

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	518 Philadelphia Avenue, Takoma Park	Meeting Date:	3/6/2024
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	2/28/2024
Applicant:	Bradley DeGregorio (Richard J. Vitullo, architect)	Public Notice:	2/21/2024
Review:	Preliminary Consultation	Tax Credit:	No
		Staff:	Chris Berger

Permit Number: 1059042

PROPOSAL: Partial demolition, building addition, fenestration alteration, deck construction.

STAFF RECOMMENDATION

Staff recommends that the applicant make any changes recommended by the Historic Preservation Commission (HPC) and return for a Historic Area Work Permit (HAWP).

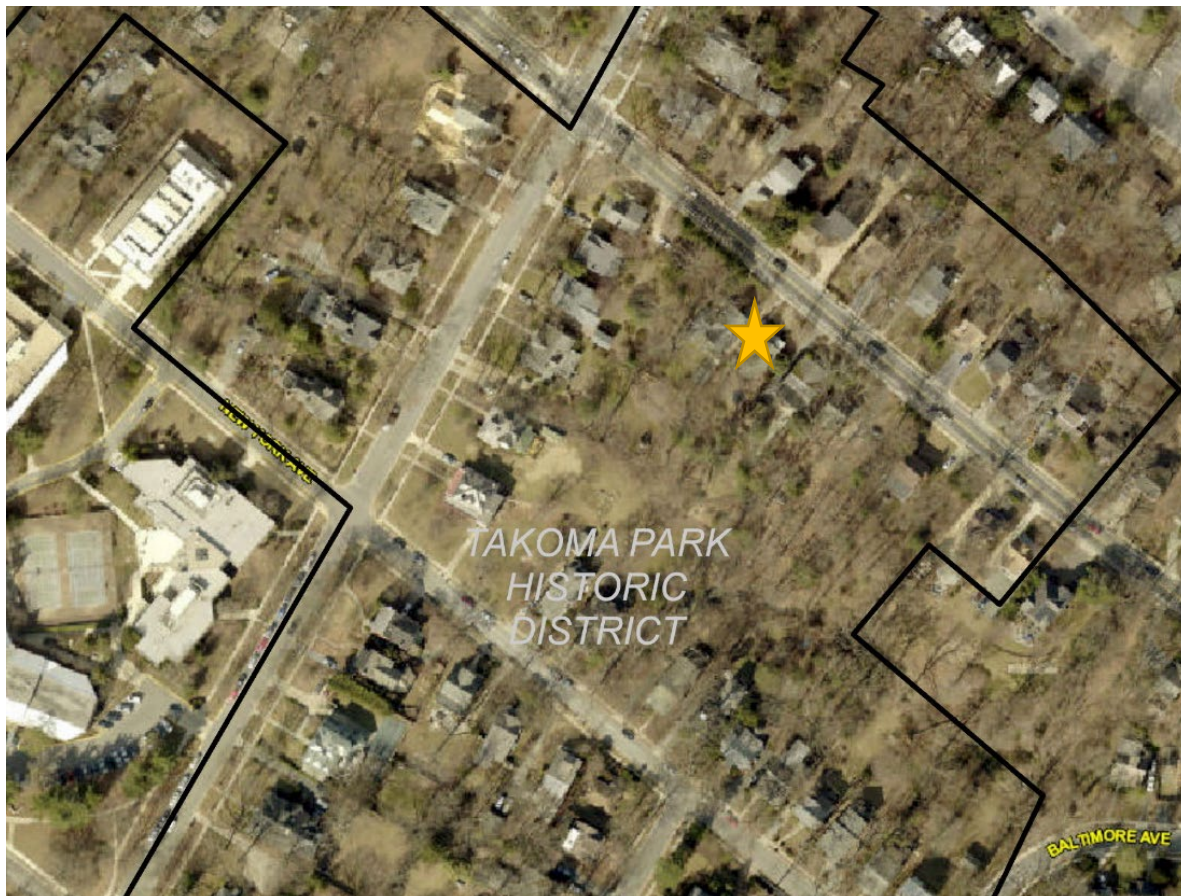


Figure 1: A yellow star indicates the location of the subject property at 518 Philadelphia Avenue. The black line is the boundary of the Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Noncontributing Resource within the Takoma Park Historic District
 STYLE: Minimal Traditional
 DATE: circa 1930s

PROPOSAL

The applicant's architect described the project as follows:

The existing (later) 6'-0" x 25'-0" 1-story wood-framed rear addition and wood deck will be demolished. In its place will be built a new 18'-0" x 19'-0" 2-story gabled wood-framed addition (11.5:12 [roof] slope), set on 3 brick piers. Behind this addition will be built a 5'-0" x 16'-0" wood deck, with stairs to grade. In the front, the existing inset covered porch will be infilled to create an entry mudroom with walls, a side window, and an entry door. At the 2nd floor, 3 new casement windows (the new center window to be for egress) will replace one double-hung for the front bedroom.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A* (Chapter 24A), and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts that apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The subject property falls under the category of Non-Contributing/Out-of-Period Resources, defined as either having little or no architectural and historical significance to the historic district or was constructed outside of the district's primary periods of historical importance. The design guidelines state that these types of resources should receive the most lenient level of design review and should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing that affect the surrounding streetscape and/or landscape and could impair the character of the historic district.

Montgomery County Code Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Existing Building Description

The subject property is a Non-Contributing Resource to the Takoma Park Historic District and features a 1.5-story, Minimal Traditional-styled house constructed in the 1930s (*Figures 2-4*). The brick house rests on a brick and concrete foundation. The walls are brick with wood lap siding in the gable ends. The asphalt-shingle roof features gable-roof dormers that face both the left- and right-side elevations. A one-story addition on the rear elevation extends the length of the elevation and measures approximately 150 square feet and is present on the 1957 Sanborn Fire Insurance Map (*Figure 5*). It appears to be a former porch that was enclosed. The facade includes two steeply pitched gable roofs and a 106-square foot inset front porch with a flat roof. The windows on the front wall feature arched header casements and are located under an arched brick pattern. Other window types include six- and eight-lite wood casements and 6/1, 6/6, and 2/2 wood double-hung sash. Octagonal vents are located at the roof peaks on the front and rear elevations. A prominent brick chimney is located on the right-side elevation on the outside wall.



Figure 2: The front elevation of the subject property.



Figure 3: The right-side elevation along the driveway.



Figure 4: The rear elevation includes the addition, which is covered with wood siding, and a deck.

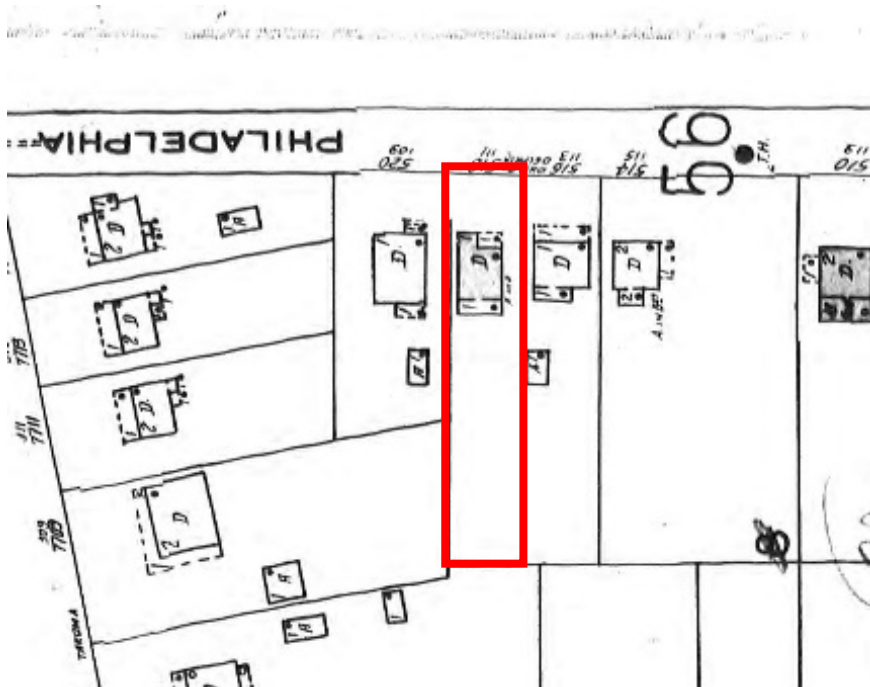


Figure 5: The 1959 Sanborn Fire Insurance Map shows the subject property before it was subdivided.

Demolition of Rear Addition and Deck

The applicant proposes to demolish the one-story, rear addition, which extends the length of the rear elevation and measures approximately 250 square feet (*Figure 6*). The addition was present by 1957. The deck appears to have been built in the 1990s.

According to the *Guidelines*, additions to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff is supportive of the demolition of the addition and deck because their removal will not affect the existing streetscape, landscape, and building patterns and do not impair the character of the historic district.



Figure 6: The subject property is outlined in blue. The deck and one-story rear addition to be demolished are clouded in red. Source: CONNECTExplorer.

Construction of Rear Addition with Deck

The applicant proposes the construction of a 2.5-story addition measuring approximately 700 square feet at the rear of the existing 1.5-story house (*Figures 7-10*). The existing house at the front measures 21 feet, 5 inches, from the first floor to the roof peak; the proposed roof peak will measure 5 feet taller.

Brick piers will support the walls, covered in smooth fiber cement lap siding with a 6-inch exposure. The gable roof pitch will be 11.5/12 inches to match the pitch of the two existing gable roofs. The roof will be

covered with asphalt shingles. An octagon-shaped vent is proposed for the gable peak of the new gable roof to match the existing roof vents at the gable ends; the materials of the proposed vent is unknown.

The aluminum-clad wood windows will be 6/1 and 1/1 double hung sash; two-light sliding; and one-lite casement. Four aluminum-clad wood sliding doors will be installed to the deck on the rear elevation. The window, door, and corner trim will be painted Boral, and the window sills will be Azek. A 124-square-foot pressure-treated wood deck with stairs will be built to the rear of the new addition.

According to the *Guidelines*, additions to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff supports the design of the proposed addition and the proposed materials. Though it will be one story taller than the existing house, it will be located on the downslope, so it will only be 5 feet taller than the existing building. The addition will be located on the rear elevation, and it will not impair the character of the historic district. The proposed gable roof’s placement and slope harmoniously matches the existing roof pitches when viewed from the right of way.

The fiber cement lap siding is a compatible material for the building, which has lap siding in the upper gables. Staff encourages the applicant to match the 8-inch exposure of the existing siding as opposed to the proposed 6-inch siding. Staff recommends the applicant consider additional windows on the right-side elevation to break up the massing. Currently, there is a pair of 6/1 sash windows on the first floor, and two sliding windows on the second floor. Staff also recommends the applicant inset the addition at least 1-foot on the right-side elevation to differentiate the existing construction from the proposed. (It appears on the left-side elevation that a small section of the existing rear elevation will be retained.) Any new HVAC equipment should be shown on the site plan and elevations.

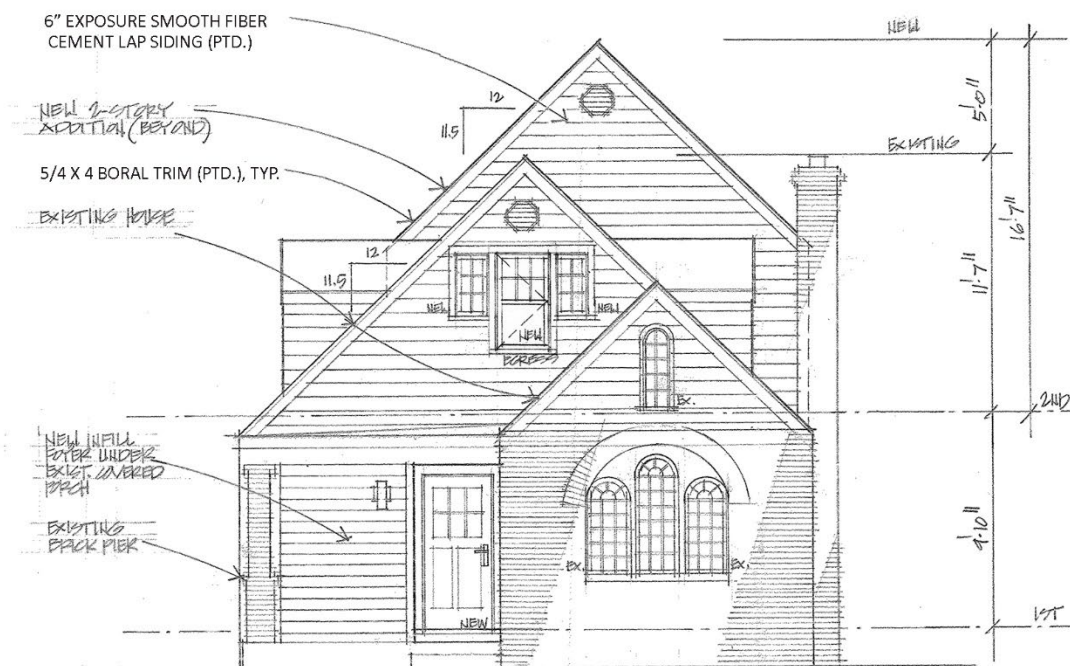


Figure 7: The proposed front elevation shows how the rear addition will appear from the right of way.

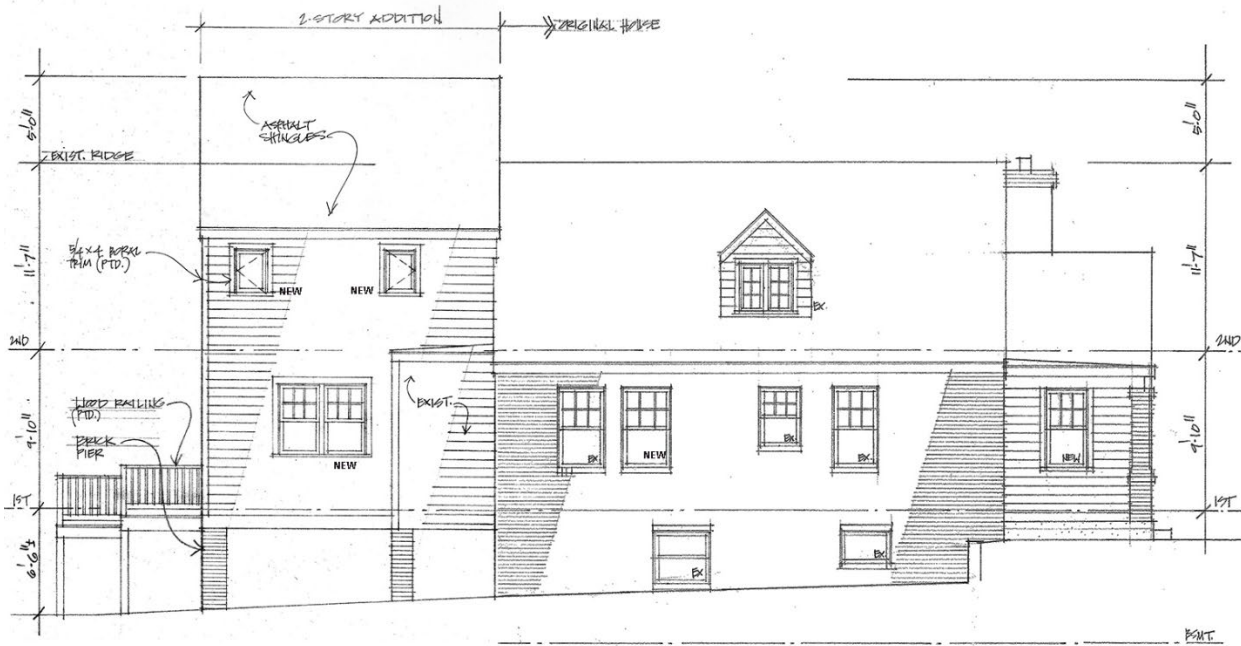


Figure 8: The proposed left-side elevation.

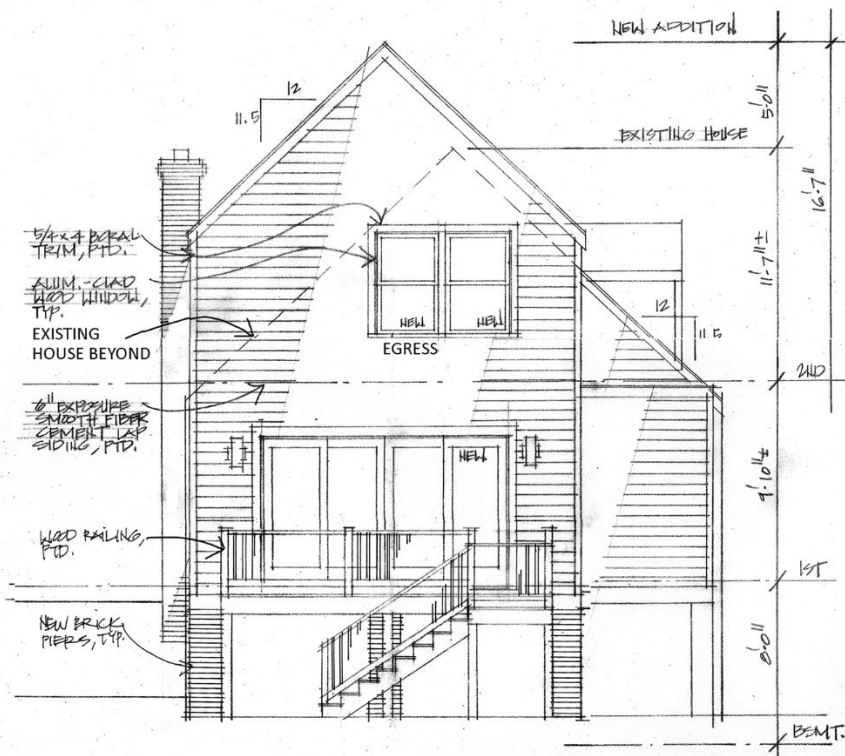


Figure 9: The proposed rear elevation.

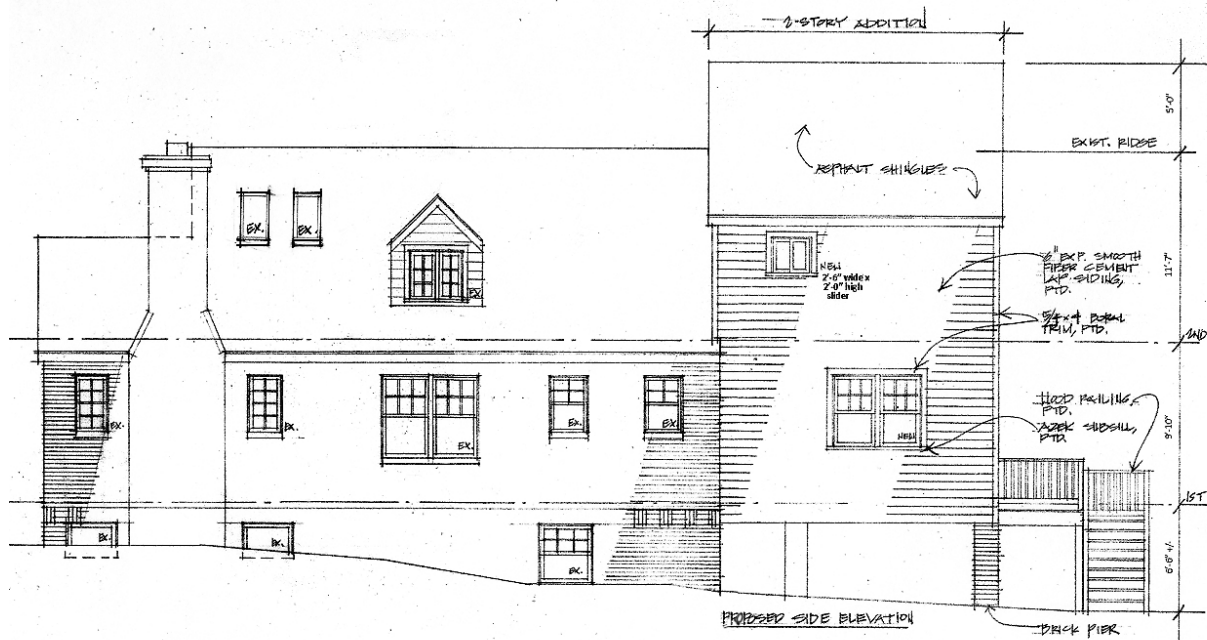


Figure 10: The proposed right-side elevation.

Enclose Front Porch

The applicant proposes to enclose the 11-foot, 9-inch by 9-foot inset front porch to create a mudroom (Figures 11-13). The infill material is not indicated on the plans but appears to be the same fiber cement lap siding proposed for the addition. A new front door will be placed on the front elevation and an aluminum-clad casement window with a 6/1 pattern will be placed on the left-side elevation. The existing brick pier will remain exposed.

According to the *Guidelines*, alterations to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff does not find the proposed alteration would impair the character of the district. The alteration will be differentiated from the existing building by the use of siding to fill in the area, and the brick piers will remain exposed.

Staff recommends that a window or windows similar in size and appearance are added to the front elevation of the infilled area to break up the massing. Staff also recommends that the existing front door, inset in the front porch, is moved to the exterior wall of the proposed enclosed area.

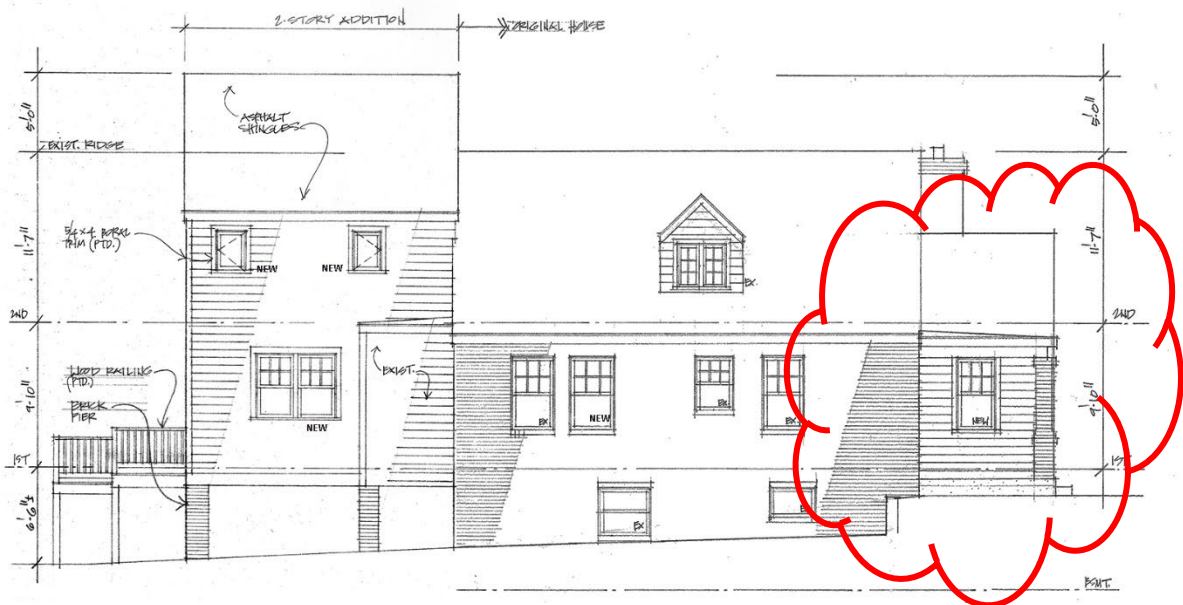


Figure 13: The proposed left-side elevation with the enclosed porch clouded.

Window Alteration on the Second Story on the Front Elevation

The existing 6/6/ sash window with storm visible on the front elevation will be replaced with six-lite aluminum-clad wood casements (6-lites) that gives a 6/1 appearance to either side of a larger casement (Figure 14). The larger window will serve as egress for the bedroom.

According to the *Guidelines*, alterations to Non-Contributing Resources such as the subject property should be approved as a matter of course with the exception of major alterations that affect the surrounding streetscape and/or landscape and could impair the character of the historic district. Similarly, Chapter 24-A-8(d) states that the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff does not find the proposed window alteration would impair the character of the district. They are of an appropriate size and scale, and the triple window grouping reflects the triple window grouping found on the first floor of the façade.

Staff recommends that the muntins of the windows are either true-divided lite or simulated divided lite with permanent exterior and interior grilles.

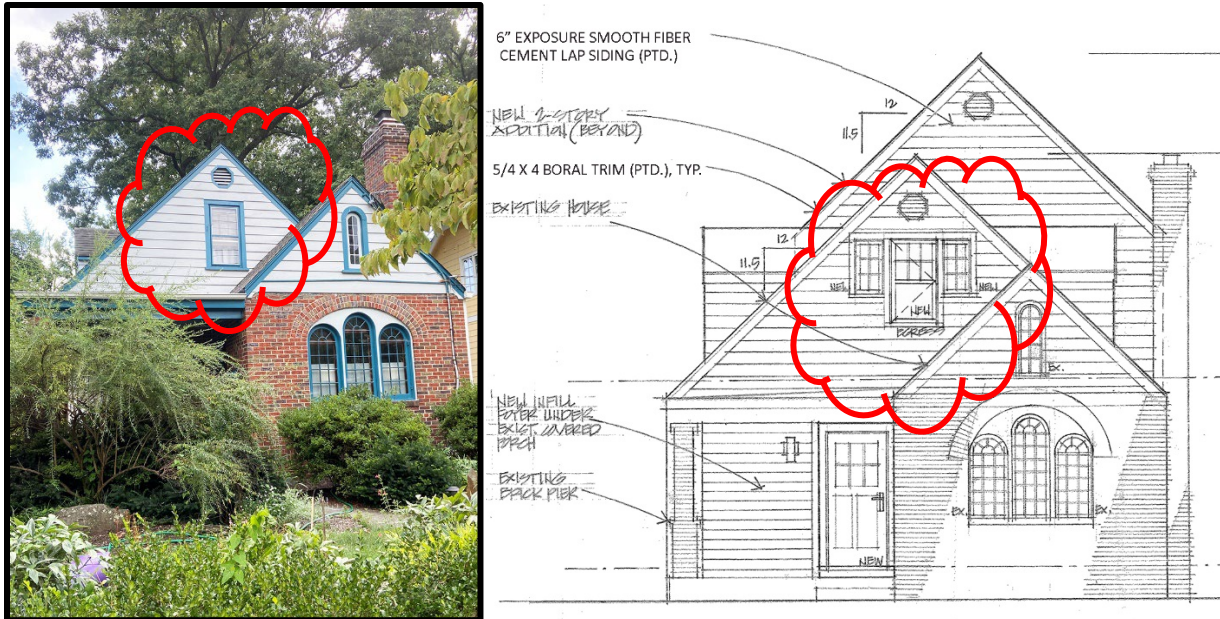


Figure 14: The existing window, left, will be replaced and two casement windows will be installed to either side.

Items to Include in HAWP Application

Staff recommends the following items be included in the HAWP application:

1. Existing condition or as-built drawings for all elevations.
2. Roof plan.
3. Inset the addition at least 1-foot on the right-side elevations.
4. Lap siding exposure should match the existing.
5. Specification sheets for all building features, including the doors, windows, siding, soffit, trim, roofing, hardscaping, lighting, and gutters and downspouts.
6. Label the type of asphalt shingle roof (three-tab or architectural) on the existing house and include specification for the new roof.
7. Label all proposed materials and features.
8. Include dimensions on all elevations.
9. Include a copy of Tree Impact Assessment and Protection Plan. If any trees require removal, include those in the HAWP application.
10. Include location of new HVAC equipment on plans.
11. The aluminum clad window grilles shall be either full divided lite or simulated divided lite with permanent exterior and interior grilles.
12. Add additional windows on the right-side elevation to break up the massing.
13. Move the existing front door to the exterior wall of the proposed enclosed porch.

STAFF RECOMMENDATION

Staff recommends that the applicant make any changes suggested by the HPC and return for a HAWP with any requested information.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Kirsten Hilgefard
Brad De Gregorio
518 Philadelphia Ave.
Takoma Park, MD 20912

Adjoining Property Owners

HAWP

Connie Chang
James Blakemore
518 Philadelphia Ave.
Takoma Park, MD 20912

James & SG Anderson
520 Philadelphia Ave.
Takoma Park, MD 20912

Jacqueline & Scott Russell
517 Philadelphia Ave.
Takoma Park, MD 20912

Kathleen Donohue Trust
519 Philadelphia Ave.
Takoma Park, MD 20912

DESCRIPTION OF ***EXISTING*** STRUCTURE,
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES
AT:

518 Philadelphia Ave., Takoma Park, MD 20912

This is an "Non-Contributing Resource" Traditional-style house, built in 1932, and it is located in the Takoma Park Historic District. It is a 1 ½ -story house, rectangular in shape; the original house is 26'-2" wide x 40'-7" deep, with a later 6'-0" x 25'-0" 1-story addition built on the rear; behind this addition is a approx. 25'-0" wide x 12'-0" deep wood deck, with dilapidated decking, and a stair to grade. There is a 11'-9" wide x 9'-0" deep inset covered front porch at the front.

- a. Original House Structure:** The main house structure is brick and is gabled (11.5:12 slope), with the ridge perpendicular to Philadelphia Ave.*
- b. Foundation:** The main house foundation is brick, and the rear addition foundation is composed of CMU piers.*
- c. Exterior Finish:** The exterior finish of the gabled upper floor in the original house is 8"-exposure wood lap siding, and on the 1st floor is 8" solid brick.*
- d. Windows:** The windows and entry door of the original house are all original, and are painted wood. The windows and door in the later rear addition are also wood, and painted.*

DESCRIPTION OF THE ***PROPOSED*** PROJECT AND ITS
EFFECT ON THE HISTORIC RESOURCE:

518 Philadelphia Ave., Takoma Park, MD 20912

The existing (later) 6'-0" x 25'-0" 1-story wood-framed rear addition and wood deck will be demolished. In its place will be built a new 18'-0" x 19'-0" 2-story gabled wood-framed addition (11.5:12 slope), set on 3 brick piers. Behind this addition will be built a 5'-0" x 16'-0" wood deck, with stairs to grade. In the front, the existing inset covered porch will be infilled to create an entry mudroom with walls, a side window, and an entry door. At the 2nd floor, 3 new casement windows (the new center window to be for egress) will replace one double-hung for the front bedroom.

These will be built using the following materials/details:

1. **Foundation:** Brick piers.
2. **Exterior Finish:** Painted fiber cement smooth lap siding with a 6" exposure.
Exterior Trim: Window, door trim and corner trim will be a 5/4 x 4 Boral trim, painted. Window subsills will be an Azek AZM-6930 Historic subsill, ptd..
3. **Roofing:** Asphalt shingles.
4. **Windows and Doors:** The new smaller windows on the 2nd floor at the front of the existing house will be aluminum-clad wood casements (6-lites), with the larger casement (egress window) to have a 6-over-1 appearance. At the 1st floor at the side of the front infill addition, the window will be aluminum-clad wood double-hung (6-over-1). At the rear addition, the windows along the side will be aluminum-clad wood double-hung (6-over-1), aluminum-clad wood casements (1-lite), and an aluminum-clad slider window in the new 2nd floor bathroom; at the rear, the windows will be aluminum-clad wood double-hung (1-over-1). The new sliding rear door to the rear deck will be aluminum-clad wood, each panel is 1-lite. The new front entry door will be aluminum-clad with a half-lite.
5. **Rear Deck and Stairs:** Wood structure, decking and railings.

N46°30'00"W
50.00

PART OF
LOT 11
11,250 S.F.(REC.)
11,211.7 S.F.(SURV.)

LOT 8



P.O.L.
NAIL SET
ON LINE ±

P.O.L.
NAIL SET
ON LINE ±

FENCE
CORNER
ON LINE ±

0.5'±
FENCE
CORNER

R/C FND

REMAINDER
PART OF
LOT 11

224.02' (SURVEY)
225.00' (RECORD)

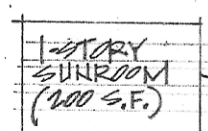
P.O.L.
NAIL SET
ON LINE ±

34" φ WHITE
OAK

BRICK
PATIO

225.00' (RECORD)
224.28' (SURVEY)

N/F
PART OF
LOT 9



S 43°28'43"W
S 43°22'00"W

P.O.L.
NAIL SET
ON LINE ±

2ND STORY
DECK

O/H

0.1'±
FENCE
CORNER

P.O.L.
NAIL SET
ON LINE ±

2 STORY
BRICK/FRAME
#518

P.O.L.
NAIL SET
ON LINE ±

1.3'±
FENCE
END

CONC.
PORCH

0.5'±
WALL
CORNER

14.5'

11.8'

9.0'

14.3'

9.5'

N/F
PART OF
LOT 10

CONVEYOR

EXISTING
SITE PLAN



0.7' BRICK WALL

10" φ WHITE
OAK

33.1'

32.9'

CONC.
DRIVEWAY

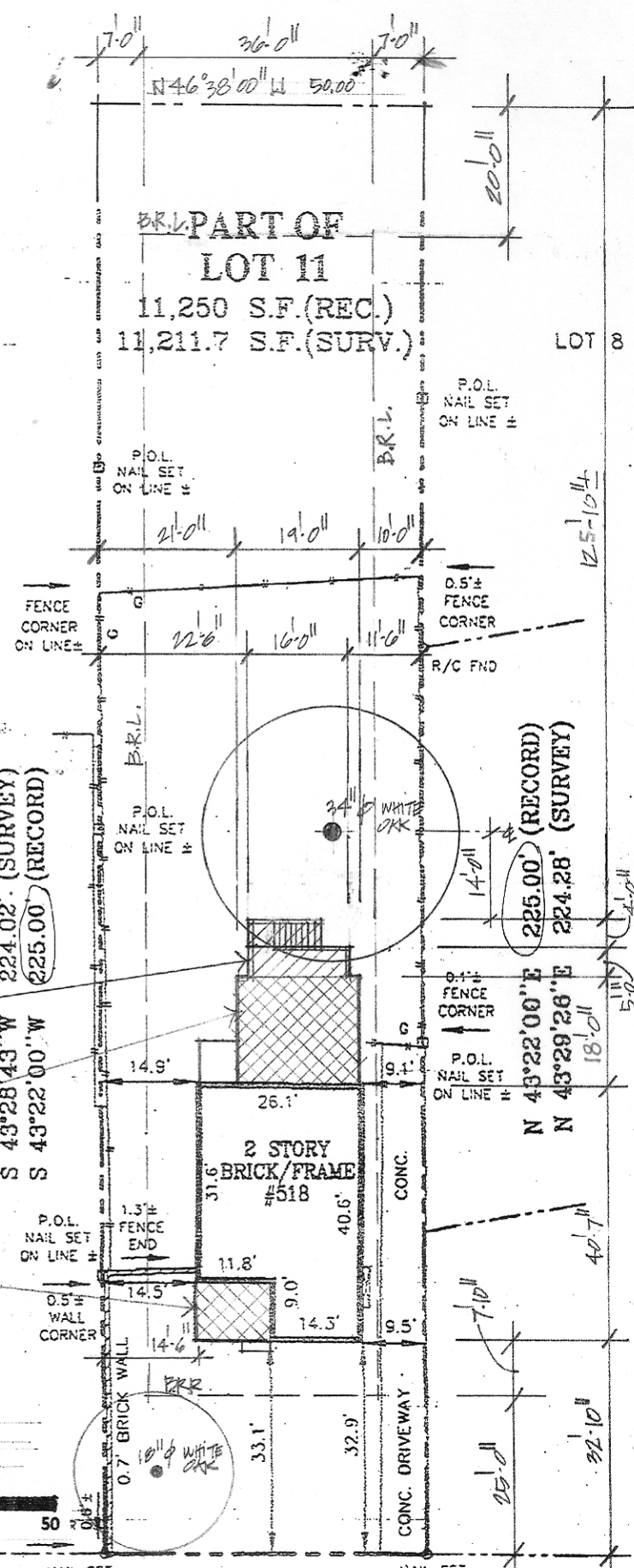
SURVEY

NAIL SET

NAIL SET

, BLOCK 73
Co.'S

S 46°38'00"E 50.00' (RECORD)
S 46°29'35"E 50.00' (SURVEY)



REMAINDER
PART OF
LOT 11

P.R.L. PART OF
LOT 11
11,250 S.F. (REC.)
11,211.7 S.F. (SURV.)

LOT 8

WOOD STAIR
AND DECK
(124 S.F.)

1-STORY
ADDITION
(323 S.F.)

ENCLOSED
COVERED
PORCH
(102 S.F.)

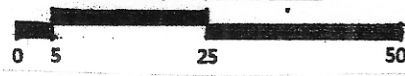
S 43°28'43" W 224.02' (SURVEY)
S 43°22'00" W 225.00' (RECORD)

N 43°22'00" E 225.00' (RECORD)
N 43°29'26" E 224.28' (SURVEY)

2 STORY
BRICK/FRAME
#518

CONC.

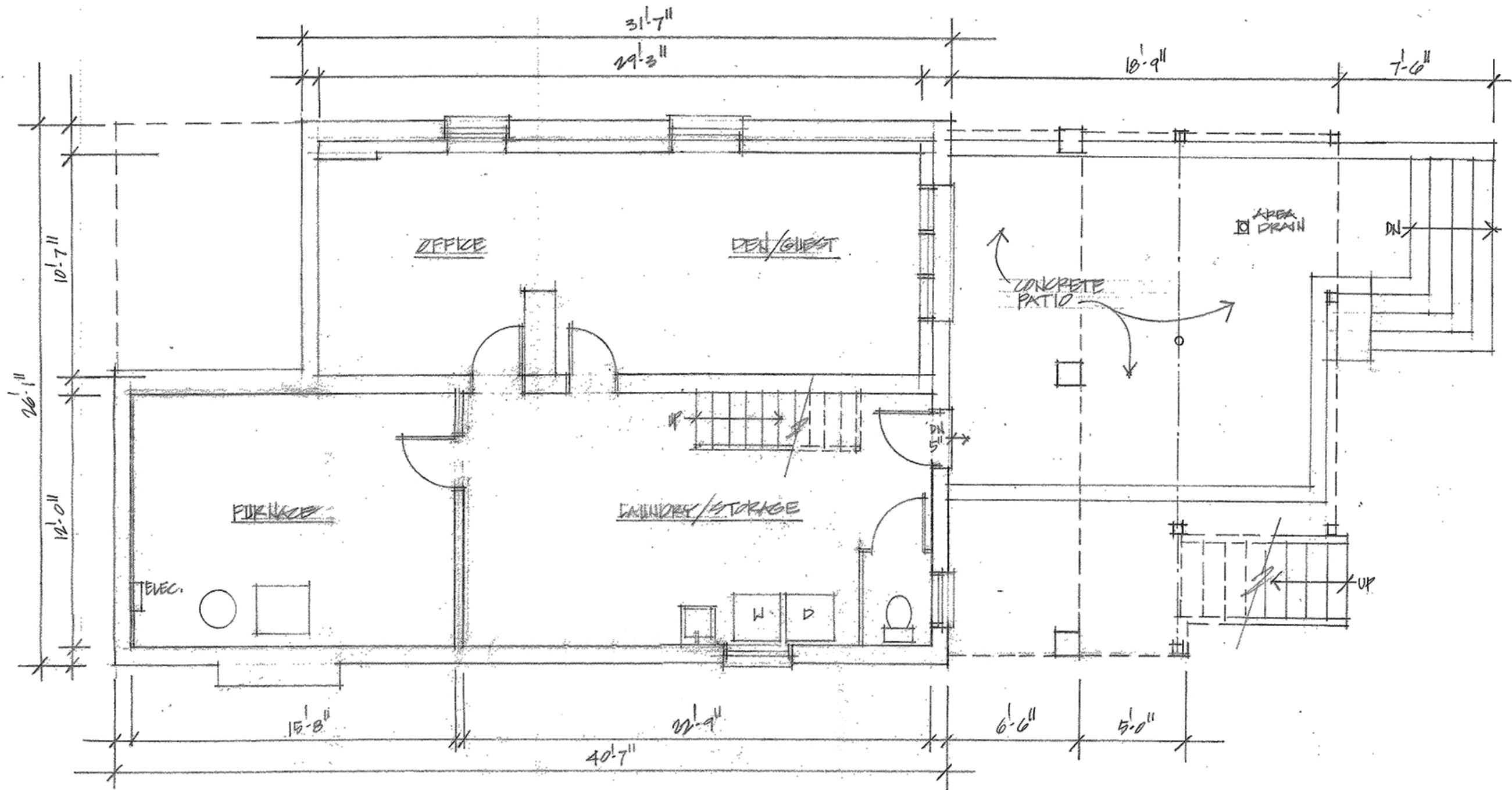
CONC. DRIVEWAY



SURVEY

BLOCK 73
Co.'S

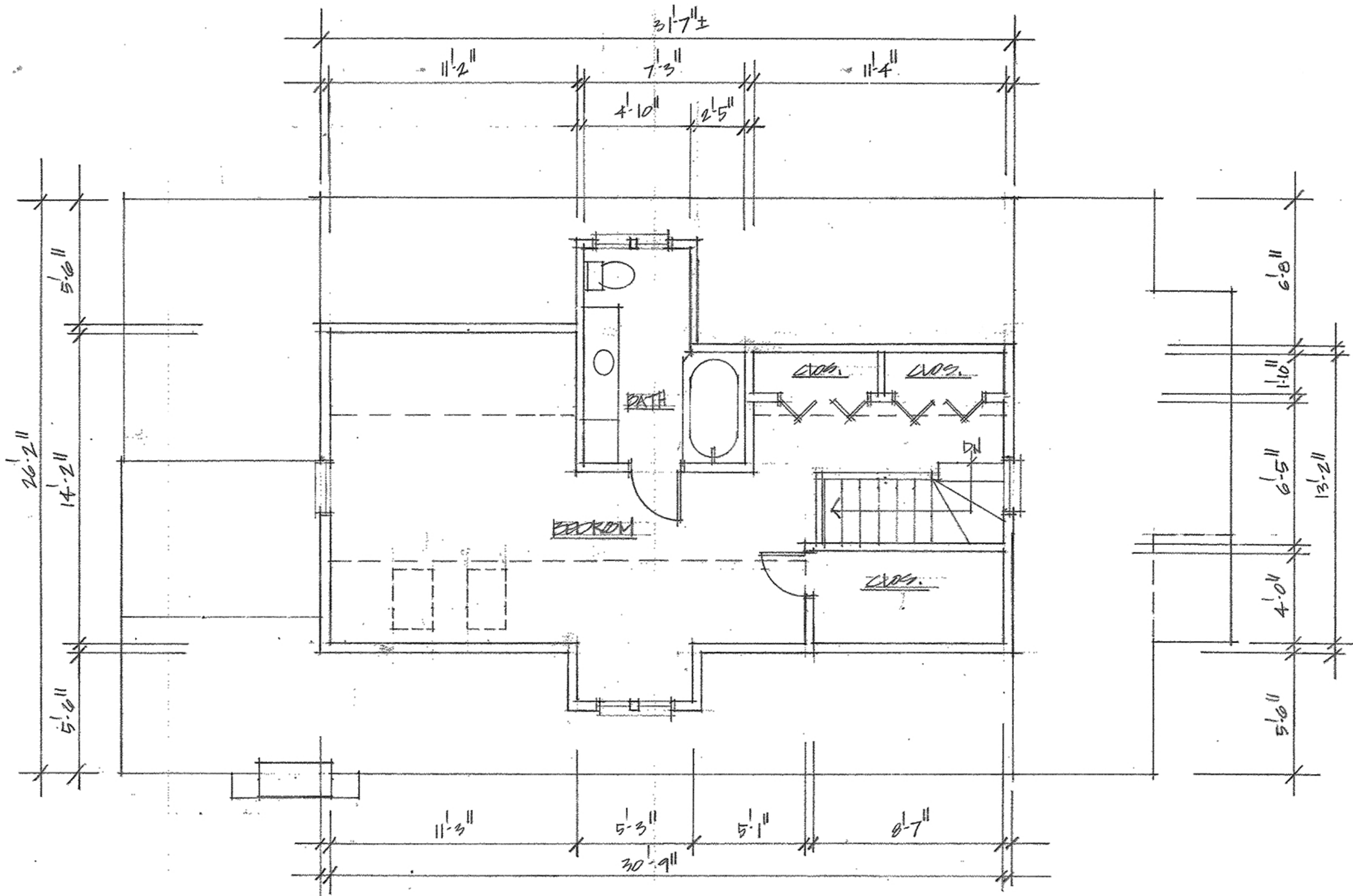
S 46°38'00" E 50.00' (RECORD)
S 46°29'35" E 50.00' (SURVEY)



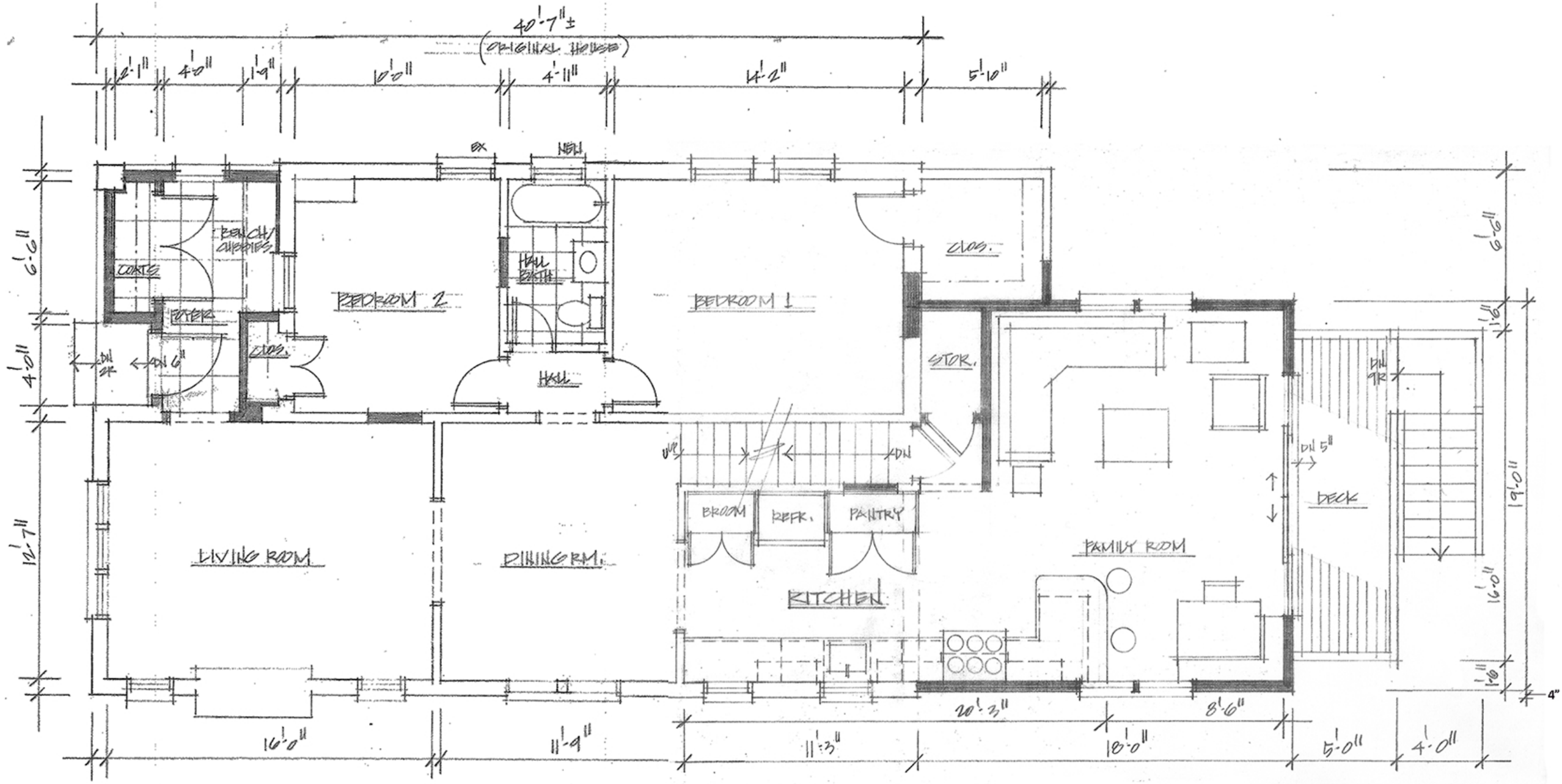
EXISTING BASEMENT

1/4" = 1'-0"

9



EXISTING SECOND FLOOR
 1/4" = 1'-0"



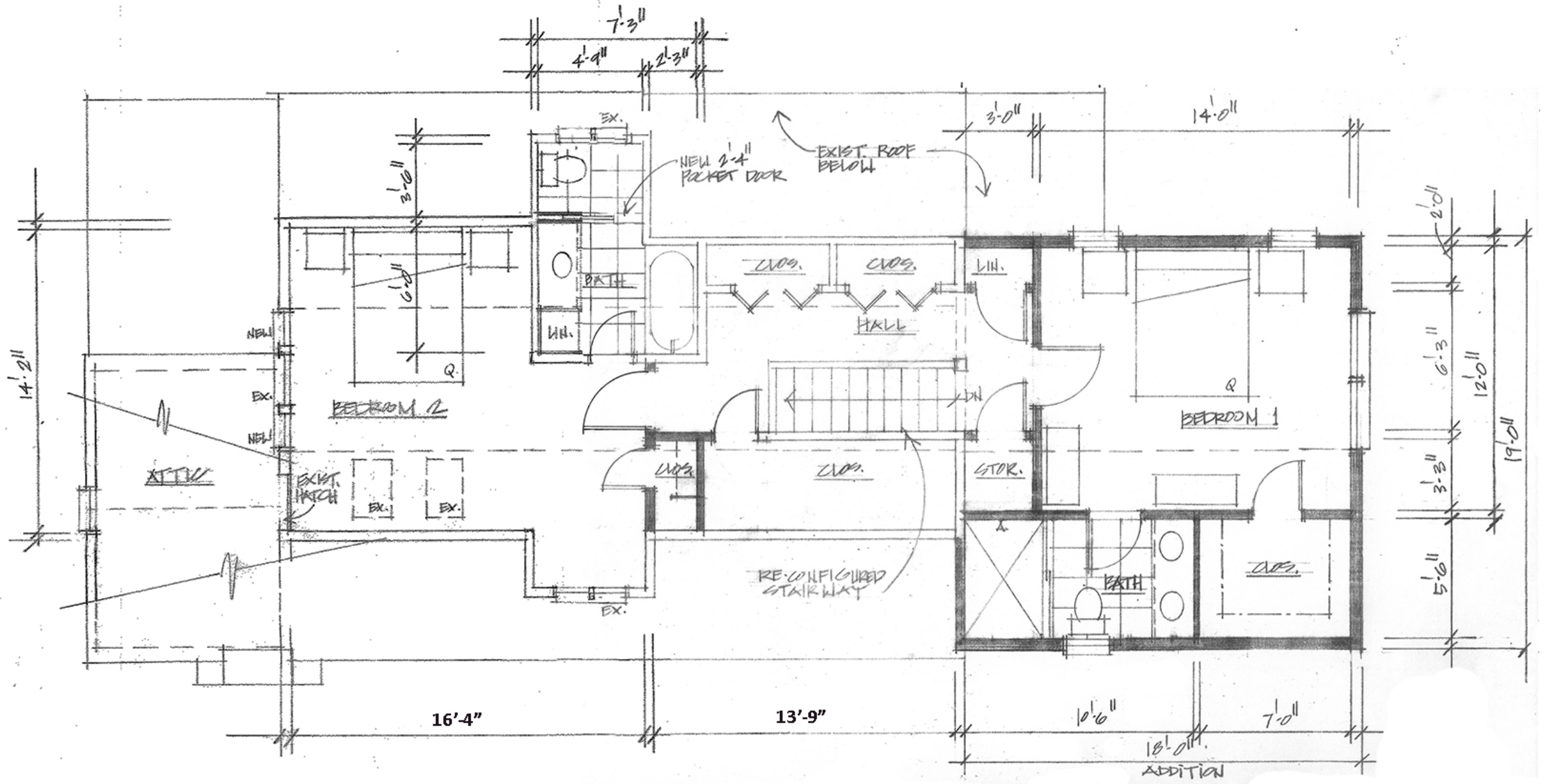
Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)806-6447 cell

NEW CONSTRUCTION

PROPOSED FIRST FLOOR
 1/4" = 1'-0"

HILDEFORD/DEREGORIO
 518 PHILADELPHIA AVE.
 TAKOMA PARK, MD

1



PROPOSED SECOND FLOOR
 $\frac{1}{4"} = 1'-0"$

6" EXPOSURE SMOOTH FIBER CEMENT LAP SIDING (PTD.)

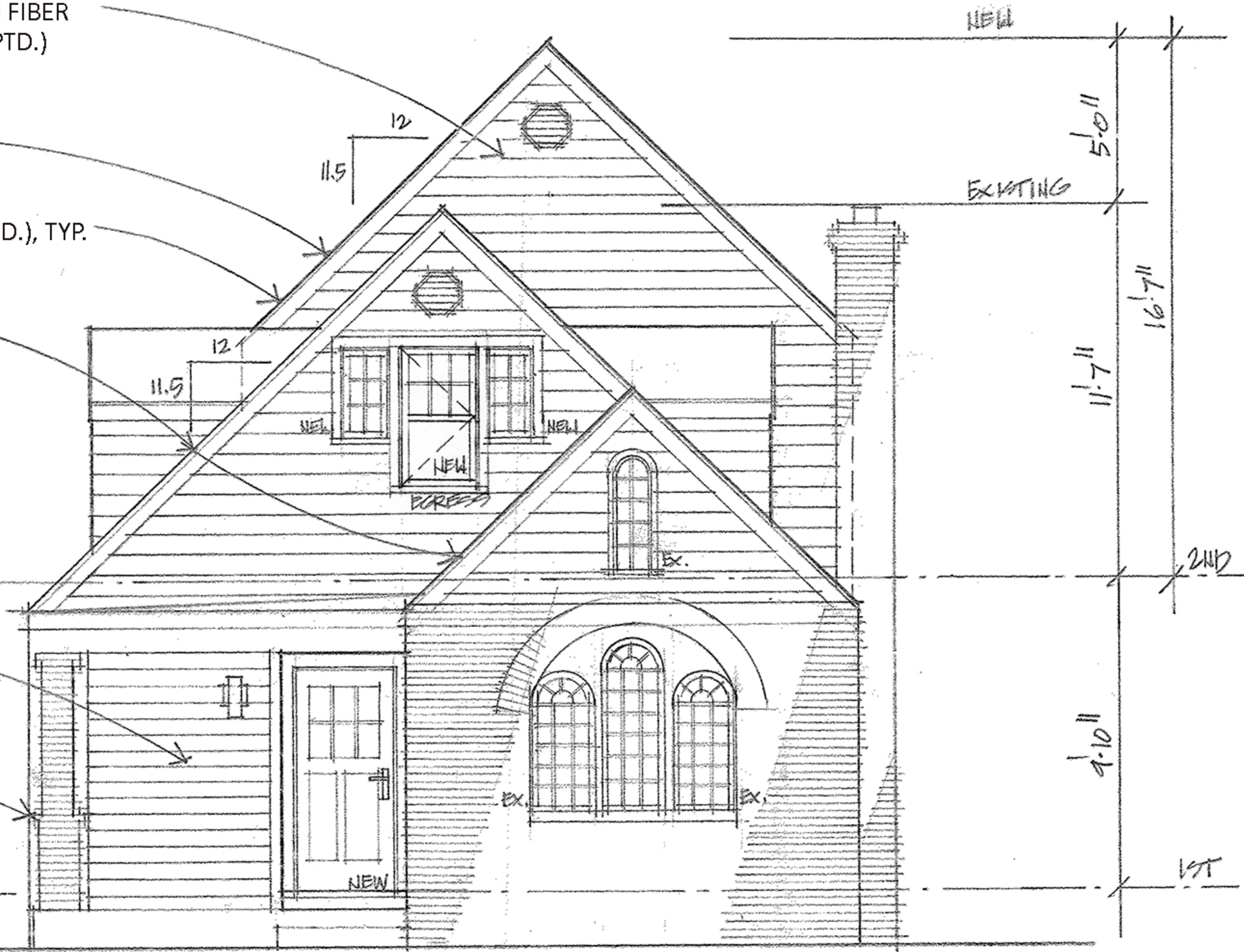
NEW 2-STORY ADDITION (BEYOND)

5/4 X 4 BORAL TRIM (PTD.), TYP.

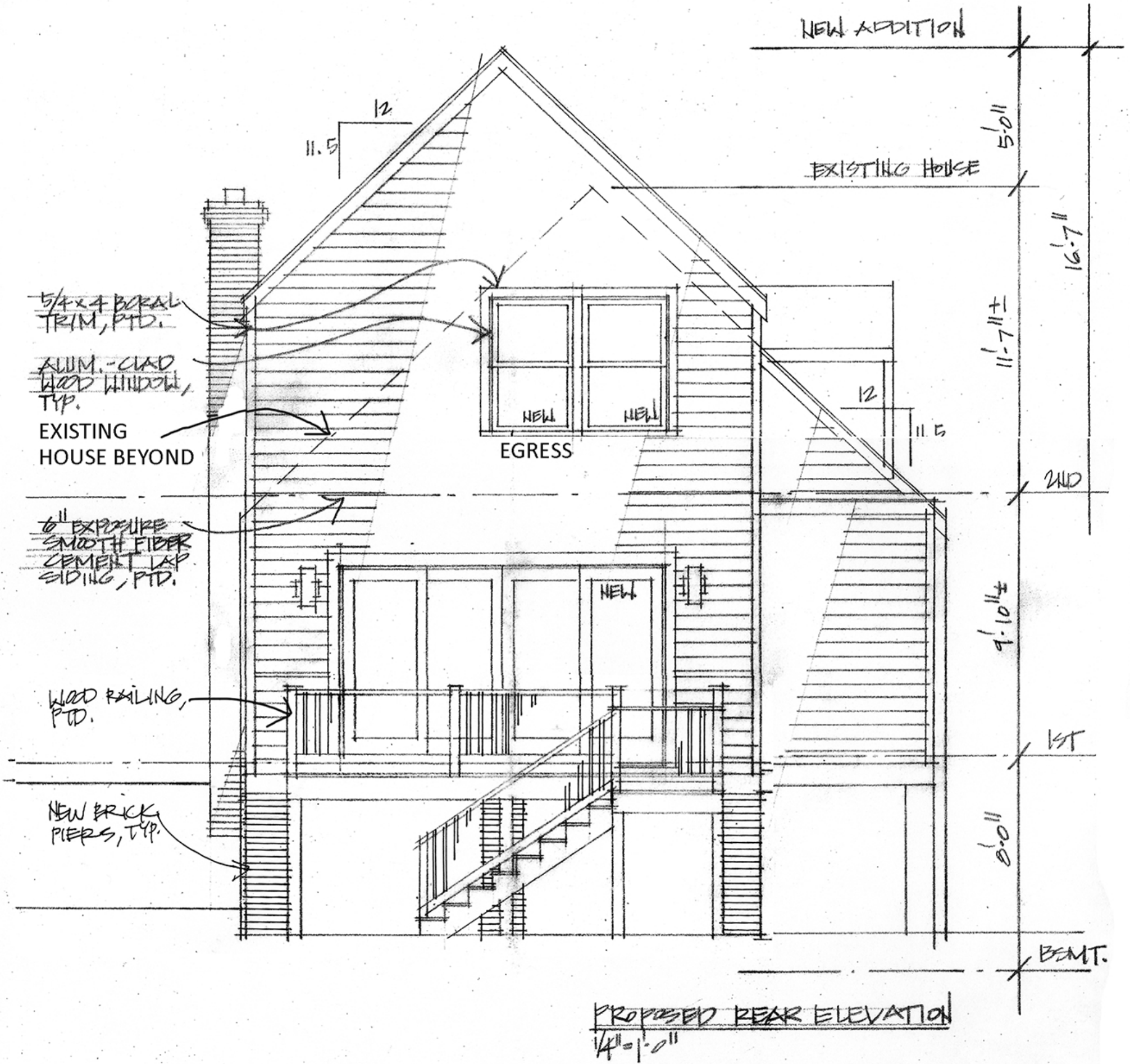
EXISTING HOUSE

NEW INFILL FOTER UNDER EXIST. COVERED PORCH

EXISTING BRACK PIER



PROVIDED FRONT ELEVATION
1/4" = 1'-0"













518





















DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 2/14/2024

Application No: 1059042
AP Type: HISTORIC
Customer No: 1483812

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 518 PHILADELPHIA AVE
TAKOMA PARK, MD 20912

Othercontact VITULLO

Homeowner DeGregorio (Primary)

Historic Area Work Permit Details

Work Type ADD

Scope of Work Add 2 story rear addition, new rear deck and stairs to grade. Enclose existing covered front porch.