

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	17715 Meeting House Road, Sandy Spring	<b>Meeting Date:</b>	3/6/2024
<b>Resource:</b>	<b>Sandy Spring Meeting House</b> (Master Plan Historic Site 28/011-001A) <b>Sandy Spring Historic District</b> (Master Plan Site No. 28/11)	<b>Report Date:</b>	2/28/2024
<b>Applicants:</b>	Sandy Spring Monthly Meeting (Miche Booz, architect)	<b>Public Notice:</b>	2/21/2024
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Permit No.:</b>	1057575	<b>Staff:</b>	Chris Berger
<b>Proposal:</b>	Porch alterations		

**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve with five conditions** the HAWP application with final review and approval of all details delegated to staff:

1. The applicant shall provide staff with a detail for the stone stairs to be installed at the front porch along Meeting House Road to replace the concrete steps and stair.
2. The proposed alterations to Meeting House Road are not approved and shall be reviewed as part of a separate HAWP after approval from the Montgomery County Department of Transportation and Rustic Roads Advisory Committee.
3. The applicant shall provide staff with specifications for the railings, stone stair threads, standing seam roof, and brick pavers.
4. The replacement standing seam roof shall closely match the existing in design and seam width. Snowbirds shall also be installed on the new roof.
5. The applicant shall provide staff with plans for the replacement pipe railings to be installed at the north end of the front porch.



**Figure 1: The Sandy Spring Meeting House is indicated with a gold star. It is both a Master Plan Historic Site, with boundaries in red, and part of the Sandy Spring Historic District with boundaries in black.**

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Sandy Spring Meeting House Master Plan Historic Site and Sandy Spring Historic District  
**STYLE:** Federal  
**DATE:** 1817

Excerpt from *Places from the Past*:

The Sandy Spring Meeting House, the third on the site, is a brick building, built in 1817. Typical of Quaker meeting houses, the Sandy Spring Friends Meeting House has a rectangular form with two front entrances, is simple in design, yet made of high quality materials. According to tradition, the bricks were made at a nearby farm and laid by mason William W. Farlin. Woodworker Mahlon Chandlee built the hardwood benches that grace the modest interior. In the adjacent cemetery, simple markers identify the Quaker graves.

**PROPOSAL**

According to the applicant, they seek to repair the porch to extend its life and to improve accessibility at the Meeting House. The following alterations are proposed:

1. Replacement of the concrete steps and stair at the front porch along Meeting House Road.
2. Replacement of the front porch's roof.
3. Construction of a deck to link the front and south porches and new stair at the south porch.
4. Replacement of concrete pad and concrete stairs at the north end of the front porch.

The applicant also proposes to replace the rough white oak decking; replace any rotted porch joists and beams, and splicing in new column bases at the base of two columns. All this work is considered repair and not subject to a HAWP.

### **APPLICABLE GUIDELINES:**

In accordance with Section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses Section 24A-8 of the Montgomery County Code (Chapter 24A), *the Secretary of the Interior's Standards for Rehabilitation (Standards of Rehabilitation)*, and pertinent guidance in applicable master plans. In this case, the *Sandy Spring/Ashton Master Plan (Master Plan)*, approved and adopted in 1998.<sup>1</sup> The *Sandy Spring Rural Village Plan*,<sup>2</sup> approved and adopted in 2015, is limited amendment to the 1998 *Master Plan*. The pertinent information in these documents is outlined below.

#### ***Montgomery County Code Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

#### ***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features,

<sup>1</sup> The Sandy Spring/Ashton Master Plan is available here: <https://montgomeryplanning.org/wp-content/uploads/2016/09/SandySpring-AshtonMasterPlan1997ocr300.pdf>

<sup>2</sup> Sandy Spring Rural Village Plan is available here: <https://www.montgomeryplanning.org/community/sandyspring/documents/FinalApprovedandAdoptedSandySpringRuralVillagePlan.pdf>

which convey its historical, cultural, or architectural values.” The *Standards of Rehabilitation* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

***Sandy Spring/Ashton Master Plan (Approved and Adopted in 1998)***

In the “Highlights” chapter, on Page xii under “Rural Character,” it reads as follows:

Sandy Spring/Ashton's special character has been shaped by the land, the buildings, and, most importantly, the community. The Friends Meeting House, the Brooke Road/Chandlee Mill Road neighborhood and century-old farms all continue a sense of tradition and community that began in the 1700's.

In the “Rural Traditions” chapter the text after the subheadline Rural Traditions on Page 10 reads as follows:

Sandy Spring/Ashton is one of the most historic areas in Montgomery County. Early nineteenth century farms that have remained in the same families for generations. The most significant collection of buildings, sites, and farmsteads which typify Sandy Spring/Ashton's rural heritage are located south of MD 108. They include the Sandy Spring Friends Meeting House, built in 1817, and the Friends Community House. The Friends Community House, built in 1858, was the cultural and social center of Sandy Spring and continues today in that same tradition. At the end of Meeting House Road is the original spring from which Sandy Spring obtained its name. More than 200 years after settlement of the area, fresh clear water still flows. The surrounding land has been continuously farmed by the Stabler family since those early days. Other important sites include historic Woodlawn Manor, the Auburn Farm homestead, Harewood, is associated with two prominent Quaker families of the area, the Stablers and Brookes, and more recently with Dean Acheson, a cabinet member for Presidents Truman and Roosevelt.

This assemblage of historic buildings and rural setting embody the cultural, historic and rural traditions of Sandy Spring/Ashton. This is why this Plan places special emphasis on protection and preservation. A rustic trail, the Rural Legacy Trail, following an existing stream and farm road is proposed through this special area. Scenic views from the proposed trail are identified and recommended for protection.

On Page 18, the Meeting House is listed on a table titled “Special Features of the Rural Legacy Area”:

The Sandy Spring Friends Meeting House, Cemetery and Community House - This Friends Meeting House is grounded in history and continues today. The Community House is used for teaching. The small cemetery joins it to the Meeting House.

The *Sandy Spring Rural Village Plan*, approved in 2015, recommended the retention of the Sandy Spring Historic District. It also recommended for upgrading Meeting House Road from a rustic road to an exception rustic road and noted the connection between the Sandy Spring Meeting House to the road and the views of the building as one of the significant features along the road.

**STAFF DISCUSSION:**

**1. Replacement of the concrete steps and stair at the front porch along Meeting House Road**

Staff supports replacement of the concrete steps and stairs with concrete steps with stone threads at the front porch along Meeting House Road and recommends approval (*Figures 2-4*). There currently are a pair of approximately 12-foot long single steps to either side of the approximately 8-foot long concrete central stair. The central stair has two threads and two risers symmetrically placed between two porch columns. The applicant will replace all the concrete steps and stair with concrete stairs topped with 6-by-12-inch flagstone. Staff seeks a condition that the applicant provide a stair detail for this work item.

The applicant proposed to alter the apron along Meeting House Road as part of this work item. The road has been designated an Exceptional Rustic Road, and the proposed work appears to require approval from the Montgomery County Department of Transportation (MCDOT) and the Rustic Roads Advisory Committee. Staff seeks a condition the proposed roadwork is not approved as part of this application and will require a separate HAWP after MCDOT and the committee review.

In accordance with Chapter 24A-8(b), the replacement stairs to the porch, which will not be installed directly on the historic building, will not alter the exterior features of the historic site. The existing concrete steps and stair are a longstanding feature at the porch, and the proposed will have similar designs that will be compatible in character. The uniform step height will enhance utilization of the historic resource and will remedy the varied riser height at the existing stairs. In compliance with the *Standards*, the stairs will not affect the historic character of the property; will not destroy historic materials that characterize the property and are compatible with its massing, size, scale, and architectural features; and can be removed in the future so that the form and integrity of the historic property will be unimpaired. The work item will have no effect on the direction provided in both the *Master Plan* and *Rural Village Plan*.



*Figure 2. The concrete steps and stair proposed for replacement are clouded in red.*



*Figure 3. The central concrete stair proposed for replacement is evident in this photo. The concrete steps also proposed for replacement are visible to either side.*

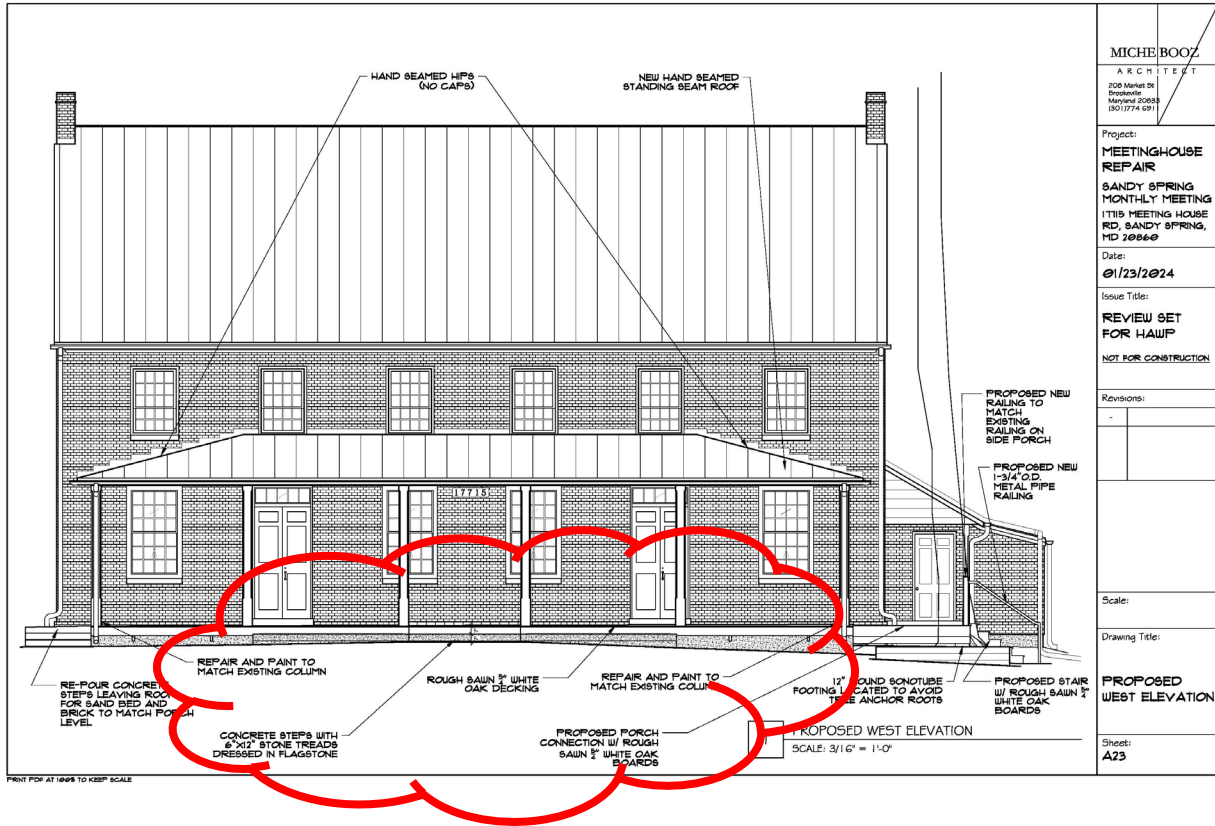


Figure 4. The proposed concrete steps and stair are clouded in red.

## 2. Replacement of the front porch’s roof

Staff supports replacement of the standing-seam metal front porch roof and recommends approval (Figure 5). According to the applicant, the existing metal has rotted in spots and cannot be repaired. Staff seeks a condition that the applicant provide specifications for the roof and another condition that the roof closely match the existing in design and width between the seams and that snowbirds are reinstalled.

In accordance with Chapter 24A-8(b), the replacement roof will not alter the exterior features of the historic site. The existing standing-seam metal roof is a longstanding material, and should the applicant meet staff’s conditions the proposed will have a similar design that will be compatible in character. In compliance with the *Standards*, the replacement roof will not affect the historic character of the property; will not destroy historic materials that characterize the property and are compatible with its massing, size, scale, and architectural features; and can be removed in the future so that the form and integrity of the historic property will be unimpaired. The work item will have no effect on the direction provided in both the *Master Plan* and *Rural Village Plan*.



*Figure 5. The porch roof proposed for replacement is clouded in red.*

### **3. Construction of a deck to link the front and south porches and new stair at the south porch**

Staff supports the construction of a deck to connect the front and south porches and new stair at the south porch and recommends approval (*Figures 6-10*). The applicant provided archival photos of the building that show a wraparound deck that linked the front and south porches. It is unknown when the deck section was removed. According to the applicant, wheelchair users must pass through the church in order to reach the restrooms at the south porch. The applicant proposes to demolish the concrete stairs at the south end of the front porch and west end of the south porch to build a wood deck to connect the two porches. A Sonotube footer will support the decking to minimize the potential effect to the root zone of the nearby sycamore tree. A new wooden stair with pipe railings will be installed perpendicular to the south porch. Both the decking and stairs will be built of rough sawn oak to match the existing decking. A pipe railing will be installed at the south end of the deck extension to match the design of the railing present on the south porch.

In accordance with Chapter 24A-8(b), the deck and stairs will not alter the exterior features of the historic resource in the Sandy Spring Historic District. The rough sawn oak decking and stairs and pipe railing will be compatible in character with the existing porch materials. The addition of the deck section will enhance utilization of the historic resource for people with limited mobility and will remedy the current situation that requires them to pass through the church to reach the restrooms. In compliance with the *Standards*, the deck and stairs will not affect the historic character of the property; will not destroy historic materials that characterize the property and are compatible with its massing, size, scale, and architectural features; and can be removed in the future so that the form and integrity of the historic property will be unimpaired. The work item will have no effect on the direction provided in both the *Master Plan* and *Rural Village Plan*.





*Figure 6. The deck will be installed at this location to link the front porch, left, and the south porch. The tree will remain.*



*Figure 7. The deck will be installed at this location to link the front porch, left, and the south porch.*

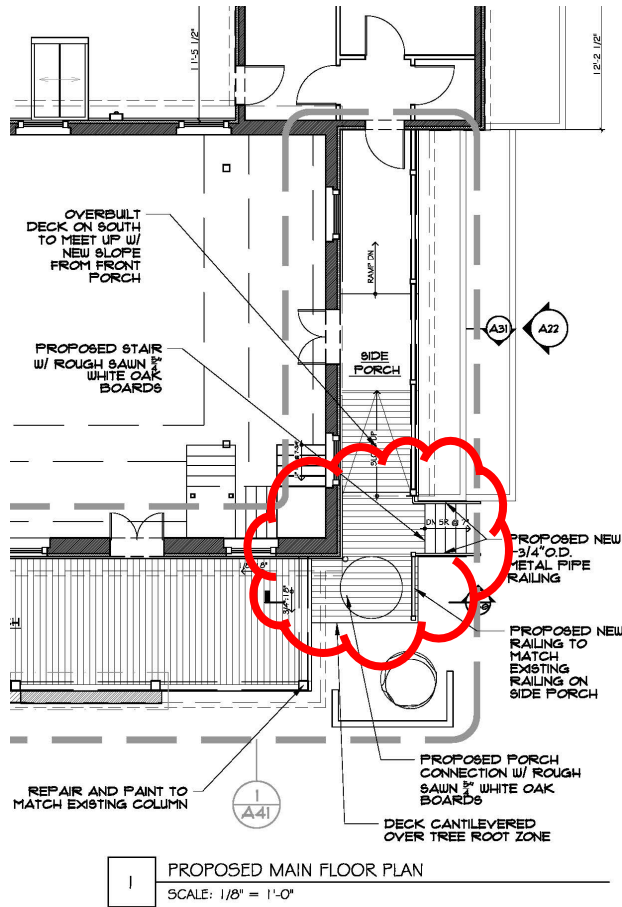


Figure 8. The proposed connecting deck and new stair and railing are clouded in red.

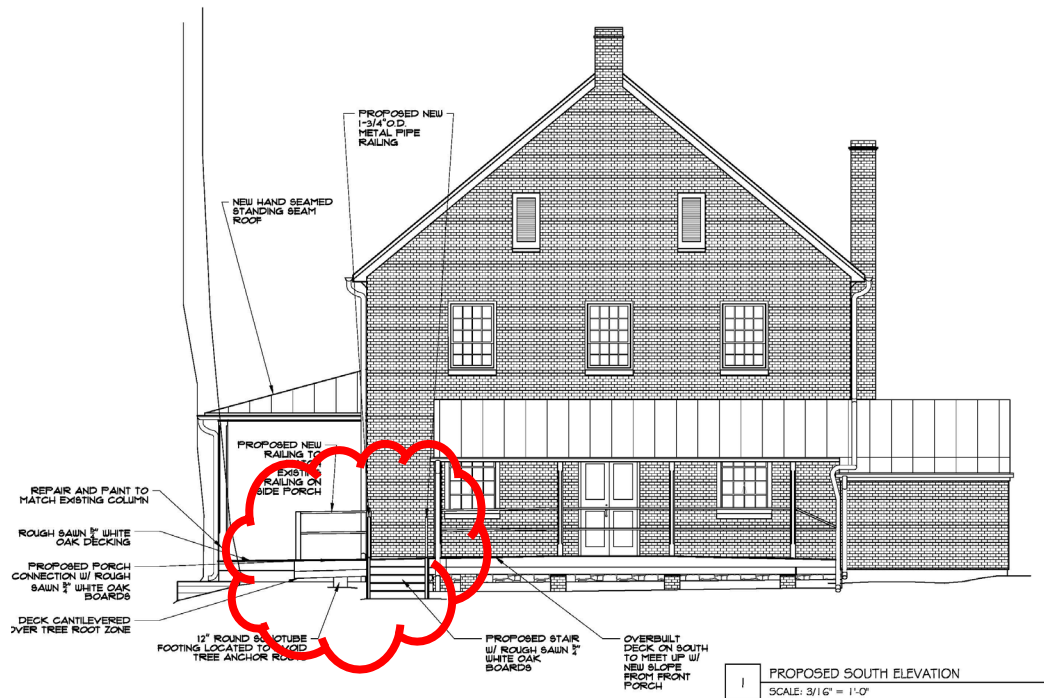


Figure 9. The proposed connecting deck and new stair and railing are clouded in red.

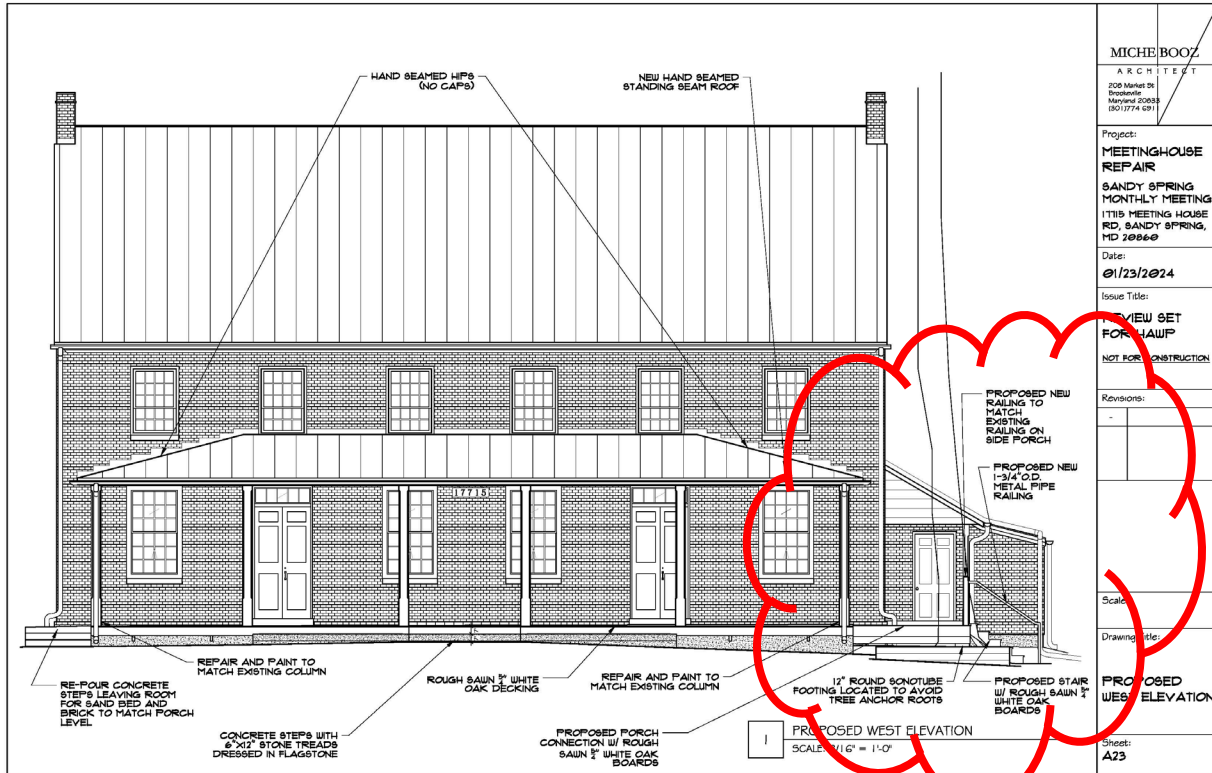


Figure 10. The proposed connecting deck and new stair and railing are clouded in red.

**4. Replacement of concrete pad and concrete stairs at the north end of the front porch**

Staff supports replacement of the concrete pad and concrete stairs at the north end of the front porch and recommends approval (Figures 11 and 12). According to the applicant, the existing concrete pad and stairs are unlevel where they meet the wood porch decking. The applicant proposed to remove the concrete pad and replace it with a bed of sand and red bricks that match the current brick walkway and be level with the porch floor. The applicant seeks to pour concrete steps. In the project narrative, the applicant noted the existing pipe handrails will be replaced, but the railings are not evident on the plans, so staff seeks a condition that the applicant show the railings on the plans.

In accordance with Chapter 24A-8(b), the pavers and replacements stairs and railings will not alter the exterior features of the historic resource in the Sandy Spring Historic District. The brick pavers, concrete stairs, and pipe railing will be compatible in character with the existing materials found at the property. The pavers, replacement stairs, and railings will enhance utilization of the historic resource for people with limited mobility. In compliance with the Standards, the pavers and replacement stairs and railings will not affect the historic character of the property; will not destroy historic materials that characterize the property and are compatible with its massing, size, scale, and architectural features; and can be removed in the future so that the form and integrity of the historic property will be unimpaired. The work item will have no effect on the direction provided in both the Master Plan and Rural Village Plan.



Figure 11: The concrete pad will be replaced with brick pavers and a new concrete stair with railing will be installed.

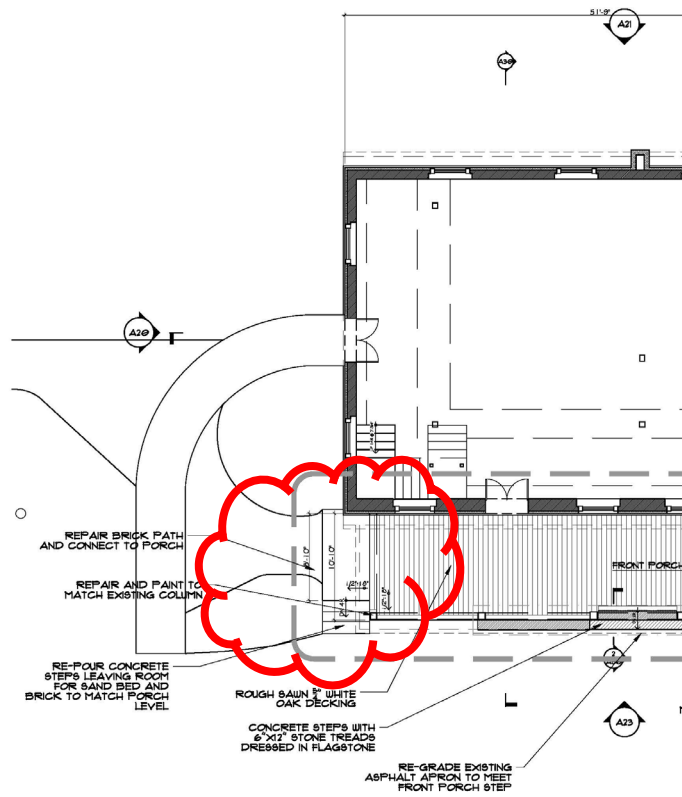


Figure 12: This plan shows the proposal to remove the concrete pad and replace the concrete stair clouded in red.

After full and fair consideration of the applicant's submission, staff finds the proposal consistent with the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (3), and (4), having found the proposal is consistent with the *Master Plan, Sandy Spring Rural Village Plan, and Standards Nos. 2, 9, and 10.*

**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve with five conditions** the HAWP application with final review and approval of all details delegated to staff:

1. The applicant shall provide staff with a detail for the stone stairs to be installed at the front porch along Meeting House Road to replace the concrete steps and stair.
2. The proposed alterations to Meeting House Road are not approved and shall be reviewed as part of a separate HAWP after approval from the Montgomery County Department of Transportation and Rustic Roads Advisory Committee.
3. The applicant shall provide staff with specifications for the railings, stone stair threads, standing seam roof, and brick pavers.
4. The replacement standing seam roof shall closely match the existing in design and seam width. Snowbirds shall also be installed on the new roof.
5. The applicant shall provide staff with plans for the replacement pipe railings to be installed at the north end of the front porch.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (3), and (4), having found that the proposal is consistent the purposes of Chapter 24A;

and meets *Standards Nos. 2, 9, and 10;*

and with the *Sandy Spring/Ashton Master Plan and Sandy Spring Rural Village Plan;*

and with the general condition that the applicants shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicants shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicants will contact the staff person assigned to this application at 301-495-4571 or [chris.berger@montgomeryplanning.org](mailto:chris.berger@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Sandy Spring Monthly Meeting  
Meeting House Repair and Porch Alteration  
17715 Meetinghouse Road  
HAWP #1057575

January 31, 2024

The Sandy Spring Monthly Meeting House, built in 1817, is the third Meeting House built on the site of the Sandy Spring Monthly Meeting. The historic site of Sandy Spring Monthly Meeting also includes the cemetery, the Lyceum-Community House and Classroom Building (renovated and added to in 2017), the rural rustic Meetinghouse Road.

The Meeting House is red brick construction typical of the time with a wooden roof structure and a standing seam metal roof. The bricks were made locally. The structure of the building is a simple gable structure with two porches and a side rear addition with restrooms. The front porch, extending the full length of the front facade, is an important "face" of the building directly adjacent to Meetinghouse Road. The porch is of wood construction with rough white oak decking, a few steps above the level of Meetinghouse Road. Two doors lead from the front porch into the worship space, an artifact of the days when men and women sat separately in the Meeting House. Various repairs and minor alterations have been made to the porch over time including the replacement of stone piers with concrete and the use of pressure treated lumber to replace rotted members, but the character of the porch and its function as a gathering place for the Quaker Meeting community before and after worship, remains unchanged.

This HAWP application seeks permission to make needed repairs to the porch to extend its life and to make the Meeting House more accessible than it is currently. Repairs include replacing the rough white oak decking, splicing in new column bases to repair rotting portions of two columns, and inspecting and replacing any joists or beams of the porch floor that need replacement. Failing metal pipe railings on the steps from Meetinghouse Road will be replaced with new pipe railings. Two over-sized concrete steps from Meetinghouse Road up to the porch surface will be removed and solid stone steps, anchored in concrete, are proposed. The central concrete stair will be replaced and the grade of the road apron adjusted slightly to make the steps meet Meetinghouse Road. Stone treads are proposed for the tops of these steps. A new hand-seamed standing seam metal roof will replace the aging roof over the porch.

Additionally, several alterations are proposed to make the Meeting House porch and the building itself more accessible. Currently there is only one door from the exterior at grade to allow people in wheelchairs to access the Meetinghouse. It is the door on the north side away from the front porch. To access the Meeting House restroom in a wheelchair, someone would need to enter the Meeting House from the north, cross through the interior of the Meeting House, and exit the door to the south porch to access the restrooms.

Currently the south porch and the front porch are not connected, but there are historic undated photographs that show a deck joining the two porches. (See attached.) Right now, in order to



get from one porch to another on the exterior, one must go down one set of steps and up another set to the south porch. In order to make it possible for someone in a wheelchair to go from the front porch to the restrooms on the exterior of the building, we are proposing to demolish the current concrete steps on the south end of the front porch and build a wood deck to join the two porches. The current concrete stairs up to the south porch would only be demolished to the extent necessary to place the structure of the deck and new stairs. The look of the deck that joins the two porches will be as simple and unobtrusive as the porches shown in the historic photos. It is not clear from the photos we have access to if there was a stair off this deck historically, but we are proposing a wooden stair down to the south end off the porch. (See plans) This stair would be located well back from the front porch and be hidden from view from the front by the large sycamore tree. Due to life-safety code there will need to be a railing on the stair and along the south end of the deck addition. The railing on the stair would be a graspable pipe railing and the railing on the deck would be wooden to match the existing railing on the south porch. No railing should be visible when looking at the front of the Meeting House from elsewhere on the site. Footings for the new deck will be located to avoid disturbing any anchor roots of the tree to the south of the Meeting House and a sonotube footing will be used instead of a spread footing to minimize any impact to the critical root zone of the tree.

Currently the concrete steps on the north end of the front porch and the adjacent brick walk have settled to leave both of them unlevel and hazardous to navigate by walker or wheelchair. Removing and replacing these steps will realign them with the current level of the existing front porch, making it possible for Meeting attenders and visitors in wheelchairs to reach the front porch – a critical place of gathering and fellowship for the Quaker community. The proposal is to pour the concrete steps so that a bed of sand and red bricks to match the current walkway can meet up against the Meeting House porch in lieu of the current concrete pad. This repair of the stairs and walkway on the north side and the addition of the deck connecting the two exterior porches on the south will make the Meeting House, the two porches, and the restrooms accessible to all visitors to the Meeting.

**Neighboring property addresses:**

MERNICK GEORGE H &  
THENE MARTIN MERNICK  
17617 MEETING HOUSE RD  
SANDY SPRING MD 20860-1017

WRIGHT ALAN M  
17710 MEETING HOUSE RD  
SANDY SPRING MD 20860

EAGLE JEFFREY & JULIE  
17714 MEETING HOUSE RD  
SANDY SPRING MD 20860

SIDELL JANE L  
17809 MEETING HOUSE RD  
SANDY SPRING MD 20860-1022

STABLER 1848 LLC  
C/O NICHOLS DEV LLC  
18623 BROOKE RD  
SANDY SPRING MD 20860

AUBURN VILLAGE HOMEOWNERS ASSOC  
C/O WINCHESTER HOMES INC  
6905 ROCKLEDGE DR STE 800  
BETHESDA MD 20817-1873

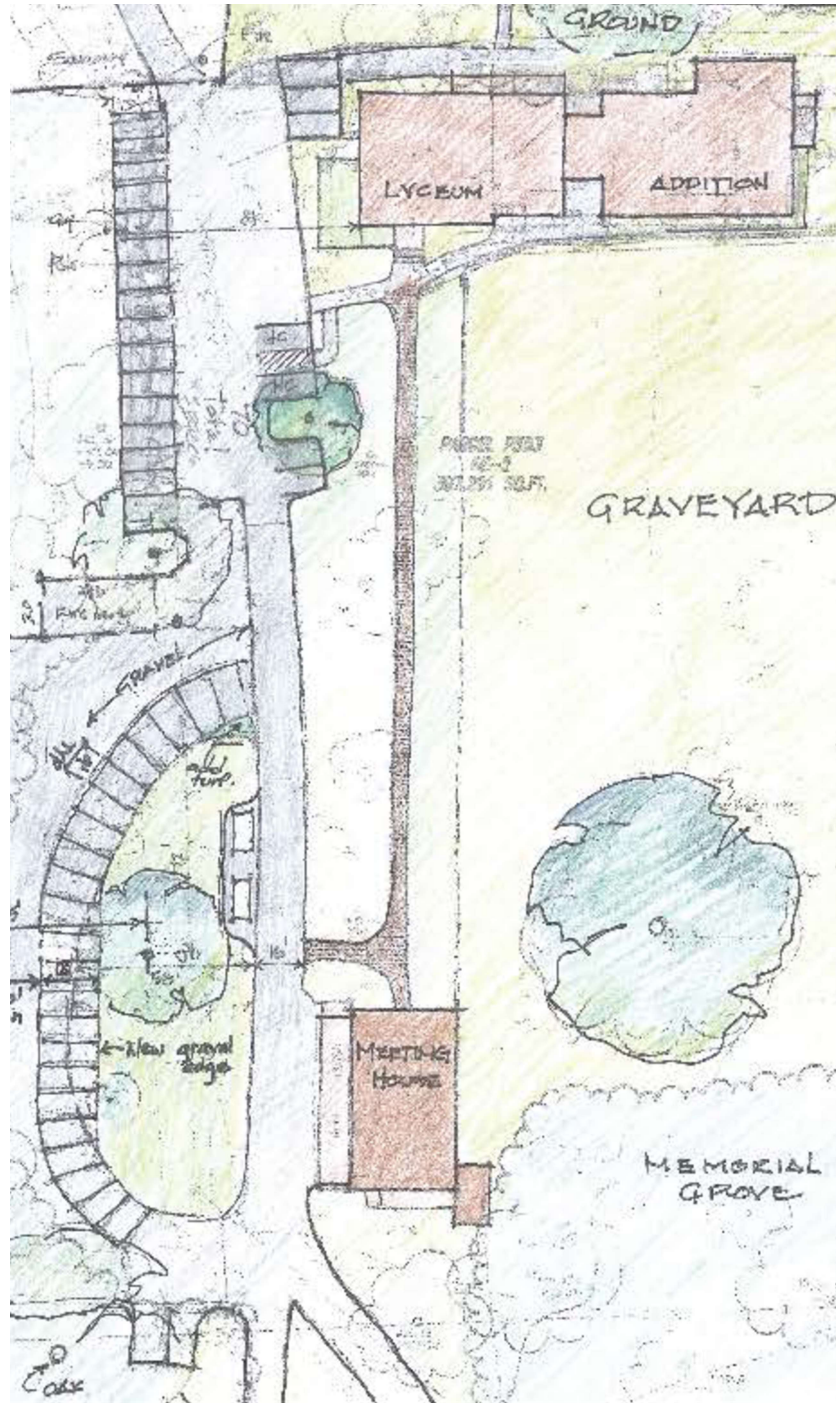
SANDY SPRING VILLAGE  
CONDOMINIUM ASSOC  
WINDRUSH LANE  
SANDY SPRING MD 20860

**PROPERTY OWNER:**

SANDY SPRING MONTHLY MEETING  
17715 MEETING HOUSE RD  
SANDY SPRING MD 20860

**APPLICANT'S REPRESENTATIVE**

MICHE BOOZ ARCHITECT  
15 HIGH ST  
BROOKEVILLE MD 20833



### DRAWING INDEX

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*Sandy Spring Monthly Meeting*

# Meeting House Repair and Rehabilitation

REVIEW SET  
FOR HAWP

01/23/2024

*NOT FOR CONSTRUCTION*



Historic undated photos (Alamy Stock Photos, top. Sandy Spring Digital Archive, bottom.) showing a deck joining the front and south porches. The size of the trees in these photos relative to their size today, dates these photos more than a few decades in the past.



Current photos of front porch.



Current photo of south porch showing sycamore tree to the left.



MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 691

Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING**  
1715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

Date:

Issue Title:

Revisions:

-

Scale:

Drawing Title:

**HISTORIC AND  
EXISTING  
PHOTOS**

Sheet:

**R01**



1



4



6



2



5



7



3

Current photos of front porch. 1. Concrete steps to be replaced with concrete stairs with brick surface to align with other surfaces. Pipe railing to be replaced. 2. Showing central stair and one of two carriage steps to the right side. 3. Porch column showing carriage step to left and original stone pier. 4. Porch framing and skip-sheathing. 5. White oak decking. Previous repair visible at front edge.

6. and 7. Area of location for proposed connecting deck between front and south porches.

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 691

Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING**  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

Date:

Issue Title:

Revisions:

-	

Scale:

Drawing Title:

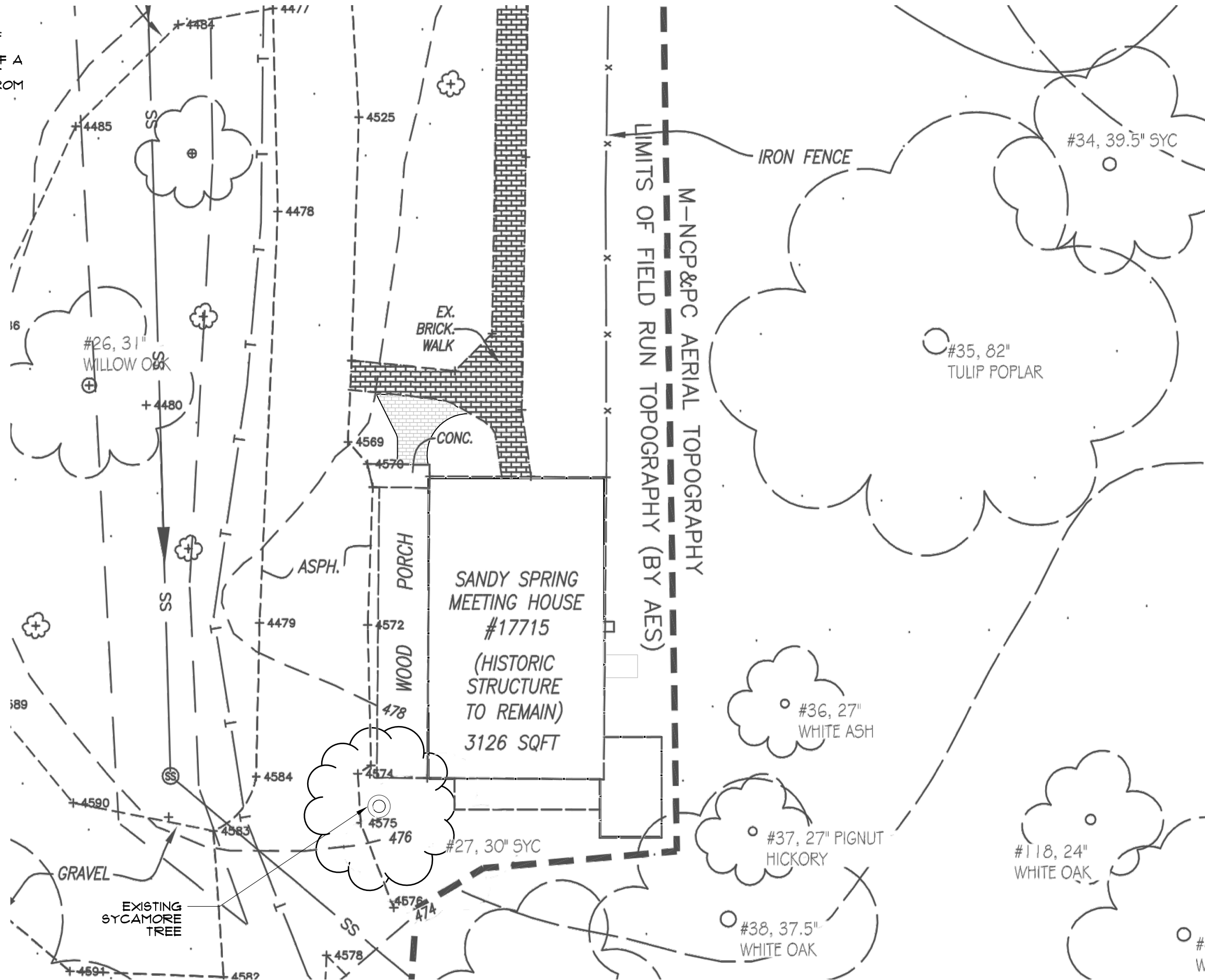
**EXISTING  
PHOTOS**

Sheet:

**R02**

GENERAL SITE PLAN NOTES:

1. THIS IS A MODIFICATION OF A PORTION OF THE FOREST CONSERVATION PLAN FROM 2015.



M-NCP & PC AERIAL TOPOGRAPHY  
LIMITS OF FIELD RUN TOPOGRAPHY (BY AES)

IRON FENCE

EX. BRICK WALK

CONC.

ASPH.

WOOD PORCH

SANDY SPRING MEETING HOUSE #17715  
(HISTORIC STRUCTURE TO REMAIN)  
3126 SQFT

#34, 39.5" SYC

#35, 82" TULIP POPLAR

#36, 27" WHITE ASH

#37, 27" PIGNUT HICKORY

#118, 24" WHITE OAK

#38, 37.5" WHITE OAK

#27, 30" SYC

#26, 31" WILLOW OAK

EXISTING SYCAMORE TREE

GRAVEL

SITE PLAN

SCALE: 1" = 20'

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911

Project:

MEETINGHOUSE REPAIR

SANDY SPRING MONTHLY MEETING  
17715 MEETING HOUSE RD, SANDY SPRING, MD 20860

Date:

01/23/2024

Issue Title:

REVIEW SET FOR HAWP

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Revisions:

-

Scale:

Drawing Title:

EXISTING SITE PLAN

Sheet:

G02

MICHE BOOZ  
 ARCHITECT  
 208 Market St  
 Brookeville  
 Maryland 20833  
 (301)774 6911

Project:  
**MEETINGHOUSE  
 REPAIR**  
 SANDY SPRING  
 MONTHLY MEETING  
 17715 MEETING HOUSE  
 RD, SANDY SPRING,  
 MD 20860

Date:  
**01/23/2024**

Issue Title:  
**REVIEW SET  
 FOR HAWP**

NOT FOR CONSTRUCTION

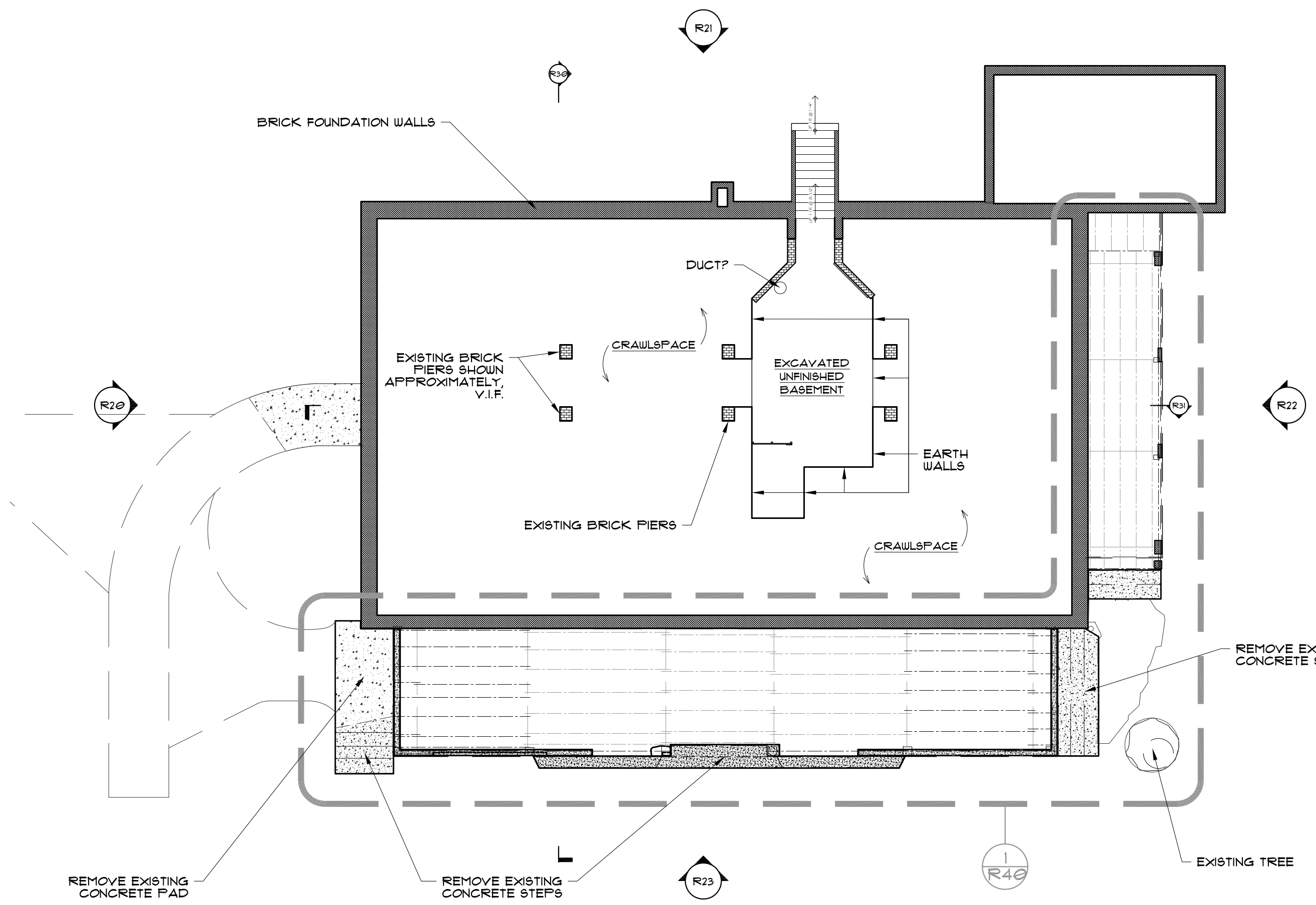
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Drawing Title:  
**EXISTING  
 BASEMENT  
 CRAWLSPACE  
 PLAN**

Sheet:  
**R10**



**1** BASEMENT CRAWLSPACE PLAN  
 SCALE: 1/8" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 691

Project:  
**MEETINGHOUSE  
REPAIR**  
SANDY SPRING  
MONTHLY MEETING  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

Date:  
**01/23/2024**

Issue Title:  
**REVIEW SET  
FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

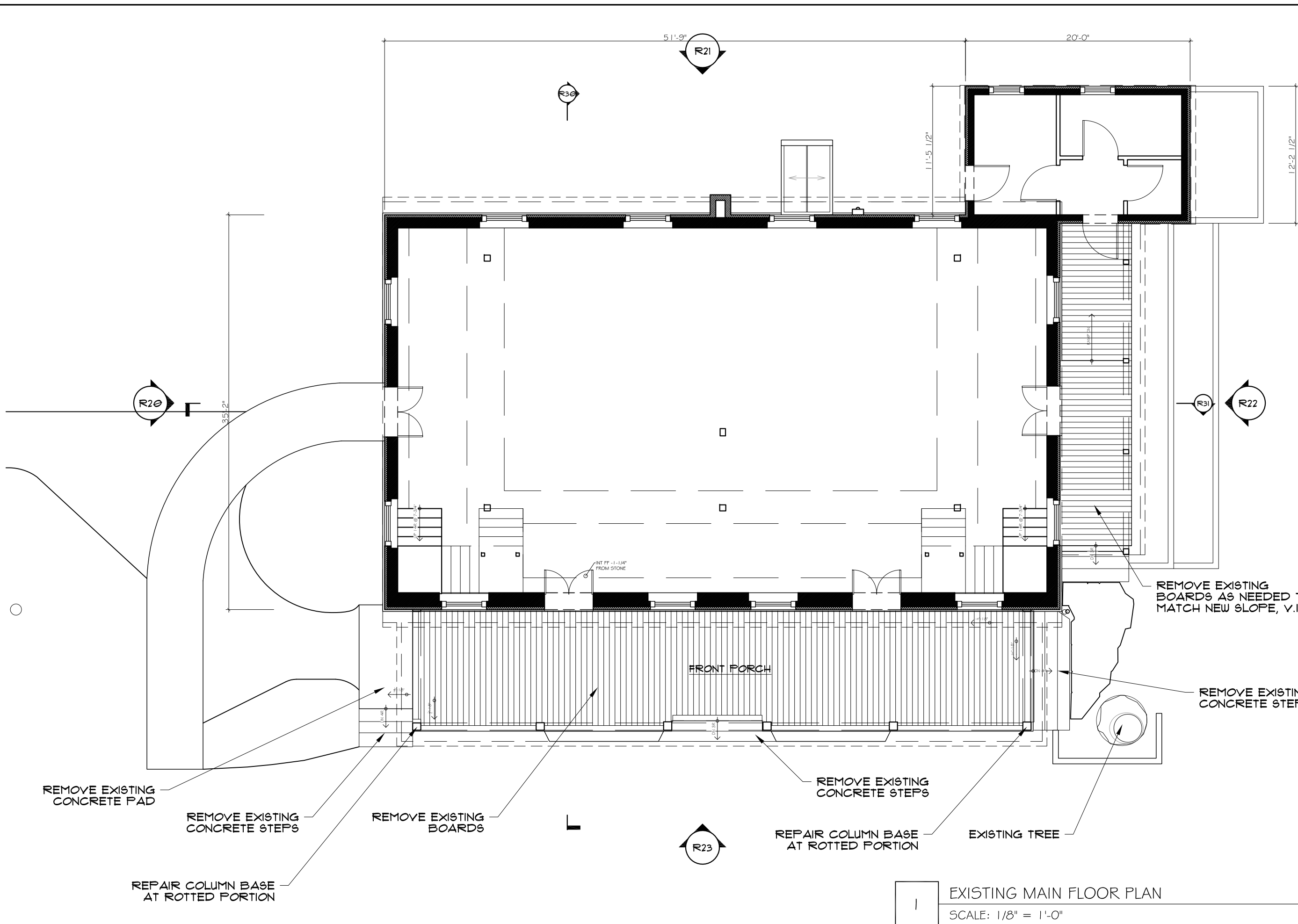
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Scale:

Drawing Title:

**EXISTING MAIN  
FLOOR PLAN**

Sheet:  
**R11**





MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911

Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860**

Date:

**01/23/2024**

Issue Title:

**REVIEW SET  
FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

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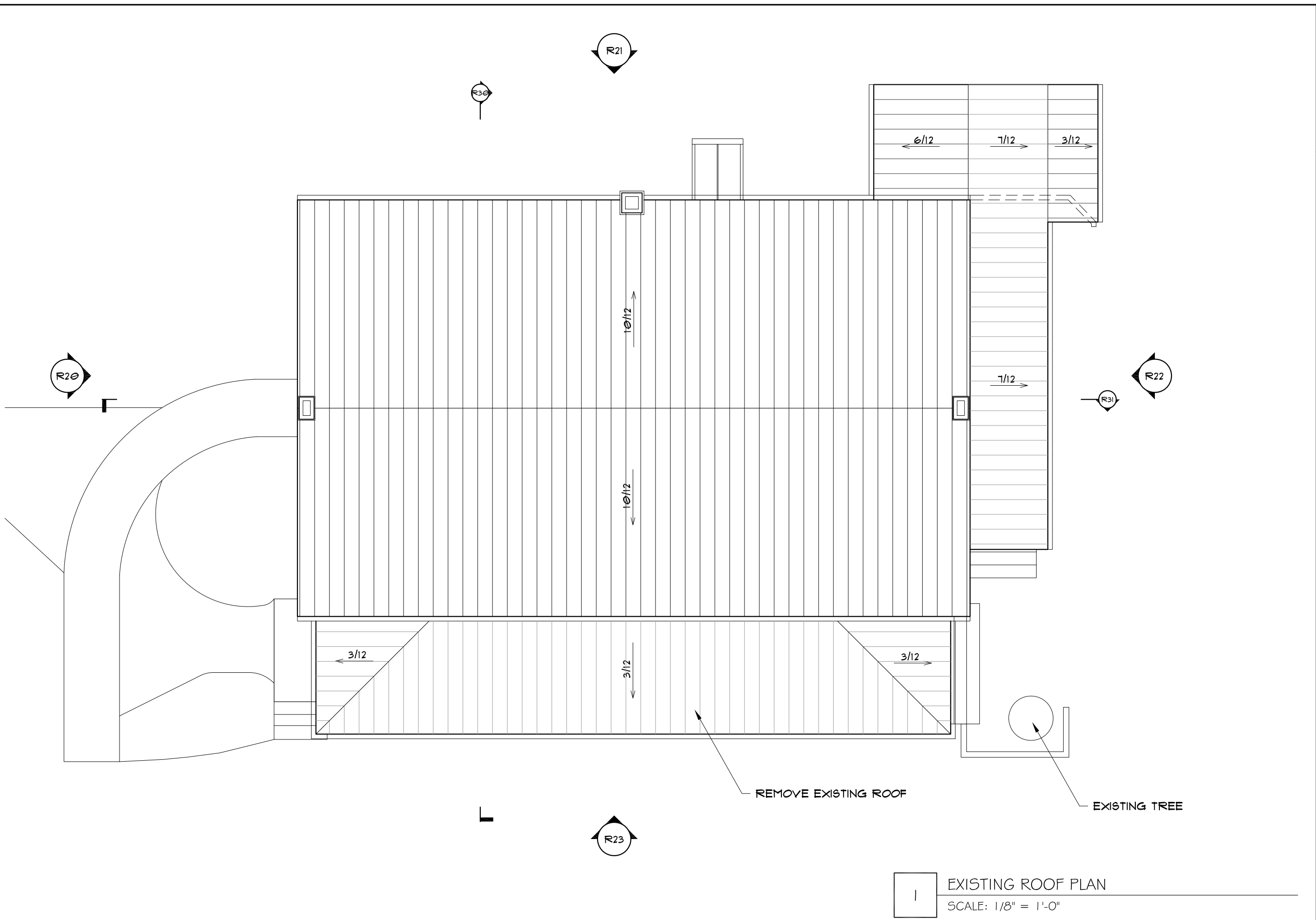
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Drawing Title:

**EXISTING ROOF  
PLAN**

Sheet:

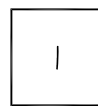
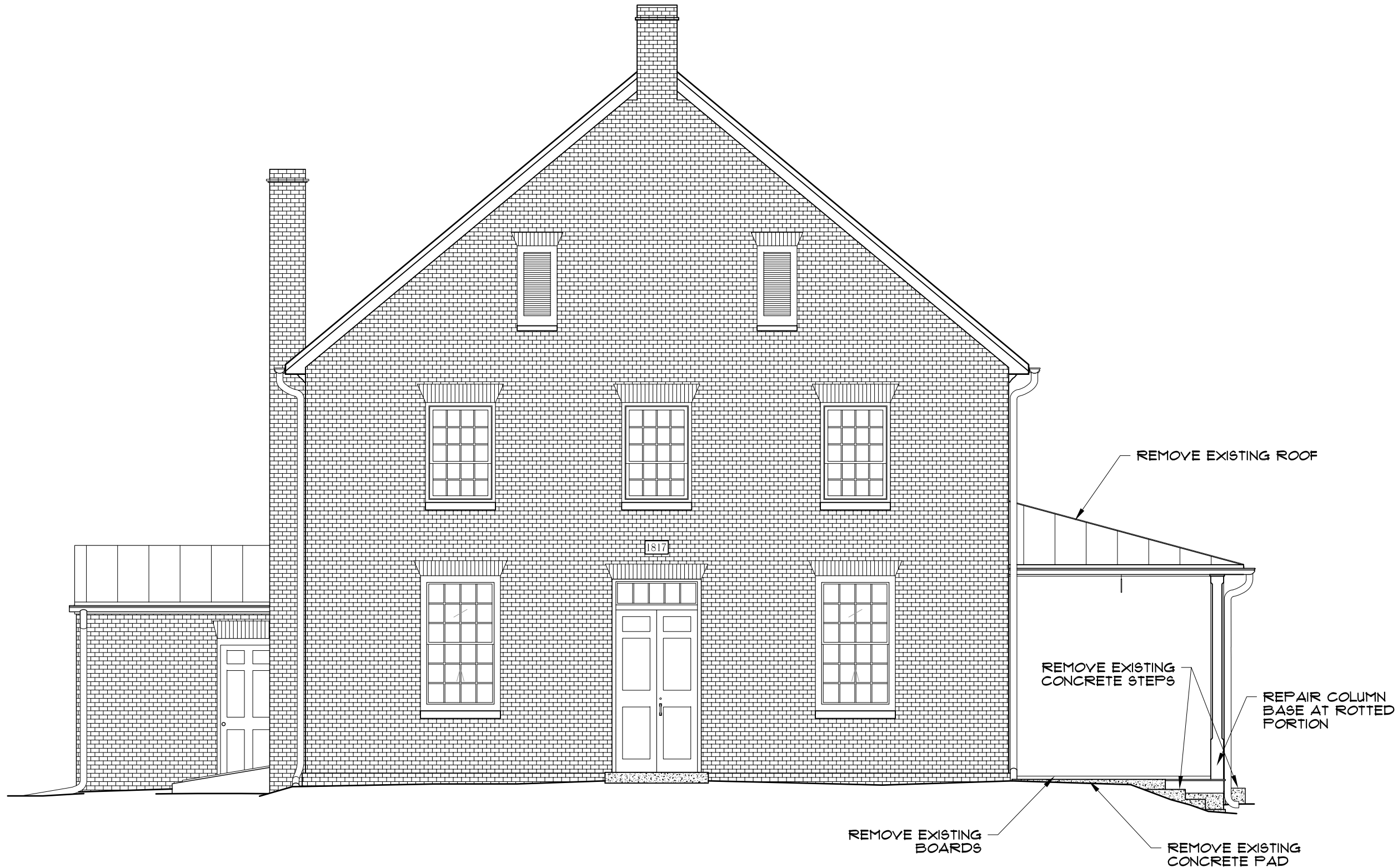
**R14**



REMOVE EXISTING ROOF

EXISTING TREE

1 EXISTING ROOF PLAN  
SCALE: 1/8" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 3/16" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 691

Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING**  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

Date:

01/23/2024

Issue Title:

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FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

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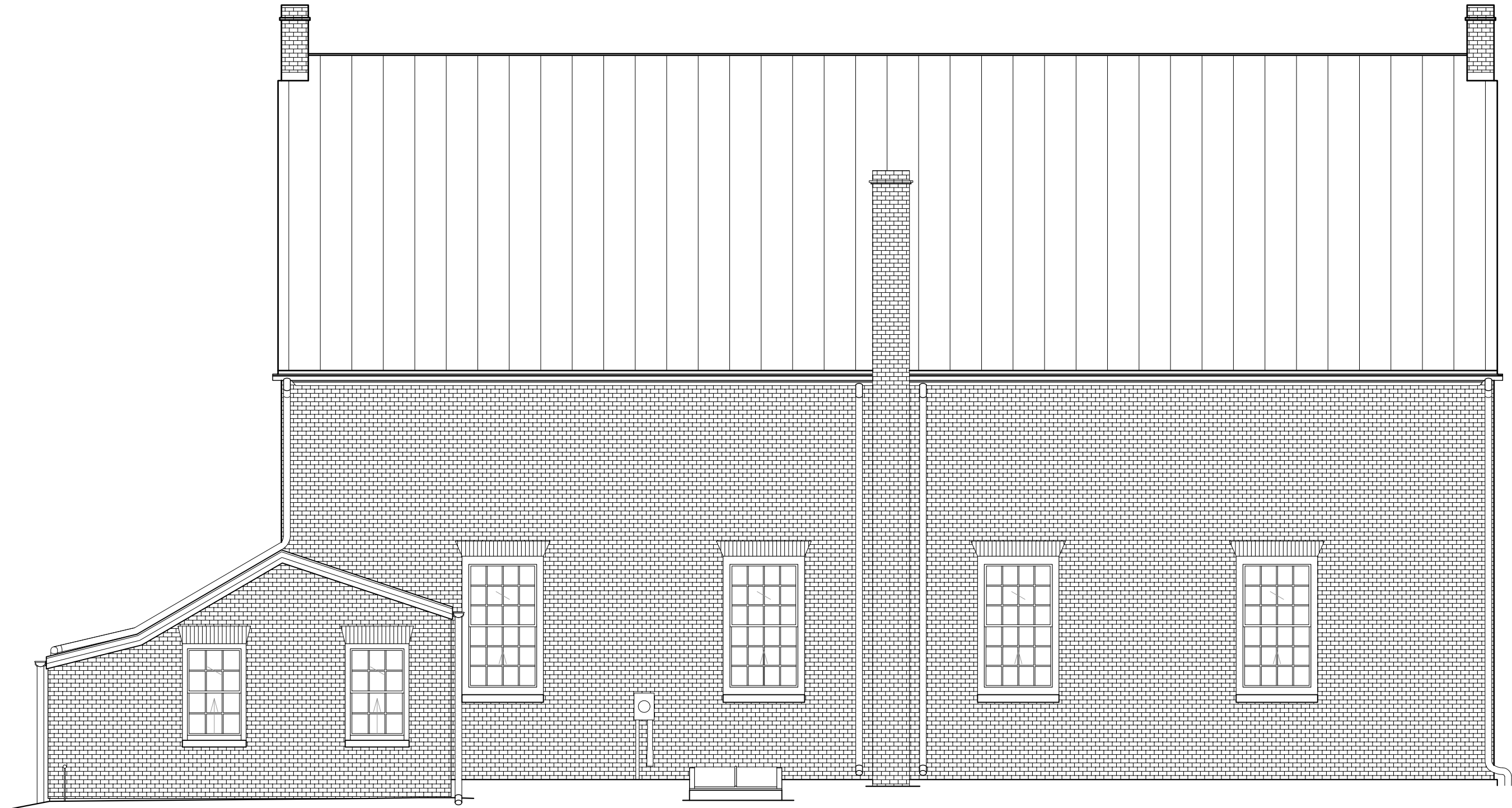
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Drawing Title:

**EXISTING NORTH  
ELEVATION**

Sheet:

**R20**



MICHE BOOZ

ARCHITECT

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Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING**

17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

Date:

01/23/2024

Issue Title:

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FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

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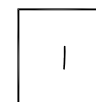
Scale:

Drawing Title:

**EXISTING EAST  
ELEVATION**

Sheet:

**R21**



EXISTING EAST ELEVATION

SCALE: 3/16" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 691

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**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860**

Date:

**01/23/2024**

Issue Title:

**REVIEW SET  
FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

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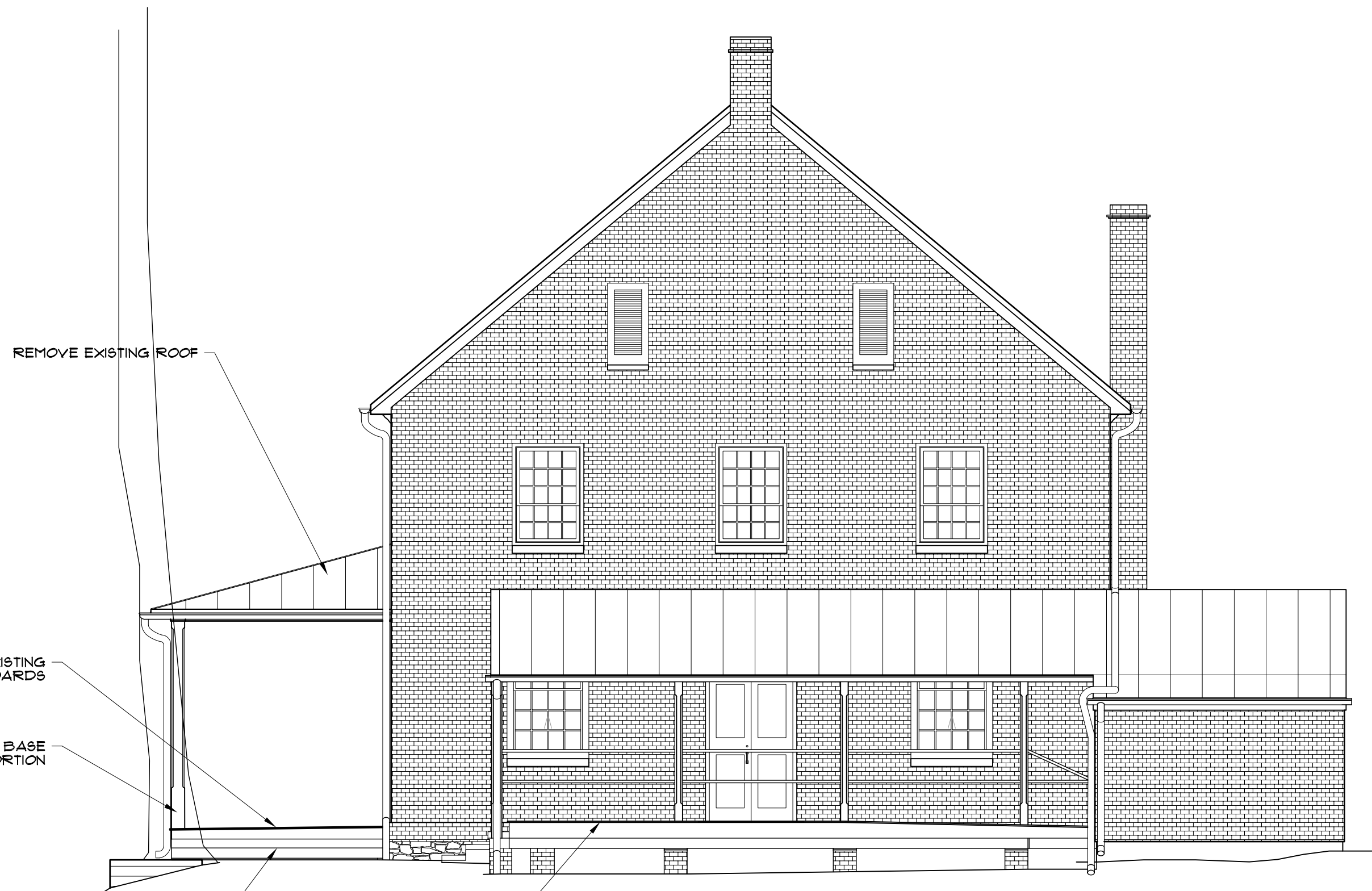
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Drawing Title:

**EXISTING SOUTH  
ELEVATION**

Sheet:

**R22**



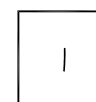
REMOVE EXISTING ROOF

REMOVE EXISTING BOARDS

REPAIR COLUMN BASE AT ROTTED PORTION

REMOVE EXISTING CONCRETE STEPS

REMOVE EXISTING BOARDS AS NEEDED TO MEET NEW SLOPE, V.I.F.



EXISTING SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 691

Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860**

Date:

**01/23/2024**

Issue Title:

**REVIEW SET  
FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

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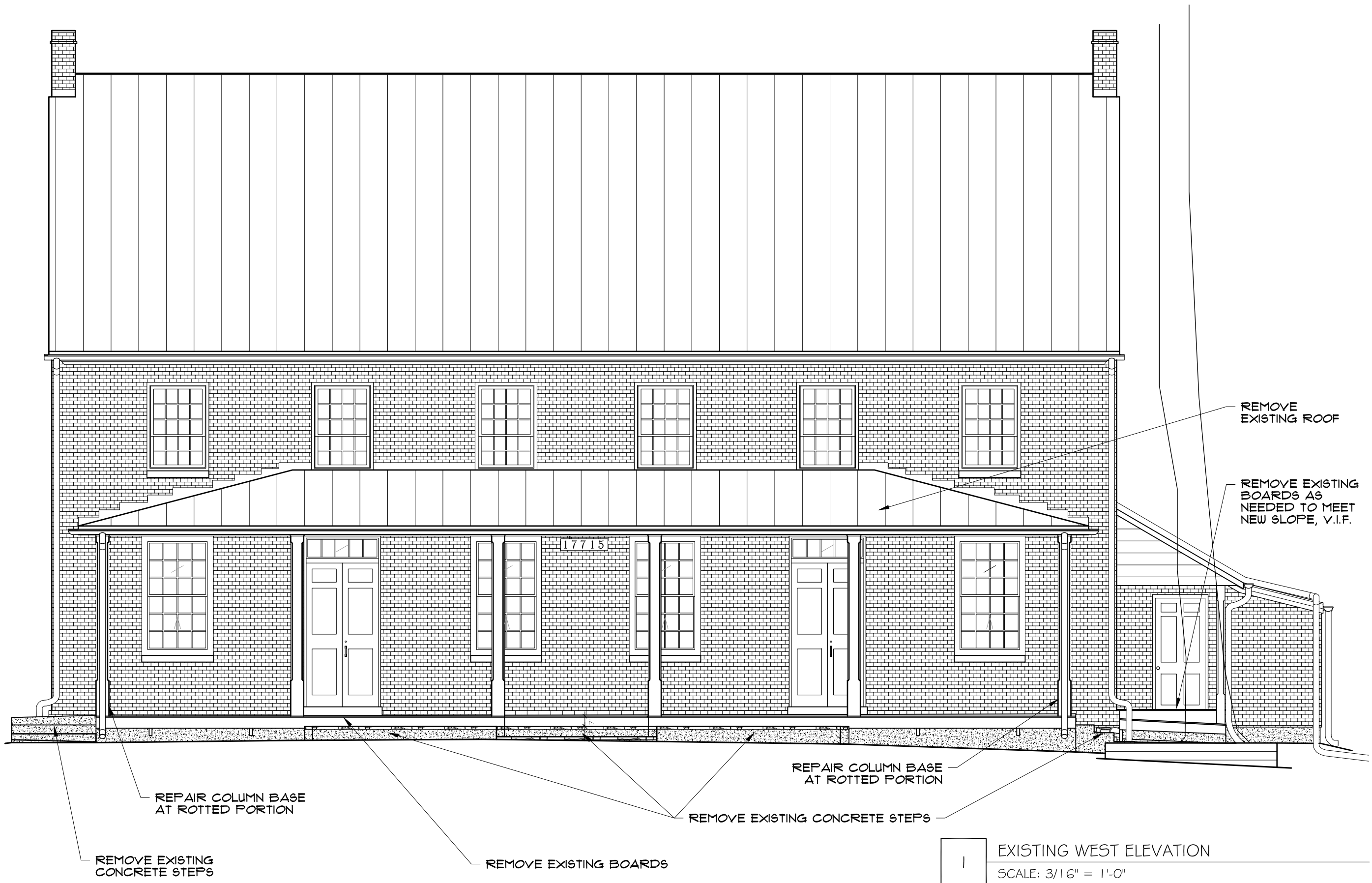
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Drawing Title:

**EXISTING WEST  
ELEVATION**

Sheet:

**R23**



1 EXISTING WEST ELEVATION  
SCALE: 3/16" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
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Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860**

Date:

**01/23/2024**

Issue Title:

**REVIEW SET  
FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

-

Scale:

Drawing Title:

**EXISTING  
CROSS-SECTION**

Sheet:

**R30**

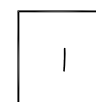


REMOVE EXISTING INSULATION

REMOVE EXISTING ROOF

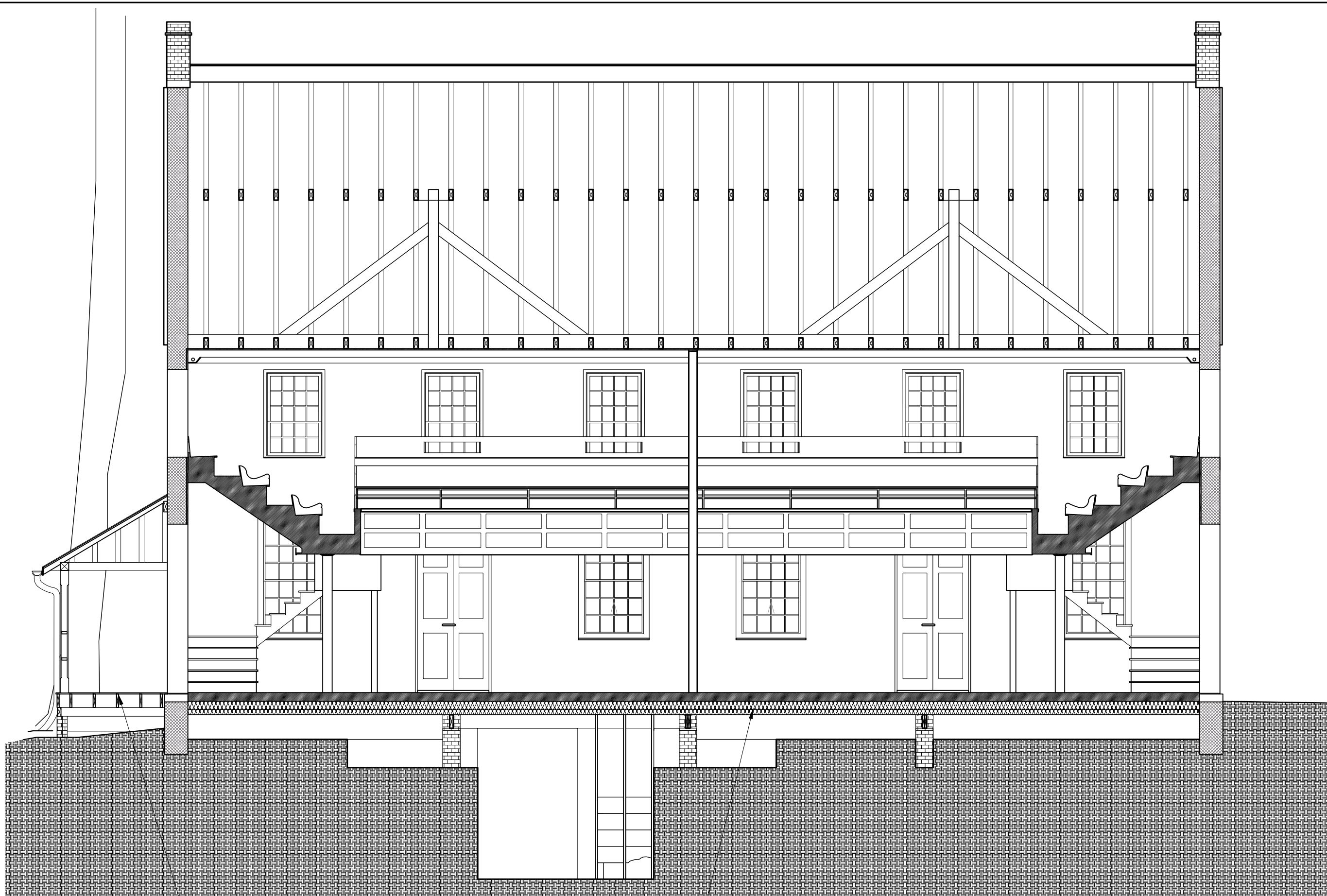
REMOVE EXISTING BOARDS

REMOVE EXISTING CONCRETE STEPS



EXISTING CROSS-SECTION

SCALE: 3/16" = 1'-0"



REMOVE EXISTING BOARDS AS NEEDED TO MEET NEW SLOPE, V.I.F.

REMOVE EXISTING INSULATION

EXISTING LONGITUDINAL SECTION  
SCALE: 3/16" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
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Project:  
**MEETINGHOUSE  
REPAIR**  
**SANDY SPRING  
MONTHLY MEETING**  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

Date:  
**01/23/2024**

Issue Title:  
**REVIEW SET  
FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

-

Scale:

Drawing Title:

**EXISTING  
LONGITUDINAL  
SECTION**

Sheet:  
**R31**

MICHE BOOZ  
 ARCHITECT  
 208 Market St  
 Brookeville  
 Maryland 20833  
 (301)774 6911

Project:  
**MEETINGHOUSE  
 REPAIR**  
 SANDY SPRING  
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 17715 MEETING HOUSE  
 RD, SANDY SPRING,  
 MD 20860

Date:  
 01/23/2024

Issue Title:  
**REVIEW SET  
 FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

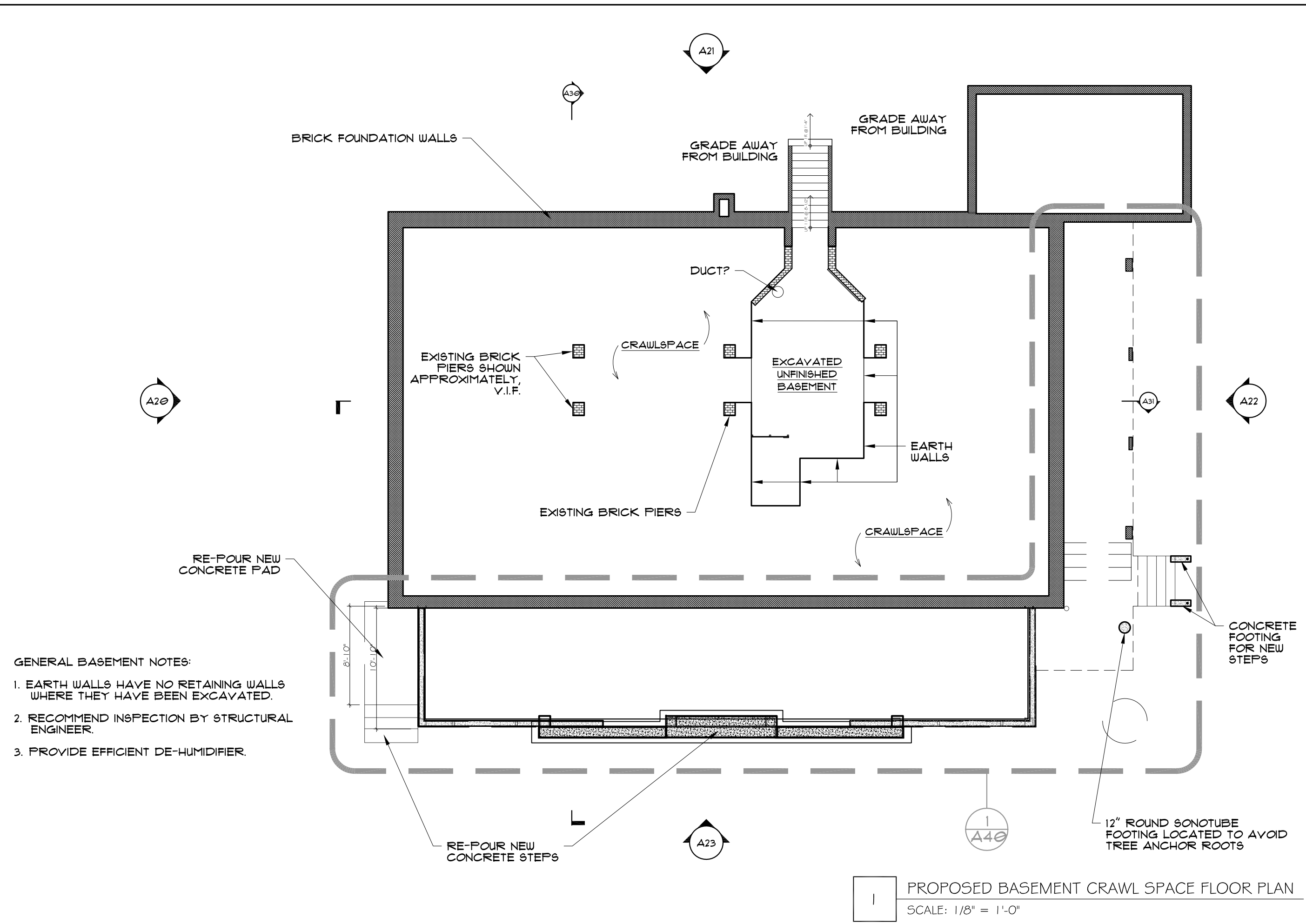
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Drawing Title:

**PROPOSED  
 BASEMENT  
 CRAWL SPACE  
 FLOOR PLAN**

Sheet:  
**A10**



- GENERAL BASEMENT NOTES:
1. EARTH WALLS HAVE NO RETAINING WALLS WHERE THEY HAVE BEEN EXCAVATED.
  2. RECOMMEND INSPECTION BY STRUCTURAL ENGINEER.
  3. PROVIDE EFFICIENT DE-HUMIDIFIER.



MICHE BOOZ

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**SANDY SPRING  
MONTHLY MEETING**  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

Date:

01/23/2024

Issue Title:

**REVIEW SET  
FOR HAWP**

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Revisions:

NO.	DESCRIPTION
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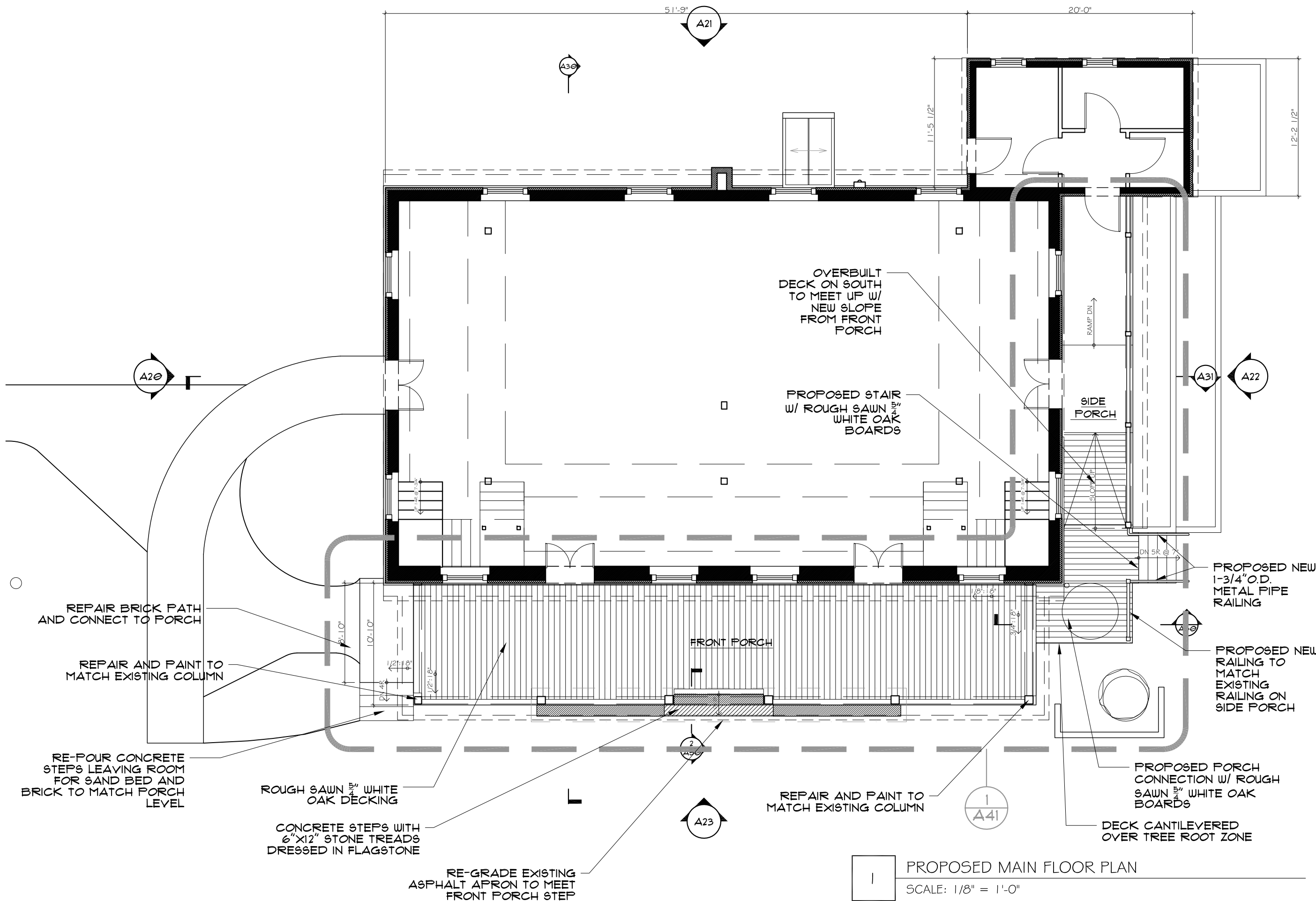
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Drawing Title:

**PROPOSED  
MAIN FLOOR  
PLAN**

Sheet:

**A11**



1 PROPOSED MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
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Maryland 20833  
(301)774 6911

Project:

**MEETINGHOUSE  
REPAIR**

**SANDY SPRING  
MONTHLY MEETING**  
17715 MEETING HOUSE  
RD, SANDY SPRING,  
MD 20860

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01/23/2024

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**REVIEW SET  
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Revisions:

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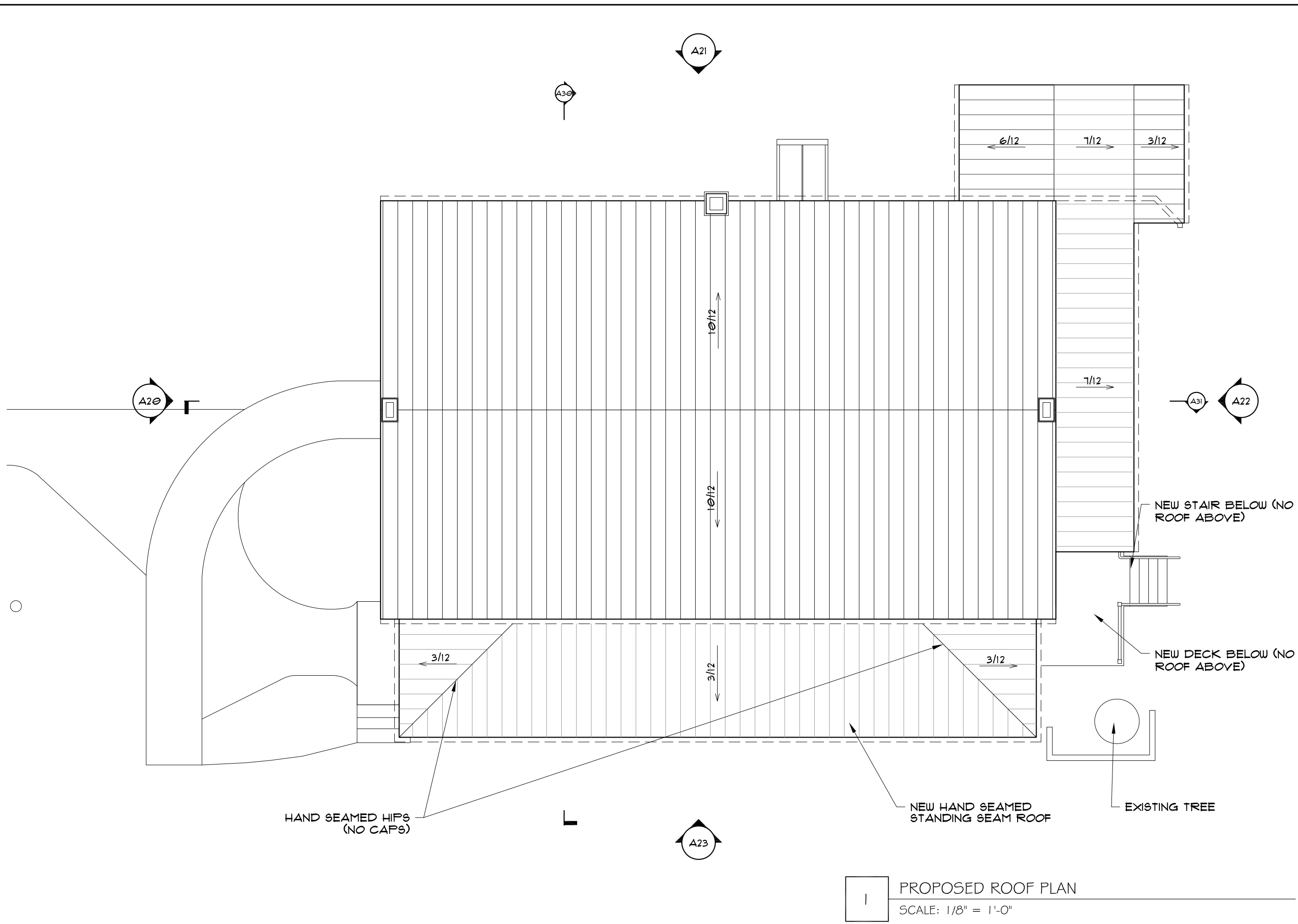
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Drawing Title:

**PROPOSED  
ROOF PLAN**

Sheet:

**A14**



1 PROPOSED ROOF PLAN  
SCALE: 1/8" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 691

Project:

**MEETINGHOUSE  
REPAIR**

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MONTHLY MEETING**  
17715 MEETING HOUSE  
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MD 20860

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**01/23/2024**

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FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

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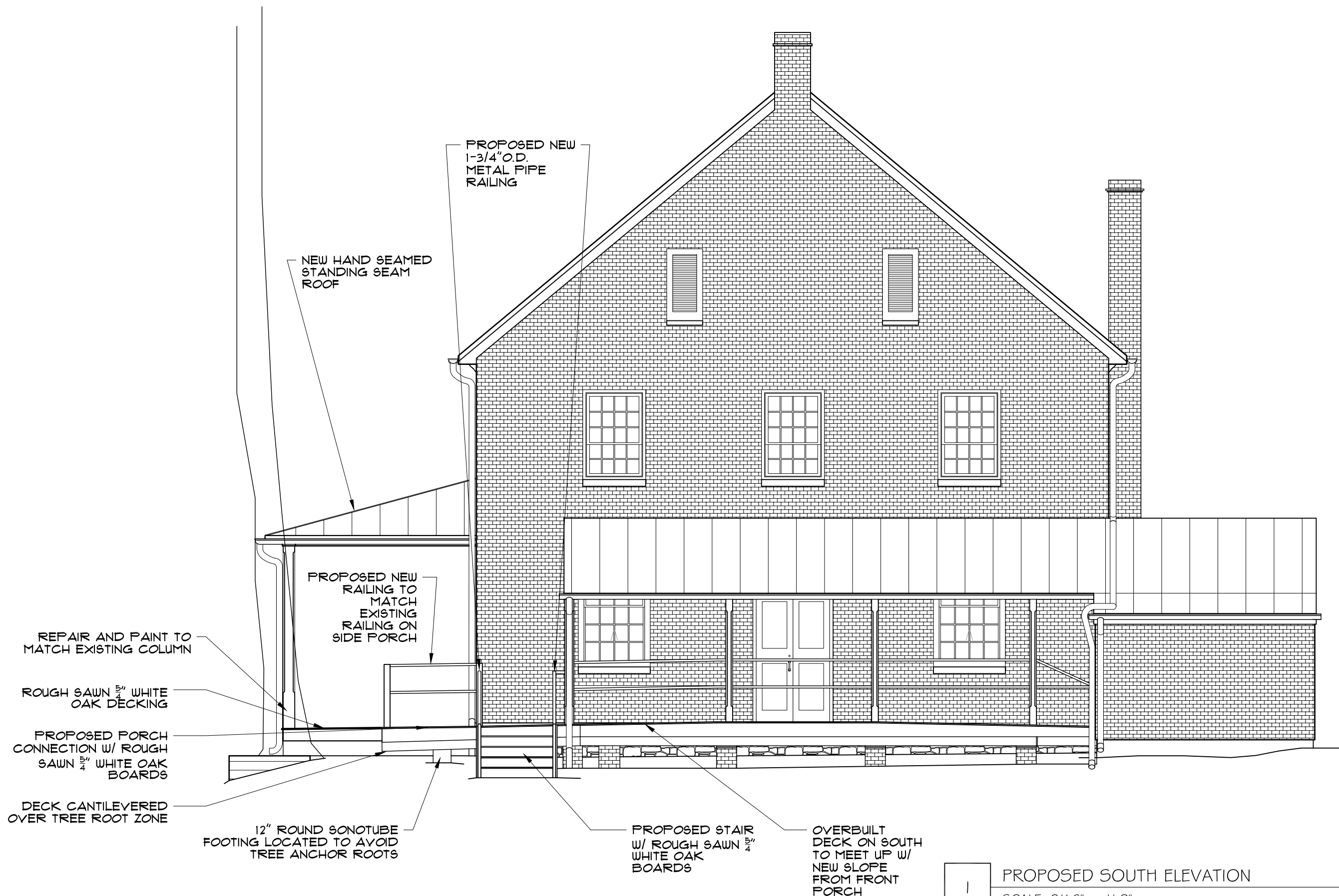
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**PROPOSED  
SOUTH  
ELEVATION**

Sheet:

**A22**



PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
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**MEETINGHOUSE  
REPAIR**

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MD 20860

Date:

**01/23/2024**

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FOR HAWP**

NOT FOR CONSTRUCTION

Revisions:

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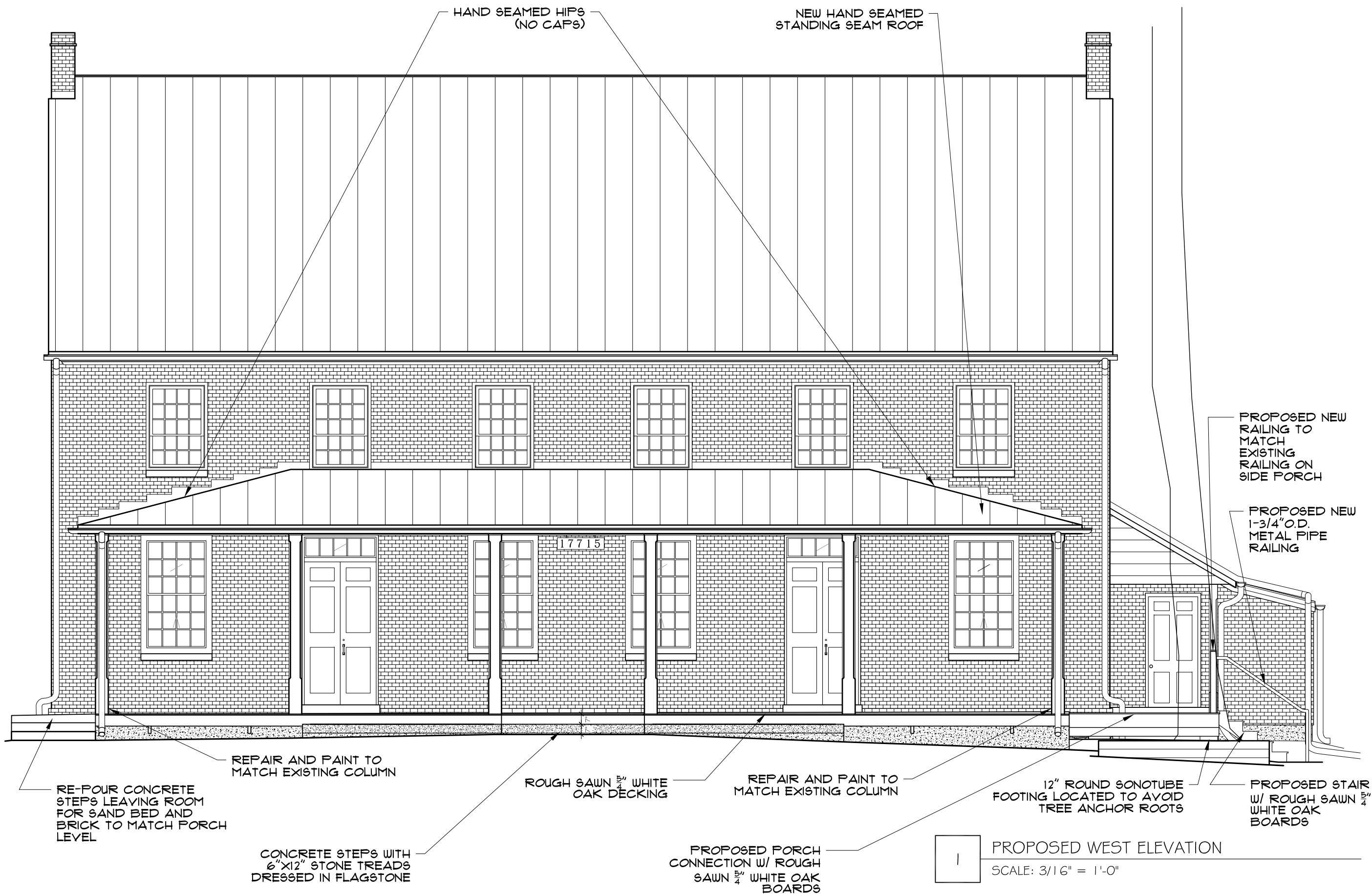
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**PROPOSED  
WEST ELEVATION**

Sheet:

**A23**



1 PROPOSED WEST ELEVATION  
SCALE: 3/16" = 1'-0"

MICHE BOOZ

ARCHITECT

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911

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**MEETINGHOUSE  
REPAIR**

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MD 20860

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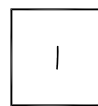
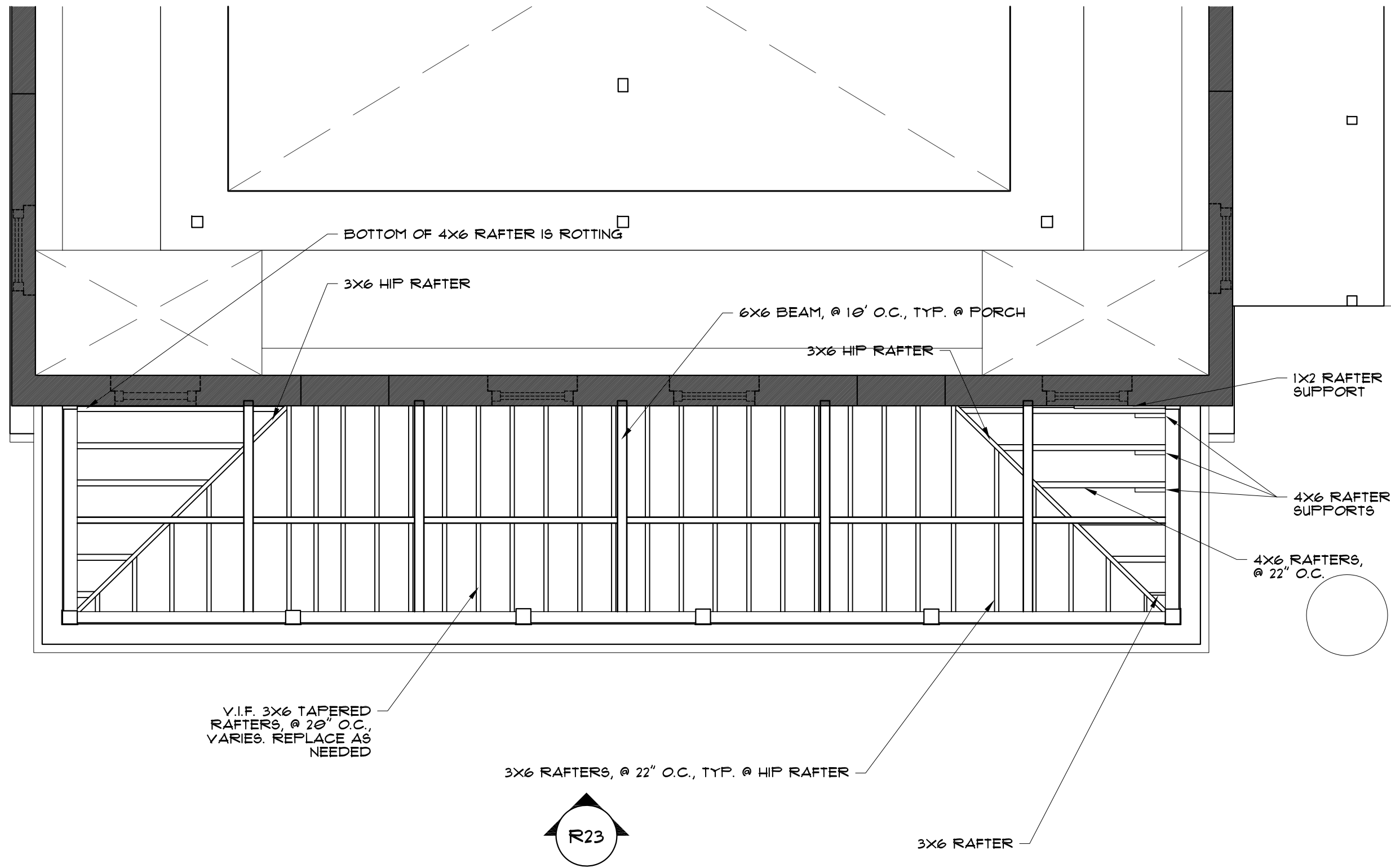
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Drawing Title:

**REFLECTED  
PORCH CEILING  
PLAN**

Sheet:

**A42**



REFLECTED PORCH CEILING PLAN

SCALE: 3/16" = 1'-0"

**From:** [Miche Booz](#)  
**To:** [Berger, Chris](#)  
**Subject:** Re: 17715 Meeting House Rd (HAWP #1057575)  
**Date:** Tuesday, February 27, 2024 6:27:44 PM

---

**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Hi Chris,

I think it would be more accurate to say we are re-paving the section of road in front of the Meeting House. The paving is degraded there at the apron and by re-surfacing and repairing that section it will restore it to its original level, regrading is too strong a word for what is being proposed.

Please let me know if this addresses your question.

Thanks,

Miche Booz  
AIA, LEED AP, CNU,

Miche Booz Architect  
208 Market Street,  
Brookeville, MD 20833  
301-774-6911  
[mbooz@michebooz.com](mailto:mbooz@michebooz.com)

On Feb 27, 2024, at 3:26 PM, Berger, Chris  
<[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)> wrote:

Hi, Miche.

We're finalizing the staff report for this project and have a question. You wrote in the narrative, "The central concrete stair will be replaced and the grade of the road apron adjusted slightly to make the steps meet Meetinghouse Road."

Meeting House Road is designated by the county as an Exceptional Rustic Road, so any changes to it first require approval from both the Montgomery County Department of Transportation and Rustic Roads Advisory Committee. To the best of our knowledge, the apron is considered part of the road.

Please confirm whether or not the apron will be adjusted or not.

**Chris Berger, AICP**

**Cultural Resources Planner III**

Montgomery County Planning Department  
2425 Reedie Drive, 13<sup>th</sup> Floor, Wheaton, MD 20902  
[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)  
Office: 301-495-4571

---

**From:** Miche Booz <[mbooz@michebooz.com](mailto:mbooz@michebooz.com)>  
**Sent:** Thursday, February 22, 2024 10:58 AM  
**To:** Berger, Chris <[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)>  
**Cc:** Catherine Stratton Treadway <[cstrattontreadway@michebooz.com](mailto:cstrattontreadway@michebooz.com)>  
**Subject:** Re: 17715 Meeting House Rd (HAWP #1057575)

**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Hi Chris,

I will be at the Meeting House at 4:00 today with a contractor who will also be looking at the building. I will meet you then.

Thanks,

Miche Booz  
AIA, LEED AP, CNU,

Miche Booz Architect  
208 Market Street,  
Brookeville, MD 20833  
301-774-6911  
[mbooz@michebooz.com](mailto:mbooz@michebooz.com)

On Thu, Feb 22, 2024 at 9:38 AM Berger, Chris  
<[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)> wrote:

Hi, Catherine.

I plan to stop by today at about 4. Understood if no one is available, but let me know if someone is free.

**Chris Berger, AICP**

**Cultural Resources Planner III**

Montgomery County Planning Department

2425 Reedy Drive, 13<sup>th</sup> Floor, Wheaton, MD 20902

[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)

Office: 301-495-4571

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**From:** Catherine Stratton Treadway <[cstrattontreadway@michebooz.com](mailto:cstrattontreadway@michebooz.com)>

**Sent:** Wednesday, February 21, 2024 6:11 PM

**To:** Berger, Chris <[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)>

**Cc:** Miche Booz <[mbooz@michebooz.com](mailto:mbooz@michebooz.com)>

**Subject:** 17715 Meeting House Rd (HAWP #1057575)

**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Chris,

Thanks for your note re the Sandy Spring Meeting House HAWP. It is a lovely property. Our office is very close to the Meeting so we would be more than happy to meet you there if you would like someone to show you around. Or the Owner's Representative might be available.

Best,  
Catherine

--

Catherine Stratton Treadway, MArch

Associate  
Miche Booz Architect

208 Market St  
Brookeville MD 20833  
301-774-6911

Miche Booz  
AIA, LEED AP, CNU

Miche Booz Architect  
208 Market Street  
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