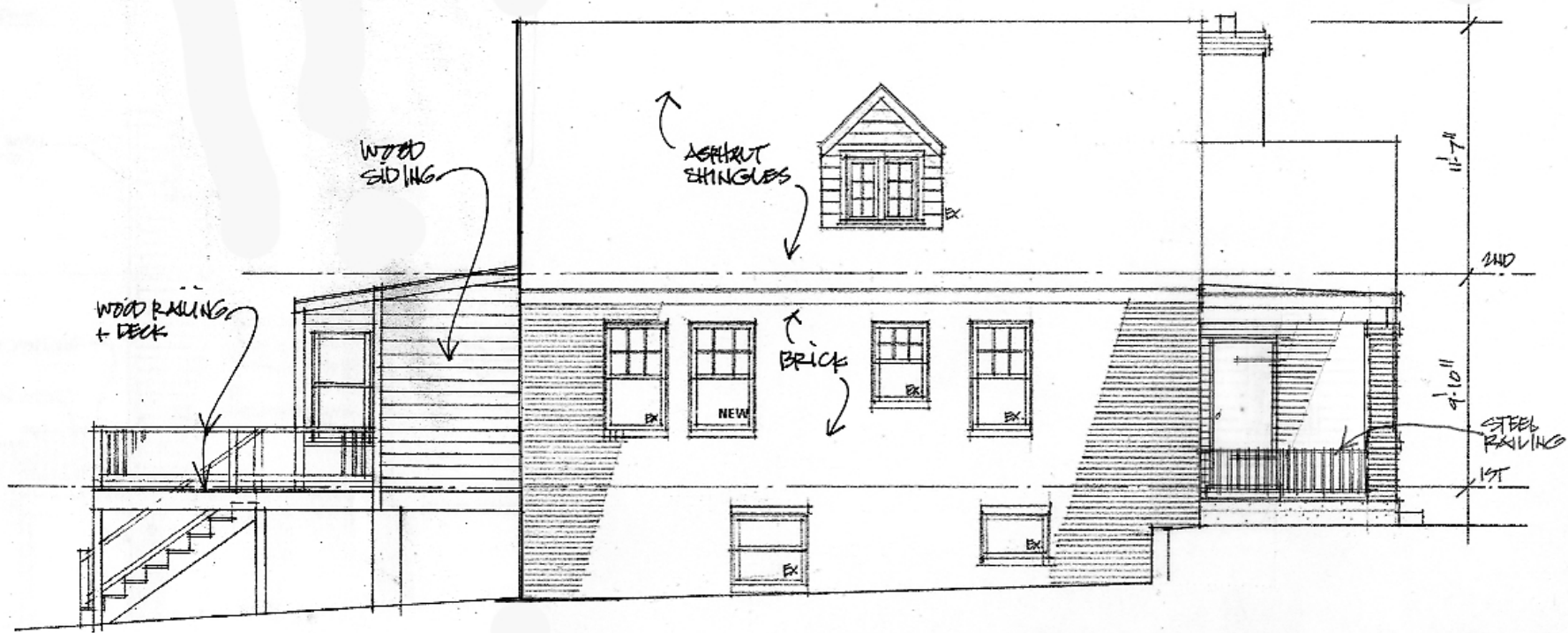
7



EXISTING SECOND FLOOR
 1/4" = 1'-0"



EXISTING FRONT ELEVATION
1/4" = 1'-0"



WOOD RAILINGS + DECK

WOOD SIDING

ASPHALT SHINGLES

BRICK

11'-7"

2ND

9'-10"

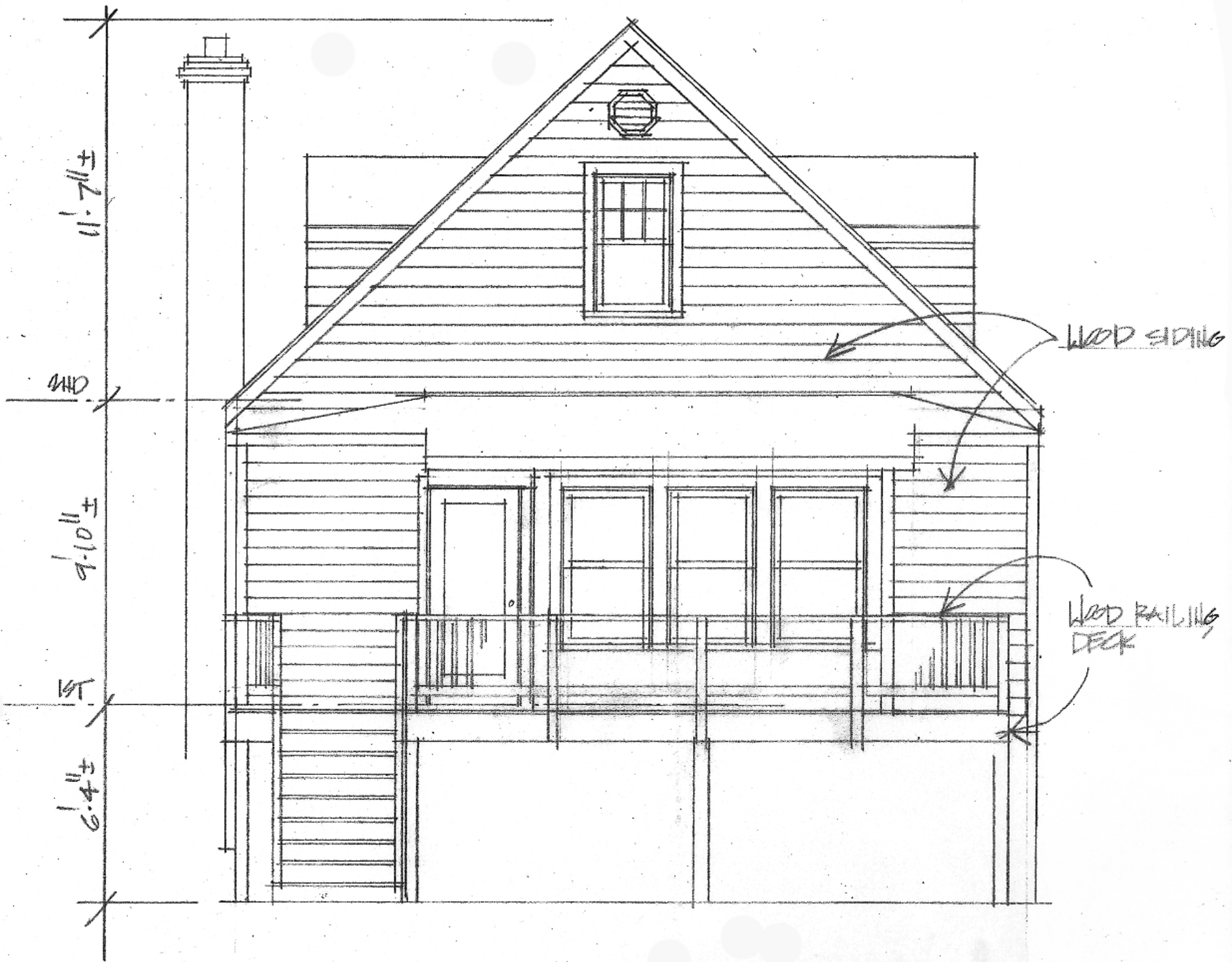
STEEL RAILINGS

1ST

EXIST.

EXISTING SIDE ELEVATION
 1/4" = 1'-0"

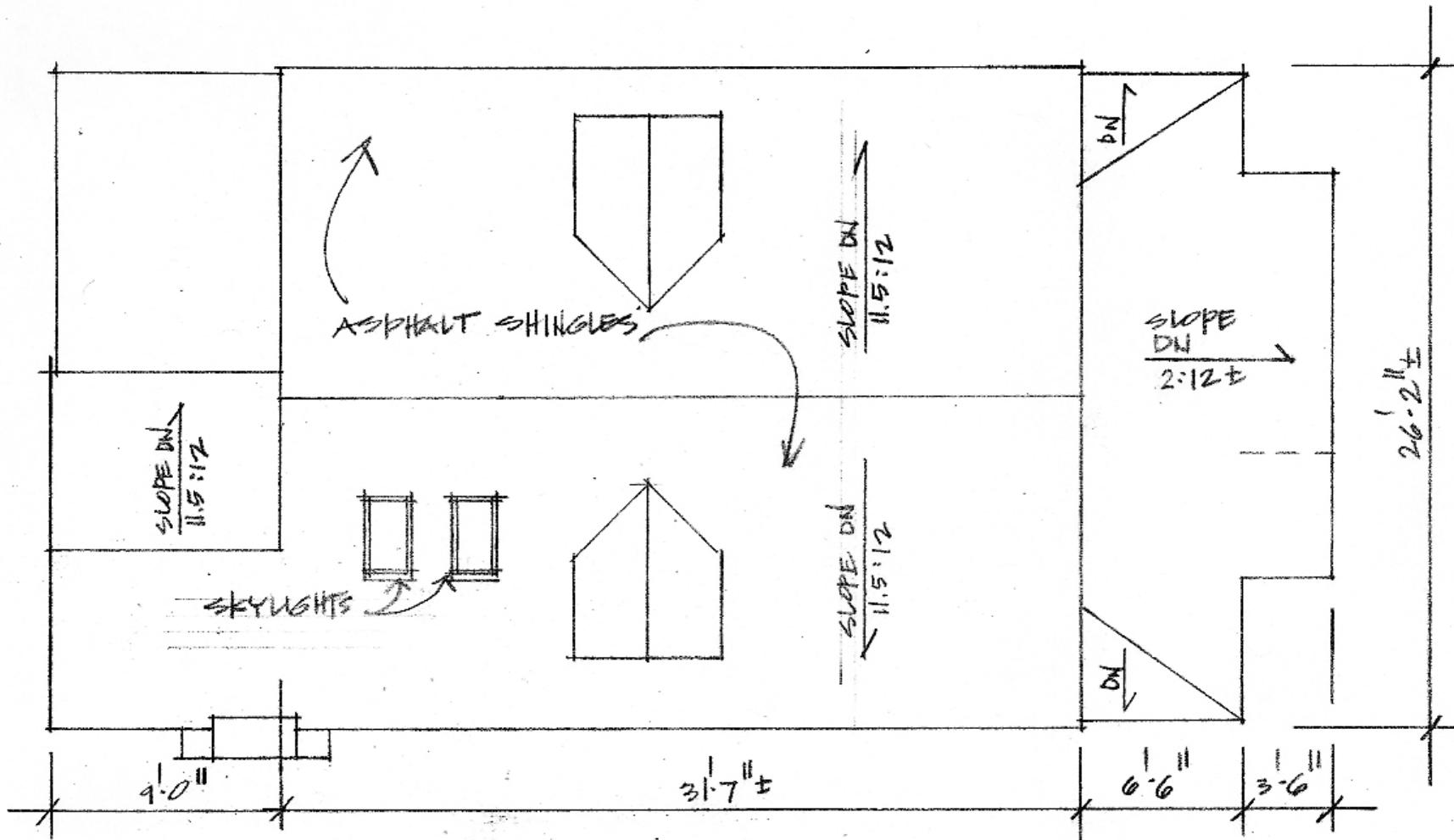
6



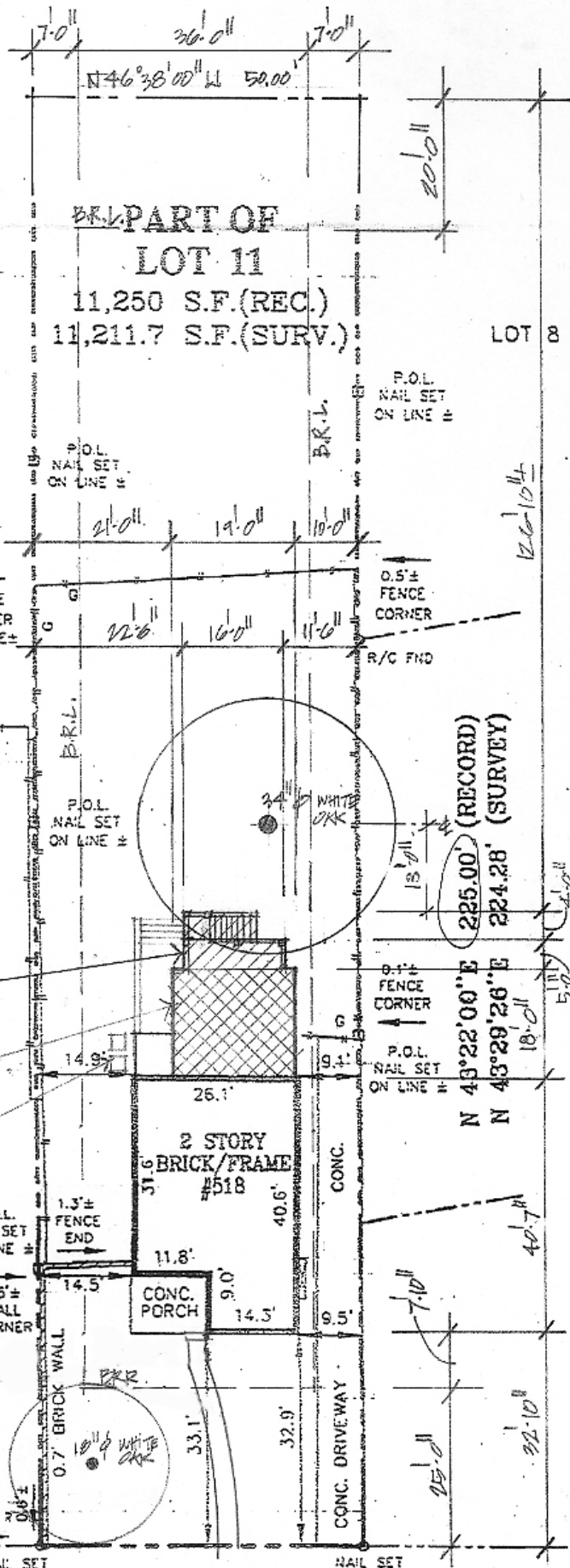
EXISTING REAR ELEVATION
1/4" = 1'-0"



EXISTING SIDE ELEVATION
1/4" = 1'-0"



EXISTING ROOF PLAN
 1/4" = 1'-0"



REMAINDER PART OF LOT 11

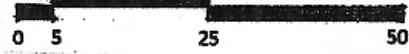
224.02' (SURVEY)
225.00' (RECORD)

225.00' (RECORD)
224.28' (SURVEY)

- WOOD STAIR AND DECK (124 S.F.)
- 1 STORY ADDITION (923 S.F.)
- HVAC UNITS

SYOR

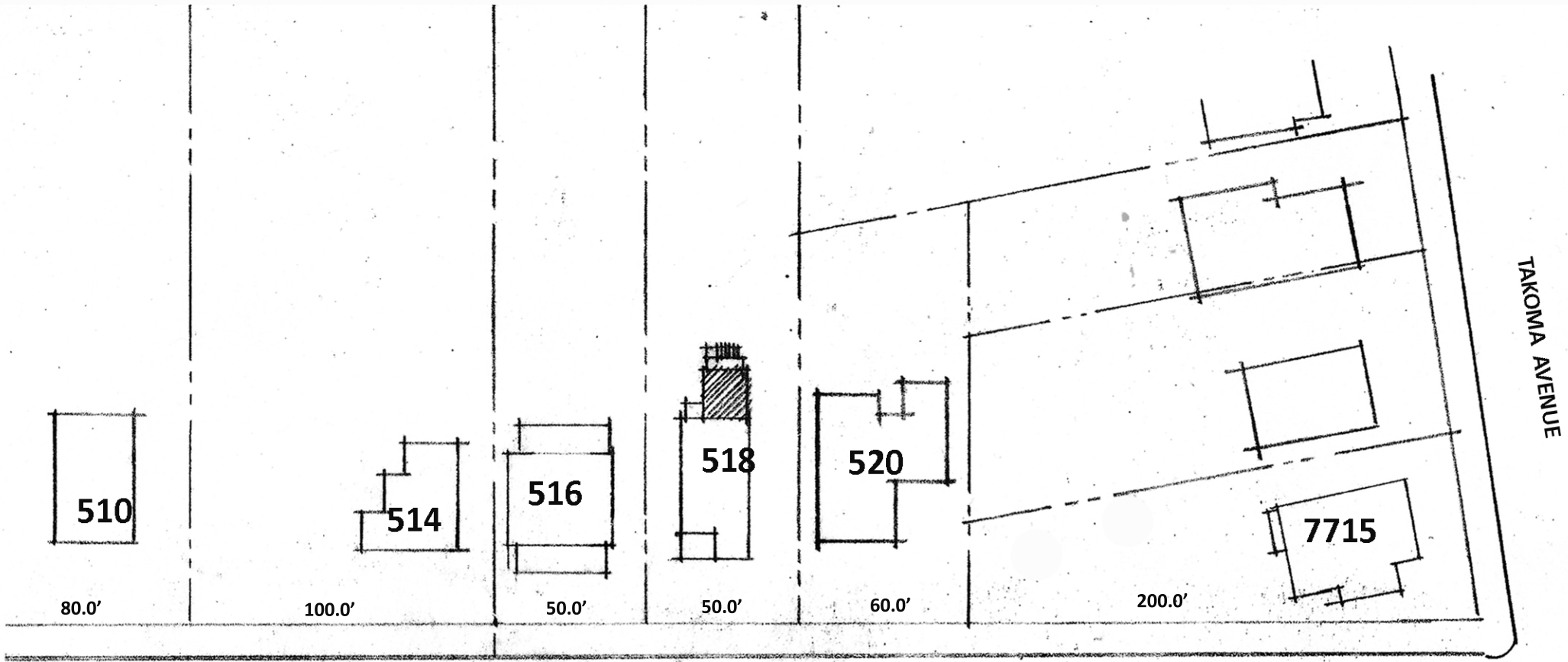
PROPOSED SITE PLAN



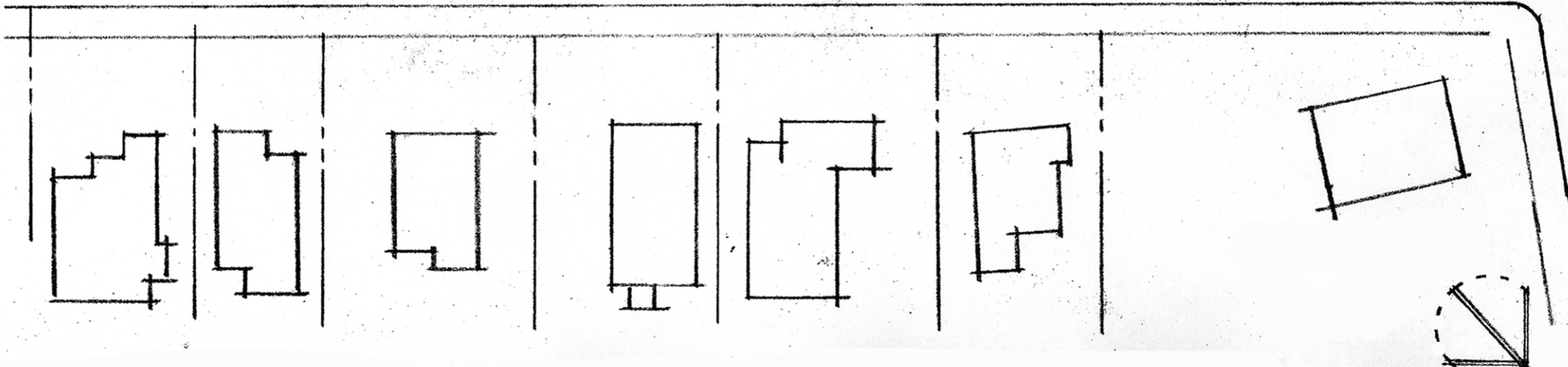
SURVEY

BLOCK 73
Co.'S

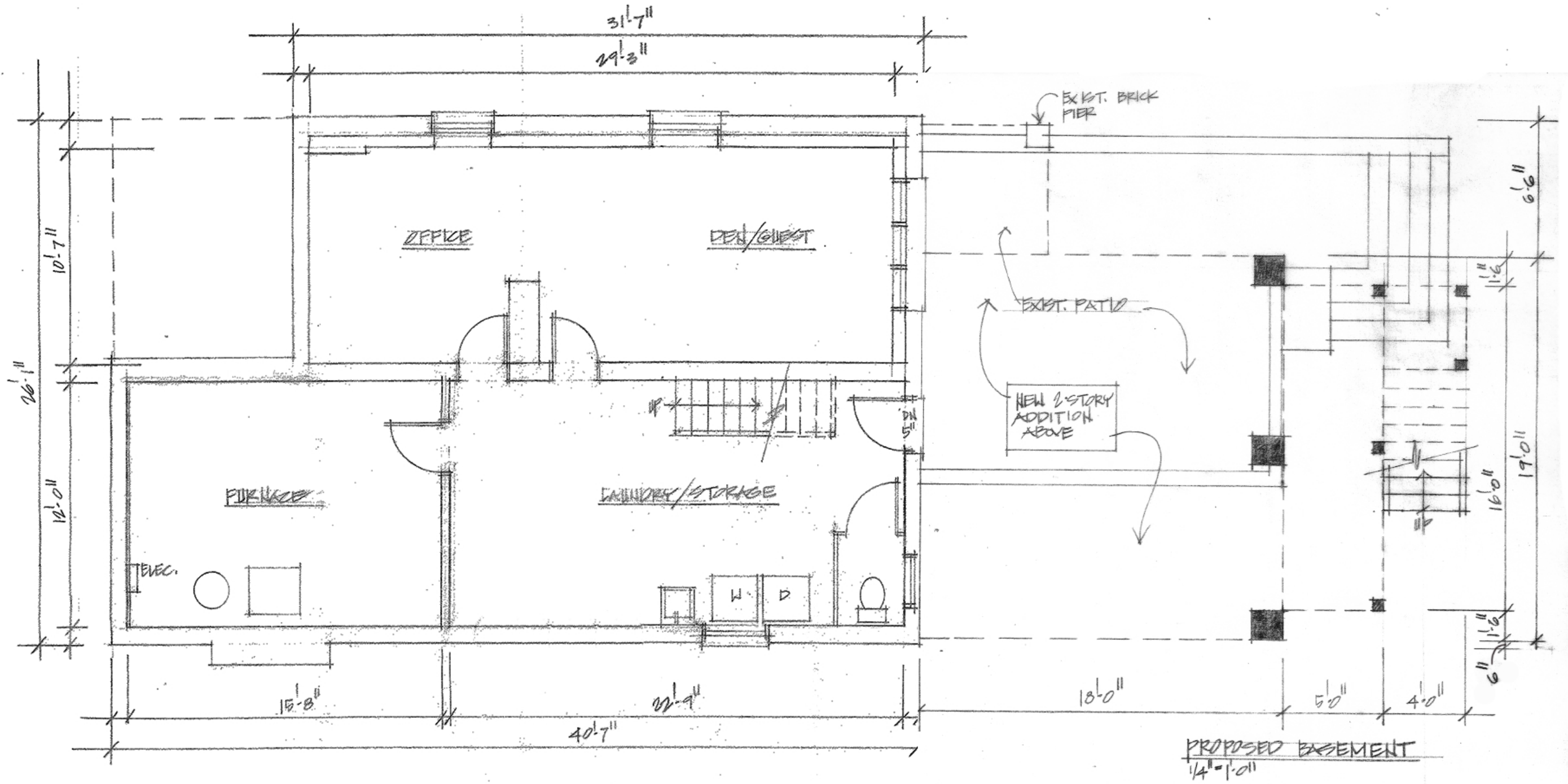
S 46°38'00"E 50.00' (RECORD)
S 46°29'35"E 50.00' (SURVEY)

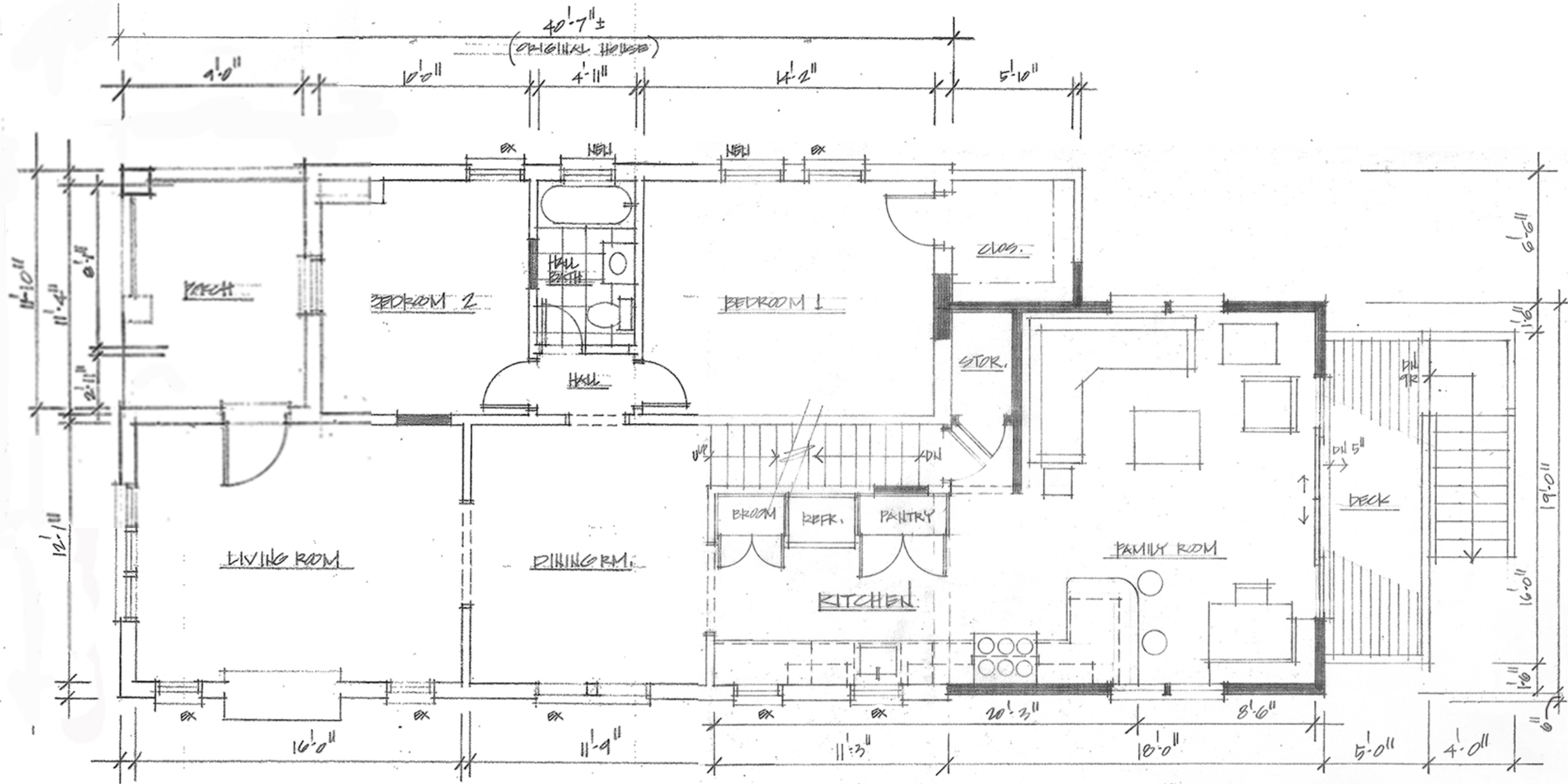


PHILADELPHIA AVENUE



NEIGHBORHOOD PLAN ADJACENT TO 518 PHILADELPHIA AVENUE

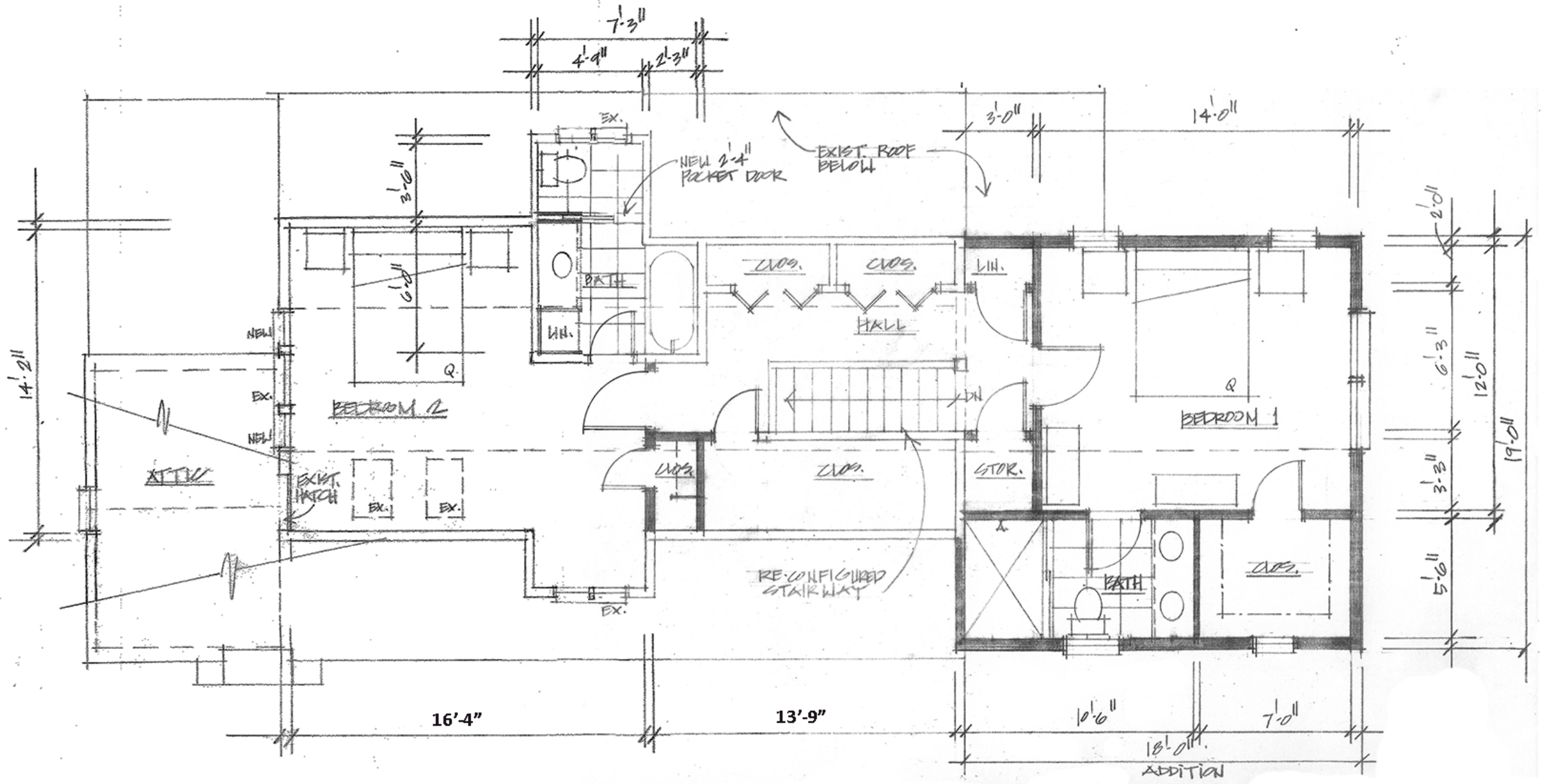




Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

24" Ø TREE

①



PROPOSED SECOND FLOOR
 1/4" = 1'-0"

7" EXPOSURE SMOOTH FIBER CEMENT LAP SIDING (PTD.)

NEW 2-STORY ADDITION (BEYOND)

5/4 X 4 BORAL TRIM (PTD.), TYP.

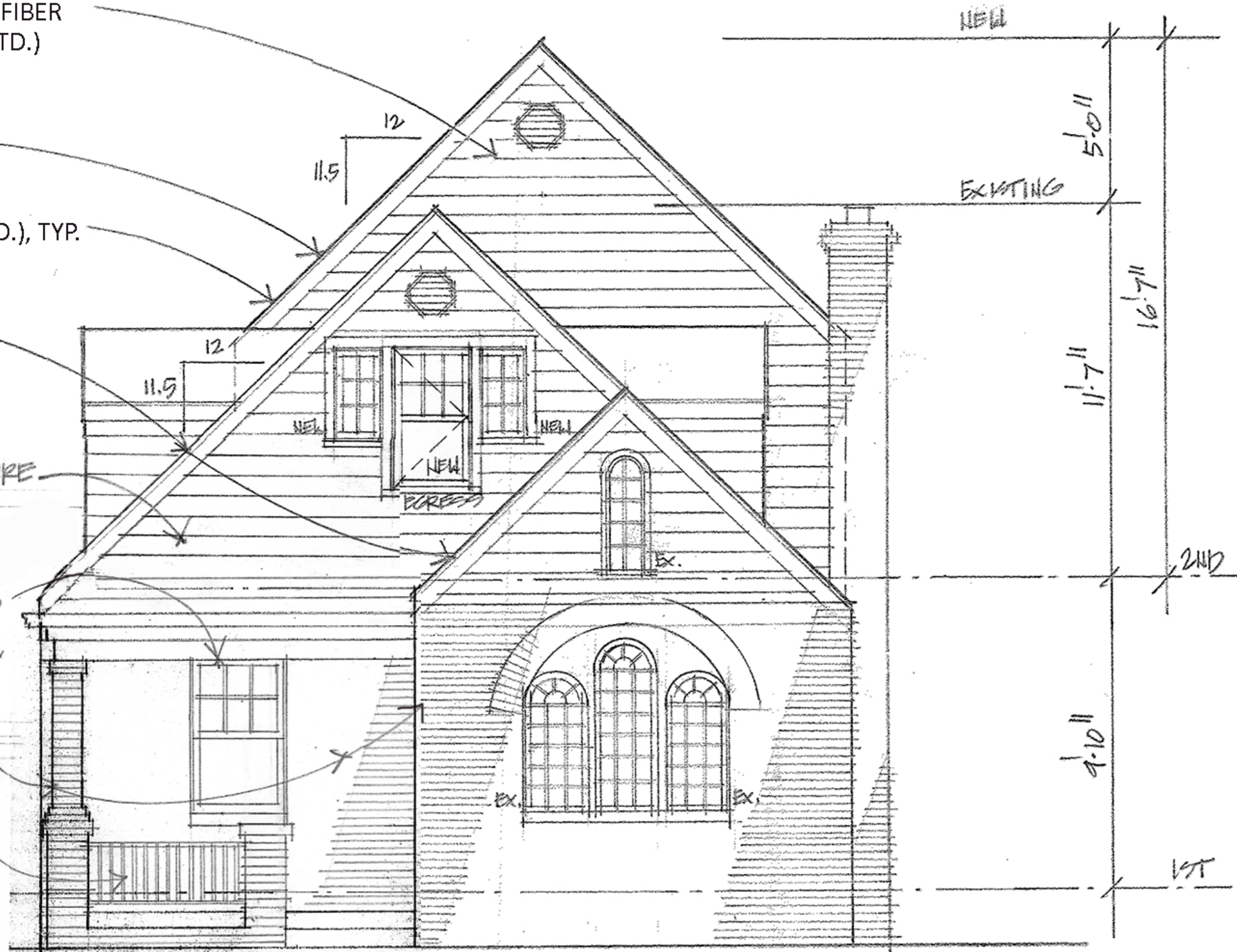
EXISTING HOUSE

EXISTING 8" EXPOSURE SMOOTH WOOD LAP SIDING

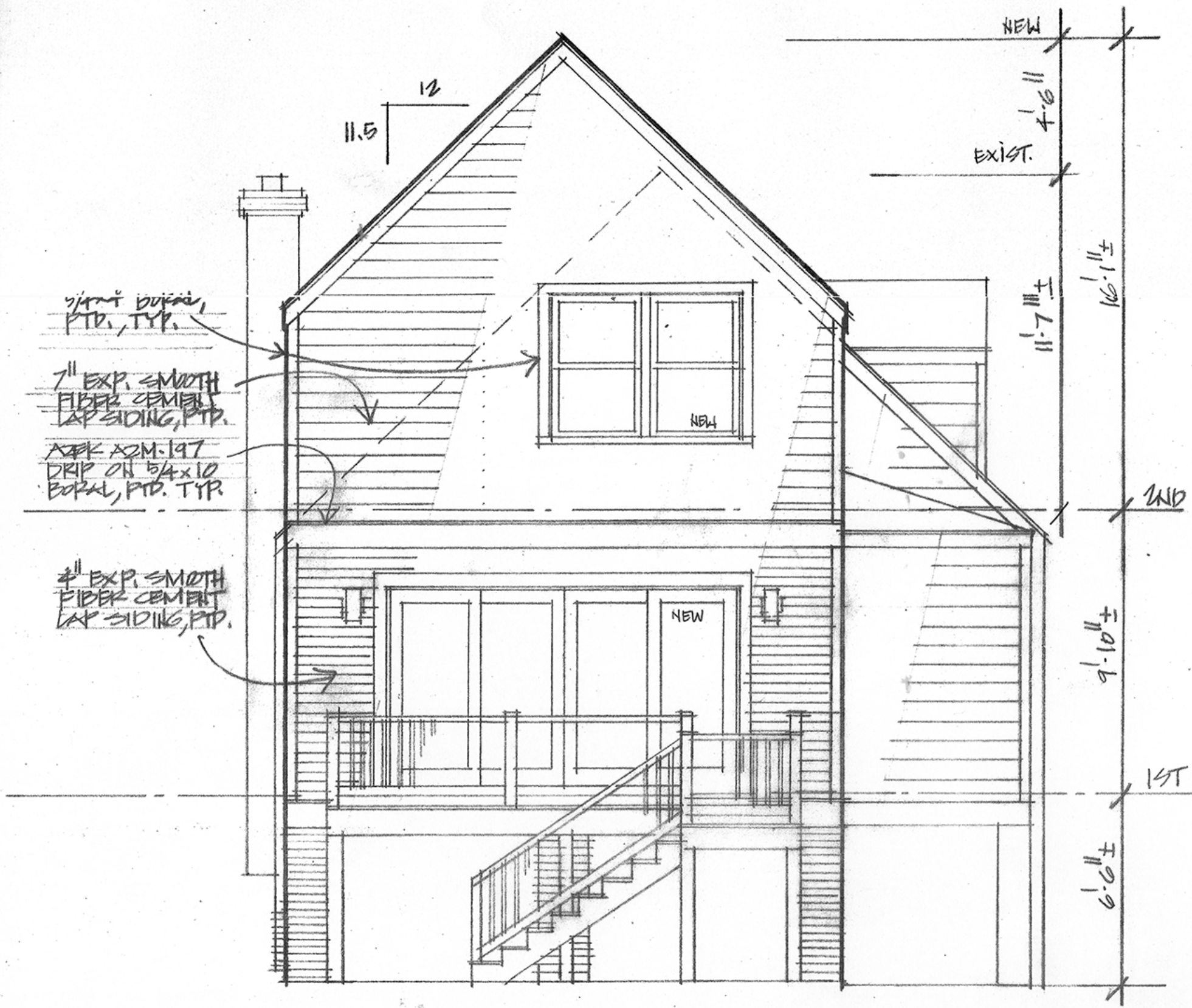
PAINTED WOOD WINDOW, TYP.

BRICK

STEEL RAILING



PROPOSED FRONT ELEVATION
1/4" = 1'-0"



PROPOSED REAR ELEVATION
 1/4" = 1'-0"





518 PHILADELPHIA AVE

2-story addition



510

514

516

518

520

7715



510

514

516

518

520

7715



2-STORY ADDITION



518

520

PHILADELPHIA AVENUE











518





















DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 2/14/2024

Application No: 1059042
AP Type: HISTORIC
Customer No: 1483812

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 518 PHILADELPHIA AVE
TAKOMA PARK, MD 20912

Othercontact VITULLO

Homeowner DeGregorio (Primary)

Historic Area Work Permit Details

Work Type ADD

Scope of Work Add 2 story rear addition, new rear deck and stairs to grade. Enclose existing covered front porch.