

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7328 Piney Branch Road, Takoma Park	Meeting Date:	3/6/2024
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	2/28/2024
Applicant:	Scott Plunkett and Jasleen Kaur (Eric Saul, architect)	Public Notice:	2/21/2024
Review:	HAWP	Tax Credit:	No
Permit Number:	1058872	Staff:	Chris Berger

PROPOSAL: Deck demolition, building addition, and deck construction

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with six conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall provide specifications for the door.
2. The windows shall be either wood or wood with aluminum cladding, and the grilles shall be either full divided lite or simulated divided lite with permanent exterior and interior grilles.
3. The applicant shall label the infill material below the windows on the rear elevation.
4. The applicant shall revise the existing south elevation to accurately show the existing deck stairs.
5. The applicant shall add the dimensions of the addition to the proposed floor plan.
6. The MDO paneling shall be painted.

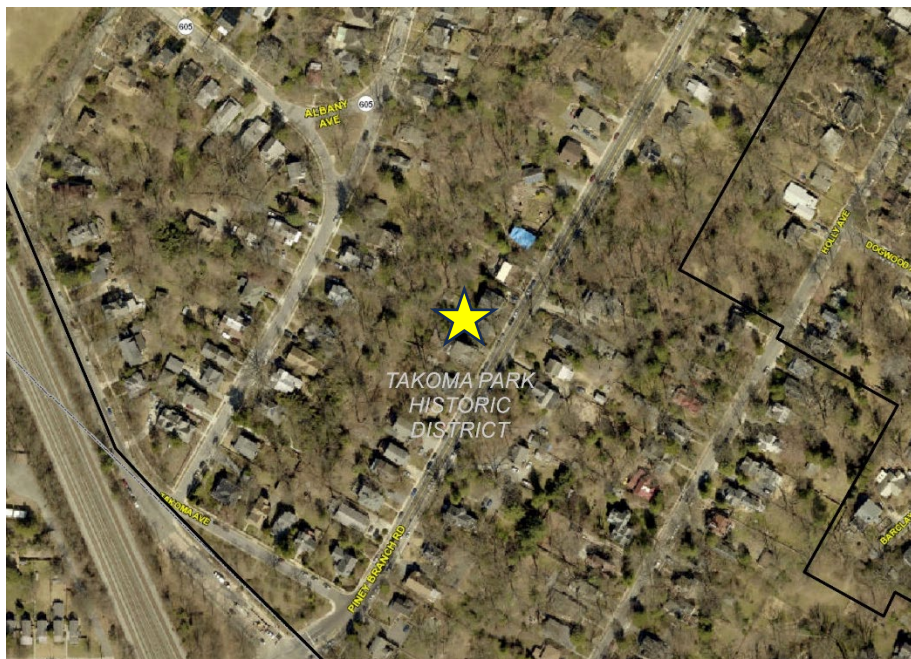


Figure 1. The subject property at 7328 Piney Branch Road in the Takoma Park Historic District is indicated with a star. The black line is the district boundaries.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman Bungalow
DATE: ca. 1910s

BACKGROUND

The HPC provided a preliminary consultation at its April 12, 2023, meeting for significantly larger two-story rear addition.¹ The HPC was supportive of the project and recommended the applicant return for a second preliminary consultation. The applicant has not pursued that proposal further.

PROPOSAL

The applicant described the project as follows:

Proposed is a small addition on the rear of the house to fill in the existing inset covered porch in order to expand the existing kitchen. The existing deck will be replaced and expanded. Also proposed are new windows and a new door leading onto the deck from the kitchen.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts that apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the historic district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

¹ The staff report for the preliminary consultations is available here: <https://montgomeryplanning.org/wp-content/uploads/2023/04/II.A-7328-Piney-Branch-Road-Takoma-Park-1025368.pdf>

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Some non-original building materials may be acceptable on a case-by-case basis. Artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance that pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed deck demolition, addition, deck construction, and new construction. The construction will be limited to the rear of the building, 80 feet from the right of way and be minimally visible to the public. The approximately 45-square-foot addition will be located within an existing covered porch. The 150-square-foot deck will be about 30 square feet larger than the existing and include a wraparound stair like the existing. It will extend farther into the yard than the current deck.

A window and door in the inner porch and a window on the outer wall will be removed to accommodate the addition, which will have an expanse of three windows and a door with plywood panels above each. The plans do not indicate the material below the windows, so staff seeks a condition stipulating that detail be added to the plans. The windows will be 6/1 double hung Andersen windows, with 7/8 grille widths. The window material and grille widths are not specified, so staff seeks a condition that the windows are either wood or wood with aluminum cladding and the grilles are either full divided lite or simulated divided lite with permanent exterior and interior grilles. Staff also seeks specifications for the proposed door; it is unknown if the existing door to the porch can be reused. The right-side elevation will be infilled with plywood panels. Staff seeks a condition that the panels are painted. The existing south elevation does not show the deck stairs, so staff seeks a condition the plan is corrected. Staff seeks a condition that the applicant add the dimensions of proposed addition to the plans.

In conformance with the *Guidelines*, the small addition will be limited to the rear elevation where it will be minimally visible from the right of way. The paneling and fenestration will differentiate the addition from the rest of the building and yet still be compatible to the resource the historic district. The new, larger deck will cover a minimal amount of additional open space in the rear yard.

In accordance with Chapter 24A-8(b), the addition will not substantially alter the exterior features of the historic resource and will be compatible in character and nature with the historic district where rear additions and decks are common. Chapter 24A-8(d) states that “the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” Staff does not find the project would seriously impair the historic or architectural value of the surrounding historic resources. The addition will also meet *Standards* No. 2, 9, and 10 because the historic character of the property will be

retained; the new addition will not destroy the historic materials that characterize the property; and the form and integrity of the property will be unimpaired if the porch is removed in the future.

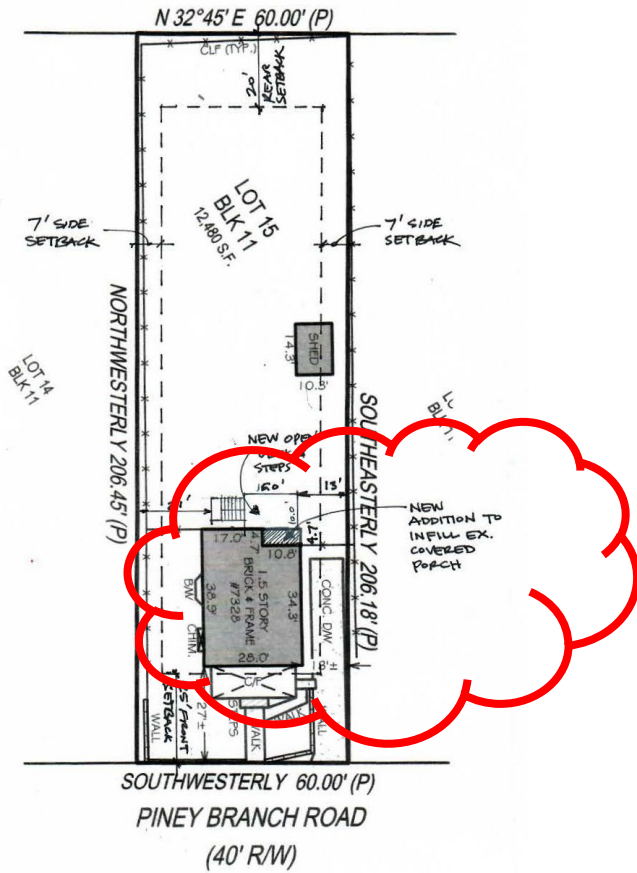


Figure 2: The site plan shows the location of the proposed work clouded in red.



Figure 3. The front elevation of the subject property.



Figure 4: The rear elevation of the subject property. The existing deck is to be removed and replaced with a new deck.



Figure 5: The kitchen will be extended to fill the area between the wall edge and the rectangular post.



Figure 6: The existing right-side elevation.



Figure 7: The proposed right-side elevation.



Figure 8: The existing rear elevation.



Figure 9: The proposed rear elevation.



Figure 10: The existing left-side elevation. Note the elevation does not show the existing deck stairs.



Figure 11: The proposed left-side elevation.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the conditions, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with *Standards* Nos. 2, 9, and 10 and the *Takoma Park Historic District Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with six conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall provide specifications for the door.
2. The windows shall be either wood or wood with aluminum cladding, and the grilles shall be either full divided lite or simulated divided lite with permanent exterior and interior grilles.
3. The applicant shall label the infill material below the windows on the rear elevation.
4. The applicant shall revise the existing south elevation to accurately show the existing deck stairs.
5. The applicant shall add the dimensions of the addition to the proposed floor plan.
6. The MDO paneling shall be painted.

the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2), and Chapter 24A-8(d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* Nos. 2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Scott Plunkett and Jasleen Kaur E-mail: scottplunkett.ltd@gmail.com
Address: 7328 Piney Branch Road City: Takoma Park, MD Zip: 20912
Daytime Phone: 202-415-3961 Tax Account No.: 01058197

AGENT/CONTACT (if applicable):

Name: Eric Saul E-mail: eric@saularchitects.com
Address: 8114 Carroll Avenue City: Takoma Park, MD Zip: 20912
Daytime Phone: 714-553-1750 Contractor Registration No.: n/a

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? X Yes/District Name Takoma Park
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7328 Street: Piney Branch Road
Town/City: Takoma Park, MD Nearest Cross Street: Takoma Avenue
Lot: 15 Block: 11 Subdivision: 0025 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Eric C. Saul

2/13/24

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

7328 Piney Branch Road
Takoma Park, MD 20912

Owner's Agent's mailing address

8114 Carroll Avenue
Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses

7330 Piney Branch Road
Takoma Park, MD 20912

7324 Piney Branch Road
Takoma Park, MD 20912

7329 Piney Branch Road
Takoma Park, MD 20912

7319 Baltimore Ave
Takoma Park, MD 20912

7327 Baltimore Ave
Takoma Park, MD 20912

7325 Baltimore Ave
Takoma Park, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing property is a historic craftsman style bungalow located in the Takoma Park historic district. The property slopes steeply towards the rear where there is a walk-out basement condition.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Proposed is a small addition on the rear of the house to fill in the existing inset covered porch in order to expand the existing kitchen. The existing deck will be replaced and expanded. Also proposed are new windows and a new door leading onto the deck from the kitchen.

Work Item 1: Rear Addition

Description of Current Condition:

Inset covered porch

Proposed Work:

New addition to expand kitchen

Work Item 2: New Deck

Description of Current Condition:

Existing pressure treated deck

Proposed Work:

New 10' x 15' pressure treated deck

Work Item 3: _____

Description of Current Condition:

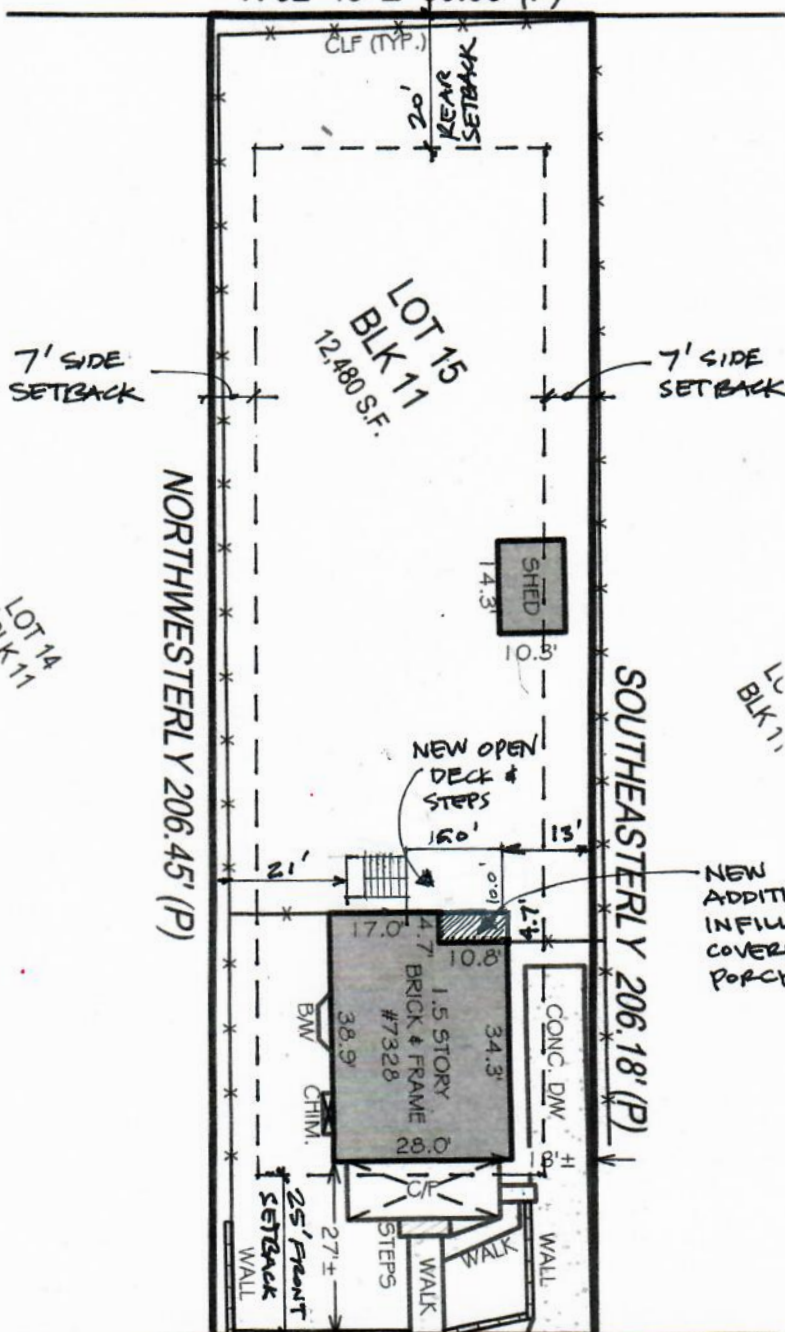
Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

LOT 9A

N 32°45' E 60.00' (P)



LOT 14
BLK 11

LOT 16
BLK 11

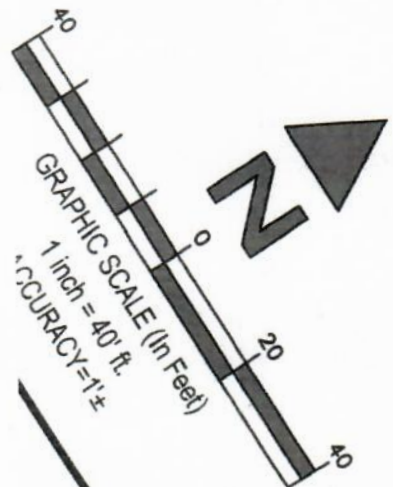
NORTHWESTERLY 206.45' (P)

SOUTHEASTERLY 206.18' (P)

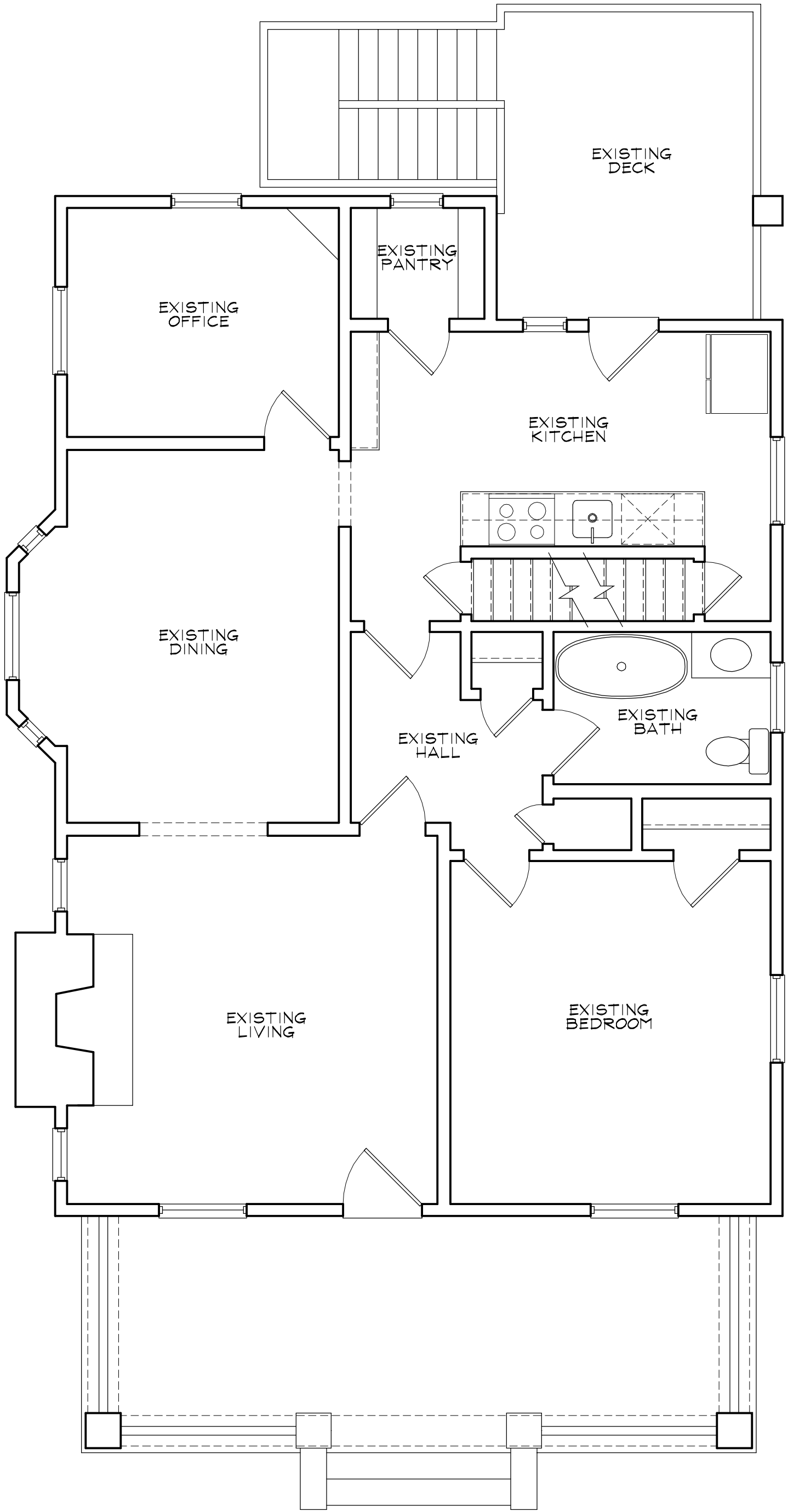
SOUTHWESTERLY 60.00' (P)

PINEY BRANCH ROAD

(40' R/W)



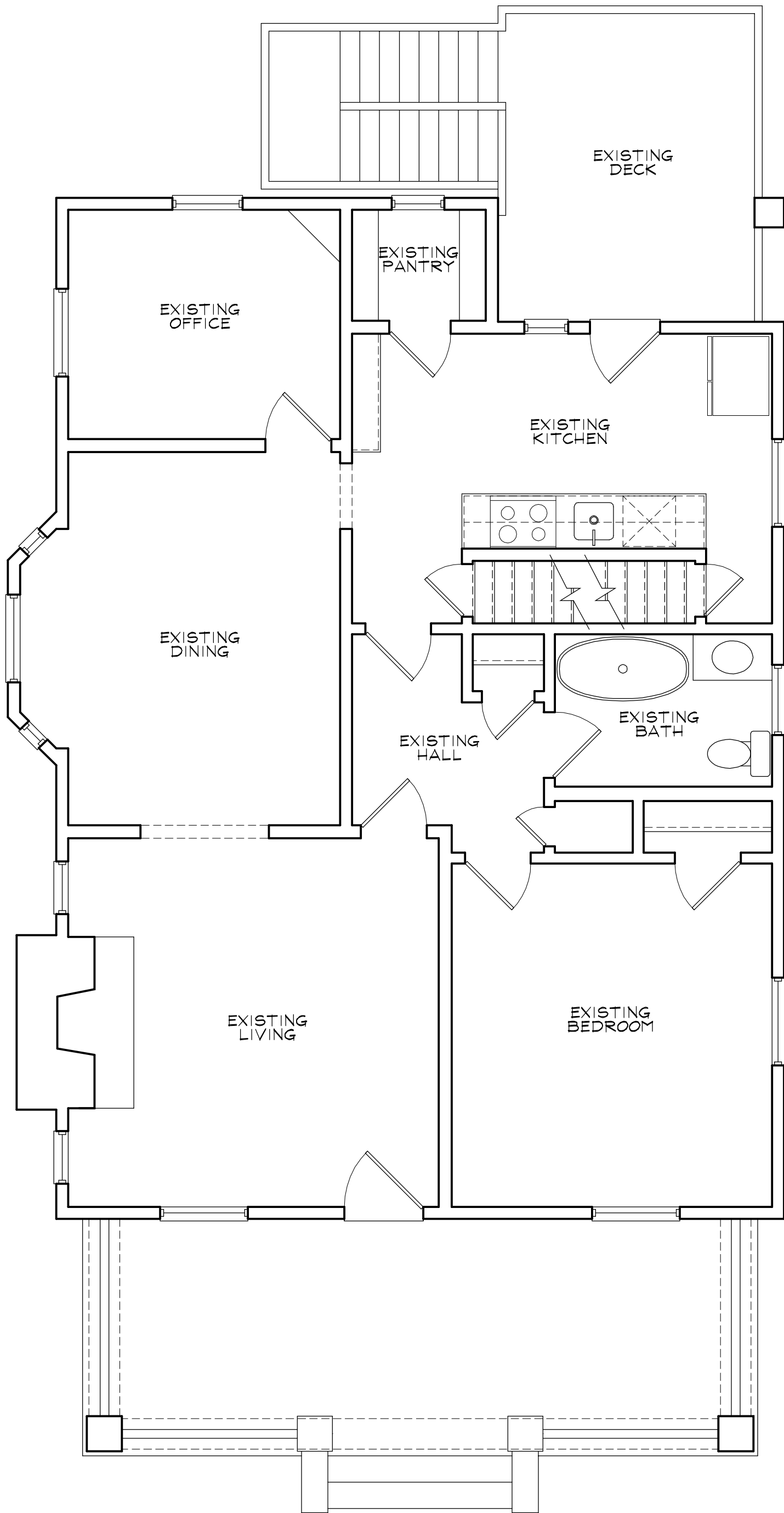
POINTS OF INTEREST
NONE VISIBLE



1
A1

EXISTING/DEMO FIRST FLOOR PLAN

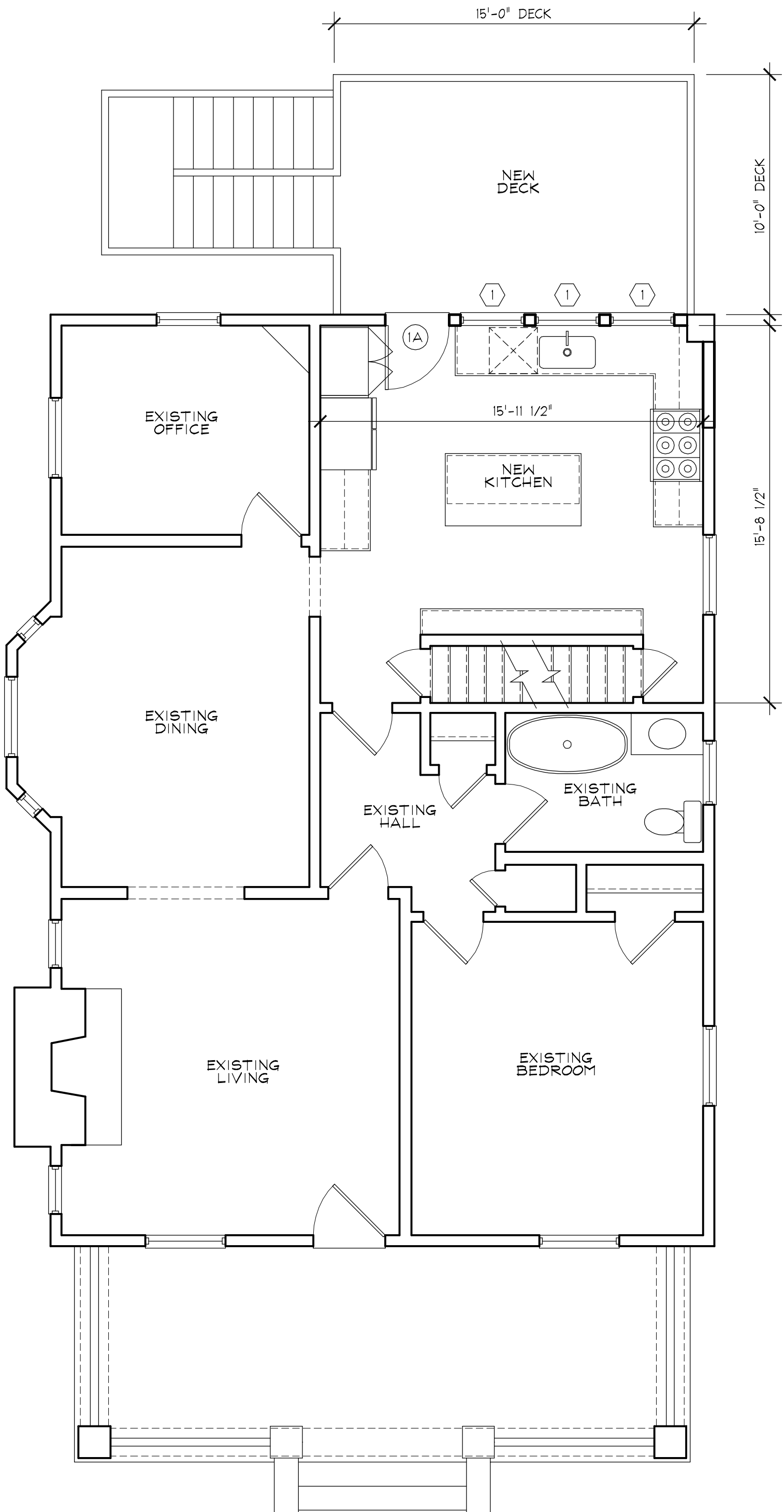
1/4" = 1'-0"



1
A1

EXISTING/DEMO FIRST FLOOR PLAN

1/4" = 1'-0"



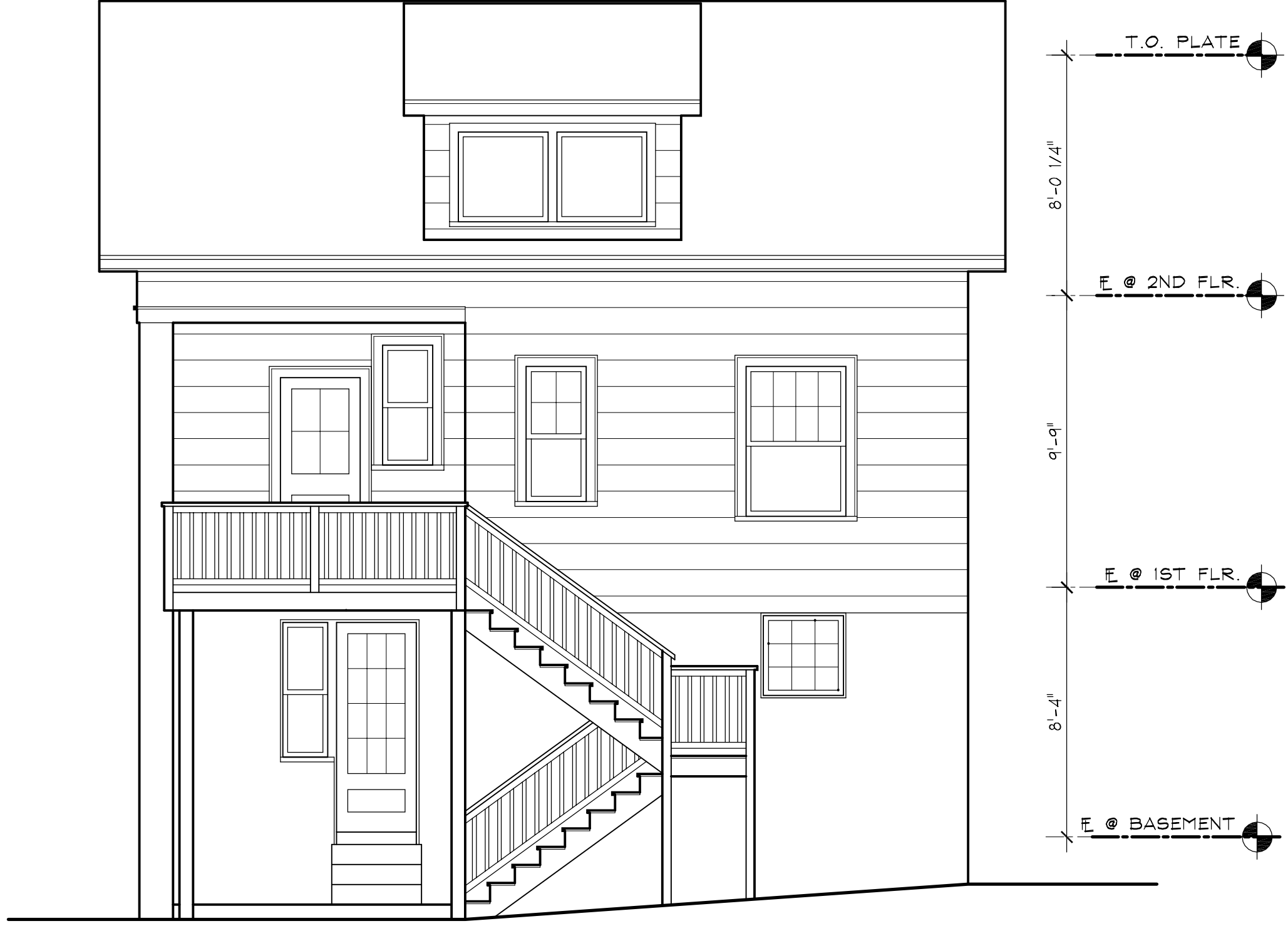
1
A1.1

PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"



2
EXISTING SIDE (NORTH) ELEVATION
A2
1/4" = 1'-0"

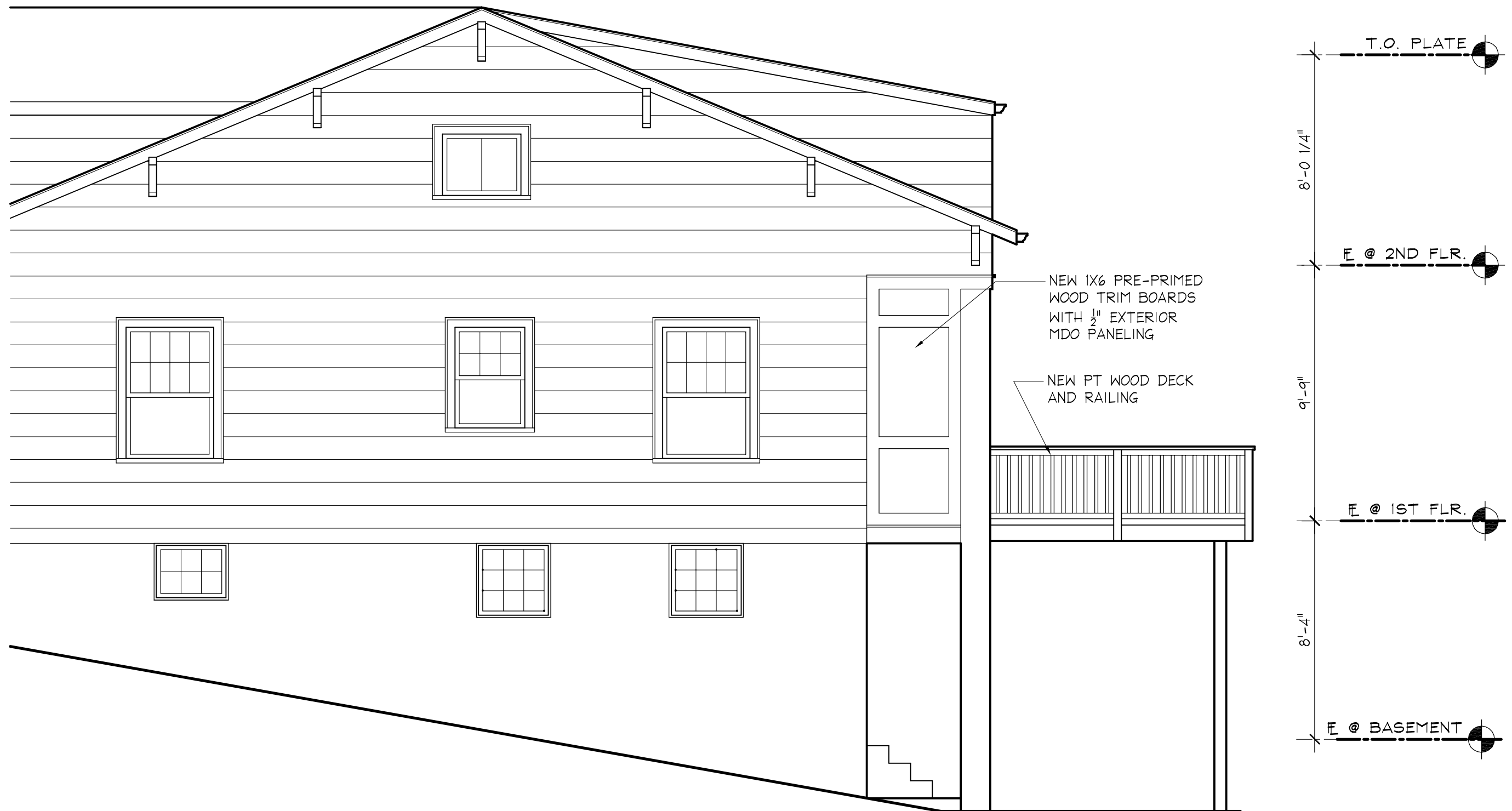


1
EXISTING REAR ELEVATION
A2
1/4" = 1'-0"



3
 A2

EXISTING SIDE (SOUTH) ELEVATION
 1/4" = 1'-0"



2
 A2

 PROPOSED SIDE (NORTH) ELEVATION
 1/4" = 1'-0"



1
A2
PROPOSED REAR ELEVATION
1/4" = 1'-0"

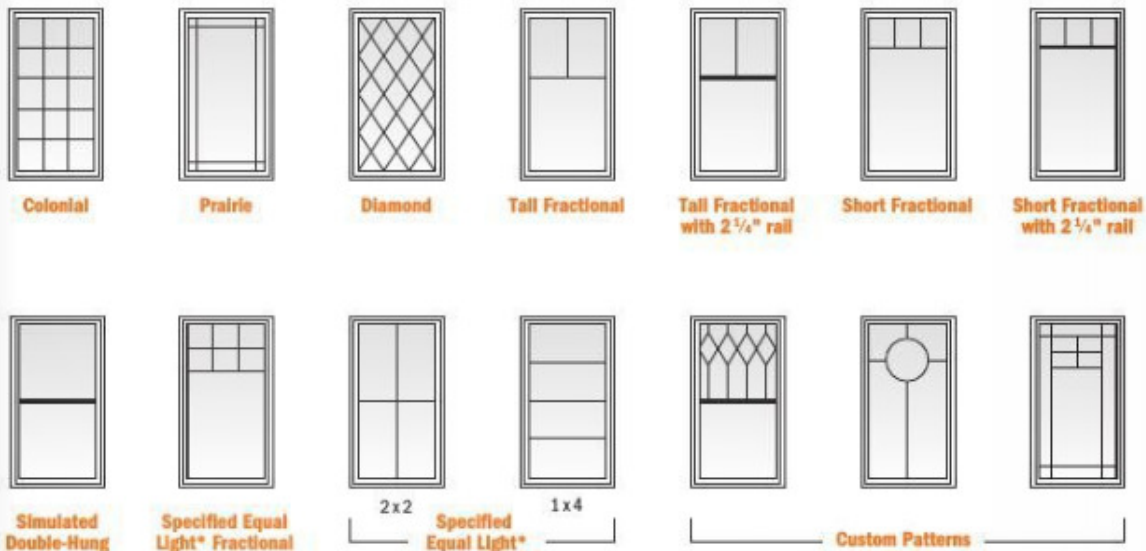


3 PROPOSED SIDE (SOUTH) ELEVATION
 A2 1/4" = 1'-0"

GRILLE OPTIONS

With Andersen, you'll find grille patterns, widths and configurations to fit any architectural style or the taste of any homeowner. If you're replacing windows and doors, we can match virtually any existing grille. We'll even work with you and your customers to create custom patterns.

Note: Some grille patterns not available in all configurations and products.



Our 2 1/4-inch-wide grille can make a casement window look like a double-hung.

Contact your Andersen supplier for your custom needs.

To see all of the standard patterns available for a specific window or door, refer to the detailed sections in this book for each product or contact your Andersen supplier.

GRILLE CONFIGURATIONS

Full Divided Light

For an authentic look, full divided light grilles are permanently applied to the interior and exterior of the window with a spacer between the glass.



Permanent Exterior
Permanent Interior
with Spacer

Simulated Divided Light

Simulated divided light offers permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles in natural wood or prefinished white.



Permanent Exterior
Permanent Interior
Permanent Exterior
Removable Interior

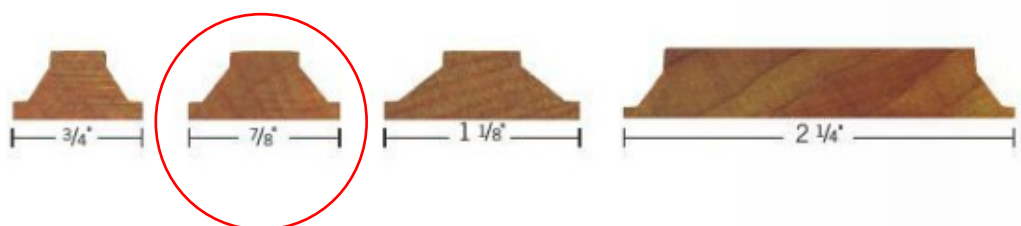
Convenient Cleaning Options

Removable interior grilles come off for easy cleaning. Andersen® Finelight™ grilles are installed between the glass panes and feature a contoured 1" or 3/4" profile.



Removable
Interior Grille
Finelight™ Grilles-
Between-the-Glass

Grille Widths (actual size shown)



*Specify number of same-size rectangles across or down. 11





7
3
2















7
3
2
8