

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	19820 White Ground Road, Boyds	Meeting Date:	2/7/2024
Resource:	Non-Contributing Resource Boyds Historic District	Report Date:	1/31/2024
Applicant:	Danilza Garcia	Public Notice:	1/24/2024
Review:	Preliminary Consultation	Staff:	Chris Berger
Proposal:	Construction of new single-family house		

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a second preliminary consultation.

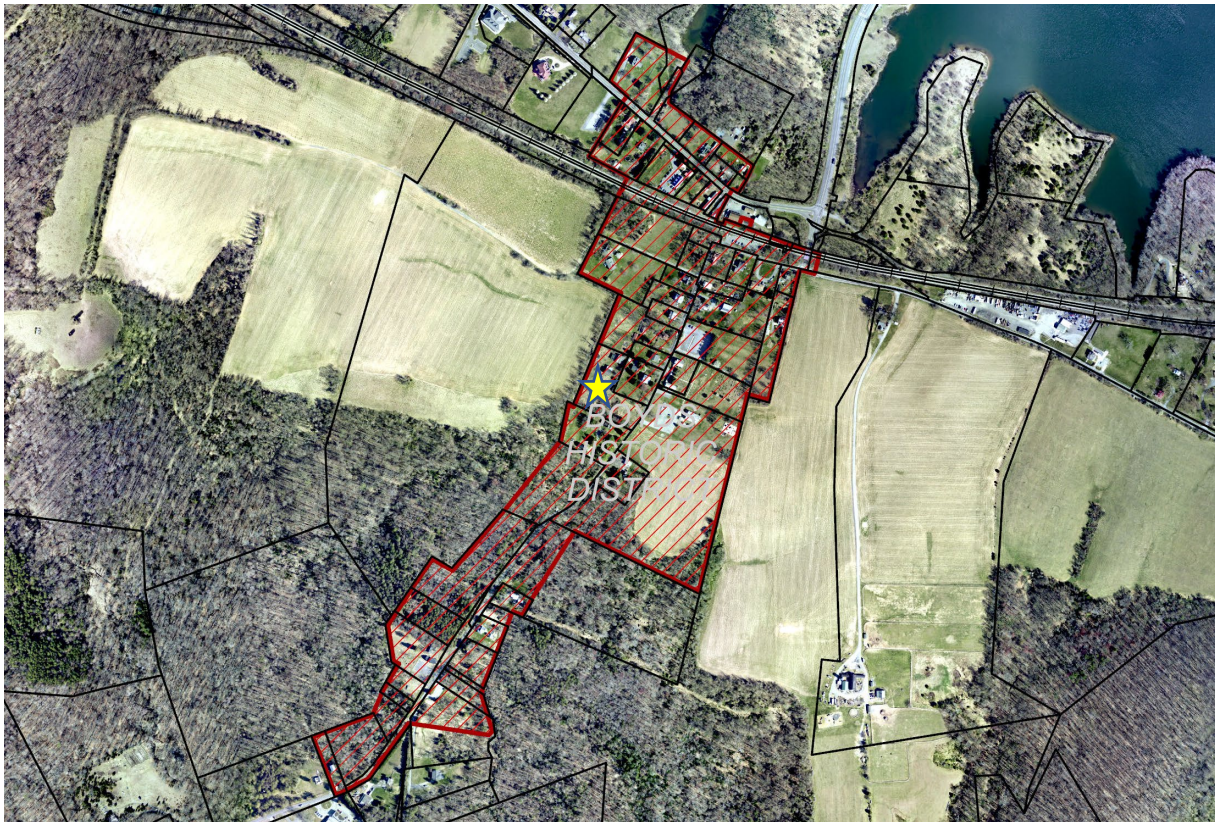


Figure 1: The Boyds Historic District is shown in red cross hatch on this aerial. The subject property is marked with a star

PROPERTY DESCRIPTION

SIGNIFICANCE: Boyds Historic District
STYLE: Vernacular
DATE: early 2000s

Four contemporary buildings are located on the property: three large agricultural toward the north corner of the property and a small, wood-frame storage shed at the south property line about 90 feet from White Ground Road.

The Boyds Historic District is a significant site within Montgomery County because of its cohesive grouping of residential, religious, and commercial structures that are characteristic of a 19th century agricultural town. Founded by Col. James A. Boyd, the town was conveniently located for farmers along the B & O Railroad who were transporting produce for shipment.

The design, setting, and building materials of the existing buildings in the district have not changed significantly since their original construction. The Boyds Historic District, from its originally mill era buildings to eventually B & O Railroad-era buildings, recalls a sense of place as a rural Maryland agricultural community circa 1900.

BACKGROUND

The subject house is a Non-Contributing Resource in the Boyds Historic District. The applicant owns the 2.21-acre, L-shaped lot, partially located behind a two-story farmhouse (Primary Resource) at 19900 White Ground Road.

The HPC has approved several HAWPs related to 19820 White Ground. In 2002, the commission approved HAWP #18/08-02A¹ for the construction of a 2.5-story house with a side wing and a one-story barn with four conditions:

- 1) Barn returns to 1-story building
- 2) Chimney on right elevation is to be removed from application
- 3) Side wing extension will be reduced in width to no greater than 18'
- 4) The newly-configured side wing extension's dormer proportions to be reviewed at staff level.

The house was to be set back approximately 150 feet from the right of way in an attempt to minimize its visual impact.

The applicant, Paul Chretien, appealed the decision (Case #A-5758) and requested that the Board of Appeals approve a second story on the barn, a second chimney on the house, and the extend the width of the side wing to 23 feet. On Sept. 25, 2002, HPC Commissioner Kim Williams testified at the hearing that she was OK with the two-story barn. She said the wing on the house was out of character with the district, but the HPC was attempting to be lenient by approving the 18-foot wing on the new construction. She said that the second chimney was out of character with the existing vernacular buildings.

The Board found that the side wing of the proposed house and the chimney on the right side of the house were not compatible with the historical and architectural features of the Boyds Historic District and they would be detrimental features to the historic district. They added that that a two-story, working barn would not be detrimental to the district.

¹ [18-08-02A_Boyds Historic District_19820 White Ground Rd_12-05-2002.pdf \(mcatlas.org\)](#)

Following this ruling by the Board of Appeals, Mr. Chretien submitted HAWP #18/08-02C² for the construction of a two-story barn and a house described as follows:

The proposed house is a 2-1/2-story, five-bay, frame dwelling with a side gable roof, a fullwidth front porch and a two-story frame extension measuring 18' x 25.' protruding from the north (side) elevation. The footprint of the proposed house is 1,602 sq. ft. not including the sq. ft. of the front porch (147 sq. ft). The applicant is also proposing to construct a rear deck, with a footprint of 360 sq. ft. The house will be clad in painted, "hardi-plank" fiber-cement, rough sawn, "cedar" grain, lap siding. The chimney will be finished with E.I.F.S (Exterior Insulation Finish System) stucco finish. The roof of the house's main massing will be 30 year, architectural shingles. The roof of the side extension and the front porch will be standing seam metal. All details including the front porch construction, the front door and the 1/1 windows will be wood and surrounded with wood trim and details.

The HPC approved the HAWP at its Dec. 4, 2002, meeting with the conditions that:

- 1) No tree larger than 6" in diameter will be removed.
- 2) The right (north) chimney is not constructed.



Figure 2. In 2002, the HPC approved HAWP #18/08-02C for the construction of a residence at 19820 White Ground Road. It was not built.

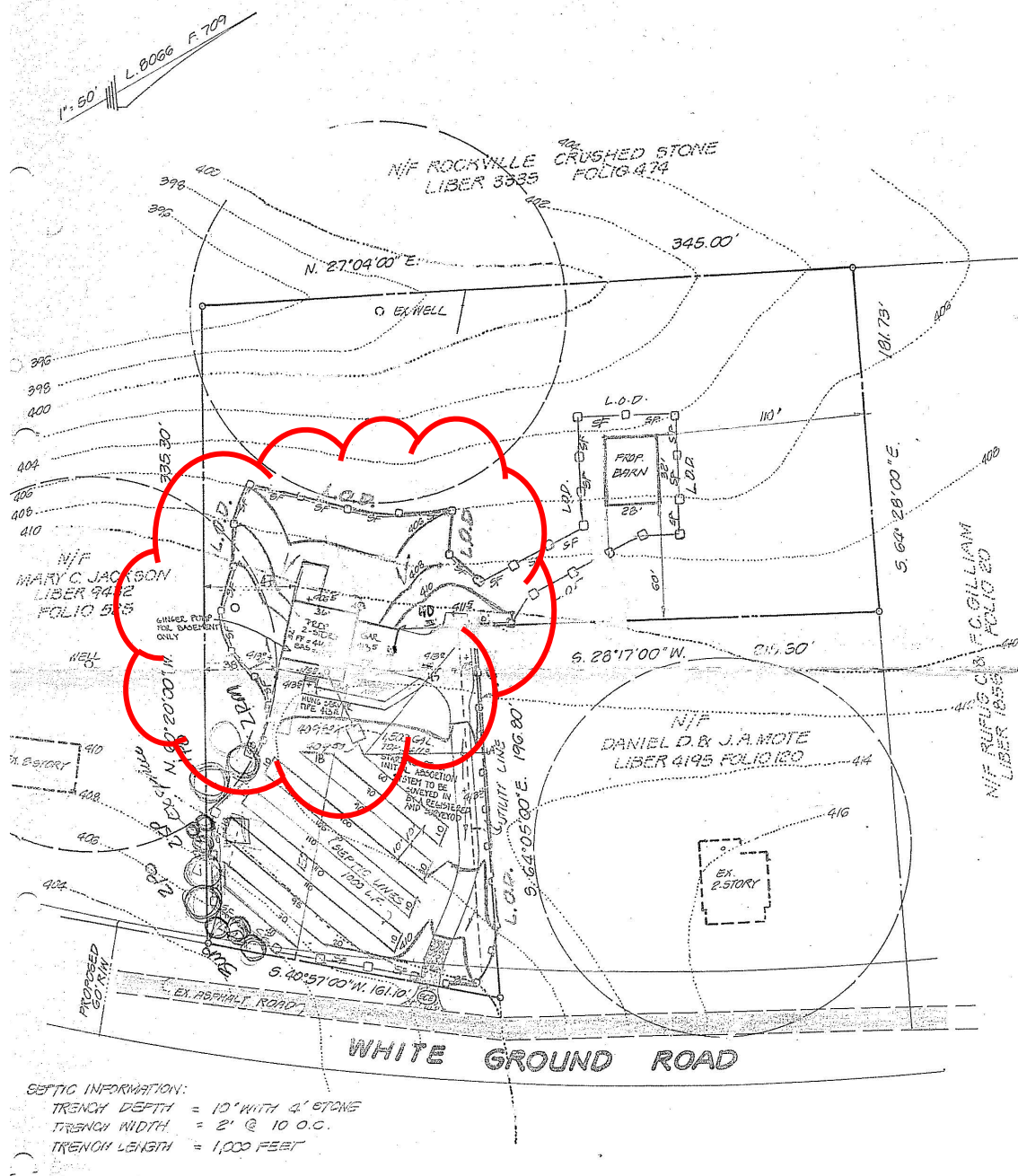


Figure 3. The site plan for HAWP #18/08-02C at 19820 White Ground Road. The proposed house location set back about 150 feet from White Ground Road is clouded in red.

The barn was constructed, but the house was not. In 2003, the HPC approved HAWP #18/08-03C for two additional outbuildings.³ According to aerials, the small wood-frame storage shed was installed circa 2003.

At its November 15, 2023, the HPC approved HAWP #1046013 for tree removals and a new fence at the property.⁴

³ [18-08-03C Boyds Historic District 19820 White Ground Rd 06-25-2003.pdf \(mcatlas.org\)](#)

⁴ [1046013 Boyds Historic District 19820 White Ground Rd 11-15-2023.pdf \(mcatlas.org\)](#)

PROPOSAL

The applicant proposes to construct a new single-family house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Boyd's Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Vision of Boyds: A Long-Range Preservation Plan (Vision)*⁵, Montgomery County Code Chapter 24A (Chapter 24A), and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below. Additionally, the HPC should use the parameters for compatibility established by the Board of Appeals in their review of the appealed HAWP from 2002.

The *Vision* provides the following analysis on the buildings in the Boyds Historic District:

Building Setbacks

Dwellings for the most part are set back from the main street. and occupy a small percentage of the lot. The distance between the house and the street is remarkably similar in the Boyds residential sections ranging from 20 feet to 50 feet. This characteristic is one of the most important elements that unifies a residential block.

Rhythm and Spacing Between Buildings

In the residential district around the Boyds Presbyterian Church, a major component of the streetscape, the houses are constructed on regular parcels of land with similar setbacks from White Grounds Road. These buildings are spaced evenly from each other, with similar setbacks creating the strongest sense of continuity along the streetscape in the district. These buildings have small front yards and larger rear yards, many with barns or outbuildings.

Geographic and Landscape Features

Boyds is dominated by large, impressive trees that line White Grounds Road. In the summer, these trees create an alley of shade along the winding course of the road. Dwellings are primarily located in the middle of the parcel of land, with fences or landscaping defining the setting of the house. Many of the houses are framed by two large trees with smaller more manicured plantings and flowers in front, and immediately surrounding the dwelling. Grass is the primary ground cover. Large expanses of grass or cultivated gardens are located behind the primary resources.

Scale and Building Height

The historic houses in Boyds are very similar in height, ranging only from two stories to two-and-a-half stories. Of the 27 historic houses in Boyds, 76% are two-and-one-half stories in height. Twenty-three percent of the dwellings are two stories high. This uniform scale contributes and is critical to the reading of the village streetscape, particularly as it winds along White Grounds Road.

Directional Expression of Building

The historic houses in Boyds show a balance between horizontal and vertically emphasized facade composition. This variety reflects the changing styles of the 19th and early 20th century that generally tended to be more horizontal than the vertically-oriented houses of the Victorian era in the late 19th

⁵ *Vision of Boyds: A Long Range Preservation Plan* can accessed here: <https://montgomeryplanning.org/wp-content/uploads/2019/09/Vision-of-Boyds.pdf>

century.

Roof Form and Material

While the majority of Boyd's historic residences have gable roof forms, there are numerous variations including end gables, cross gables and elongated gables.

Porch

A wide variety of porch types are located in Boyds reflecting all of Boyds' historic house styles. The dominate porch type is the one-story full width porch which characterizes the streetscape particularly along White Grounds Road. Seventy-six percent of the dwellings in Boyds have full one-story front porches.

Dominant Building Material

The dominant building material in Boyds is wood, executed in clapboard and weatherboard.

Architectural Style – Gothic Revival

The Gothic Revival style as executed in Boyds is characterized by its symmetrical facade with side gables and a prominent cross gable, oftentimes decorated with bargeboards. Typically the houses have a one-story entry or full-width porch with decorative brackets, spindles or posts.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59)

The Secretary of the Interior's Standards for Rehabilitation

1. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is located within the Boyds Historic District on the west side of White Ground Road. The property is L-shaped and measures 2.21 acres. According to the survey provided, the topography rises 14 feet from the right of way before it peaks and slopes down toward the back of the property line. Four buildings are located on the property: three large agricultural toward the north corner of the property and a small, wood-frame storage shed at the south property line about 90 feet from White Ground Road.

Siting

The applicant proposes a 2.5-story residence measuring approximately 4,000 square feet. It will be set back approximately 100 feet from White Ground Road on the highest point of the property. The *Vision* provides criteria for the evaluation of new construction in the Boyds Historic District. The subject property is adjacent to two residences listed as Primary Resources within the Boyds Historic District: 19810 White Ground Road, a circa 1880s 2.5-story vernacular farmhouse measuring 1,322 square feet, to the south, and 19900 White Ground Road, a circa 1880s 2.5-story Gothic Revival residence measuring 2,340 square feet, to the north. The residence at 19810 White Ground Road is set back 90 from the road, and 19900 White Ground Road is set back 35 feet.

The home will be perched on top of a crest, so it will be especially prominent. The 100' setback combined with landscaping, should help reduce some of the visual impact from the right of way. But the house may loom too large over the historic resources at lower elevations. Additionally, the Board of Appeals considered siting as part of the HAWP appeal in 2002 and determined at that time that a 150' setback was appropriate given the potential for a house closer to the road to have an adverse visual effect on the District. Mindful of this previous guidance and given the size of the house as proposed, which is larger than the previously proposed approval, staff recommends that the house be relocated back to the 150' setback as a minimum.

Size, Scale, and Massing

The proposed house will have a three-bay wide symmetrical core with a centered gable roof. It will measure 34'9" tall from ground to roof peak. A two-bay wing will be located at the right side. The wing also will be 2.5 stories tall but will be a few feet shorter than the core of the house and slightly set back. The wing will be one-story tall toward the front of the house before it steps up to 2.5 stories toward the back. An appendage will extend 10 feet off the rear elevation.

The home will be larger in size than all the other residences in the Boyds Historic District by about 1,000 square feet. Staff is concerned that the proposed building's size, scale, and massing are too large when compared to the Primary Resources within the district and does not conform with 24A-8(d) and *Standards* 9 and 10. Staff is particularly concerned about the size of the proposed wing. Based on staff comments, the applicant has reduced the size of the wing and made it subservient to main core of the home on previous drafts, but it still will be taller and wider than the wing on the design approved by HPC in 2002 with *HAWP #18/08-02C (Figure 2)*. It is important that the building be designed with 360-degree architecture, and that modern construction techniques, such as the size of standard truss widths, not dictate the massing and size of the floorplan.

The applicant is not required to copy the design approved by the HPC in 2002, but the design is the

framework for what would be compatible for the property. Staff encourages the applicant to copy the size, scale, and massing of the wing on the previously approved house design and implement it with the redesign of the wing for this application or perhaps eliminate the wing all together.

Architectural Style

The foundation type and material are unknown, but the foundation will be clad in cultured stone. It is unknown if the home will have a basement. The building will be clad in horizontal Hardieplank siding with a 5” reveal. The cross-gable roofs will be covered in architectural grade shingles. Fenestration will include 1/1 sash windows, single-lite fixed windows, a sliding door on the rear elevation, and an eight-light wood paneled front door. The material of the windows has not been indicated. The cross-gable, hip, and shed roofs will be covered with architectural-grade asphalt shingles. A covered porch that measures 29’-by-6’ will extend along the core of the house. It will have a hip roof supported by ornate columns. The perimeter of the porch will be lined by a balustrade. Ornamentation will include side lights that flank the front door; 4” Hardie window surrounds; louvered vents; window lintels and sills; faux shutters beside most of the windows on the front, left-, and right-side elevations.

Staff appreciates the applicant’s willingness to propose a traditionally styled building that contains elements found on historic homes in the district. The full-width front porch and horizontal siding are features common in the district, and the Gothic Revival-style homes have centered gables. Staff finds the proposed fiber cement siding, cultured stone foundation, and architectural grade asphalt shingles to be appropriate for the proposed construction. Either aluminum or aluminum clad wood windows would be appropriate as well. Staff would support the installation of solar panels on the main house roof should the applicant wish to pursue. The applicant has not provided plans for a detached garage, decking, or hardscaping, but staff is open to the additional features on the property.

Staff also encourages the applicant to look to the existing homes in the district for design inspiration in terms of size, scale, massing, placement, and materials. The *Vision* provides analysis on the design features that characterize the district. Besides the centered gable and front porch, the home lacks much in common with the Primary Resources within the district.

Staff requests feedback from the HPC on:

- Any comments on the main house design, including the wing;
- The appropriateness of the main house size;
- The appropriateness of the main house scale;
- The appropriateness of the main house massing;
- The appropriateness of the main house placement;
- The appropriateness of any identified materials; and
- Any other comments.

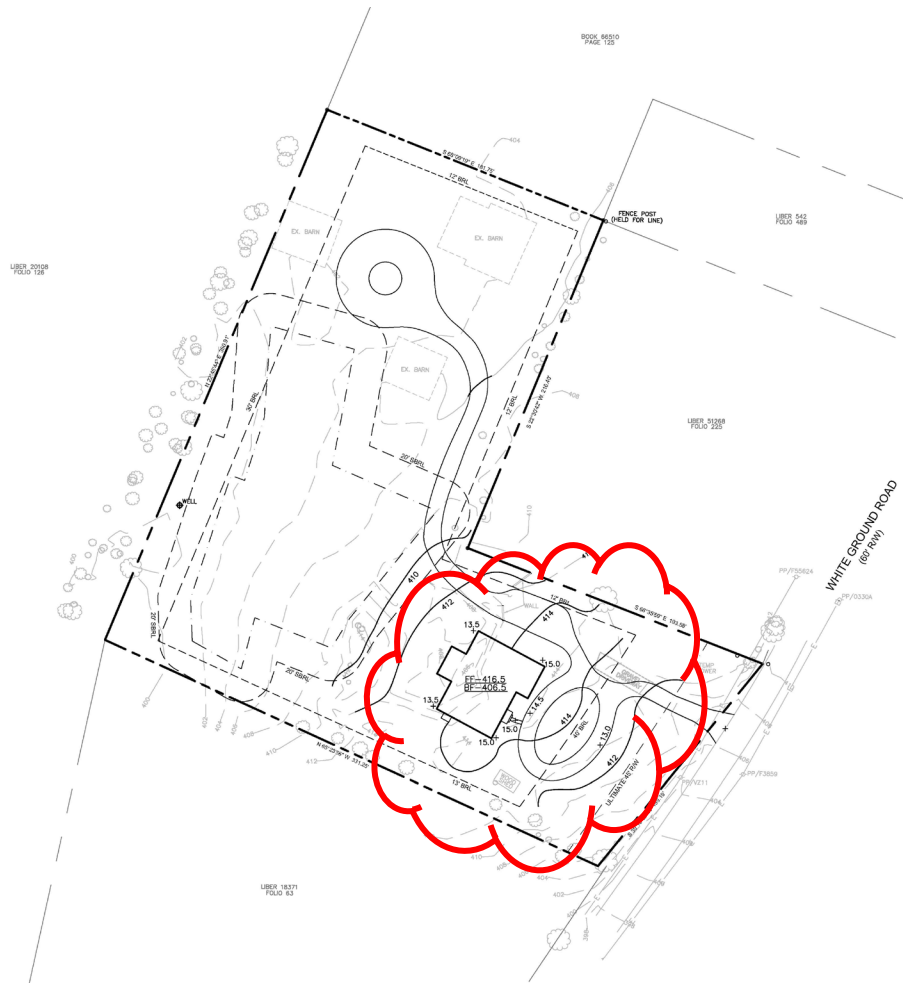


Figure 4: The proposed house footprint is clouded in red in the site plan of the property set back about 100 feet from the right of way.

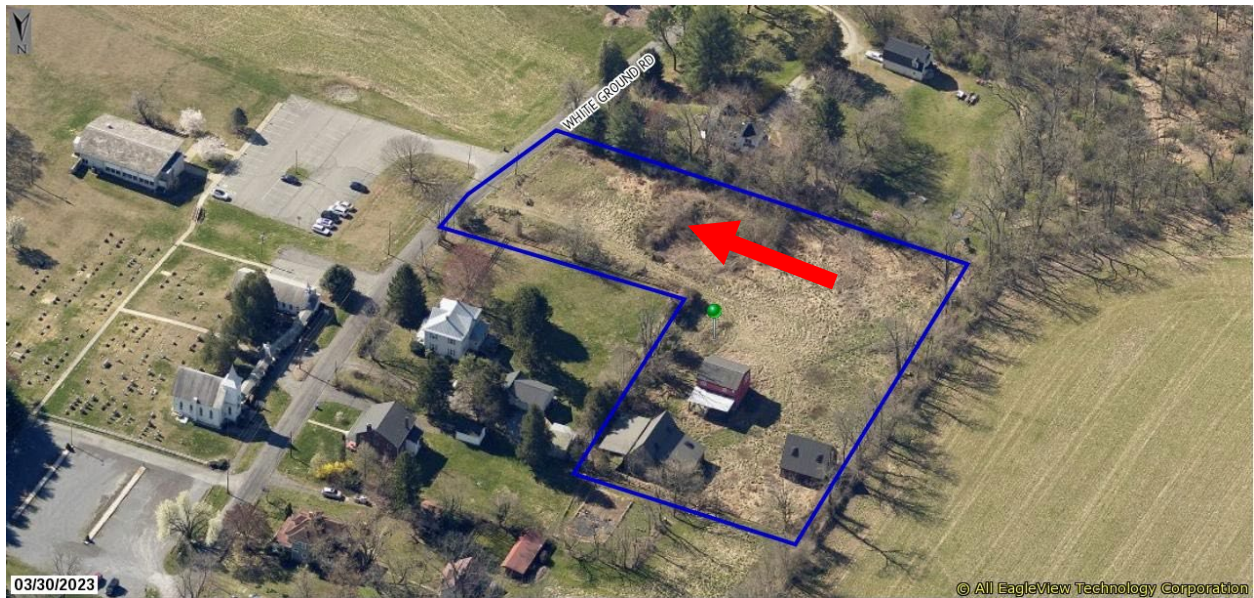


Figure 5. This CONNEXplorer aerial shows the subject property outlined in blue. The proposed house location is indicated with a red arrow.



Figure 6: The subject property as seen from the right of way. The home will be situated on a crest set back about 100 feet from White Ground Road in the area indicated with a red arrow.

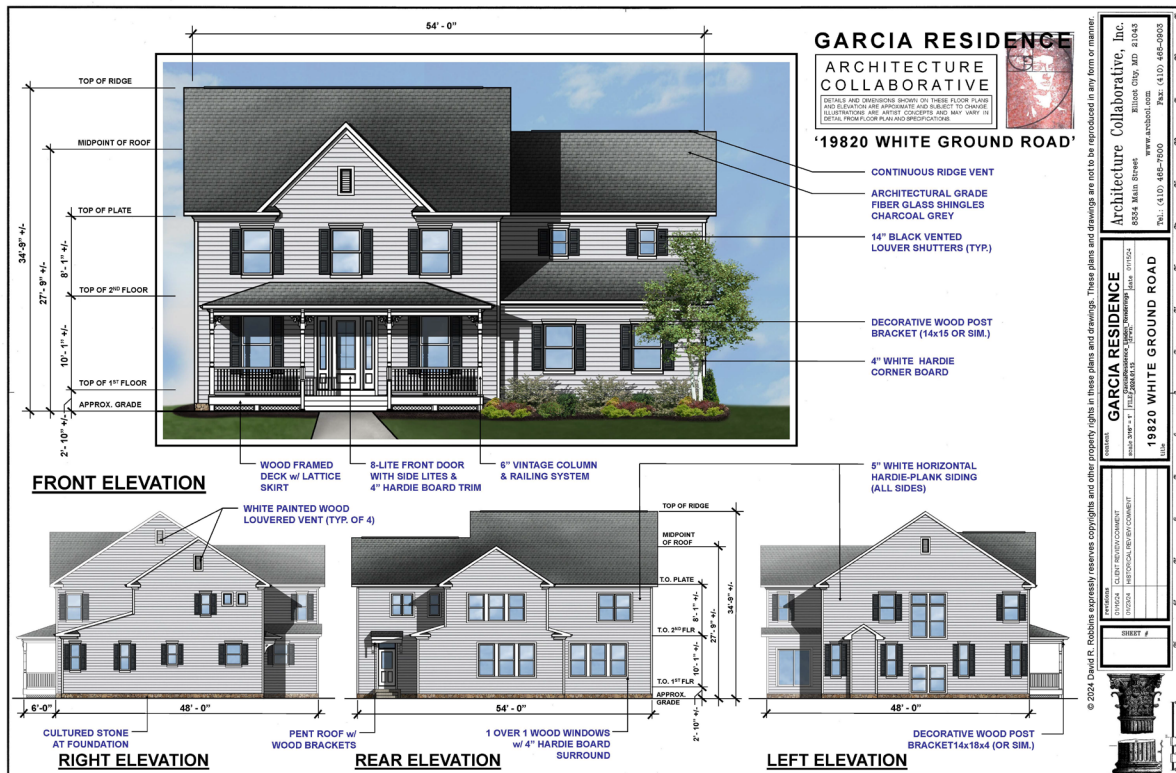


Figure 7: The proposed architectural plans for the subject property.

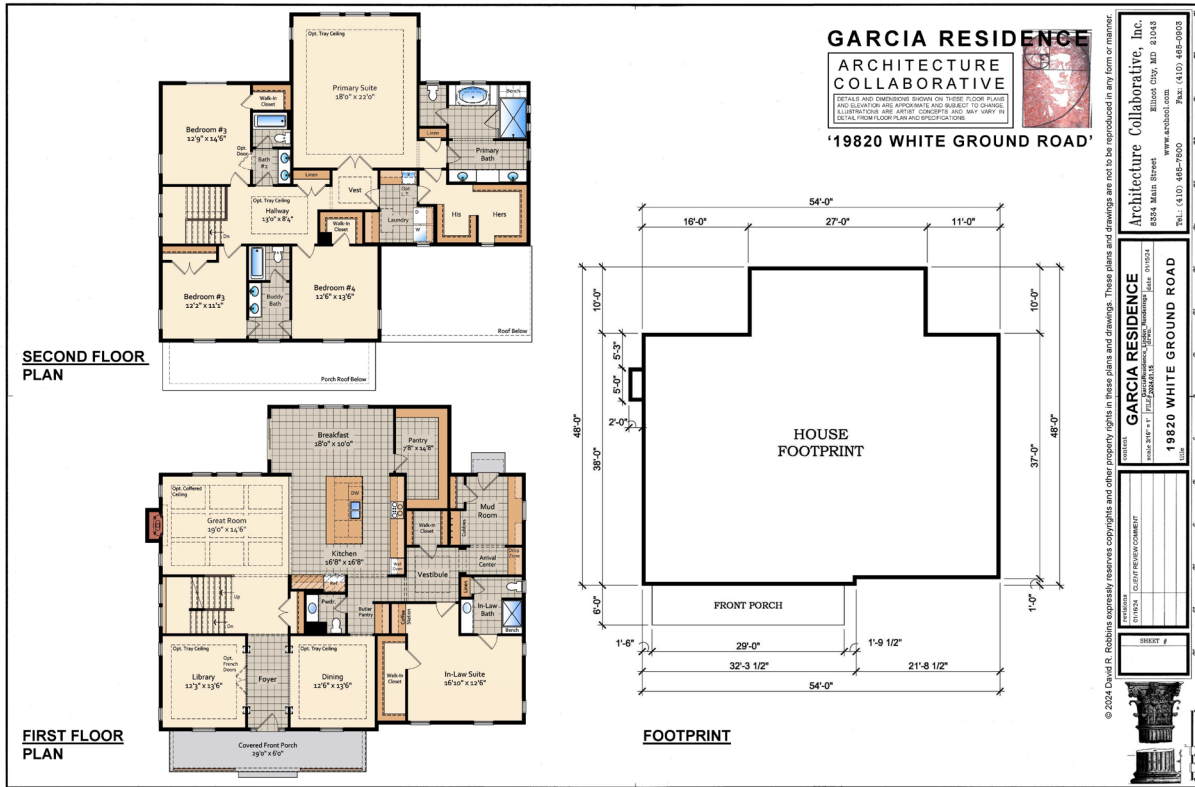


Figure 8: The proposed floor plans for the subject property.

The applicant has provided photos of the contemporary farmhouse vernacular style house at 19930 White Ground Road and has cited the HPC’s 1995 approval of the home as part of HAWP #18-8-95A⁶ as precedent for their design. The home at 19930 White Ground was built in 1995 and measures 3,062 square feet. Based on tax records, it appears to be the largest home in the Boyds Historic District.

Staff does not believe the massing of the wing at the residence at 19930 White Ground Road is a good model for the proposed residence at 19820 White Ground. The house at 19930 White Ground Road is set back 430 feet from White Ground Road and is not readily visible from the right of way because it is located behind the residences at 19920 and 19924 White Ground. Further, the HPC reviewed the building retroactively in 1995 when it was an estimated 80 to 90 percent constructed.

6 The case file for HAWP #18-8-95A is available here: https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640005/Box037/18-8-95A_Boys%20Historic%20District_19930%20White%20Ground%20Rd_03-09-1995.pdf



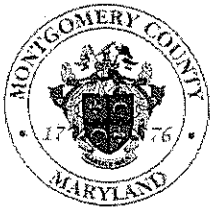
Figure 9: The applicant has cited 19930 White Ground Road as a model for infill residential construction in the Boyds Historic District. The HPC retroactively approved 19930 White Ground Road in 1995 with HAWP #18-8-95A.

STAFF RECOMMENDATIONS

Staff recommends the applicant make any revisions recommended by the HPC and return for a second preliminary consultation.

Staff is concerned that the proposed building's size, scale, and massing are too large when compared to the Primary Resources within the district and does not conform with 24A-8(d) and *Standards* 9 and 10. At approximately 4,000 square feet, it will be the largest home in the Boyds Historic District by 1,000 square feet. Although it will be set back approximately 100 feet from White Ground Road, it will be situated on top of a rise, so it will be especially visible at nearly 35 feet tall. Therefore, staff proposes the house be set back farther to match the 150' setback approved by HPC in 2002. Additionally, staff recommends the house size be reduced along with the massing so that it better conforms to other properties within the District. The *Secretary of the Interior's Treatment Guidelines* specify that infill construction should not be larger than the existing adjacent buildings within a district or individual site.⁷ Staff is especially concerned about the size of the proposed wing, which is larger than the wing proposed as part of a previously approved house design for the property. The design does include elements found in the district such as the centered gable, full width covered front porch, and horizontal siding, but is as a whole a common house design. Staff encourages the applicant to look to the Primary Resources in the district for direction on the architectural elements that make the Boyds Historic District unique and incorporate those elements in the redesign.

⁷ <https://www.nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf>, pg. 162. Other Recommended/Not Recommended treatments for New Construction are throughout the document.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1055979
DATE ASSIGNED _____

APPLICANT:

Name: Danilza Garcia
Address: 11134 Newport Mill RD
Daytime Phone: 301-755-4862

E-mail: Danilza_D_Garcia@mcpsmd.org
City: Kensington Zip: 20895
Tax Account No.: 00920805

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property Boyds

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 19820 Street: White Ground Rd
Town/City: Boyds Nearest Cross Street: Clopper Rd
Lot: _____ Block: _____ Subdivision: 0001 Parcel: 404

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Danilza Garcia January 16, 2024
Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
11134 Newport Mill Rd
Kensington, MD 20895

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

ELENA SHUVALOV
19900 WHITE GROUND RD BOYDS
20841

DONNA L & MARK SHAW
19810 WHITE GROUND RD BOYDS 20841

BRIAN AUGUST SKOOG
19910 WHITE GROUND RD BOYDS
20841

PRESBYTERIAN CHURCH
19821 WHITE GROUND RD BOYDS 20841

19904 White Ground Road, Boyds MD 20841

8101 Glenbrook Road STE 220, Bethesda MD 20814

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property is a 2 acres L shape lot, located in a non-contributing resource in the Boyds Historic District.

The property has 3 existing beautiful and well build barns.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Our 2 acres L shape lot (88,000 sq. ft.) is larger in relationship to other properties in Boyds.

2 acres lot to build our forever home in a Modern Gothic Revival Style.

The house will be constructed facing White Ground RD at about 150 ft. to 200 ft. of distance from the road.

We are proposing a similar style of house already existing at 19930 White Ground RD. will attached pictures of the house on 19930 White Ground RD

Work Item 1: New Construction

Description of Current Condition:
2 Acres lot with 3 barns

Proposed Work:
Construct a new house in a Modern Gothic Revival Style

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

LIBER 20108
FOLIO 126

LIBER 542
FOLIO 489

LIBER 51268
FOLIO 225

LIBER 18371
FOLIO 63



54' - 0"

GARCIA RESIDENCE

ARCHITECTURE COLLABORATIVE

DETAILS AND DIMENSIONS SHOWN ON THESE FLOOR PLANS AND ELEVATION ARE APPROXIMATE AND SUBJECT TO CHANGE. ILLUSTRATIONS ARE ARTIST CONCEPTS AND MAY VARY IN DETAIL FROM FLOOR PLAN AND SPECIFICATIONS.



'19820 WHITE GROUND ROAD'

34'-9" +/-
 27'-9" +/-
 8'-1" +/-
 10'-1" +/-
 2'-10" +/-

TOP OF RIDGE
 MIDPOINT OF ROOF
 TOP OF PLATE
 TOP OF 2ND FLOOR
 TOP OF 1ST FLOOR
 APPROX. GRADE



CONTINUOUS RIDGE VENT

ARCHITECTURAL GRADE FIBER GLASS SHINGLES CHARCOAL GREY

14" BLACK VENTED LOUVER SHUTTERS (TYP.)

DECORATIVE WOOD POST BRACKET (14x15 OR SIM.)

4" WHITE HARDIE CORNER BOARD

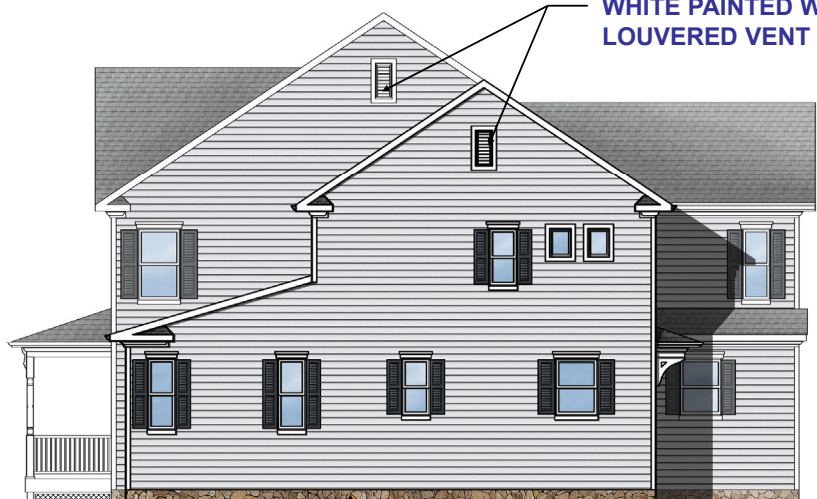
WOOD FRAMED DECK w/ LATTICE SKIRT

8-LITE FRONT DOOR WITH SIDE LITES & 4" HARDIE BOARD TRIM

6" VINTAGE COLUMN & RAILING SYSTEM

FRONT ELEVATION

WHITE PAINTED WOOD LOUVERED VENT (TYP. OF 4)



CULTURED STONE AT FOUNDATION

RIGHT ELEVATION

PENT ROOF w/ WOOD BRACKETS



REAR ELEVATION

1 OVER 1 WOOD WINDOWS w/ 4" HARDIE BOARD SURROUND

TOP OF RIDGE
 MIDPOINT OF ROOF
 T.O. PLATE
 T.O. 2ND FLR
 T.O. 1ST FLR
 APPROX. GRADE

34'-9" +/-
 27'-9" +/-
 8'-1" +/-
 10'-1" +/-
 2'-10" +/-

5" WHITE HORIZONTAL HARDIE-PLANK SIDING (ALL SIDES)



DECORATIVE WOOD POST BRACKET 14x18x4 (OR SIM.)

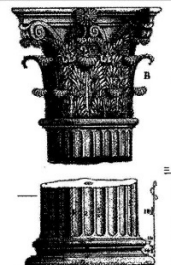
LEFT ELEVATION

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Architecture Collaborative, Inc.
 Elliott City, MD 21043
 8334 Main Street
 www.archcol.com
 Tel.: (410) 466-7500 Fax: (410) 466-0903

GARCIA RESIDENCE	
content	GarciaResidence_Linden_Renderings.dwg
scale	3/16" = 1'
date	01/15/24
FILE #	2024.01.15
19820 WHITE GROUND ROAD	
title	

revisions	01/16/24	CLIENT REVIEW COMMENT
	01/23/24	HISTORICAL REVIEW COMMENT
SHEET #		



SECOND FLOOR PLAN



FIRST FLOOR PLAN

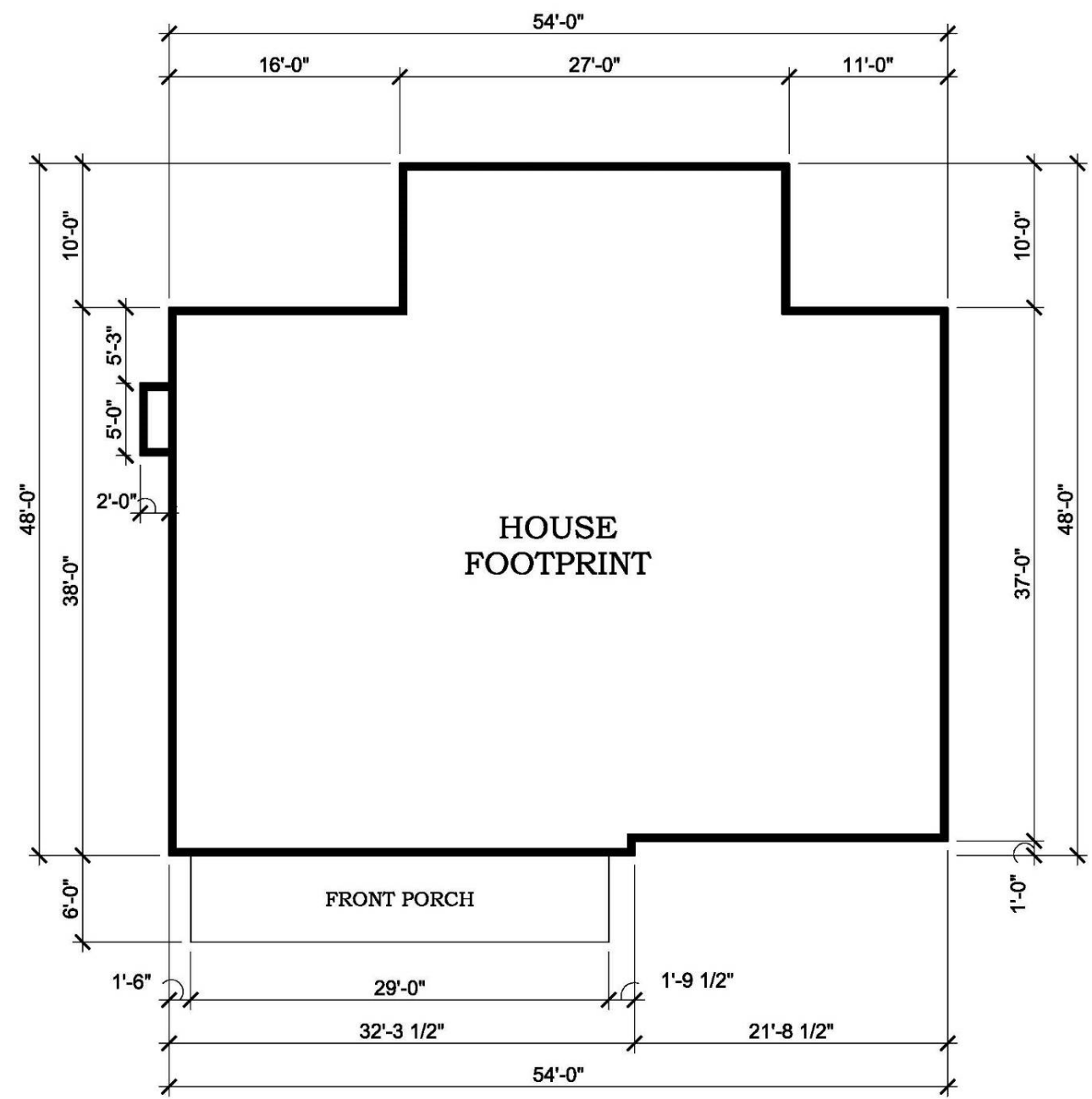


GARCIA RESIDENCE
ARCHITECTURE COLLABORATIVE

DETAILS AND DIMENSIONS SHOWN ON THESE FLOOR PLANS AND ELEVATION ARE APPROXIMATE AND SUBJECT TO CHANGE. ILLUSTRATIONS ARE ARTIST CONCEPTS AND MAY VARY IN DETAIL FROM FLOOR PLAN AND SPECIFICATIONS.



'19820 WHITE GROUND ROAD'



FOOTPRINT

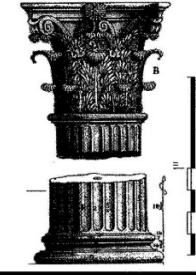
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content **GARCIA RESIDENCE**
 scale 3/16" = 1' FILE# 2024.01.15 date 01/15/24
 title **19820 WHITE GROUND ROAD**

revisions	CLIENT REVIEW COMMENT
01/16/24	

SHEET #





HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairperson

November 14, 2023

Ms. Jamie Garcia
19820 White Ground Road
Boys, MD 20841

Re: Removal of numerous dead tree(s) in the Boys Historic District

Dear Jamie Garcia,

I have received your arborist's report dated 11/14/2023 regarding the above-referenced tree(s), which documents the assessment that this tree(s) is dead/dying or a hazard and in severe decline.

Therefore, due to the health and hazard of the subject tree(s), the Historic Preservation Commission authorizes the removal of the tree(s).

This letter serves as your permission to remove the tree(s) without further review by the HPC. If you have any additional questions, please do not hesitate to contact me at 301-563-3400.

Sincerely,


Kevin Manarolla

Kevin Manarolla,
Senior Administrative Specialist
Historic Preservation Section, M-NCPPC





**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1046013
DATE ASSIGNED _____

APPLICANT:

Name: Jaime Garcia
Address: 11134 Newport Mill RD
Daytime Phone: 301-755-4862

E-mail: chiry829@gmail.com
City: Kensington Zip: 20895
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? X Yes/District Name Boys
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 19820 Street: White Ground RD
Town/City: Boys Nearest Cross Street: Clopper RD
Lot: _____ Block: _____ Subdivision: _____ Parcel: 404

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input checked="" type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jaime Garcia _____ OCTOBER 4, 2023
Signature of owner or authorized agent Date

Work Item 1: Removal of Trees

Description of Current Condition:
Dead, weed and dry trees

Proposed Work:
Removal and planting new trees

~~Work Item 2: Remove old Fence~~

~~Description of Current Condition:
Broken and rotten wooden fence~~

~~Proposed Work:
Replace it with Hogwire Panel Fence.~~

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 11134 Newport Mill RD Kensington, MD 20895	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Boyd's Presbyterian Church 19821 White Ground RD Boyd's, MD 20841	Mr & Mrs Shaw 19810 White Ground RD Boyd's, MD 20841
Ms. Elena Shuvalov 19900 White Ground RD Boyd's, MD 20841	Mr. Brian August Skoog 19910 White Ground RD Boyd's, MD 20841

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

2 acres lot with 3 barns

Description of Work Proposed: Please give an overview of the work to be undertaken:

Remove dead trees and replace them with new red maple and cherry blossom trees.

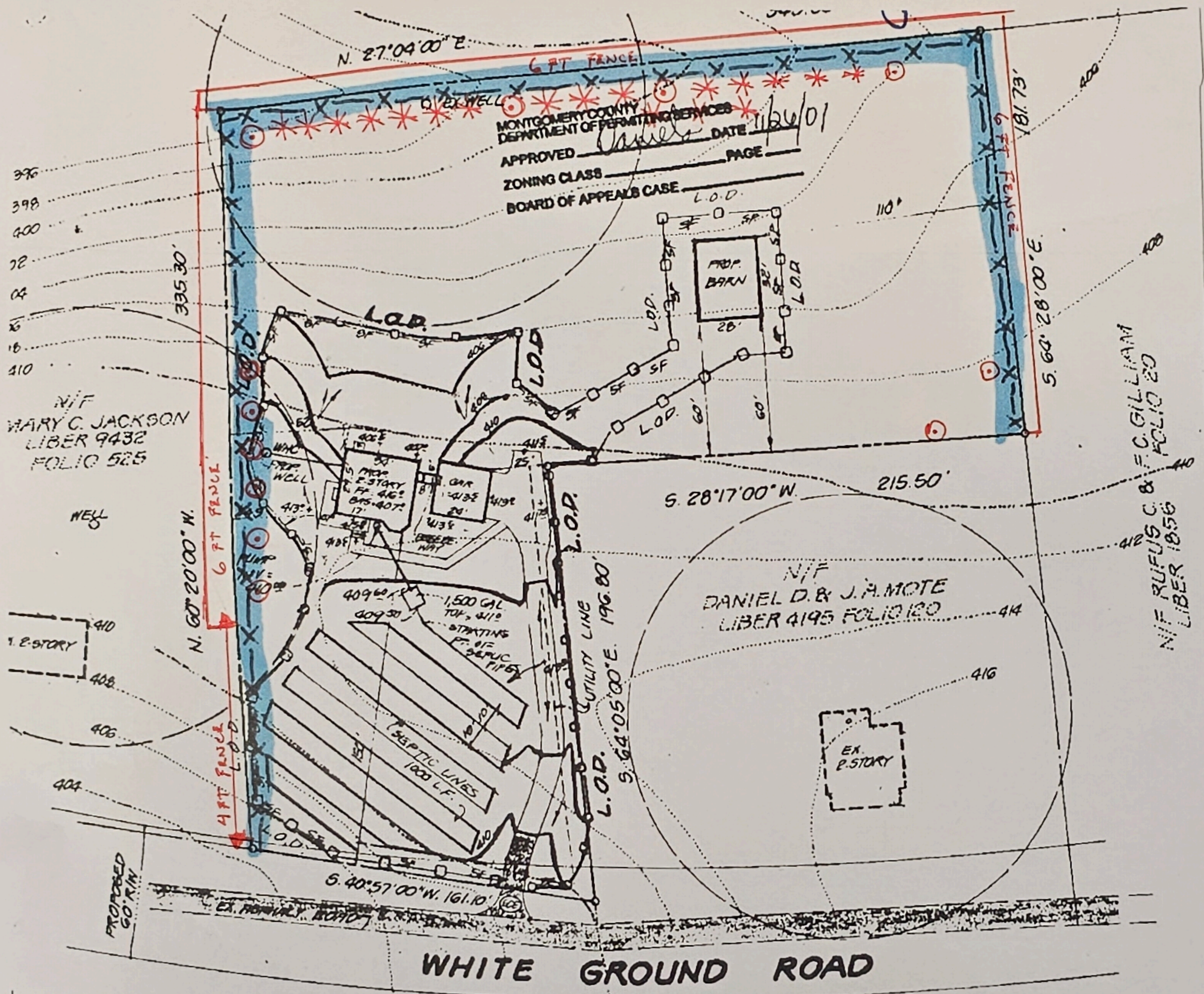
~~Remove existing broken and rotten wooden fence and replace it with Hogwire Panel Fence.~~

REMOVAL OF TREES

We would like to remove dead and weed trees that are been growing and dying in the property due to years of negligence of abandoned property.

We are planning to replace the dead and weed trees with maples and cherry blossoms trees.

Attached are the picture of some of the trees the need our attention.



MONTGOMERY COUNTY
 DEPARTMENT OF PERMITTING SERVICES
 APPROVED *[Signature]* DATE 11/24/01
 ZONING CLASS _____ PAGE _____
 BOARD OF APPEALS CASE _____

N/F
 WARY C. JACKSON
 LIBER 9432
 FOLIO 525

N/F
 DANIEL D. & J. A. MOTE
 LIBER 4195 FOLIO 120

N/F
 RUFUS C. & F. C. GILLIAM
 LIBER 1856

WHITE GROUND ROAD

SEPTIC INFORMATION:
 TRENCH DEPTH = 10" WITH 8" STONE
 TRENCH WIDTH = 2' @ 10 O.C.
 TRENCH LENGTH = 1,000 FEET

<p>IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE ADJUSTMENT OF ALL UTILITIES</p>	<p>LEGEND</p> <p>Existing contours ----- 100 -----</p> <p>Proposed contours ----- 100 -----</p> <p>Existing spot elevation • 100.0</p> <p>Proposed spot elevation • 100^B</p> <p>Limits of disturbance ---○---</p> <p>Silt fencing ---SF---</p>	<p>METAL PROPERTY CORNERS REQUIRED</p> <p>AS OF JANUARY 1, 1982 PERMITTEE SHALL COMPLY WITH COUNTY CODE SECTION 24-120 PRIOR TO ACCEPTANCE OF STREETS</p>
<p>CALL "MISS UTILITY" 1-800-257-7777 FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.</p>		

Legend
 ⊙ Weed
 * Dead

Fence will be located entirely in owner's land and not in property line as selected on application





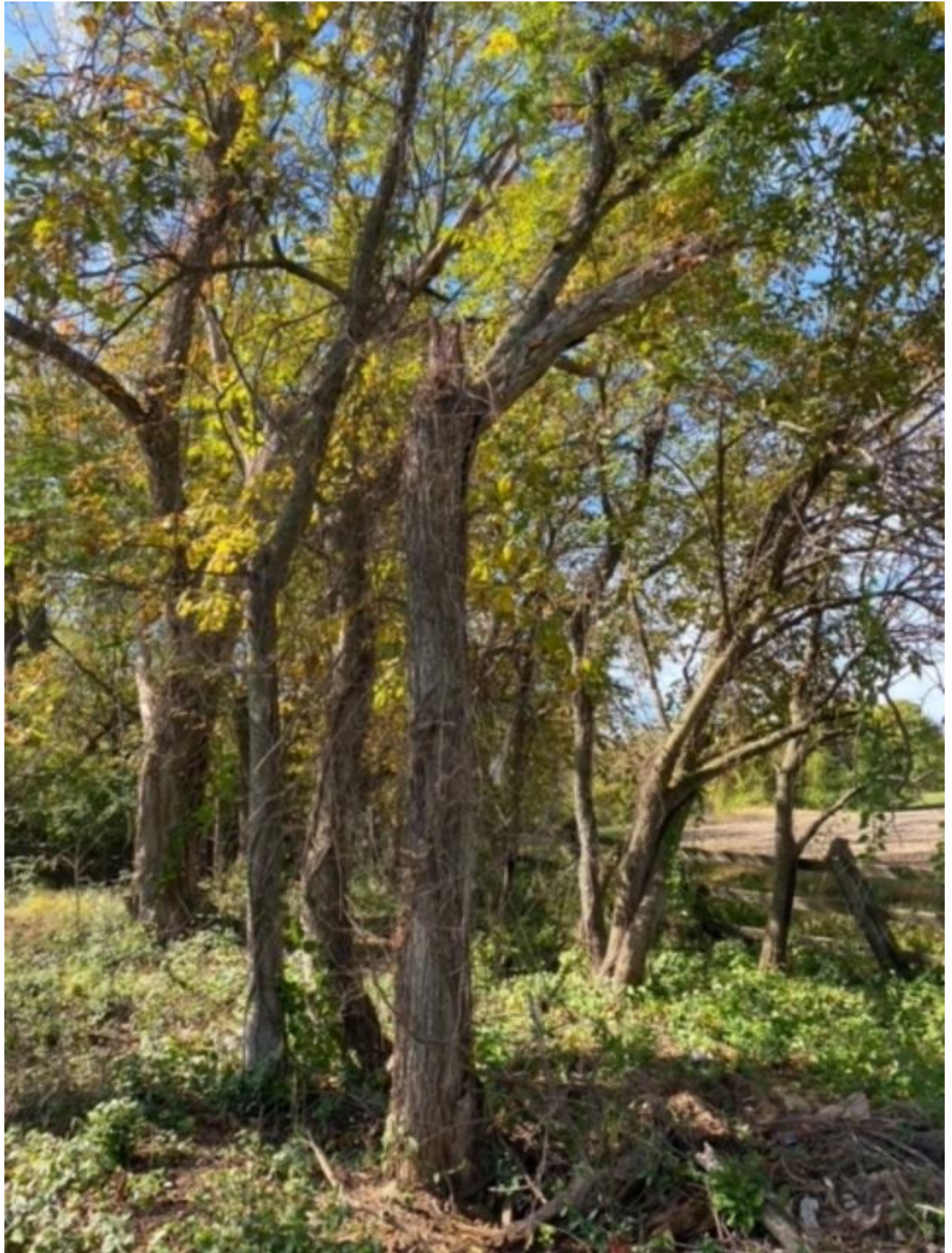






















































19930

