

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7305 Baltimore Ave., Takoma Park	Meeting Date:	3/6/2024
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	2/28/2024
Applicant:	Roger McGary (Avneet Luthra, architect)	Public Notice:	2/21/2024
Review:	HAWP	Tax Credit:	No
Permit Number:	1058866	Staff:	Chris Berger

PROPOSAL: Deck demolition and screened-in porch construction

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with two conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall submit specification sheets for all features, including the roof material, screens, and gutters and downspouts.
2. The applicant shall contact the City of Takoma Park Urban Forester; follow all recommendations and requirements; and forward the correspondence to staff.



Figure 1: The subject property at 7305 Baltimore Ave. is starred in the Takoma Park Historic District. The district boundaries are outlined in black.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District
 STYLE: Colonial Revival
 DATE: Circa 1940s

PROPOSAL

The applicant proposes to remove the existing deck and stairs and replace them with a screened porch, deck, landing, and stairs. The 181-square-foot porch will be built on the same footprint as the existing deck and will have a flat, membrane roof. According to the applicant's architect, the flat roof is necessary to be symmetrical to the existing second floor projection. The new deck will measure 42 square feet and be located to the east of the porch. The landing and stairs will measure 52 square feet.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A* (Chapter 24A), and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts that apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The subject property falls under the category of Non-Contributing/Out-of-Period Resources, defined as either having little or no architectural and historical significance to the historic district or was constructed outside of the district's primary periods of historical importance. The design guidelines state that these types of resources should receive the most lenient level of design review and should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing that affect the surrounding streetscape and/or landscape and could impair the character of the historic district.

Montgomery County Code, Chapter 24A-8

The following guidance that pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed screened porch and deck and landing addition and recommends approval. As a Non-Contributing Resource in the Takoma Park Historic District, the building is to receive the most lenient level of design review. The HPC is to consider alterations to the scale and massing of Non-Contributing Resources in terms of their impact on the overall streetscape and environmental setting of the historic district, but other changes to a Non-Contributing resource should be approved as a matter of course. Similarly, Chapter 24A-8(d) states that “the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district”.

The screened porch, deck, landing, and stairs will be located on the rear and left-side elevations where they will only be partially visible from the right of way and will replace an existing deck and stairs in the same location. Staff finds the design to be of an appropriate scale and massing, and the proposal will not adversely impact the character of the historic district. In accordance with Chapter 24A-8(b)(1), the work will not substantially alter the exterior features of an historic resource within an historic district.

In accordance with Chapter 24A-8(b)(2), the project will be compatible in character and nature with the historic district where decks and screened porches in the rear yards are common. The project will also meet *Standards* Nos. 2, 9, and 10 because the historic character of the property will be retained by the porch, deck, landing, and stairs; the work will not destroy the historic materials that characterize the property; and the form and integrity of the property will be unimpaired if the improvements are removed in the future.

Staff seeks a condition that the applicant submit specification sheets for all features, including the roof material, screens, and gutters and downspouts. Staff seeks a second condition that the applicant contact the City of Takoma Park Urban Forester; follow all recommendations and requirements; and forward the correspondence to staff.



Figure 2: The existing deck and stairs at the rear of 7305 Baltimore Ave.

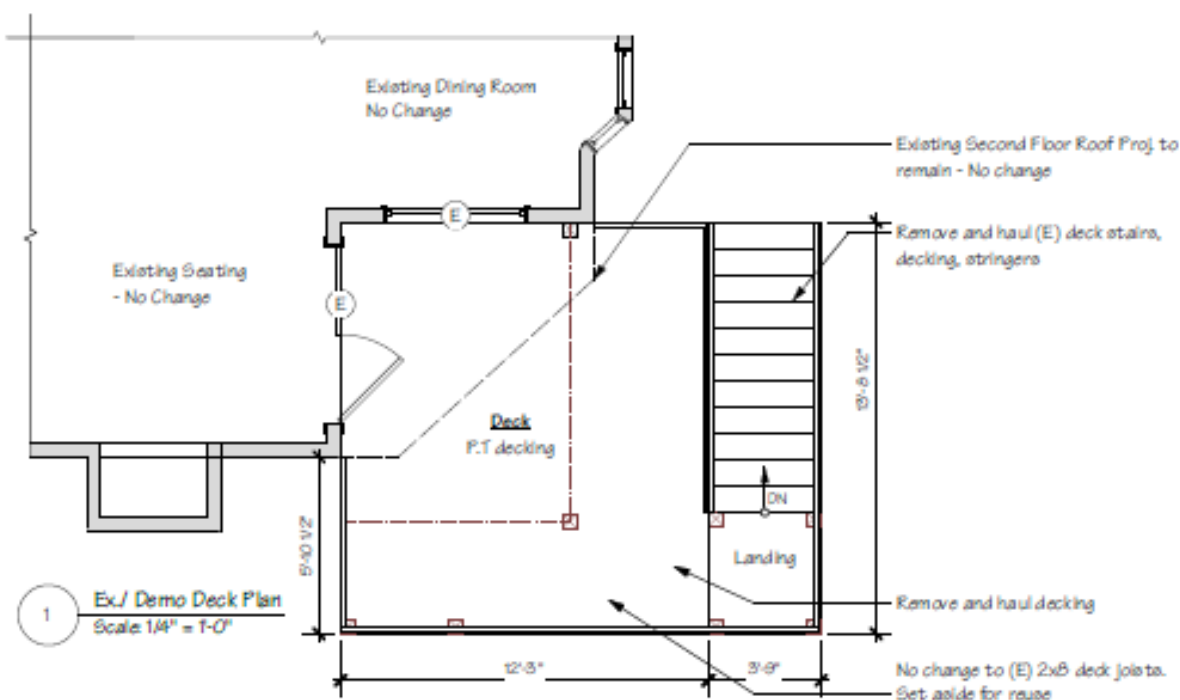


Figure 3: The plan for the existing deck, landing, and stair.

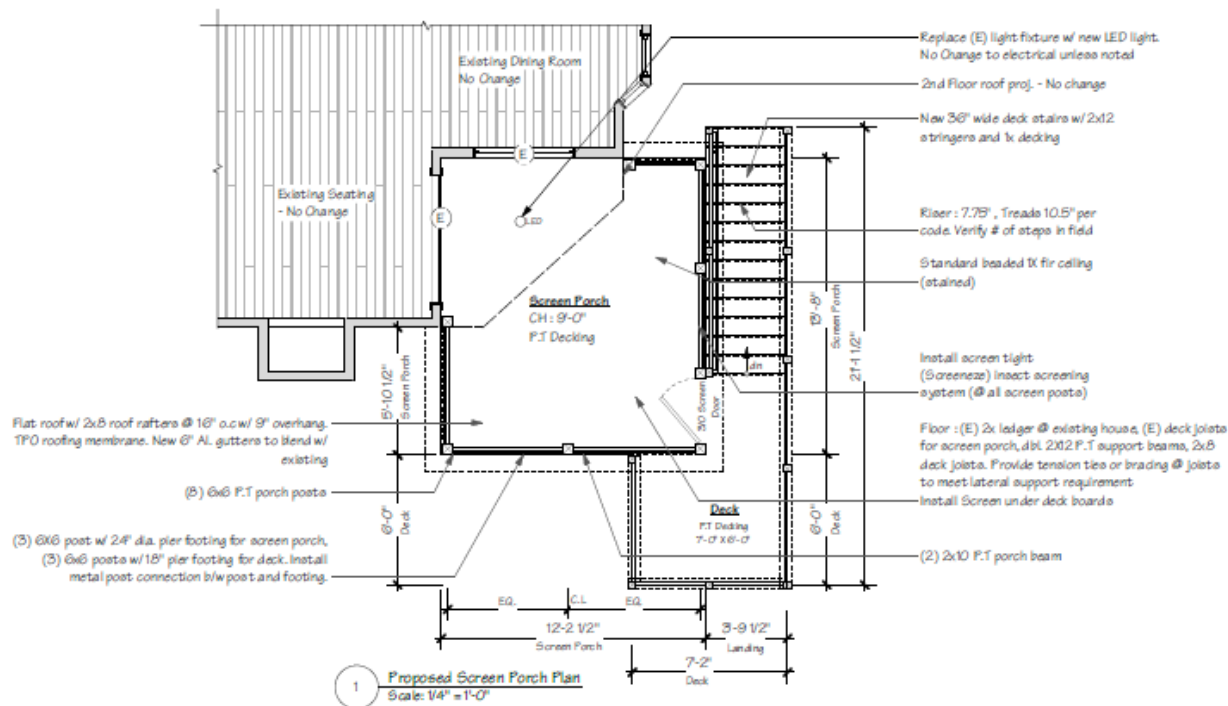


Figure 4: The proposed plan for the porch, deck, landing, and stair.

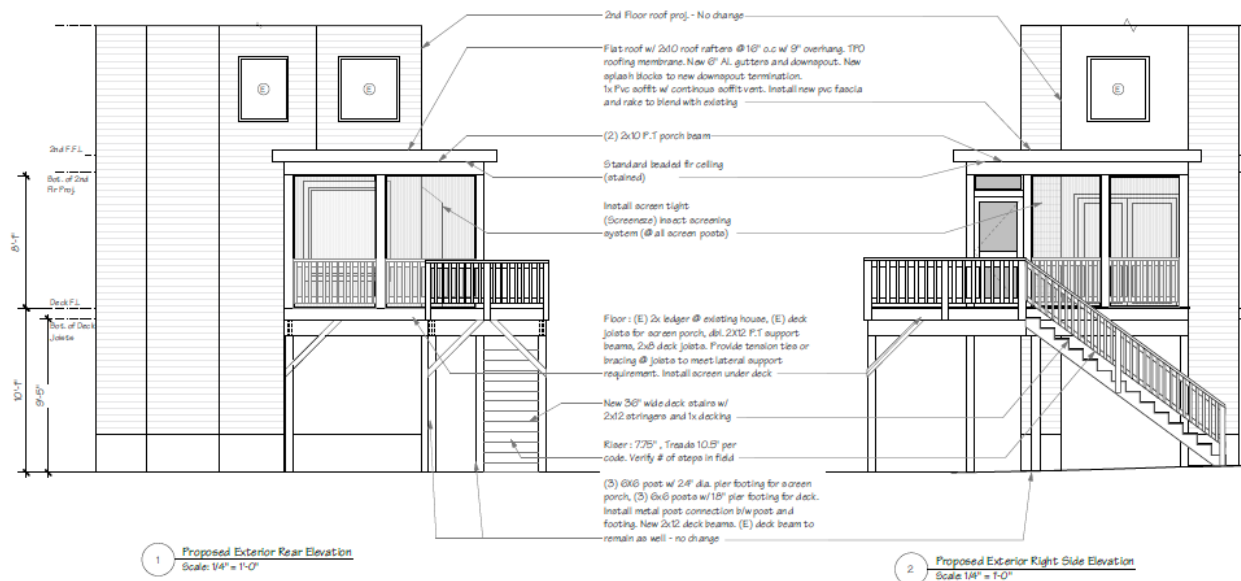


Figure 5: The proposed rear and right-side elevation.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with two conditions** the HAWP application;

1. The applicant shall submit specification sheets for all features, including the roof material, screens, and gutters and downspouts.
2. The applicant shall contact the City of Takoma Park Urban Forester; follow all recommendations and requirements; and forward the correspondence to staff.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior’s Standards for Rehabilitation* Nos. 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff’s discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Takoma Park Historic District

Address : 7305 Baltimore Ave, Takoma Park, MD

Owners : Roger McGary

SCOPE :

NO WORK AT THE FRONT OF THE HOUSE.

REMOVE EXISTING REAR DECK AND STAIRS (ABOVE '4'-0" HT.) AND BUILD NEW SCREEN PORCH AND STAIRS ON PIERS. EXISTING DECK AND SCREEN PORCH FOOTPRINT TO REMAIN SAME - NO CHANGE. ADD NEW 7'-0" X 6'-0" DECK ON PIERS, LANDING AND DECK STAIRS TO GRADE. NEW SCREEN PORCH, DECK AND STAIRS TO BE PRESSURE TREATED WOOD.

THE CHARACTER OF THE PROPOSED REAR SCREEN PORCH AND SMALL DECK IS SAME AS THE EXISTING DECK AND IS CONSISTENT WITH THE NEIGHBOURHOOD. NO NEIGHBORING PROPOERTY WILL BE IMPACTED. NO TREES OR LANDSCAPING WILL BE IMPACTED. PROPOSED PORCH AND DECK WILL NOT BE VISIBLE FOR ANY MAIN STREET. THE PROPOSED PORCH DOES NOT BLOCK LIGHT TO ANY OTHER STRUCTURE. THE PROPOSED PORCH WILL HAVE A FLAT ROOF W/ RAFTERS AND 1X FIR CEILING. THE GUTTERS AND DOWNSPOUTS WILL BLEND WITH THE EXISTING HOUSE TO REMAIN CONSITENT.

BLOCK : 78

LOT: 3

ZONE: R-60

HISTORIC DISTRICT : TAKOMA PARK HISTORIC DISTRICT

LOT AREA: 9000 SF

EXISTING LIVING AREA : 2120 SF

EXISTING 1ST FLOOR : 1739 SF

EXISTING FRONT PORCH: 200 SF

EXISTING REAR DECK: 181 SF

PROPOSED LIVING AREA: 2180 SF

EXISTING 1ST FLOOR : 1739 SF (NO CHANGE)

EXISTING FRONT PORCH: 200 SF (NO CHANGE)

PROPOSED REAR SCREEN PORCH: 181 SF (SAME FOOTPRINT AS EX. DECK)

PROPOSED REAR DECK AND LANDING : 60 SF

LOT COVERAGE (EXISTING): 23.5%

LOT COVERAGE (ALLOWED): 35%

LOT COVERAGE (PROPOSED): 24.2%

FRONT SETBACK (EXISTING/ PROPOSED) : 25'-0"

SIDE SETBACK (EXISTING/ PROPOSED): 17'-9"

REAR SETBACK (EXISTING): 85'-9"

REAR SETBACK (PROPOSED): 79'-6"

7305 Baltimore Ave, Takoma Park, MD

Historic District Review

Owner details :

Roger MCGary

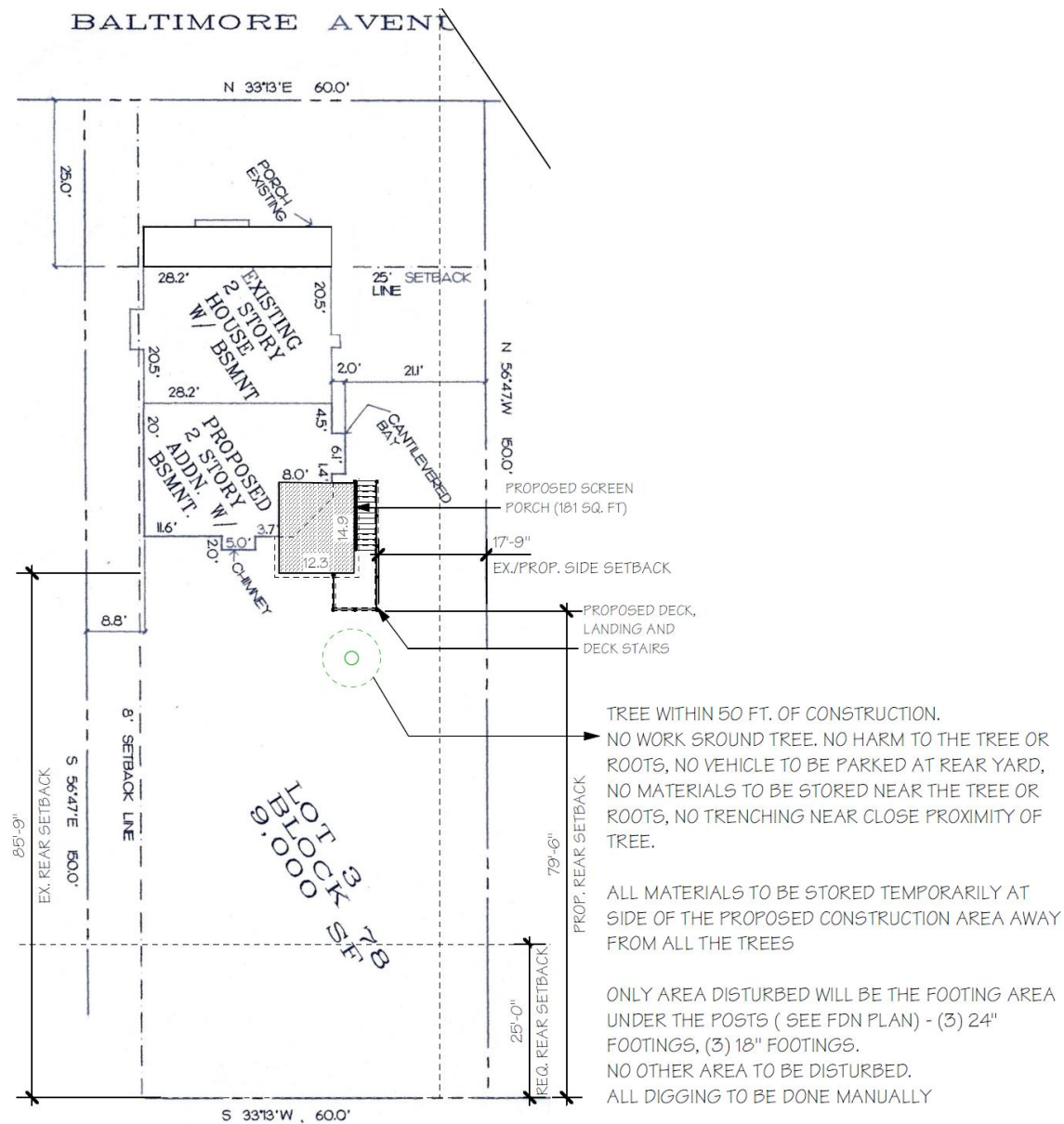
Address : 7305 BALTIMORE AVE
TAKOMA PARK 20912-4137

7305 Baltimore Ave, Takoma Park, MD

Scope : Proposed rear screen porch, deck and stairs

Material : Pressure treated decking, railing, posts and joists (consistent with existing structure)

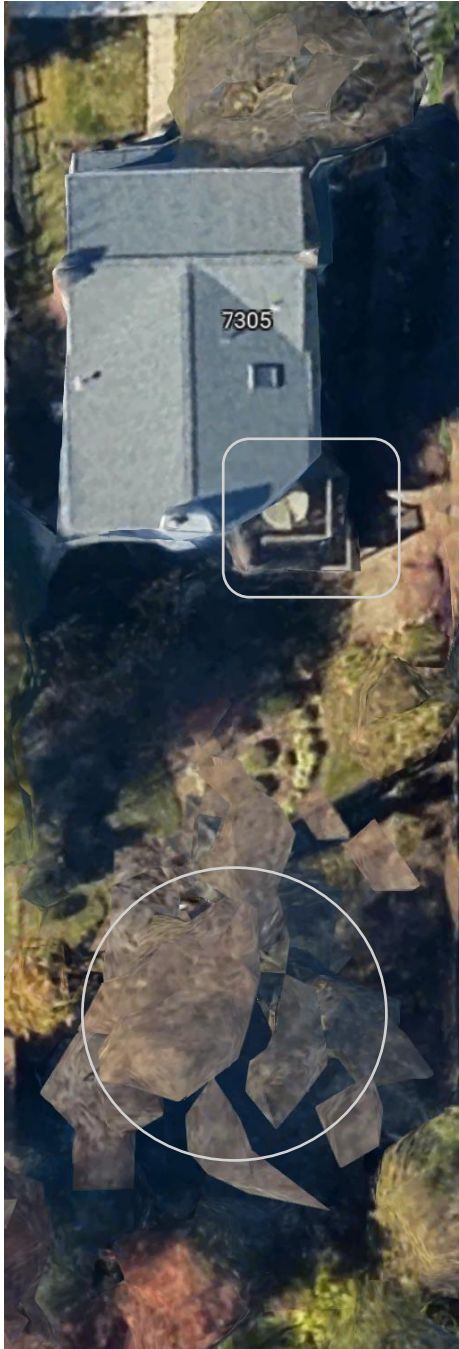
Tree Survey : No tree in close proximity of construction zone. Closest tree from the deck will be about 11'-0" (+/-). All structure is on piers (excavated 30" below grade), no harm to tree root or soil. No area other than footing will be disturbed for the construction and footing excavation will be done manually.





EXISTING DECK AND STAIRS TO BE CONVERTED TO SCREEN PORCH AND EXISTING TREE WITHIN 50 FT OF CONSTRUCTION. NO CHANGE OR HARM OF ANY SORT TO TREE OF ANY SORT
SCREEN PORCH AND DECK WILL BE ON PIERS (SEE PLANS) - FOOTING TO BE 30" BELOW GRADE.





Area of proposed work at rear

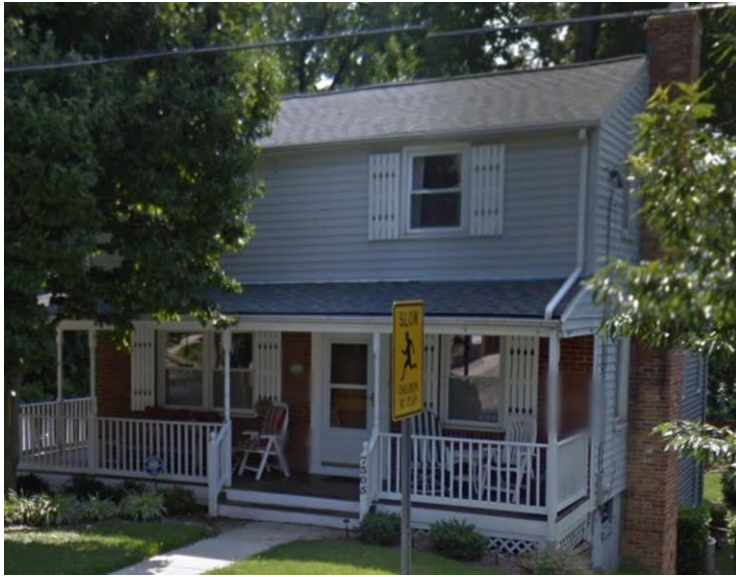
Tree on the property.

7305 Baltimore Ave, Takoma Park, MD

Scope : Proposed rear screen porch, deck and stairs

Material : Pressure treated decking, railing, posts and joists (consistent with existing structure)

Existing Pictures



Front of House : No change



Side View of existing Pressure treated wood deck and stairs- to be demo'ed. New P.T screen porch, deck, landing and stairs will be build in

place. Footprint of existing deck and screen porch to be same and location of stairs to be same as well.





Rear view of existing deck and underside joists.



PROJECT DATA :

SCOPE :
 NO WORK AT THE FRONT OF THE HOUSE.
 REMOVE EXISTING REAR DECK AND STAIRS (ABOVE '4'-0" HT.) AND BUILD NEW SCREEN PORCH AND STAIRS ON PIERS. EXISTING DECK AND SCREEN PORCH FOOTPRINT TO REMAIN SAME - NO CHANGE
 ADD NEW 7'-0" X 6'-0" DECK ON PIERS
 NEW DECK AND SCREEN PORCH TO BE PRESSURE TREATED WOOD

BLOCK : 78
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 ZONE: R-60
 HISTORIC DISTRICT : TAKOMA PARK HISTORIC DISTRICT
 LOT AREA: 9000 SF

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 EXISTING FRONT PORCH: 200 SF
 EXISTING REAR DECK: 181 SF

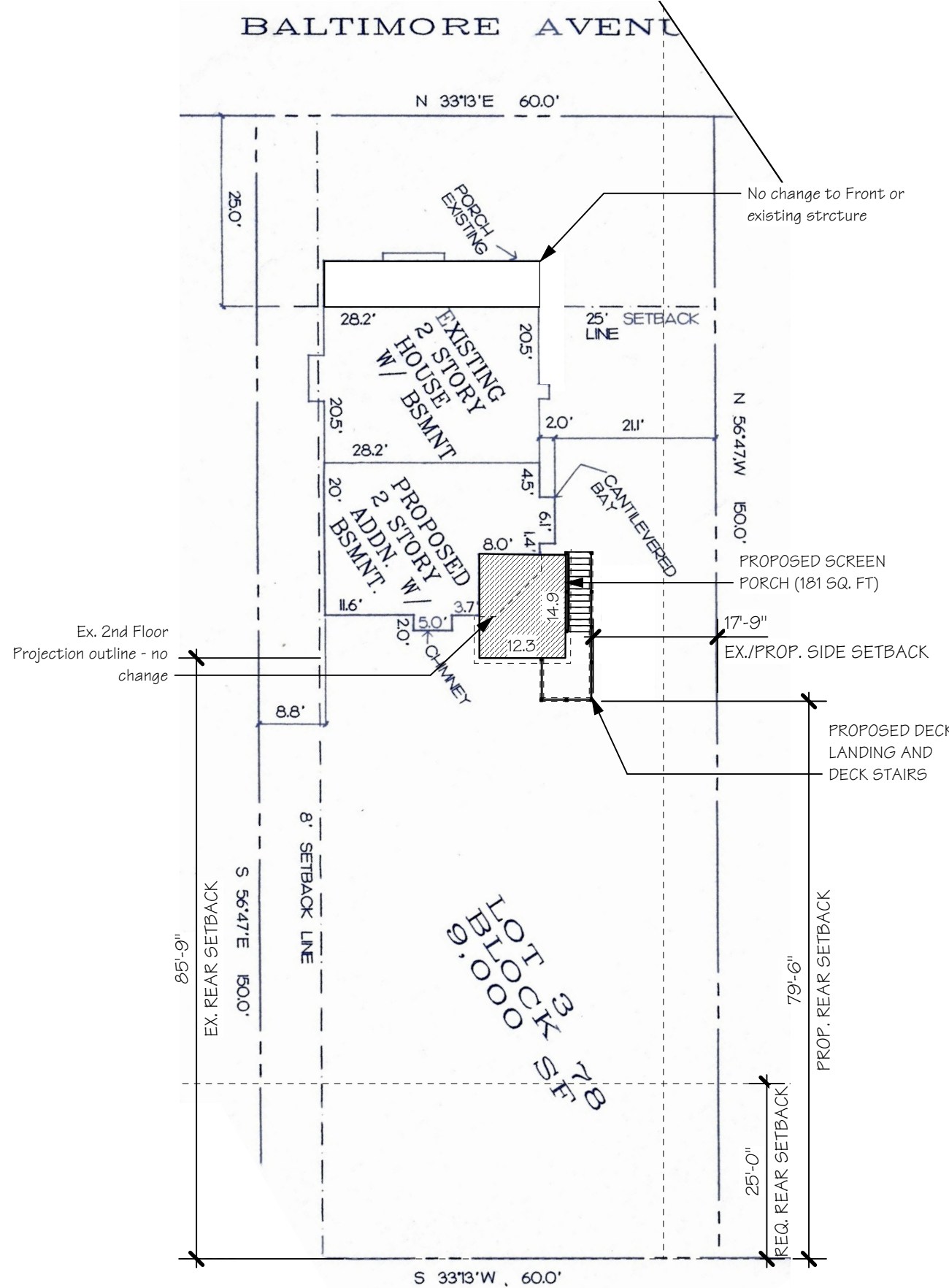
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REAR SETBACK (PROPOSED): 79'-6"



VICINITY MAP



1 ARCHITECTURAL SITE PLAN
 Scale: 1" = 20'-0"

Document Sheet Index

Sheet No.	Description
A01	Cover Sheet
A02	Ex./Demo Deck Plan and Rear Ele.
A03	Proposed Plan
A04	Proposed Exterior Elevations
TOTAL SHEETS	

APPLICABLE CODES

CODES DETAILS:
 - Plans conform with IRC 2018 and Maryland Building Rehabilitation Code (MBRC)
 - All wood in contact with soil or masonry foundations to be pressure treated-AC treated SYP or equivalent. All fasteners used with ACQ treated lumber will meet the ASTM standard A153 and A653, class 185.
 - All framing lumber to be SPF #2 unless indicated otherwise.

Design criteria used are as follows:
 - Roof load - 30 lbs/sf
 - Roof and floor dead load - 10 lbs/sf
 - Floor live load in non-sleeping areas - 40 lbs/sf
 - Floor live load in sleeping areas - 30 lbs/sf

- Climate Zone 4A
 - Seismic design category B
 - Termite damage subjectivity - Moderate to heavy
 - Subjectivity to damage from weather - severe
 - Subjectivity to decay - slight to moderate
 - Winter design temperature - 13 degrees F
 - Mean Annual Temperature - 55 degrees F
 - Air Freezing Index - 300
 - Ice Shield Underlayment Required: Yes
 - Wind speed - 115 mph
 - Frost line depth - 30"
 - Flood hazard - July 2, 1979

- Concrete - 3,000 psi compressive strength at 28 days
 - Subfloors - 3/4" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists
 - Roof sheathing - 1/2" OSB with spacers
 - Roofing - 215 lb per square asphalt shingles over 15 lb/ft.

Historic Area Work Permit

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY.

McGary - Cohen Residence
 Proposed Screen Porch Project
 7305 Baltimore Ave, Takoma Park, MD

Cover Sheet

Development: SN

Project No: 29-04-0087

Management: GP

Design: AL

Case Design/Modeling, Inc.
 4701 Sangamore Road
 North Plaza, Suite 40
 Bethesda, MD 20816
 (P) 301.229.4600
 (F) 301.229.3195

Case Architects & Remodelers
 Falls Church
 701 Park Avenue
 Falls Church, VA 22046
 (P) 703.241.2980
 (F) 703.554.0207

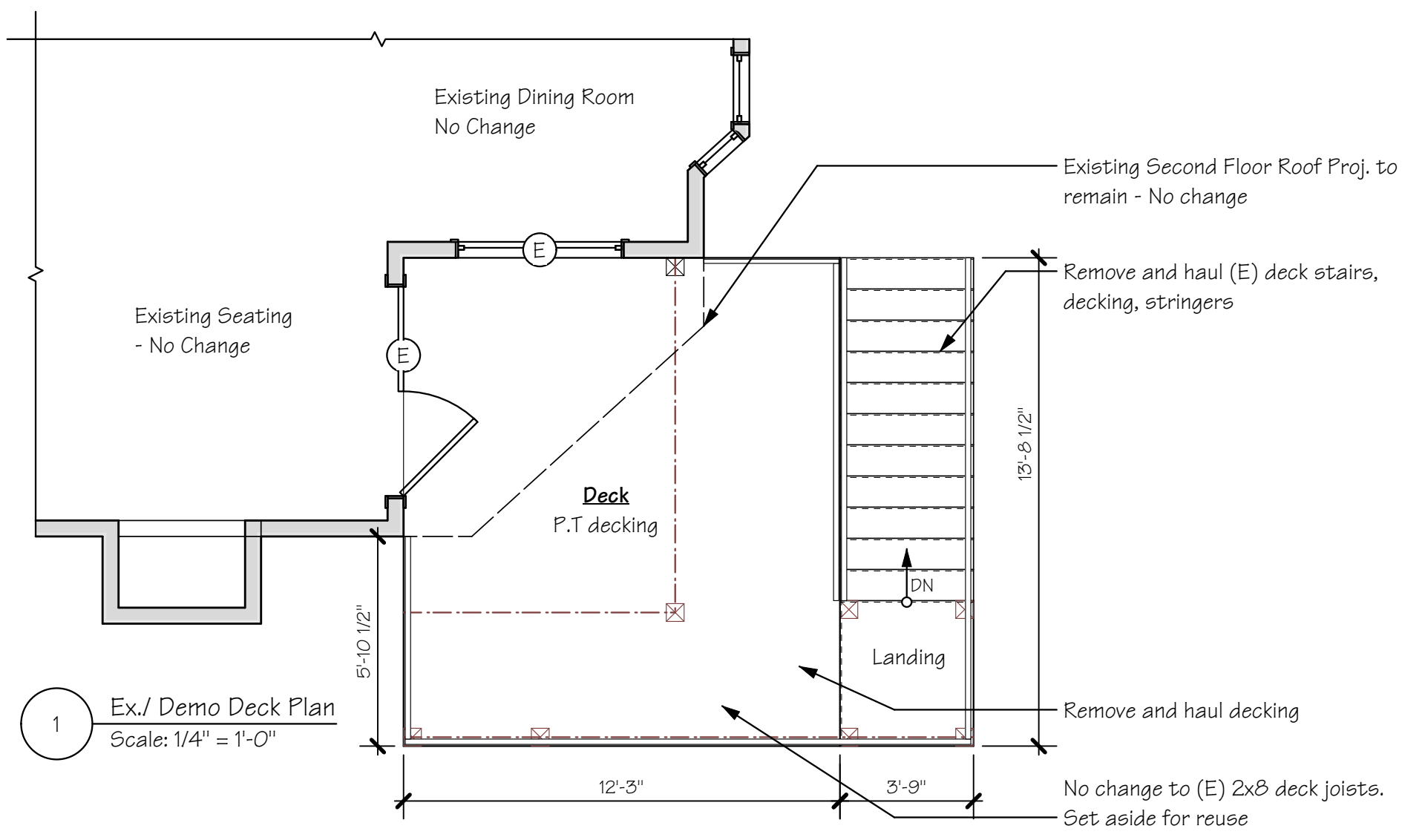
Alexandria
 119 N. Washington St.
 Alexandria, VA 22314
 (P) 703.000.0000
 (F) 703.000.0001

Washington, DC
 1327 14th Street NW
 Wash, DC 20005
 (P) 202.556.2273
 (F) 202.229.3195

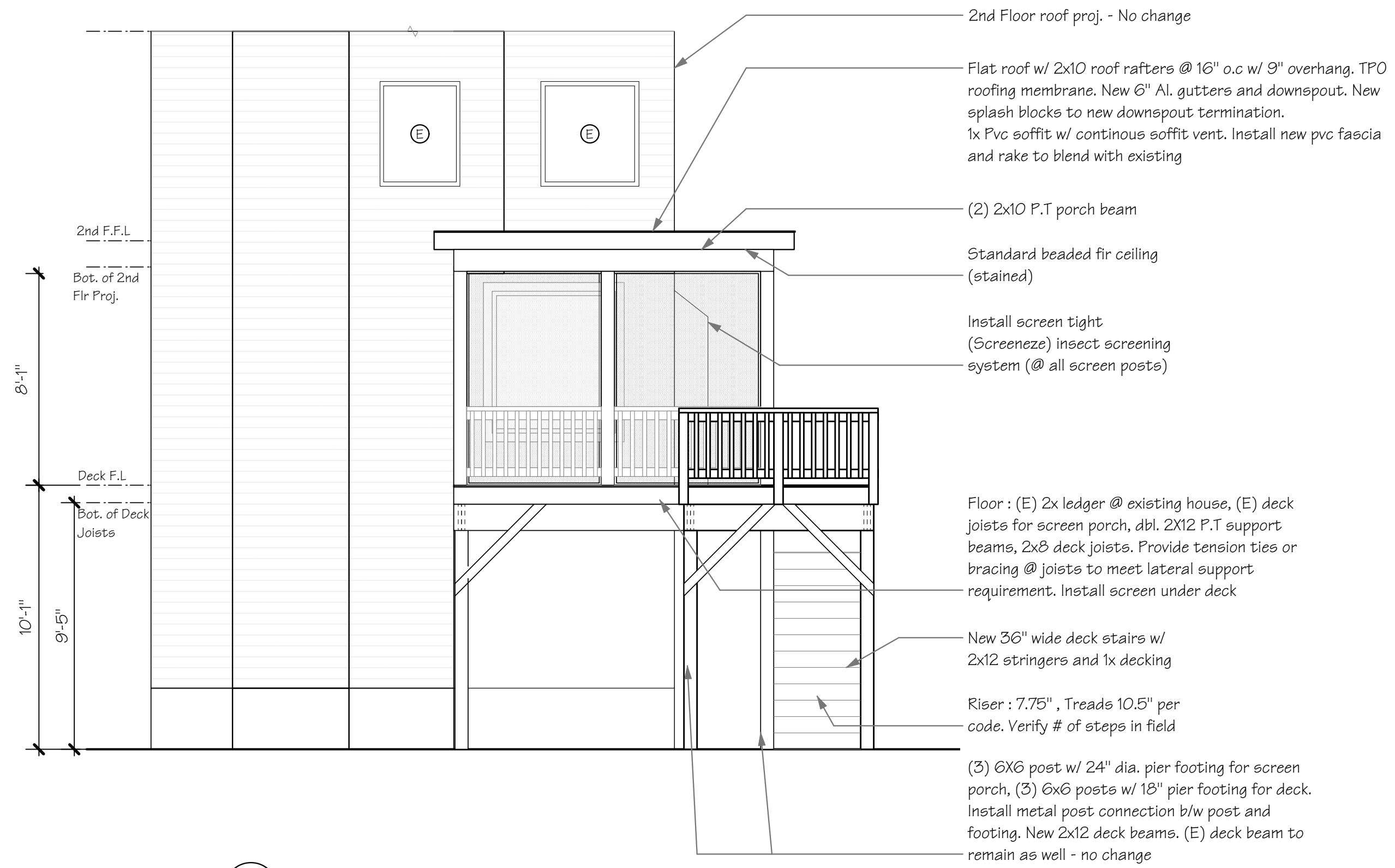
Drawing Log
 01/01/2022 - Measure

Date: 2/12/2024
Scale: 1/4" = 1'-0"

Sheet: A01
Of: X10



1 Ex./ Demo Deck Plan
Scale: 1/4" = 1'-0"



1 Proposed Exterior Rear Elevation
Scale: 1/4" = 1'-0"

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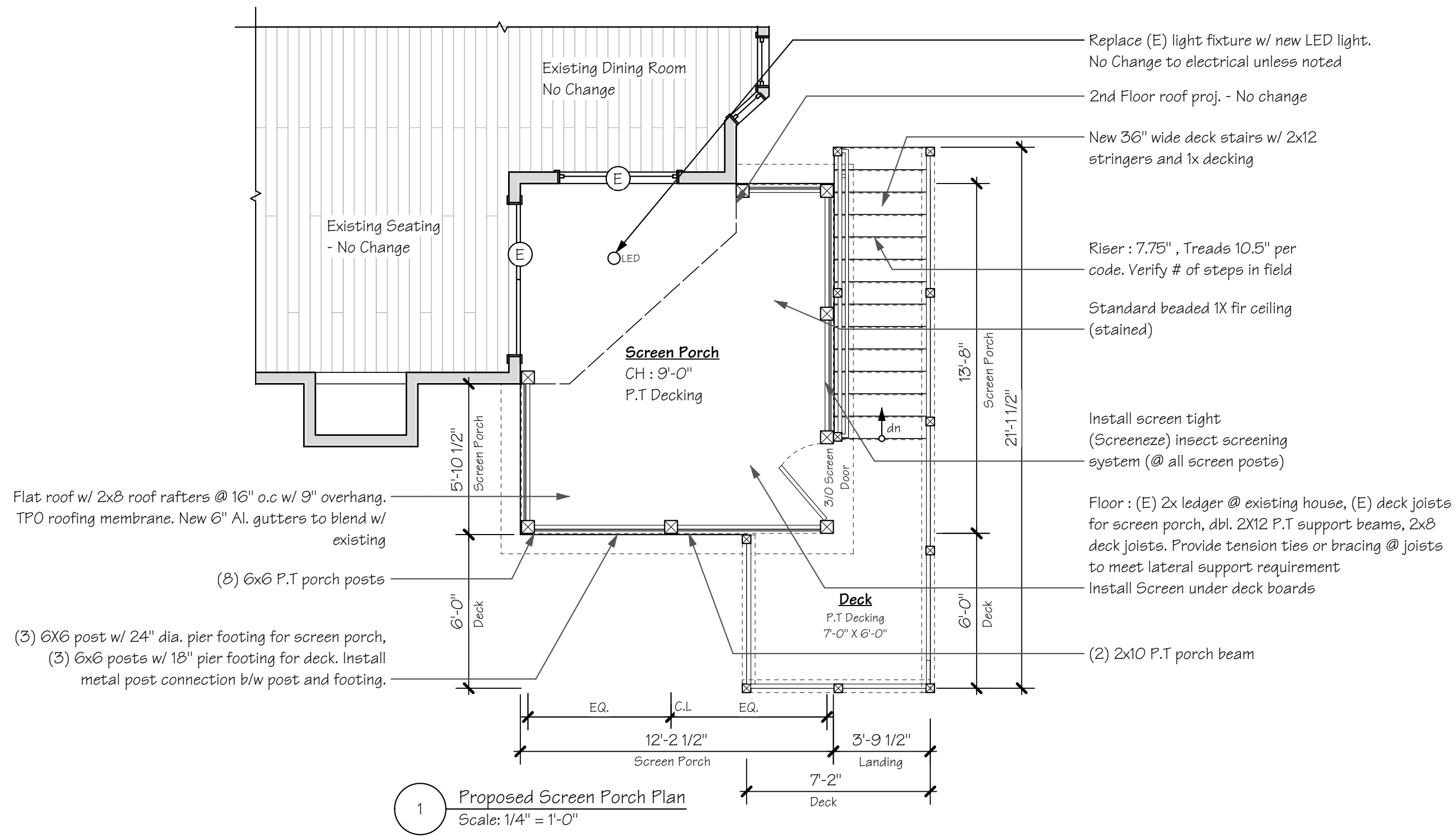
Project No: 29-04-0087	Development: SN	Design: AL	Management: GP
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McGary - Cohen Residence
Proposed Screen Porch Project
7305 Baltimore Ave, Takoma Park, MD

Ex./Demo Deck Plan and Rear Ele.

Drawing Log
01/01/2022 - Measure

Date: 2/12/2024	Scale: 1/4" = 1'-0"	Sheet: A02	Of: X10
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1 Proposed Screen Porch Plan
Scale: 1/4" = 1'-0"

Historic Area Work Permit

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Date: 2/12/2024
Scale: 1/4" = 1'-0"

Drawing Log
01/01/2022 - Measure

Sheet: A03
Of: X10

McGary - Cohen Residence
Proposed Screen Porch Project
7305 Baltimore Ave, Takoma Park, MD

Proposed Plan

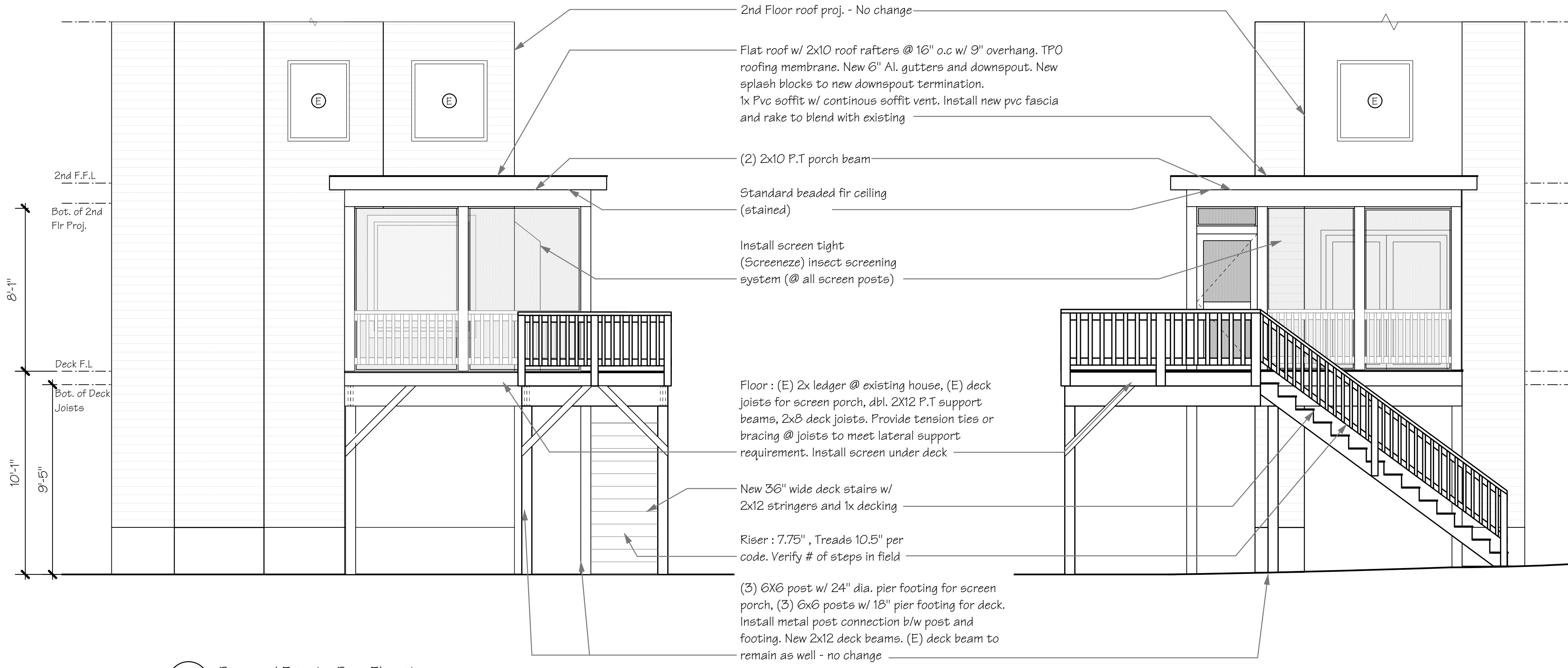
Project No: 29-04-0087	Development: SN	Design: AL	Management: GP
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CASE
Architects & Remodelers

Falls Church
701 Park Avenue
Falls Church, VA 22046
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Washington, DC
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Wash, DC 20005
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(F) 202.229.3195



1 Proposed Exterior Rear Elevation
Scale: 1/4" = 1'-0"

2 Proposed Exterior Right Side Elevation
Scale: 1/4" = 1'-0"

Historic Area Work Permit

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Project No:	29-04-0087	Design:	AL

McGary - Cohen Residence
Proposed Screen Porch Project
7305 Baltimore Ave, Takoma Park, MD
Proposed Exterior Elevations

Drawing Log

Date:	2/12/2024	Scale:	1/4" = 1'-0"
Sheet:	A04	Of:	X10
01/01/2022 - Measure			

Date:	2/12/2024	Scale:	1/4" = 1'-0"
Sheet:	A04	Of:	X10

From: [Avneet Luthra](#)
To: [Berger, Chris](#)
Subject: RE: 7305 Baltimore Avenue, Takoma Park (HAWP No. 1058866)
Date: Friday, February 16, 2024 4:21:33 PM
Attachments: [image001.png](#)
[image002.png](#)
[fb_1455e0b6-6250-4f29-b067-ac2d2fe5638e.png](#)
[tw_f20c36ce-043c-44c6-bece-ce5db4bf5837.png](#)
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[houzz_040a0d1e-fd57-4184-b449-97e1ac4c2aff.png](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Chris,

Thank you for taking out time to review the application.

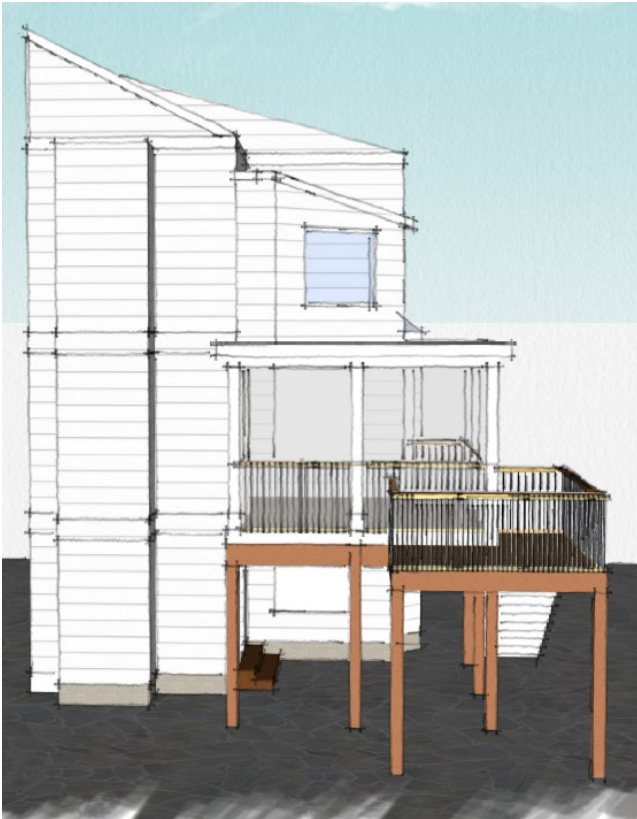
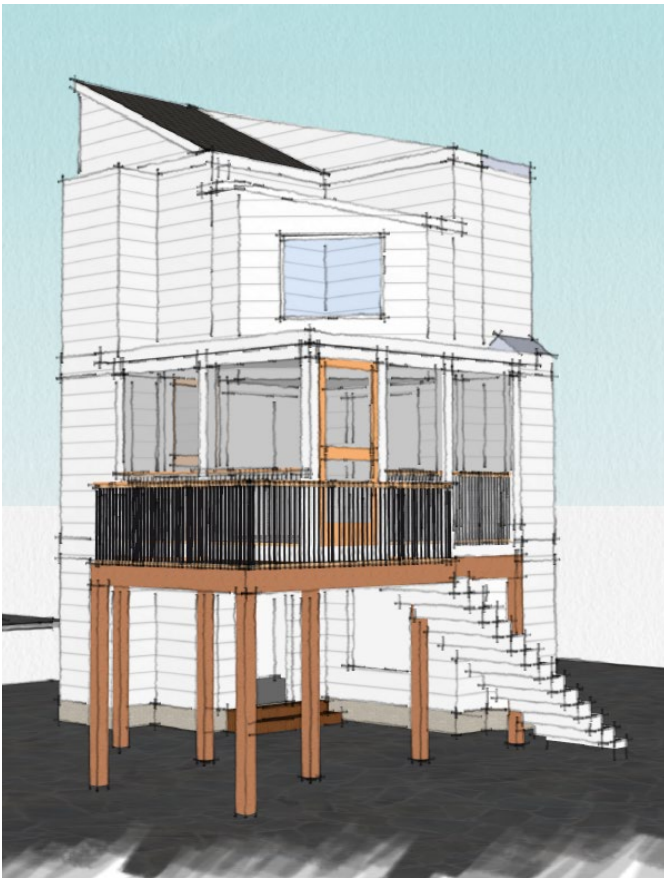
The porch will have a flat roof (slope $\frac{1}{4}$ " per sq. ft) because of the existing second floor projection not being symmetrical to porch footprint. We are keeping the existing footprint of the deck and will convert it into screen porch (with new structure). We wanted to keep the porch design and roof symmetrical to the existing projection and it was not balancing the elevation well with sloped roof because of angled wall/proj. on 2nd floor.

Also, There are few different roof pitches on the main roof already and adding another roof pitch would have created off balance to rear elevation. Flat roof balances the overall rear elevation.

The 2nd floor projection has a window so roof pitch for sloped roof would have been tricky as well.

We will be installing new gutters throughout the new porch and 2 new downspouts to splash block and flat roof will have a TPO membrane.

Please see below conceptual designs during the design development phase which shows flat roof and 2nd floor projection.



I'll let homeowners know about Feb 21st.

I hope I have explained as to why we designed flat roof. Feel free to call if its easier to discuss over phone.
My # 301.974.4742.
Please let me know if you need any additional information.

Thank you,
Avneet



Avneet Luthra, Associate AIA, UDCP | Designer - Architectural Specialist | www.casedesign.com
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From: Berger, Chris <Chris.Berger@montgomeryplanning.org>
Sent: Friday, February 16, 2024 3:51 PM
To: Avneet Luthra <aluthra@casedesign.com>
Subject: 7305 Baltimore Avenue, Takoma Park (HAWP No. 1058866)

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Hello,

This Historic Area Work Permit is scheduled for review at the March 6 Historic Preservation Commission meeting.

Can you please explain why the porch will have a flat roof? The commission members may question why the roof isn't sloped, so I'd like to include your justification in the staff report.

Also, I'd like to make a site visit the morning of Wednesday, Feb. 21. Please let the homeowner know I will be coming by. No need for anyone to be present; I just need to take photos of the existing yard.

Staff reports will be posted Feb. 28.

Chris Berger, AICP

Cultural Resources Planner III

Chris Berger Site Visit
2.27.24

