

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	511 Philadelphia Ave., Takoma Park	Meeting Date:	3/6/2024
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	2/28/2024
Applicant:	Christopher Khoury Megan DiNicola, Architect	Public Notice:	2/21/2024
Review:	HAWP	Tax Credit:	Partial
Case Number:	1054004	Staff:	Dan Bruechert
Proposal:	Partial Demolition, Rear Addition, Fenestration Alteration, and Roof Replacement		

RECOMMENDATION

Staff recommends that the Historic Preservation Commission **approve with four (4) conditions** the HAWP application with final approval of all details delegated to staff:

1. Detailed specifications for the windows in the proposed addition shall be submitted to Staff for review and approval. The proposed windows shall have a finish consistent with painted wood and have permanently affixed exterior and interior grills with a spacer bar between the glass. Final approval authority to verify this condition has been satisfied is delegated to Staff.
2. Detailed deck and railing specifications shall be submitted to Staff for review and approval. Final approval authority to verify this condition is compatible with the character of the site and surrounding district is delegated to Staff.
3. Documentation demonstrating this proposal has been reviewed and approved by the Takoma Park Arborist shall be submitted to Staff with final documentation prior to issuance of the final HAWP.
4. Approval of this HAWP does not extend to the alterations to the front windows and doors. Final plans showing the existing configuration and materials shall be submitted to Staff for review and approval prior to the issuance of the final HAWP.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: c.1926

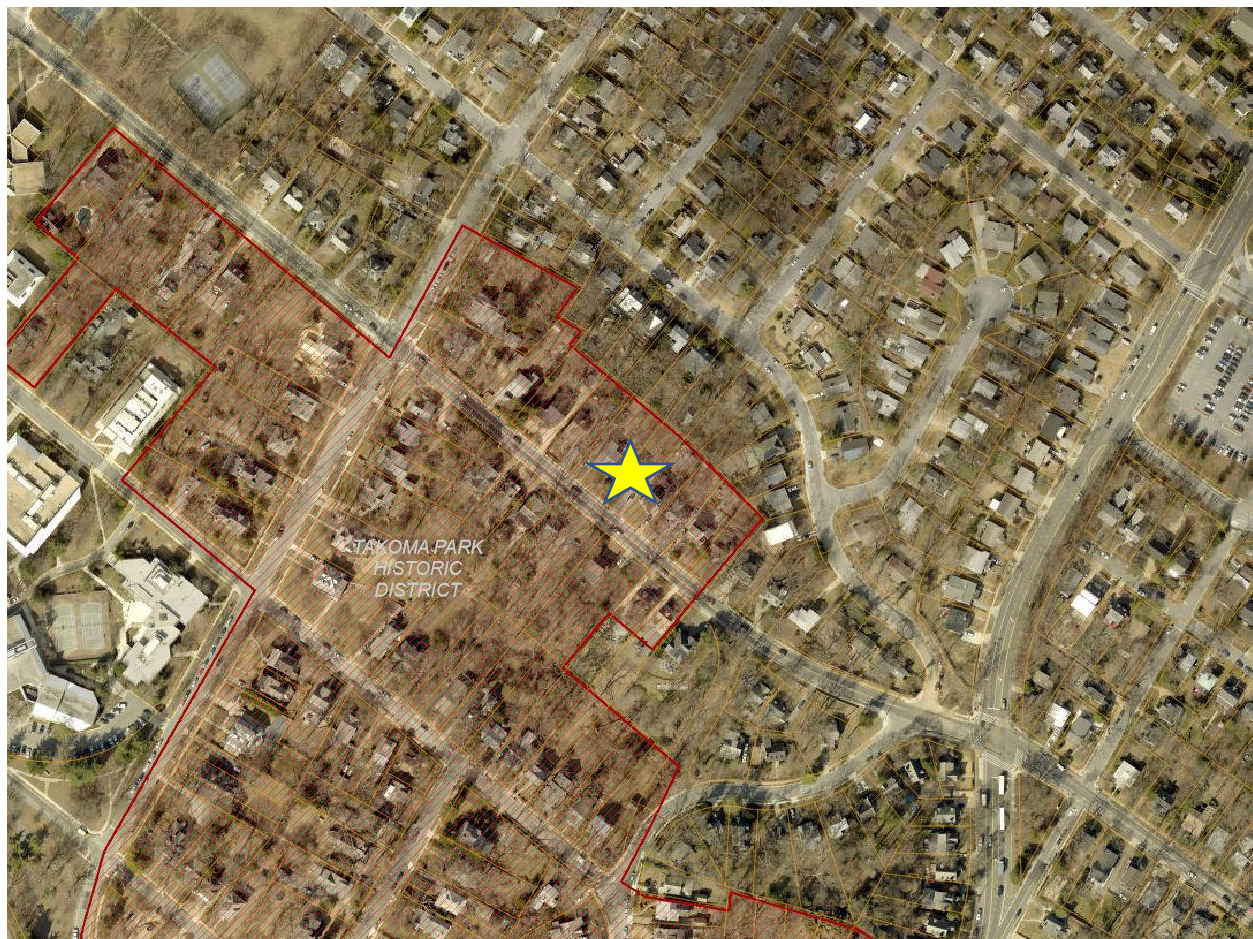


Figure 1: The subject property is located in the middle of the block on Philadelphia Ave. at the edge of the historic district.

PROPOSAL

The applicant proposes to demolish a portion of the rear of the house, construct a new rear addition, relocate two windows, and to change the front elevation fenestration.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the

character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a one-and-a-half-story side gable Craftsman bungalow with a front-facing shed dormer and a partial width hipped-roofed front porch. The house is covered in shake siding with six-over-one windows throughout. The applicant proposes to demolish the rear wall and non-historic addition and construct a larger rear addition in its place; relocate two windows from the rear to the side addition; and change the location of the front door and two windows. The applicant proposes to install a new architectural shingle roof over the historic roof and the building addition.

Other work shown on the plans including, cedar shake repair, wood trim repair, and repointing are all considered in-kind repairs and do not require a HAWP. This work is eligible for the County Historic Preservation Tax Credit program.

Partial Demolition and Building Addition and Deck Construction

The rear of the house has a non-historic enclosed rear porch and deck, sided in T1-11 with aluminum framed windows. There is a shed dormer that matches the front-facing dormer in the roof with exposed rafter tails, sash windows, and exposed rafter tails. The applicant proposes to demolish the non-historic porch, dormer, and historic rear wall. The applicant proposes to construct a new rear addition in its place.

The proposed addition is two stories tall with an exposed parged block basement and measures approximately 26' × 22' (twenty-six feet wide by twenty-two feet deep). The addition's rear gable roof matches the historic ridge height. The first floor of the addition will be covered in fiber cement clapboards while the second-story and first-floor bay will be covered in cedar shakes to match the historic walls. Windows throughout the rear addition are Andersen 400-series windows, identified in the window schedule as composite-clad windows with "SDL muntins." The proposed rear sliding glass door will be an Andersen 400 series door. At the rear of the proposed addition, the applicant proposes to construct a deck, 12' × 19' 4" (twelve feet deep by nineteen feet, four inches wide) with black locust decking, an aluminum handrail, and Boral trim.

Staff finds that the existing rear addition, dormer, deck, and rear wall are features that are not visible from the public right-of-way and do not significantly contribute to the historic character of the building or the surrounding district. Staff recommends the HPC approve the partial rear demolition under 24A-8(b)(2) and (d); the *Design Guidelines*, and *Standards* #2, 9, and 10.

Staff further finds the overall size and form of the addition are compatible with the existing house and will not overwhelm the existing construction or surrounding streetscape. The rear-facing gable ridge does not exceed the height of the historic side gable, the rear gable with shed dormers is a typical Craftsman feature, and the 22' (twenty-two foot) depth is approximately 50% of the existing house depth. The one deviation from typical HPC requirements is the small size of the addition's wall inset. Typically, additions are required to be inset by 1' (one foot) from the historic wall plane to differentiate the new from the historic and to reinforce the primacy of the historic construction. The walls of the proposed

addition are only inset by 2” (two inches). However, in this instance, Staff finds the proposed minimal inset is acceptable for several reasons. First, the exterior siding helps to differentiate the new construction from the historic. The siding on the proposed addition is fiber cement clapboards, while the historic siding is cedar shake. The two periods of construction will plainly read as separate. The second consideration is the narrowness of the existing house. The existing house is a relatively modest 26’ 4 ½” (twenty-six feet, four and one-half inches) wide. Staff finds that it is preferable at the subject property to build a slightly wider addition than to build a narrower addition that is deeper into the lot.

Staff finds the materials proposed for the addition, including fiber cement and cedar shake siding, the parged concrete foundation, and the architectural shingle roof are all appropriate for new construction and building additions in the Takoma Park Historic District. Staff finds the window placements, sizes, and configurations are all compatible and consistent with the Craftsman architecture of the historic house.

Staff does not find the details included in the application materials sufficient to make a determination of appropriateness and a recommendation to the HPC. The window schedule submitted as G-100 shows the windows as Andersen 400 Series (or compatible) composite-clad windows, field painted with SDL muntins. Window specifications are one of the most significant elements of a construction project because so many of their details can help a window blend in with the project or, if done improperly, draw attention away from the historic construction. First, as to the material, Andersen identifies the 400 series window as a wood and vinyl window. Vinyl-clad windows are generally not accepted because the material is too shiny to be a compatible substitute for painted wood and because the profiles of the windows are too narrow to give historically accurate shadow lines, resulting in a very flat profile. Second, Staff’s research on the Andersen window website explicitly does *not* recommend painting the exterior of their vinyl windows. Finally, the windows schedule identifies the proposed windows as “SDL,” simulated divided light. Window companies have begun to offer more options for how muntin grilles are installed and what they are called varies from brand to brand. For example, Andersen calls a “Simulated divided light” window one where there are permanently installed exterior and permanent or removable interior grilles with no spacer between the glass (see *Figure 2*, below). The HPC has consistently required permanently affixed exterior and interior grilles with a spacer bar between the glass to create an appropriate shadow line and give the appearance of a true divided light window. Regardless of what the manufacturer calls it, Staff finds that the windows installed on the addition need to have a finish that is consistent with a painted wood window – which may require an aluminum clad window – with permanently affixed interior and exterior grilles, and a spacer bar between the glass. Staff recommends the HPC add a condition to the approval of this HAWP that requires the new windows to satisfy those criteria. Final approval authority for windows that satisfy this condition can be delegated to Staff for final review and approval.



Full divided light

Give your window an authentic look with grilles that are permanently applied to the interior and exterior of your window with an aluminum spacer between the glass.

An Energy Spacer option is available to improve the energy efficiency of A-Series windows with full divided light (FDL) grilles. This narrow spacer bar design minimizes the transfer of heat and cold to the interior surface, improving the overall thermal performance.



Simulated divided light

Simulated divided light offers permanent grilles on the exterior and a choice of permanent or removable wood interior grilles, with no spacer between the glass.



Removable interior grille

Removable interior wood grilles are secured via a fastener or grille clip and can be removed enabling you to easily clean the glass surface.

Not available on 100 Series products.



Finelight grilles Between-the-glass

Finelight™ grilles are suspended between the panes of glass, allowing you to easily clean both the inside and outside of your windows and doors.

Figure 2: Andersen Windows and Doors window grille options.

The proposed sliding glass door at the rear of the addition is also an Andersen 400 series wood-clad vinyl. Staff finds that the materials for a single pair of doors, on the rear addition, are less important than the materials for windows and that the proposed door is appropriate in this instance. The single-light configuration of the door panels also minimizes the visual impact of the flatter frame profile. Staff recommends the HPC approve the proposed rear doors.

To the rear of the proposed addition, the applicant proposes to construct a deck, measuring 23' 4" × 12' (twenty-three feet, four inches wide by twelve feet deep). The proposed decking will be black locust; with an aluminum railing; and borol-wrapped columns, skirting, and risers. The deck will not be visible from the right of way due to its 1' 4" (one foot four inch) inset on each side and because it will be set back from the right of way by more than 108' (one hundred eight feet). Staff finds the size and configuration of the proposed deck are compatible with the house, but does find that the details for the railing are insufficient to make a recommendation to the HPC (measured drawings and a precedent/product image are typical requirements for manufactured railings on decks). Because a wood deck, not visible from the right-of-way is work that is eligible for Staff-level approval, Staff recommends the HPC delegate final approval authority for the deck details to Staff.

Staff recommends the HPC approve the HAWP with the two conditions identified for the windows and the deck under 24A-8(b)(1), (2), and (d); the *Design Guidelines*; and *Standards*# 2, 9, and 10.

Window Relocation

The applicant proposes to retain two six-over-one sash windows from the rear wall and install them on the left elevation towards the rear to provide illumination to the new interior stair (see *Figure 3*, below).

Staff finds the proposed windows will be removed to accommodate the proposed addition, discussed above and their removal will not have a negative impact on the character of the resource or surrounding district. Staff further finds installing the windows will not detract from the house's character. While one could find that installing the windows creates a false sense of history, Staff believes that the change is generally consistent with the architectural character and period of the resource, as outlined in the *Design Guidelines*. Staff recommends the HPC approve the window relocation under 24A-8(b)(2) and (d) and the *Design Guidelines*.

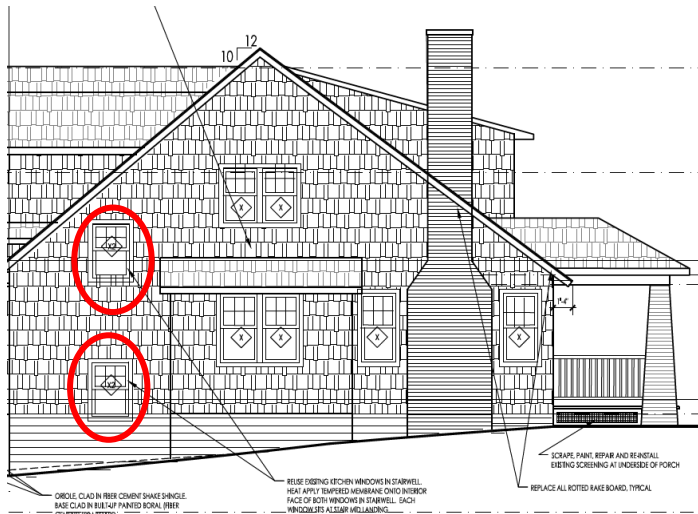


Figure 3: Proposed left elevation showing the proposed window openings.

Front Fenestration Alterations

The front of the house has two pairs of six-over-one windows with a central door. The front elevation is partially obscured by a partial-width front porch with a hipped roof supported by battered brick columns. Based on the 1927 Sanborn map, this porch is a later modification from the original full-width front porch (see Figure 4, below).

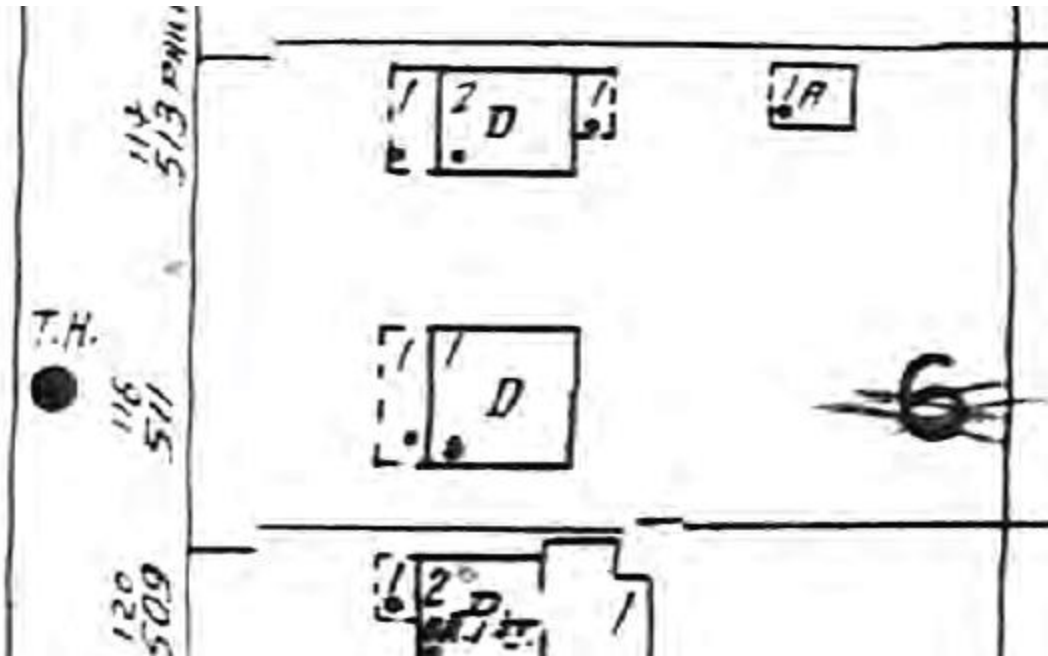


Figure 4: 1927 Sanborn Fire Insurance Map showing the subject property with a full-width front porch.

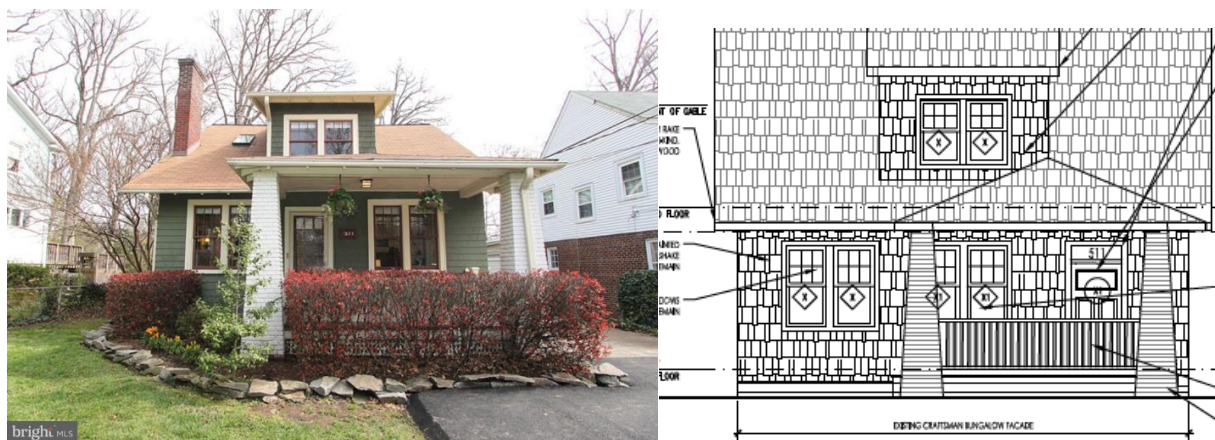


Figure 5: Existing condition (left) and proposed rearranged front (right).

The applicant proposes to swap the front door and the right pair of windows. This change is proposed to accommodate a revised interior plan. The *Design Guidelines* include, “Additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited” and further states, “Original size and shape of window and door openings should be maintained, where feasible.” The *Guidelines* do not state in what circumstances alterations on the front of the first floor should be allowed, however, Staff does not find that converting a symmetrical façade to an asymmetrical façade is appropriate under either the *Design Guidelines* or 24A-8(b)(1) and (2). Staff rejects the an assertion that the second guideline quoted means that the fenestration alteration should be allowed provided the door and window size does not change.

Staff recommends the HPC adopt a condition that the approval of the HAWP does not extend to the proposed alterations to the façade.

Roof Replacement and Installation

The final change proposed is removing the existing three-tab shingle roof and installing an architectural shingle roof over the historic house and the proposed addition.

Staff finds this work has consistently been approved as a compatible alteration that is eligible for the county historic preservation tax credit. Staff recommends the HPC approve the roof replacement under 24A-8(b)(1), (2), and (d); the *Design Guidelines*, and *Standard 2*.

Tree Evaluation

Based on Staff’s observation at a site visit and a review of the site plan, it does not appear that the proposed work will impact any trees on the site. However, this project is within the City of Takoma Park and their arborist is required to review the proposed construction to evaluate potential impacts to the tree canopy. A letter or e-mail from the arborist indicating the completion of the review needs to be submitted to Staff before the issuance of the final HAWP.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with four (4) conditions** the HAWP application with final approval of all details delegated to staff:

1. Detailed specifications for the windows in the proposed addition shall be submitted to Staff for review and approval. The proposed windows shall have a finish consistent with painted wood and have permanently affixed exterior and interior grills with a spacer bar between the glass.

Final approval authority to verify this condition has been satisfied is delegated to Staff.

2. Detailed deck and railing specifications shall be submitted to Staff for review and approval. Final approval authority to verify this condition is compatible with the character of the site and surrounding district is delegated to Staff.
3. Documentation demonstrating this proposal has been reviewed and approved by the Takoma Park Arborist shall be submitted to Staff with final documentation prior to issuance of the final HAWP.
4. Approval of this HAWP does not extend to the alterations to the front windows and doors. Final plans showing the existing configuration and materials shall be submitted to Staff for review and approval prior to the issuance of the final HAWP;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1054004
DATE ASSIGNED

APPLICANT:

Name: E-mail:
Address: City: Zip:
Daytime Phone: Tax Account No.:

AGENT/CONTACT (if applicable):

Name: E-mail:
Address: City: Zip:
Daytime Phone: Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date 10

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 (Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address Christopher Khoury 511 Philadelphia Avenue Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address Megan DiNicola 228 Whitmoor Terrace Silver Spring MD 20901</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Carl & Lauren Wilk 509 Philadelphia Avenue Takoma Park, MD 20912</p>	<p>James Tate 513 Philadelphia Avenue Takoma Park, MD 20912</p>
<p>Francine Pollner 510 Philadelphia Avenue Takoma Park, MD 20912</p>	<p>Amy & Michael Sawyer 514 Philadelphia Avenue Takoma Park, MD 20912</p>
<p>420 Boston Avenue, Takoma Park MD 20912 502 Boston Avenue, Takoma Park MD 20912</p>	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

511 Philadelphia Avenue is a 1926 Craftsman-style bungalow. The home is 1.5 stories, frame construction. The exterior is clad in painted cedar shingle, with a noticeably aged asphalt shingle roof, and exaggerated 16" eave overhangs with exposed rafter tails and painted decking. The front facade features a shed dormer with double window and includes a prominent front porch with hip roof, tapered painted brick masonry piers, painted tongue-and-groove wood floor and a simple wood railing. The north-facing side facade, adjacent to 513 Philadelphia Avenue, features a tapered masonry chimney and a box-style oriole with shed roof and double window opening. The Rear facade features an additional shed dormer to match the front dormer. The rear facade has an existing dilapidated frame addition on masonry piers, possibly an old sleeping porch that was enclosed several decades ago and a small painted pressure-treated deck and stair on the north side.

The existing exterior cedar shingle is in good condition with only minor areas in need of in-kind replacement. Several areas along the existing fascia, rake boards and overhangs are in need of repair or replacement in-kind. The existing double-hung windows on the original home are single pane, but operational. Each window has an aluminum storm window at the exterior. Several areas on exterior casing are in need of repair or replacement in-kind.

The property at 511 Philadelphia Avenue is sited up near the crest of the hill of Philadelphia Avenue on this block. There is a continuous sidewalk from the right of way, and a large asphalt driveway features prominently in the front yard. The current front yard is well-maintained with landscaping. The front yard features a persimmon tree and fig tree, as well as several crepe myrtles, shrubs, and a mature Magnolia tree along the north side property line abutting 513 Philadelphia. The rear yard is fenced with a 48" high chain-link fence. Some larger, mature oak trees sit along the property lines (see enclosed site plan) and two crepe myrtle trees feature prominently in the rear yard.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The Scope of work will include demolition of the existing rear addition and frame deck and stair that is not original to the house. Additionally, the existing second-floor rear dormer, roof and rear wall will be demolished to allow for a new 2-story rear addition.

The addition is intended to match the existing home's architectural intent. The massing will reflect the existing home's features, and include a new box-style oriole on the north facade with windows at the proposed rear family room, a second-floor massing designed with a gable end and shed dormers on either side facade. Windows shall mimic the proportions of the original house with muntin patterns that reflect a craftsman style or mimic the existing 6/0 pattern of the original home. All windows will be fiberglass-clad wood with double low-e glazing, with the exterior of each window field-painted to match the existing maroon color of the original wood windows. The existing addition is proposed to be the same width as the existing home, and will be clad in fiber-cement cedar shingle (James Hardie shingle), and field painted to match the existing cedar.

At the rear facade, a new frame deck is proposed. Decking will be a field-stained black locust hardwood, with aluminum rails and painted fiber-cement skirting boards.

The addition will include a full basement. The basement wall will be parged and finished smooth and painted to match the existing color of the original brick foundation walls.

Any necessary repairs to the front facade will be made in-kind with the original materials. The scope of work calls to relocate the existing front door from the center of the facade to the southern side of the facade. The existing paired double-hung windows at this location currently will be removed carefully and re-installed at the center of the original front door opening. This will maintain the balance of the front facade and will not require any adjustment to the front porch, as the existing wood stairs are located off to the side.

The interior scope of work includes constructing a new stairwell to the second floor and removing the existing dilapidated stair. The addition will house a new kitchen and family room, allow for a second floor primary suite with bathroom, and some recreational space and a home office in the basement.

Work Item 1: Demolition of existing sunroom and deck, construction of new rear addition

Description of Current Condition:

Existing rear sunroom on masonry piers and frame deck and stair at northern side of rear yard shall be demolished. The existing sunroom's rear wall is failing due to a structural collapse at the existing masonry piers and some additional rot/water infiltration at the rear and north facade. This existing addition is not original to the home. The construction craftsmanship is shoddy, with no hvac, single-glazed windows. The floor is visibly sinking on one side.

Proposed Work:

Construct new rear 26' x 22' 2-story rear addition with walk-out basement. The new addition shall match the height of the existing home, and the second story shall be massed as shed dormers off of the rear gable addition. The addition shall mimic the craftsman-style of the original house, and be clad in painted fiber-cement shingle, with a box-style oriole on the north side facade. The rear addition will be offset on each side from the original home to create a shadow line and to allow the shingles to sit slightly apart from one another. A new rear deck shall be constructed with black locust hardwood decking and aluminum rails. All windows shall mimic the proportions of the original windows, and include simulated divided light muntins to match the original home.

Work Item 2: Relocate existing front door and existing front windows to alternate locations

Description of Current Condition:

Existing front windows and front door are in solid and fine working condition. These items will be reused in the new work.
The existing exterior trim around the door has extensive rot and must be replaced in-kind.
The existing double hung windows in the kitchen are in good working order

Proposed Work:

The existing front door and south side windows on the front facade shall be carefully removed and swap places. The existing front door shall be reinstalled with special care to make the jambs plum, level and square and to install new weather stripping. The existing exterior casing shall be replaced in-kind due to rot on the top and sides. The existing double windows on the right side shall be moved to the center of the facade. The existing casing (interior and exterior) shall be reused.
The pair of windows in the existing kitchen shall be removed and reused individually in the proposed stair well. This will not be visible from the street or front yard due to location along the side of the house, existing oriole in dining room, and the side yard vegetation.

Work Item 3: Replace exterior trim and shingle in-kind, replace existing front shingle roof

Description of Current Condition:

There are several areas where existing shingles, exterior casing, rake board, fascia and other trim are rotted or in disrepair. All areas will be replaced in-kind with matching materials. Where applicable, all adjacent areas shall be scraped and all board or items repainted entirely.
The existing asphalt shingle roof is aged and has been assessed to be at the end of its functional life. Additionally, there is visible moss growth on portions of the shingle.

Proposed Work:

The existing asphalt shingle shall be replaced on the original front facade and new rear addition with new dimensional architectural shingles in a color suited to match the existing facade (Certainteed Landmark Weathered Wood).
All exterior trim, shingle, rake board and casing shall be replaced in-kind with solid wood and painted to match existing.

PROPERTY DATA - SCOPE OF WORK

511 PHILADELPHIA AVE TAKOMA PARK, MD 20912
YEAR BUILT: 1926
SCOPE OF WORK: 2-STORY REAR ADDITION, LAND INTERIOR ALTERATIONS 1170 SF ADDITION, 576 SF ALTERATION
APPLICABLE CODES: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC 2018) MONT. COUNTY EXEC. REG. #31-19 MONTGOMERY COUNTY CODE CHAPTER 8 NFPA 101 (2015) NATIONAL ELECTRIC CODE (NEC) 2017 IBC ENERGY CONSERVATION CODE (2018) WSSC PLUMBING & FUEL GAS CODE
CITY OF TAKOMA PARK BUILDING CODE TAKOMA PARK HISTORIC DISTRICT - CONTRIBUTING PROPERTY
ZONING INFORMATION: R-40 DISTRICT MINIMUM NET LOT AREA 6,000 SF MIN. LOT WIDTH: 40 FT AT FRONT OF BUILDING; 40 FT AT STREET; 25 FT MINIMUM SETBACK FROM STREET; 25 FT SIDEYARD SETBACKS (MAIN BUILDING); MIN. SIDEYARD: 7 FT (LOT RECORDED BEFORE 1954) MIN. REARYARD: 20 FT MAXIMUM BUILDING COVERAGE 35% MAX. BUILDING HEIGHT: 35 TO HIGHEST POINT ON ROOF 30 TO MIDPOINT ON GABLE, MANSARD OR HIP ROOF

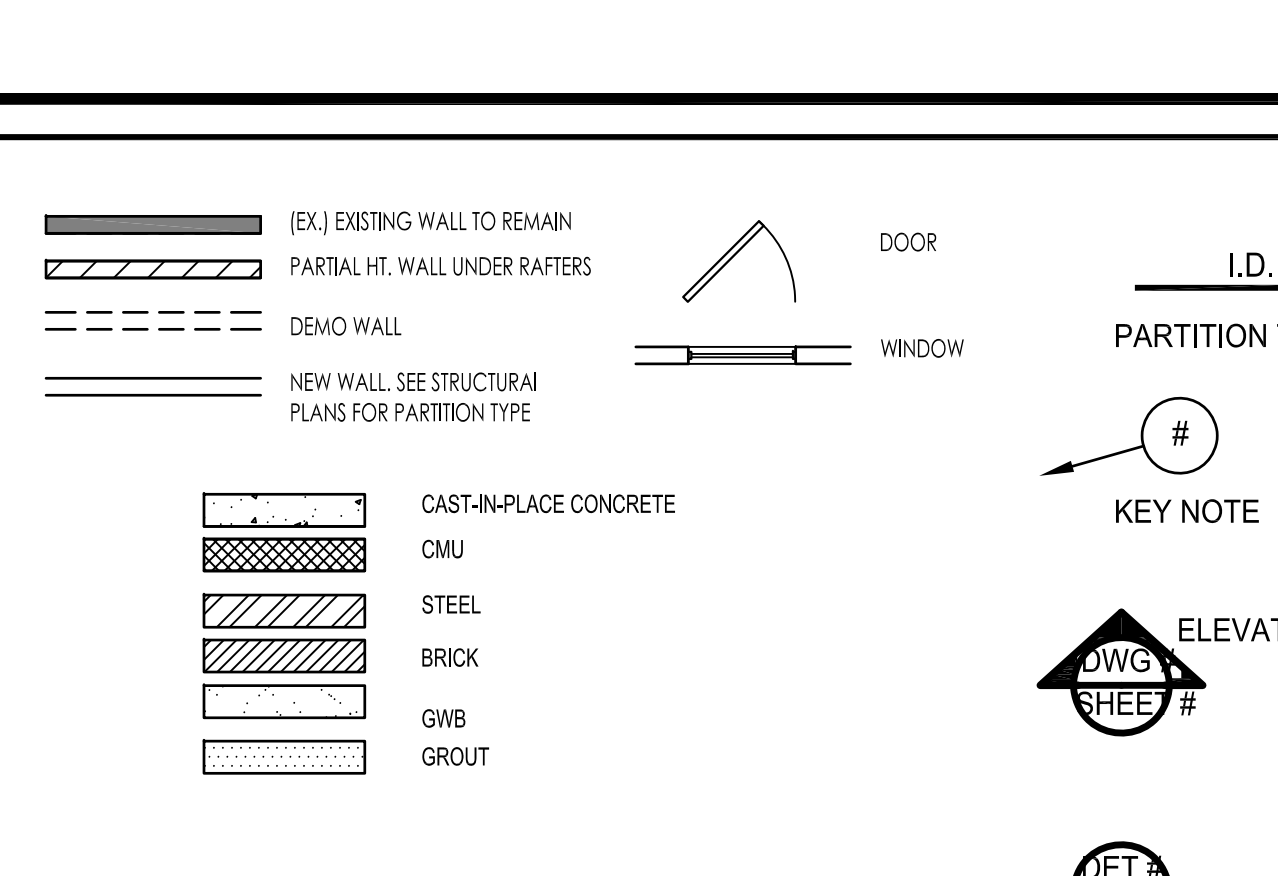
SDAT REAL PROPERTY

Owner Name: KHOURY CHRISTOPHER M KHOURY PANEEZ Use: RESIDENTIAL YES
Mailing Address: 511 PHILADELPHIA AVE TAKOMA PARK MD 20912-4113 Principal Residence: YES Deed Reference: J41809 00483
Location & Structure Information: 511 PHILADELPHIA AVE TAKOMA PARK 20912-4113 Legal Description: T.P.L. & T.C.D.
Map: Grid: Parcel: Neighborhood: Subdivision: Section: Block: Lot: Assessment Year: Plat No: Plat Ref:
Town: TAKOMA PARK
Primary Structure Built: Above Grade Living Area: Finished Basement Area: Property Land Area: County Use:
Stories: Basement: Type: Exterior: Quality: Full/Half Bath: Garage: Last Notice of Major Improvements:

DESIGN CRITERIA

REG. ALL WORK TO COMPLY WITH IRC 2018 AND ALL MONTGOMERY COUNTY STANDARDS & EXEC. REG. #31-19
GROUND SNOW LOAD: 30PSF
WIND SPEED: 115 MPH
TOPOGRAPHIC EFFECTS: NO
SEISMIC DESIGN CATEGORY: B
WEATHERING: SEVERE
FROST LINE DEPTH: 30 INCHES (MINIMUM)
TERMITE: MODERATE TO HEAVY
WINTER DESIGN TEMPERATURE: 13°F
ICE SHIELD UNDERLAYMENT REQUIRED: YES
FLOOD HAZARD: JULY 2, 1979
AIR FREEZING INDEX: 300
MEAN ANNUAL TEMPERATURE: 55°F

SYMBOLS/ABBREVIATIONS



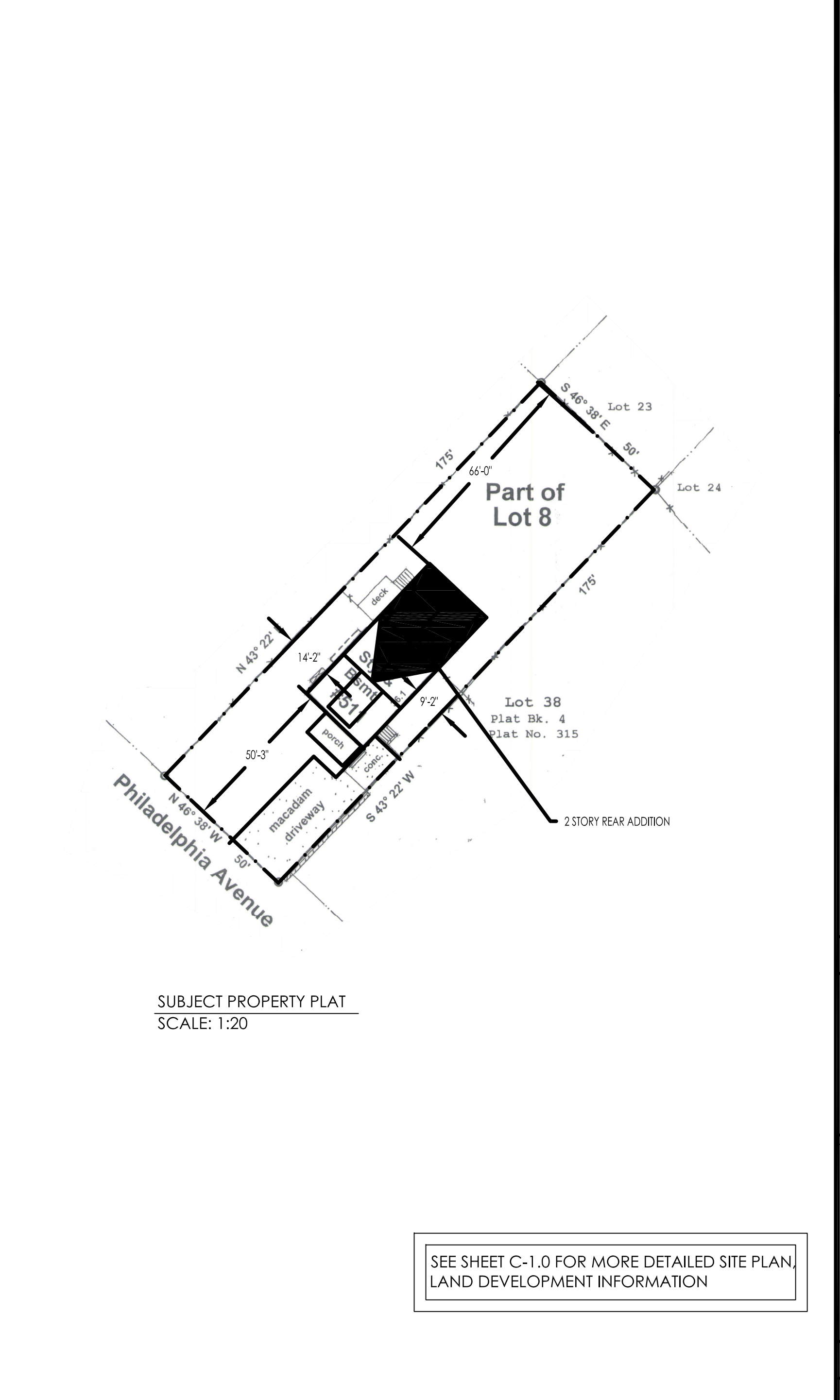
GENERAL NOTES

- 1. DRAWINGS IN THIS SET AND DESIGNS THEREON ARE THE PROPERTY OF STUDIO 105 ARCHITECTURE, LLC.
2. WORK SHALL COMPLY WITH IRC 2018 AND ALL OTHER APPLICABLE CODES, ORDINANCES, REGULATIONS & STANDARDS.
3. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING DIMENSIONS AND EXISTING CONDITIONS AT THE JOBSITE WHICH COULD IMPACT THE WORK.
4. CONTRACTOR SHALL CLARIFY WITH ARCHITECT ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS OR BETWEEN THE CONSTRUCTION DOCUMENTS THEMSELVES PRIOR TO PROPOSAL SUBMISSION OR AS SOON AS CONFLICTS ARE DISCOVERED DURING CONSTRUCTION.
5. SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT.
6. GC SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS COMPENSATION BEYOND THE CONTRACT AMOUNT UNLESS WORK HAS BEEN APPROVED IN WRITING AS A CHANGE ORDER.
7. IF ANY CONDITION ARISES THAT WOULD IMPERE THE PROGRESS OF THE INTENT OF THE WORK, THE GC IS TO NOTIFY THE ARCHITECT IMMEDIATELY. THE GC SHALL FULLY EXPLAIN THE ISSUE AND ALL RELEVANT TIME/COST CONSTRAINTS.
8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR ALL COORDINATION OF THE WORK.
9. ALL MANUFACTURERS' RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFIED HEREIN, SHALL BE COMPLIED WITH. THE CONTRACTOR SHALL PERFORM ALL NEW WORK IN A NEAT AND PROFESSIONAL MANNER. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS MUTUALLY AGREED UPON OR DIRECTED.
10. ALL REPAIRS SHALL BE COMPLETED IN SUCH A MANNER AS TO LIMIT THE IMPACT ON THE ADJACENT AREAS.
11. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT.
12. ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL BE OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS MUTUALLY AGREED UPON OR DIRECTED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANUP OF THE WORK AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE PREPARATION AND ALL DEBRIS REMOVAL.
14. PLASTIC SHEETING SHALL BE ERECTED FROM FLOOR TO CEILING DURING TIMES WHEN WORK WILL PRODUCE FINE PARTICULATES, DUST OR OTHER POTENTIALLY AIRBORNE DEBRIS TO THE EXTERIOR.
15. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC., ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICES.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE JOB SITE AND STRUCTURE INCLUDING THE DESIGN, ERECTION AND MAINTENANCE OF ALL SHORING, BRACING AND SAFETY BARRIERS.
17. THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MIN. ACCEPTABLE MEANS OF CONSTRUCTION BUT SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO MEET THE MIN. SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS.
18. WHERE APPLICABLE TO CODE, MATERIAL ASSEMBLIES SHALL BE UL-LISTED WITH THE APPROPRIATE FIRE RATINGS. THIS INCLUDES BUT IS NOT LIMITED TO FIRE CHAULKING, PENETRATION SLEEVES, DOOR FRAMES, STRUCTURAL MEMBERS, BRERPROOFING.
19. ALL WORK LISTED AS NIC IS NOT THE RESPONSIBILITY OF THE CONTRACTOR UNDER THIS CONTRACT.
20. ANY SHOP FABRICATED OR SITE FABRICATED ITEMS SHALL BE REVIEWED BY SHOP DRAWING PROCESS. SHOP DRAWINGS SHALL BE REVIEWED AND CERTIFIED TO BE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS BY THE CONTRACTOR. CONTRACTOR SHOULD THEN SUBMIT THESE DRAWINGS TO THE ARCHITECT FOR REVIEW.

CODE NOTES

- 1. CROSS VENTILATION OF ALL ATTIC AND CRAWL SPACES SHALL BE PROVIDED WITH A VENTILATION AREA OF 1/150 OF THE AREA OF THE SPACE. VENTILATION SHALL CONSIST OF SOFFIT AND RIDGE VENTS WITH 2" MAX. CORROSION-RESISTANT MESH OR GREATER, IF SPECIFIED ON THE CONTRACT DOCUMENTS.
2. SLEEPING ROOM WINDOWS EGRES REQUIREMENTS:
MIN. NET CLR. OPENING: 5.7 SF (5.0 SF @ GRADE LEVEL)
MIN. NET CLR. OPENING HEIGHT: 24"
MIN. NET CLR. OPENING WIDTH: 20"
MAX. SILL HT. ABOVE FINISHED FLOOR: 44"
3. STAIR REQUIREMENTS:
MAX. RISE: 7 3/4"
MIN. TREAD: 10"
MAX. TREAD & RISE VARIATION: 3/8"
MIN. TREAD WIDTH: 36"
MIN. HEADROOM CLEARANCE: 6'-8"
4. HANDRAIL REQUIREMENTS (INTERIOR AND EXTERIOR)
MIN. HT: 34"
MAX. HT: 38"
MIN. CLEARANCE FROM WALL 1 1/2"
MIN. EDGE RADIUS 3/8"
MIN. GRIP SIZE: 1 1/2"
MAX. GRIP SIZE: 2"
5. GUARDRAIL REQUIREMENT (311.7.8)
GUARDS ARE REQUIRED FOR STAIRS, PORCHES, BALCONIES, LANDINGS AND RAISED FLOORS MORE THAN 30" ABOVE ADJACENT GRADE.
MIN. GUARD HEIGHT: 36"
MAX. OPENING: 4"
6. SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND CELLARS. SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED WITH A BATTERY BACKUP.
7. INTERIOR WALL COVERINGS:
GYPSUM BOARD 1/2"
WOOD PANELING LESS THAN 3/4" NOMINAL THICKNESS SHALL HAVE GYPSUM BOARD BACKING
WOOD PANEL > 3/4" THICKNESS SHALL CONFORM TO ANSI/NFPA HP-1
HARDBOARD PANELING SHALL CONFORM TO CPN/ANSI A135.5
WATER RESISTANT WALL BOARD SHALL NOT BE USED IN SHOWER/TUB AREAS NOR AS A TILE BACKER BRD. CERAMIC TILE SHALL BE INSTALLED OVER FIBER CEMENT BACKER BOARD IN ACCORDANCE WITH MANUF. INSTRUCTIONS.
8. DUCT INSULATION:
ALL DUCTS: R-4 MIN.
ALL DUCTS IN ATTIC SPACES OR OUTSIDE THERMAL ENVELOPE: R-8 (MIN.)
EXCEPT DUCTS LOCATED ENTIRELY WITHIN THERMAL ENVELOPE.
DUCT TIGHTNESS SHALL BE TESTED AS PRESCRIBED BY 2018 IRC
IRC 2018 MANDATES (1) PROGRAMMABLE THERMOSTAT BE INSTALLED
8. ALL PIPES EXPOSED TO WEATHER SHALL BE PROTECTED. PIPES REQUIRED TO BE INSULATED SHALL HAVE A MIN. R-3 INSULATION. SEE IRC 2018 CH. 11. ALL PIPES WITHIN CRAWL SPACES OR OTHER TEMPERED SPACES SHALL BE INSULATED PER CODE AND THE STRUCTURAL BAY IT LIES WITHIN SHALL BE INSULATED.
9. IRC SECTION R310.1 'EMERGENCY ESCAPE AND RESCUE OPENINGS'
ALL WINDOWS OF SLEEPING ROOMS MUST MEET EGRES REQUIREMENT. SILL HEIGHT = MAXIMUM 44" A.F.F.
NET CLEAR OPENING (2 OR MORE LEVELS ABOVE GRADE) 5.7 SF
NET CLEAR OPENING (AT GRADE) 5 SF
OPENING HEIGHT = MIN. 24"
10. R318.1 VAPOR RETARDER REQUIRED ON WARM-IN-WINTER SIDE OF INSULATION

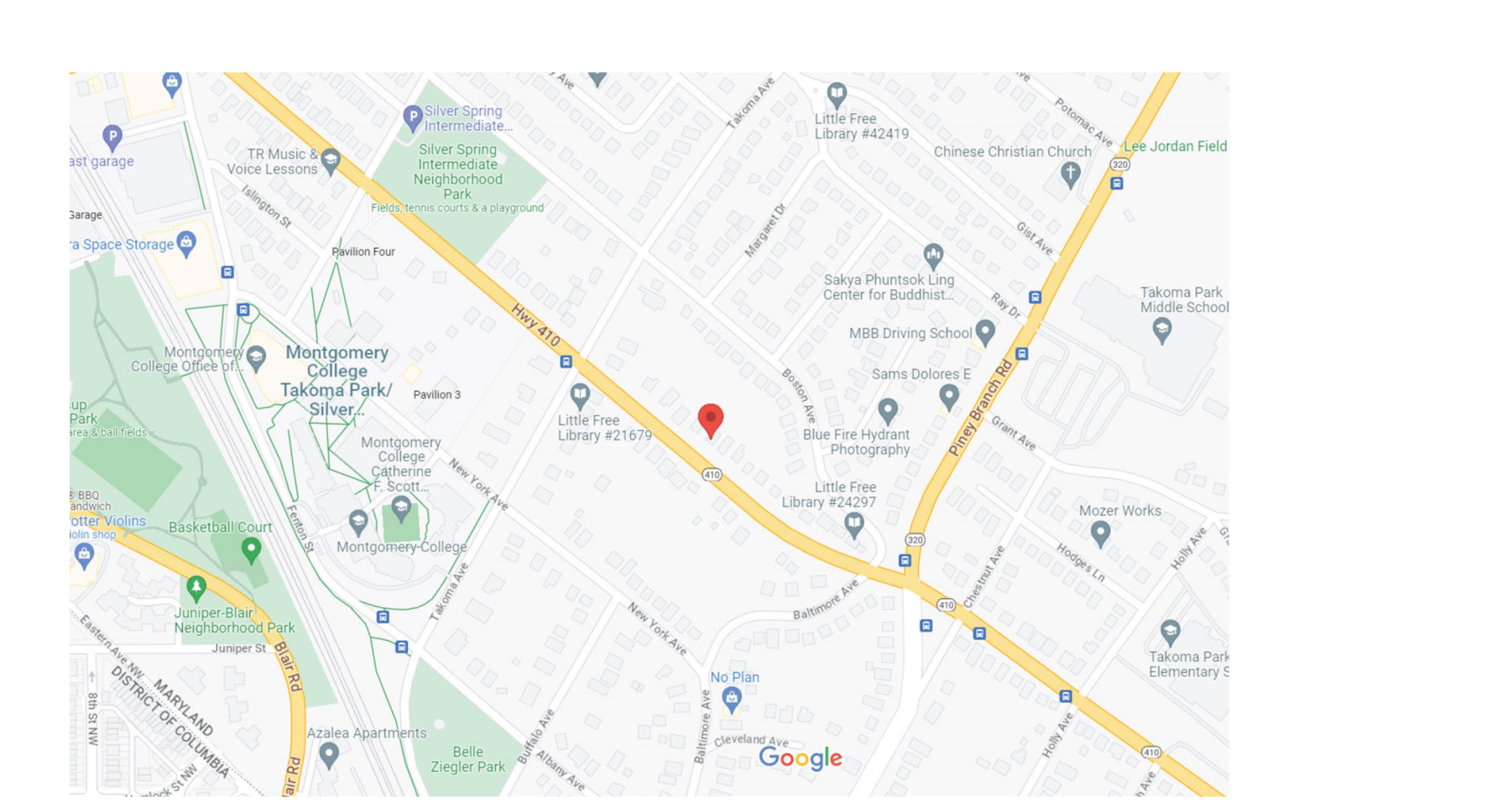
PLAT



PROJ ID

KHOURY RESIDENCE ADDITION TO 511 PHILADELPHIA AVE TAKOMA PARK, MD 20912
03 JANUARY 2024 PERMIT SET

LOCATION MAP



PROJECT TEAM

Table listing project team members: OWNER (Christopher and PANEEZ KHOURY), ARCHITECT (STUDIO 105 ARCHITECTURE LLC), CONTRACTOR (denchfield, llc), and STRUCTURAL ENGINEER (APAC ENGINEERING, INC).

DRAWING INDEX

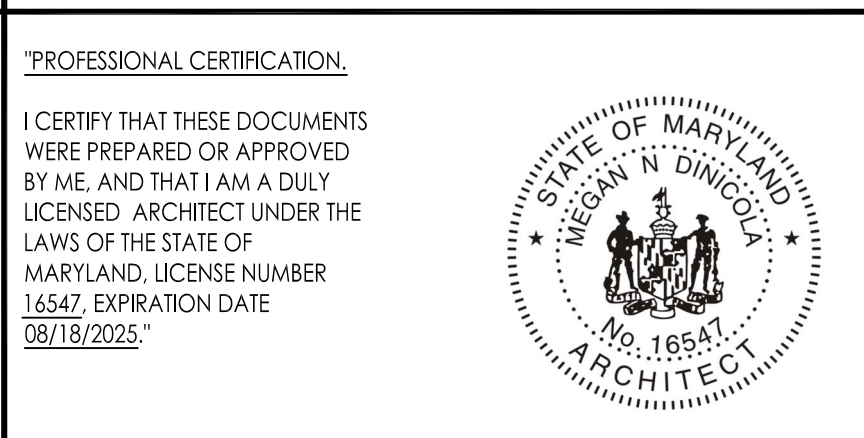
Table listing drawing index: G-000 GENERAL INFORMATION, G-100 MEP NOTES, SCHEDULES, C-100 SITE PLAN AND EXTERIOR IMPROVEMENTS, S-000 STRUCTURAL NOTES & DETAILS, S-010 STRUCTURAL DETAILS, S-020 STRUCTURAL DETAILS, S-100 FOUNDATION AND FIRST FLOOR FRAMING, S-110 SECOND FLOOR FRAMING, S-120 ROOF FRAMING, S-200 WIND BRACING PLANS, A-010 DEMOLITION PLANS, A-100 BASEMENT PLANS, A-110 FIRST FLOOR PLANS, A-120 SECOND FLOOR PLANS, A-200 ELEVATIONS AND EXTERIOR DETAILS, A-300 SECTIONS AND EXTERIOR DETAILS, A-400 INTERIOR DETAILS AND FINISH NOTES.

INSTRUCTIONS TO BIDDERS

PLEASE REVIEW ALL INCLUDED DOCUMENTS AND NOTES. THE PURPOSES OF THIS PRICING SET ARE TO GENERATE ACCURATE ESTIMATES TO FINALIZE SCOPE, VALUE ENGINEER AS NEEDED AND IDENTIFY A CONTRACTOR.

REVISIONS

Table for revisions with columns for NO., DESCRIP., and DATE.



GENERAL INFORMATION
G - 000

ELECTRICAL NARRATIVE

- 1. ELECTRICAL SUBCONTRACTOR SHALL OBTAIN SEPARATE BUILDING PERMIT. LOCATION OF ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. SHALL BE COORDINATED WITH ARCHITECT AND OWNER AT A SITE VISIT.
3. EXISTING 150A SERVICE PANEL IS FULL. AT MINIMUM, INSTALL NEW LARGER PANEL IF CAPACITY DOESN'T INCREASE DRAMATICALLY. 150A SERVICE MAY BE SUFFICIENT. IF DEEMED INSUFFICIENT, UPGRADE TO 200A SERVICE AND INSTALL NEW PANEL. GC SHALL CONFIRM.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AS REQUIRED TO MAINTAIN ALL CIRCUIT CONTINUITY IN ALL NEIGHBORING AREAS NOT UNDER RENOVATION DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING AS REQUIRED DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL GOVERNING ORDINANCES, CODES AND REGULATIONS.
4. PROVIDE CONDUCTOR AND RACEWAY SUPPORTS IN ACCORDANCE WITH NEC.
5. GC SHALL VERIFY EXISTING ELECTRICAL SERVICE AND DETERMINE IF AMPERAGE WILL BE ENOUGH TO ACCOMMODATE NEW CONSTRUCTION. IF A HEAVY-UP IS NEEDED, IT SHALL BE INCLUDED IN THIS SCOPE OF WORK.
6. ALL CEILINGS SHALL BE 5/8" GWB INSTALLED PER MANUFACTURER'S INSTRUCTIONS. U.N.O. EXCEPTION: WALLS AND CEILINGS AT GARAGE SHALL BE (1) LAYER 5/8" TYPE "X" GWB PER CODE
7. GC SHALL DEMOLISH EXISTING CEILINGS AT BASEMENT LEVEL ONLY TO ASSIST IN COORDINATION OF TRADES.
8. AS POSSIBLE, NEW CEILINGS SHALL BE ATTACHED TO UNDERSIDE OF JOISTS.
9. PATCH AND REPAIR ALL CEILINGS DAMAGED DURING CONSTRUCTION.
10. FIXTURES AND RECEPTACLES MARKED AS EXISTING SHALL BE FIELD VERIFIED BY ELECTRICAL CONTRACTOR.
11. ALL ELECTRICAL WORK SHALL BE INSTALLED PER CODE.
12. CABLE TV TO BE INSTALLED IN NEW FAMILY ROOM AND MASTER BEDROOM. GC SHALL CONFIRM BASEMENT CABLETV JACK IS OPERATIONAL, IF IT IS NOT, GC SHALL RUN CABLE TO BASEMENT AS PART OF BASE SCOPE OF WORK.
13. ALL DECORATIVE LIGHTS SHALL BE SCHEDULED BY ARCHITECT AND PROVIDED BY OWNER UNDER SEPERATE COVER VIA CONTRACTOR ALLOWANCE. SEE BID INSTRUCTIONS, G-0-0.
14. CAT6 SHALL BE WIRED TO ALL UPPER LEVEL BEDROOMS, FIRST FLOOR FAMILY ROOM, OFFICE, CABLE TV SHALL BE WIRED TO FIRST FLOOR FAMILY ROOM, OFFICE AND MASTER BEDROOM.
15. ALL BATH FANS SHALL BE 100 CFM OR GREATER AND MAXIMUM 1.3 SONNES UNO.
16. UNDER CABINET LIGHTING SHALL BE INSTALLED IN KITCHEN (HALOGEN PUCK OR SIM), AND SHALL BE PROVIDED BY CONTRACTOR

ELECTRICAL NOTES

- 1. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY OF EXISTING SERVICE DROP, METER LOCATION, AND PANEL CONDITION.
2. ELECTRICAL CONTRACTOR TO PERFORM THE WORK UNDER SEPARATE PERMIT. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO APPLY AND OBTAIN PROPER PERMITS PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL ELECTRICAL EQUIPMENT MUST BE UL LISTED AND APPROVED.
4. CONNECT ALL EMERGENCY LIGHT FIXTURES TO NON-SWITCHED CIRCUITS, EXCEPT WHERE OTHERWISE NOTED.
5. COORDINATE ELECTRICAL WORK, CONDUIT AND LIGHTING WITH ALL MECHANICAL EQUIPMENT, PIPING AND STRUCTURE. ELECTRICAL CONTRACTOR OR GC SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS OR EXISTING CONDITIONS. NO WORK SHALL PROCEED WITHOUT ARCHITECT'S EXPLICIT APPROVAL.
6. ALL PARTS OF OVERHEAD LIGHTING FIXTURES WHICH ARE REMOVED FOR SERVICING OR FOCUSING, SHALL BE ATTACHED TO MAIN HOUSING WITH SAFETY CHAINS OR EQUIVALENT.
7. ALL FIXTURES SHALL BE UL LISTED. ALL EXTERIOR LIGHTING FIXTURES SHALL BE UL LISTED FOR WET LOCATION OR DAMP LOCATION, WHICHEVER IS APPROPRIATE.
8. ALL EXTERIOR FIXTURE BALLASTS SHALL BE 0 DEGREE FAHRENHEIT RATED. THE ENTIRE LIGHTING INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LOCAL ELECTRICAL CODE, AND ANY OTHER APPLICABLE REGULATIONS OF JURISDICTION.
9. ELECTRICAL CONTRACTOR SHALL COORDINATE TYPE OF TRIM ON LIGHTING FIXTURE WITH TYPE OF CEILING IN ROOM PRIOR TO ORDERING FIXTURES TO AVOID MISMATCH CAUSED BY LATE CHANGES IN CEILING TYPE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR MOUNTING REMOTE TRANSFORMERS, DIMMERS, AND BALLASTS IN APPROVED SPACES.
11. LOW VOLTAGE TRANSFORMER SYSTEMS SHALL BE PROVIDED WITH PRIMARY AND SECONDARY FUSING IN ACCORDANCE WITH THE SPECIFIED MANUF. LITERATURE.
12. DOWN LIGHTS HAVING ADJUSTABLE SOCKET HEIGHTS FOR DIFFERENT SIZED LAMPS SHALL BE PROPERLY ADJUSTED BY THE ELECTRICAL CONTRACTOR PRIOR TO FINAL INSTALLATION. SET HEIGHT FOR LAMP SPECIFIED.
13. ARCHITECT SHALL PROVIDE FINAL FIXTURE SCHEDULE UNDER SEPARATE COVER PER OWNER'S APPROVED BUDGET. ANY ADDITIONAL COST BASED ON LAMP SELECTION IS UNDERSTOOD TO BE AT OWNER'S EXPENSE.

ELECTRICAL SYMBOLS

- ⊕ DUPLEX RECEPTACLE
⊕ QUAD RECEPTACLE
⊕ GROUND FAULT CIRCUIT INTERRUPTOR
⊕ WEATHER PROOF
⊕ JUNCTION BOX
⊕ TELEPHONE OUTLET
⊕ DATA OUTLET (CAT-5, OR PER CONTRACT)
cATV CABLE TV
⊕ SPECIALTY RECEPTACLE
S75 WALL MOUNTED TIME SWITCH @ 48" A.F.F. U.N.O.
S WALL MOUNTED SINGLE POLE SWITCH @ 48" A.F.F. U.N.O.
S3 WALL MOUNTED TWO-WAY SWITCH @ 48" A.F.F. U.N.O.
⊕ PENDANT LIGHT FIXTURE
⊕ MINI-PENDANT LIGHT FIXTURE
○ RECESSED LIGHT FIXTURE (5" TYP. SEE SCHEDULE)
○ WALL SCONCE
○ CEILING FIXTURE (FLUSH MOUNT OR SEMI-FLUSHMOUNT - SEE SCHEDULE)
○ EXTERIOR-GRADE WALL SCONCE
⊕ SPECIALTY WET-LOCATION RECESSED FIXTURE
COMBINATION CO & SMOKE DETECTOR, COMBO IONIZATION/PHOTOELECTRIC W/ 9V BATTERY BACKUP.
⊕ EXHAUST FAN
100A/208V ELECTRICAL PANEL BOARD
⊕ ELECTRIC HEAT PUMP, WALL MOUNTED @ TOP OF WALL.

SEE PLANS FOR LIGHTING SCHEDULES

MECHANICAL NARRATIVE

- 1. MECHANICAL SUBCONTRACTOR SHALL OBTAIN SEPARATE BUILDING PERMIT, INCLUDING MANUAL J CALCULATIONS.
1.1. EXISTING BOILER SHALL REMAIN AT BASEMENT. EXISTING RADIATOR SYSTEM SHALL REMAIN THROUGHOUT THE EXISTING AND PROPOSED SPACES. EXPAND SYSTEM TO INCLUDE RADIATORS IN NEW FAMILY ROOM, AND TOEICK RADIATORS AT PROPOSED KITCHEN, MASTER BEDROOM AND BATHROOM TO EACH RECEIVE (1) NEW RADIATOR. INSTALL NEW DUCTWORK TO ADDITION AT FIRST AND SECOND FLOORS, FROM EXISTING FURNACE AT SECOND FLOOR. INSTALL ONE CENTRAL RETURN PER FLOOR.
2. WHERE APPLICABLE, DUCTS SHALL BE INSULATED TO CODE.
3. LOCATION OF ALL DUCTS, RETURNS, GRILLES, AND RADIATORS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMMENCING SUCH WORK.
4. ALL WORK IS REQUIRED TO BE COMPLETED TO THE REQUIREMENTS OF IECC 2018.
5. PROVISIONS SHALL BE MADE FOR A GAS RANGE IN KITCHEN. THE EXHAUST HOOD SPECIFIED IS LESS THAN 400 CFM, AND MAKE UP AIR WILL NOT BE REQUIRED.

APPLIANCE SCHEDULE

Table with 6 columns: Appliance Type, Make and Model #, Size, Type, Finish, Remarks. Rows include Refrigerator, Dishwasher, Exhaust, Induction Range, Microwave, Disposal, Washing Machine, and Dryer.

PLUMBING SCHEDULE

Table with 7 columns: Room, Fixture, Type, Size, Model, Finish, Remarks. Rows include Kitchen (Sink, Faucet), MASTER BATH (Sink, Faucet, Toilet, SHOWER SYSTEM), HALL BATH (Sink, Faucet, Toilet, Tub/Shower), and FIRST FLOOR POWDER RM (Sink, Faucet, Toilet).

PLUMBING NARRATIVE

- 1. PLUMBING SUBCONTRACTOR SHALL OBTAIN SEPARATE BUILDING PERMIT.
2. IF CONTRACTOR AND HIS SUBCONTRACTORS DEEM A RE-CIRCULATING PUMP NECESSARY, GC SHALL PRESENT OWNER WITH A CHANGE ORDER FOR APPROVAL.
3. SLEEVE ALL PIPES PER CODE, IN CRAWL SPACES, ANY EXPOSED PIPES SHALL BE SLEEVED AND FLASH FOAM AT EACH STRUCTURAL BAY CONTAINING PIPES.
4. AT SUBSTANTIAL COMPLETION, GC SHALL ENSURE THAT ALL PIPES ARE FREE OF WASTE AND DEBRIS, AND THAT ALL PIPES DRAIN PROPERLY PRIOR TO HANDOVER TO OWNER.

WINDOW SCHEDULE

Table with 8 columns: ID, W., HT., MAT., GLAZ., U-VAL., SHGC, REMARK. Rows include windows 1-5, X1, X2, and X.

DOOR SCHEDULE

Table with 7 columns: ID, W., HT., MAT., GLAZ., U-VAL., REMARK. Rows include doors A, X1, and X.

NOTES:

- 1. ALL UNITS SHOWN AS PAIRED WINDOWS ARE FIELD JOINED. THERE SHALL BE (3) STUDS PLACED BETWEEN EACH WINDOW, INCLUDE CONTINUOUS SILL AND FLAT CASING TRIM BETWEEN EACH WINDOW TO MATCH EXISTING FRONT FACADE WINDOWS.
2. GC SHALL FIELD VERIFY ALL EXISTING OPENINGS TO ENSURE PROPER FIT OF DOORS AND WINDOWS PRIOR TO ORDERING.
3. ANY SUBSTITUTIONS FOR SPECIFIED MANUFACTURER SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PURCHASE FOR REVIEW AND APPROVAL.
4. GC SHALL SUBMIT PRODUCT CUT SHEETS FOR ALL DOORS AND WINDOWS PRIOR TO PURCHASE SO THAT ARCHITECT MAY REVIEW AND APPROVE SELECTIONS AND FINALIZE ALL OPTIONS/ACCESSORIES.
5. CONTRACT BID SHALL INCLUDE DOORS AND WINDOWS AS INDICATED IN ABOVE SCHEDULE.
6. ALL WINDOWS SHALL HAVE FULL SCREENS.
7. GC SHALL VERIFY WINDOW COMPLIANCE WITH EGRESS OR TEMPERED LOCATION WINDOW REQUIREMENTS OF THE CURRENT VERSION OF THE IRC PRIOR TO PURCHASE OF WINDOWS. GC SHALL SUBMIT CUT SHEETS TO ARCHITECT FOR APPROVAL AND COORDINATION PRIOR TO PURCHASING WINDOWS.
8. GC SHALL VERIFY EXISTING HEADER HEIGHT AND PROPOSED SILL HEIGHT TO ENSURE SPECIFIED WINDOW SIZE WILL FIT INTO OPENING, AND TO VERIFY ALIGNMENT ON EACH ELEVATION. NOTIFY ARCHITECT OF DISCREPANCIES.
9. ALL DOORS TO RECEIVE DEAD BOLT, 2 HINGES, AND LEVER TYPE HARDWARE, BALDWIN OR SCHLAGE.
10. ALL DOORS SHALL BE KEYS ALIKE.

APAC Engineering Inc. Robert Wilson, PE 8555 16th Street - Suite 200 Silver Spring, MD 20910 apacengineering@aol.com 301.545.0543

STUDIO 105 ARCHITECTURE LLC MEGAN DINICOLA, AIA 105 WHIMMOOR TERRACE SILVER SPRING, MD 20901 MEGAN@STUDIO105ARCHITECTURE.COM 301.566.5146

ARCHITECT/ENGINEER

ADDITION + ALTERATIONS TO KHOURY RESIDENCE 511 PHILADELPHIA AVE TAKOMA PARK, MD

Table with columns for NO., DESCRIP., and DATE.

REVISIONS

PROFESSIONAL CERTIFICATION. I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 16547. EXPIRATION DATE 08/18/2025.



FOR PERMIT/HAWP REVIEW

MEP NOTES, SCHEDULES

03 JANUARY 2024

G-100

SHEET #

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8. ALL EXTERIOR FIXTURE BALLASTS SHALL BE 0 DEGREE FAHRENHEIT RATED.
9. THE ENTIRE LIGHTING INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LOCAL ELECTRICAL CODE, AND ANY OTHER APPLICABLE REGULATIONS OF JURISDICTION.
10. ELECTRICAL CONTRACTOR SHALL COORDINATE TYPE OF TRIM ON LIGHTING FIXTURE WITH TYPE OF CEILING IN ROOM PRIOR TO ORDERING FIXTURES TO AVOID MISMATCH CAUSED BY LATE CHANGES IN CEILING TYPE.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR MOUNTING REMOTE TRANSFORMERS, DIMMERS, AND BALLASTS IN APPROVED SPACES.
12. LOW VOLTAGE TRANSFORMER SYSTEMS SHALL BE PROVIDED WITH PRIMARY AND SECONDARY FUSING IN ACCORDANCE WITH THE SPECIFIED MANUF. LITERATURE.
13. DOWN LIGHTS HAVING ADJUSTABLE SOCKET HEIGHTS FOR DIFFERENT SIZED LAMPS SHALL BE PROPERLY ADJUSTED BY THE ELECTRICAL CONTRACTOR PRIOR TO FINAL INSTALLATION. SET HEIGHT FOR LAMP SPECIFIED.
14. ARCHITECT SHALL PROVIDE FINAL FIXTURE SCHEDULE UNDER SEPARATE COVER PER OWNER'S APPROVED BUDGET. ANY ADDITIONAL COST BASED ON LAMP SELECTION IS UNDERSTOOD TO BE AT OWNER'S EXPENSE.

ELECTRICAL SYMBOLS

- ⊕ DUPLEX RECEPTACLE
⊕ QUAD RECEPTACLE
⊕ GROUND FAULT CIRCUIT INTERRUPTOR
⊕ WEATHER PROOF
⊕ JUNCTION BOX
⊕ TELEPHONE OUTLET
⊕ DATA OUTLET (CAT-5, OR PER CONTRACT)
CABLE TV
⊕ SPECIALTY RECEPTACLE
S75 WALL MOUNTED TIME SWITCH @ 48" A.F.F. U.N.O.
S WALL MOUNTED SINGLE POLE SWITCH @ 48" A.F.F. U.N.O.
S3 WALL MOUNTED TWO-WAY SWITCH @ 48" A.F.F. U.N.O.
⊕ PENDANT LIGHT FIXTURE
⊕ MINI-PENDANT LIGHT FIXTURE
○ RECESSED LIGHT FIXTURE (5" TYP. SEE SCHEDULE)
○ WALL SCONCE
○ CEILING FIXTURE (FLUSH MOUNT OR SEMI-FLUSHMOUNT - SEE SCHEDULE)
○ EXTERIOR-GRADE WALL SCONCE
⊕ SPECIALTY WET-LOCATION RECESSED FIXTURE
COMBINATION CO & SMOKE DETECTOR. COMBO IONIZATION/PHOTOELECTRIC W/ 9V BATTERY BACKUP.
⊕ EXHAUST FAN
100A/200V ELECTRICAL PANEL BOARD
ELECTRIC HEAT PUMP, WALL MOUNTED @ TOP OF WALL.

SEE PLANS FOR LIGHTING SCHEDULES*

MECHANICAL NARRATIVE

- 1. MECHANICAL SUBCONTRACTOR SHALL OBTAIN SEPARATE BUILDING PERMIT, INCLUDING MANUAL J CALCULATIONS
1.1. EXISTING BOILER SHALL REMAIN AT BASEMENT. EXISTING RADIATOR SYSTEM SHALL REMAIN THROUGHOUT THE EXISTING AND PROPOSED SPACES. EXPAND SYSTEM TO INCLUDE RADIATORS IN NEW FAMILY ROOM, AND TOEIKICK RADIATORS AT PROPOSED KITCHEN, MASTER BEDROOM AND BATHROOM TO EACH RECEIVE (1) NEW RADIATOR. INSTALL NEW DUCTWORK TO ADDITION AT FIRST AND SECOND FLOORS, FROM EXISTING FURNACE AT SECOND FLOOR. INSTALL ONE CENTRAL RETURN PER FLOOR.
2. WHERE APPLICABLE, DUCTS SHALL BE INSULATED TO CODE.
3. LOCATION OF ALL DUCTS, RETURNS, GRILLES, AND RADIATORS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMMENCING SUCH WORK.
4. ALL WORK IS REQUIRED TO BE COMPLETED TO THE REQUIREMENTS OF IECC 2018.
5. PROVISIONS SHALL BE MADE FOR A GAS RANGE IN KITCHEN. THE EXHAUST HOOD SPECIFIED IS LESS THAN 400 CFM, AND MAKE UP AIR WILL NOT BE REQUIRED.

APPLIANCE SCHEDULE

Table with 6 columns: Appliance Type, Make and Model #, Size, Type, Finish, Remarks. Rows include Refrigerator, Dishwasher, Exhaust, Induction Range, Microwave, Disposal, Washing Machine, and Dryer.

PLUMBING SCHEDULE

Table with 7 columns: Room, Fixture, Type, Size, Model, Finish, Remarks. Rows include Kitchen (Sink, Faucet), MASTER BATH (Sink, Faucet, Toilet, Shower System), HALL BATH (Sink, Faucet, Toilet, Tub/Shower), and FIRST FLOOR POWDER RM (Sink, Faucet, Toilet).

PLUMBING NARRATIVE

- 1. PLUMBING SUBCONTRACTOR SHALL OBTAIN SEPARATE BUILDING PERMIT.
2. IF CONTRACTOR AND HIS SUBCONTRACTORS DEEM A RE-CIRCULATING PUMP NECESSARY, GC SHALL PRESENT OWNER WITH A CHANGE ORDER FOR APPROVAL.
3. SLEEVE ALL PIPES PER CODE. IN CRAWL SPACES, ANY EXPOSED PIPES SHALL BE SLEEVED AND FLASH FOAM AT EACH STRUCTURAL BAY CONTAINING PIPES.
4. AT SUBSTANTIAL COMPLETION, GC SHALL ENSURE THAT ALL PIPES ARE FREE OF WASTE AND DEBRIS, AND THAT ALL PIPES DRAIN PROPERLY PRIOR TO HANDOVER TO OWNER.

WINDOW SCHEDULE

Table with 8 columns: ID, W., HT., MAT., GLAZ., U-VAL., SHGC, REMARK. Rows 1-5 and X1-X2 describe window specifications for various rooms.

DOOR SCHEDULE

Table with 7 columns: ID, W., HT., MAT., GLAZ., U-VAL., REMARK. Rows A, X1, and X describe door specifications.

NOTES:

- 1. ALL UNITS SHOWN AS PAIRED WINDOWS ARE FIELD JOINED PER MANUF. INSTRUCTIONS, INCLUDING EXTERIOR AND INTERIOR TRIM PIECES
2. GC SHALL FIELD VERIFY ALL EXISTING OPENINGS TO ENSURE PROPER FIT OF DOORS AND WINDOWS PRIOR TO ORDERING.
3. ANY SUBSTITUTIONS FOR SPECIFIED MANUFACTURER SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PURCHASE FOR REVIEW AND APPROVAL.
4. GC SHALL SUBMIT PRODUCT CUT SHEETS FOR ALL DOORS AND WINDOWS PRIOR TO PURCHASE SO THAT ARCHITECT MAY REVIEW AND APPROVE SELECTIONS AND FINALIZE ALL OPTIONS/ACCESSORIES.
5. CONTRACT BID SHALL INCLUDE DOORS AND WINDOWS AS INDICATED IN ABOVE SCHEDULE.
6. ALL WINDOWS SHALL HAVE FULL SCREENS.
7. GC SHALL VERIFY WINDOW COMPLIANCE WITH EGRESS OR TEMPERED LOCATION WINDOW REQUIREMENTS OF THE CURRENT VERSION OF THE IRC PRIOR TO PURCHASE OF WINDOWS. GC SHALL SUBMIT CUT SHEETS TO ARCHITECT FOR APPROVAL AND COORDINATION PRIOR TO PURCHASING WINDOWS.
8. GC SHALL VERIFY EXISTING HEADER HEIGHT AND PROPOSED SILL HEIGHT TO ENSURE SPECIFIED WINDOW SIZE WILL FIT INTO OPENING, AND TO VERIFY ALIGNMENT ON EACH ELEVATION. NOTIFY ARCHITECT OF DISCREPANCIES.
9. ALL DOORS TO RECEIVE DEAD BOLT, 2 HINGES, AND LEVER TYPE HARDWARE, BALDWIN OR SCHLAGE.
10. ALL DOORS SHALL BE KEYPED ALIKE.

APAC Engineering Inc.
Robert Wilson, PE
8555 16th Street - Suite 200
Silver Spring, MD 20910
apacengineering@aol.com
301.545.0543

STUDIO 105 ARCHITECTURE LLC
MEGAN DINICOLA, AIA
105 WHIMMOOR TERRACE
SILVER SPRING, MD 20901
MEGAN@STUDIO105ARCHITECTURE.COM
301.566.5146

ARCHITECT/ENGINEER

ADDITION + ALTERATIONS TO KHOURY RESIDENCE
511 PHILADELPHIA AVE
TAKOMA PARK, MD

Table with columns for NO., DESCRIP., DATE, and a grid for revision tracking.

REVISIONS

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FOR PERMIT/HAWP REVIEW

MEP NOTES, SCHEDULES

03 JANUARY 2024

G-100

SHEET #

ZONING ANALYSIS

THIS IS STANDARD DEVELOPMENT. SEE DPS WORKSHEET.

Pre-Construction Impervious Coverage	Proposed Impervious Coverage	
Existing House (Roof)	1420 SF	Proposed House (Roof) 1860 SF
Rear Yard Concrete Pad	89 SF	Rear Yard Concrete Pad below deck 280 SF
Misc. Rear Yard Retaining walls, stairs	54 SF	Misc. Rear Yard Retaining walls, stairs 54 SF
Driveway, retaining wall, stair	934 SF	Driveway, retaining wall, stair 934 SF
TOTAL	2,497 SF	TOTAL 3,128 SF

TOTAL 2662 SF
IMPERVIOUS AREA : 631 SF INCREASE

PRE-CONSTRUCTION LOT COVERAGE

Existing House (Roof)	1420 SF
TOTAL	1420 SF

Proposed Zoning Lot Coverage

House (Proposed)	1860 SF
Weatherproofed Deck (open air porch)	280 SF
TOTAL	2140 SF
LOT COVERAGE INCREASE:	720 SF

Stormwater management required (>400 Sf increase)

LOT COVERAGE % = 2140/8750 = 24.45%
 SEE STORMWATER MANAGEMENT BELOW*

Total Land Disturbance

REAR ADDITION, FOOTING, SLAB **990 SF**

Stormwater Management

ID	ITEM DESCRIP	RAINFALL CAPTURE	DIVERTED TO :
D01	DOWNSPOUT 1	405 SF	DOWNSPOUT TO SCH. 40 PIPE, DAYLIGHT AT OUTFALL IN REAR YARD BEYOND EX. RETAINING WALL
D02	DOWNSPOUT 2	405 SF	SPLASH BLOCK TO VEGETATED PLANTING BED
D03	DOWNSPOUT 3	135 SF	PIPE TO DAYLIGHT INTO EXISTING NATURAL SWALE AT SIDE YARD.
D04	DOWNSPOUT 4	135 SF	PIPE TO DAYLIGHT TO GRASSY SWALE AT SIDE YARD
D05	DOWNSPOUT 5	135 SF	RAIN BARREL AT REAR YARD
D06	DOWNSPOUT 6	135 SF	RAIN BARREL AT REAR YARD
D07	DOWNSPOUT 7	307 SF	SPLASH BLOCK TO VEGETATED PLANTING BED
D08	DOWNSPOUT 8	176 SF	SPLASH BLOCK TO VEGETATED PLANTING BED
D09	DOWNSPOUT 9	307 SF	MAINTAIN EXISTING DRAINAGE TO REAR YARD, PIPE THROUGH RETAINING WALL AT END OF DRIVEWAY
TOTAL		2140 SF	

- *** NOTE:
- ALL GUTTERS SHALL BE 6" BOX STYLE, TYPICAL
 - DOWNSPOUTS SHALL BE 3"x4" CROSS SECTION, TYPICAL
 EXC: DOWNSPOUTS AT FRONT ELEVATION SHALL BE 2" X 3" CROSS SECTION.
 - DOWNSPOUTS SHALL BE TIED BACK TO HOUSE OR PORCH COLUMNS, ON SIDE OR ELEVATIONS AS POSSIBLE
 - SPACING OF DOWNSPOUTS SHALL NOT EXCEED 30'-0" O.C.
 - FINAL LOCATION OF ALL DOWNSPOUTS SHALL BE FINALIZED IN FIELD BY ARCHITECT
 - ALL DOWNSPOUTS SHALL HAVE A SPLASH BLOCK AT GRADE
 - IF GRASSY SWALES NEED TO BE CONSTRUCTED, THESE SHOULD BE CONSTRUCTED PER MONTGOMERY COUNTY TYPICAL DETAILS.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER TARPING AND RAIN PROTECTION OF THE EXISTING BUILDING DURING CONSTRUCTION. ANY DAMAGE TO EXISTING BUILDING OR OWNER PROPERTY CAUSED BY WATER INFILTRATION, DUE TO INADEQUATE OR IMPROPER CONSTRUCTION TEMPORARY PROTECTION SHALL BE REPAIRED OR REPLACED IN FULL BY CONTRACTOR.
- TEMPORARY GUTTERS SHALL BE ERECTED AS SOON AS POSSIBLE ON SITE TO AVOID ANY STORM DAMAGE.

EXTERIOR IMPROVEMENT NOTES

- AT COMPLETION OF GRADING, GC SHALL SEED, SOD, AND STRAW YARD TO EXTENT IMPACTED BY WORK.
- GC SHALL MAINTAIN SILT FENCE UNTIL ALL GRADING ACTIVITIES ON SITE HAVE CEASED, AND VEGETATIVE STABILIZATION IS IN PLACE
- GC SHALL UTILIZE SEDIMENT CONTROL MEASURES AS INDICATED ON SITE PLAN TO LIMIT RUNOFF DURING GRADING ACTIVITIES ON SITE.
- GC SHALL TAKE EVERY EFFORT TO MINIMIZE IMPACT TO TREES ON SITE. BEST PRACTICES INDICATE A LINE OF DISTURBANCE OF NO CLOSER THAN THE TREE'S DRIP LINE.
- ALL EXCAVATED CUT SHALL BE REMOVED AND TRANSPORTED OFF-SITE TO A FACILITY LICENSED TO ACCEPT SUCH EARTH
- GC SHALL BE RESPONSIBLE FOR FINE GRADING EARTH IMPACTED BY PROJECT AND PLACE TOPSOIL PER SPECIFICATION BELOW.
- ANY PLANTING BEDS CALLED FOR ON DRAWINGS SHALL BE TROWEL-EDGED BY CONTRACTOR. GC IS NOT RESPONSIBLE FOR MULCH OR LANDSCAPING
- DOWNSPOUTS SHALL BE DAYLIGHTED AT GRADE WITH EXTENSION AND SPLASH BLOCK.

GRADING/LANDSCAPING NOTES

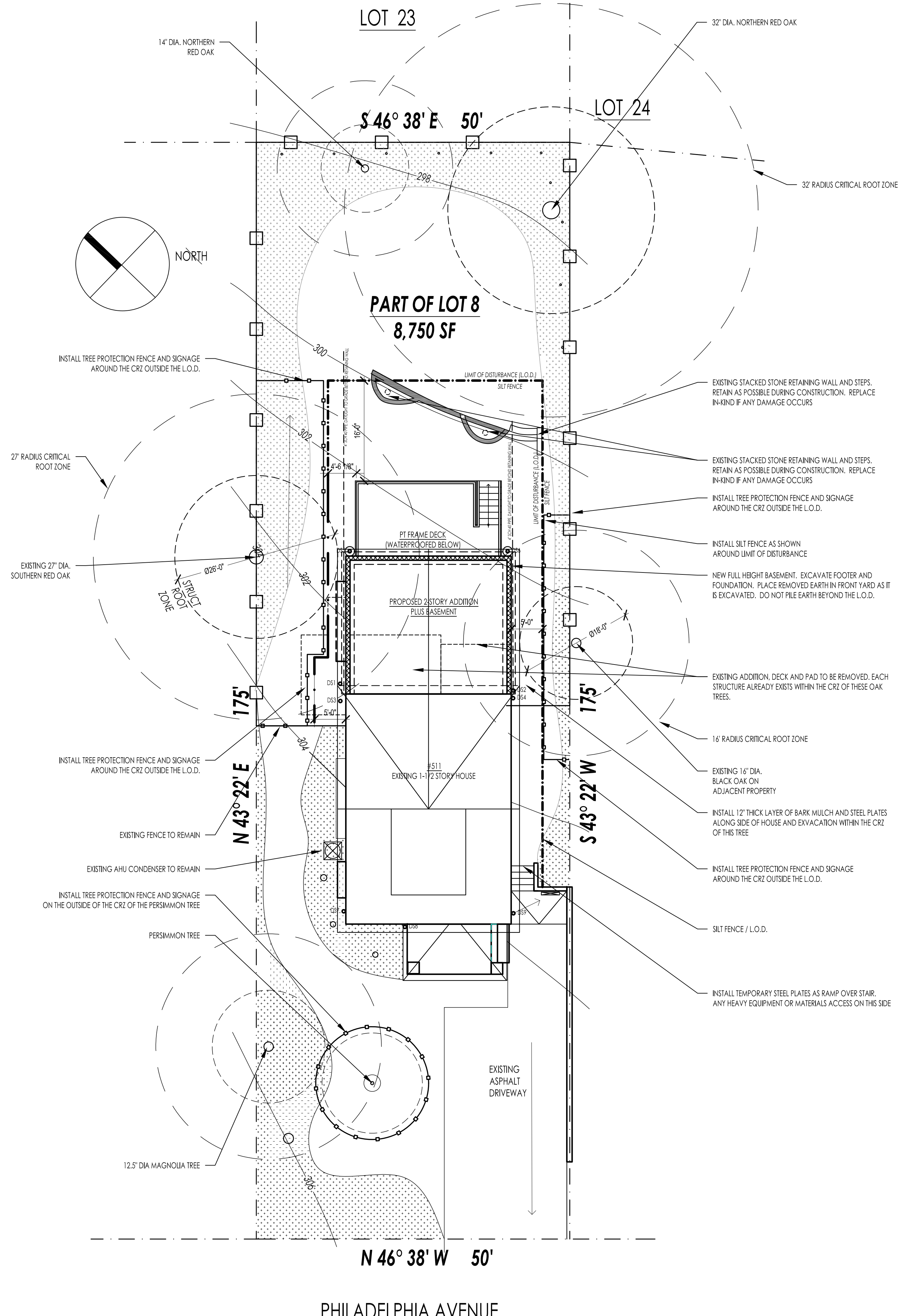
TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS.

TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

- TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY DPS. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS, AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER. THE SUBSOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 6 INCHES BEFORE PLACEMENT OF TOPSOIL. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 LBS PER 1000 SQ FT) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL. TOPSOIL SHALL BE TESTED AND AMENDED AS PER SOIL TEST RECOMMENDATIONS.

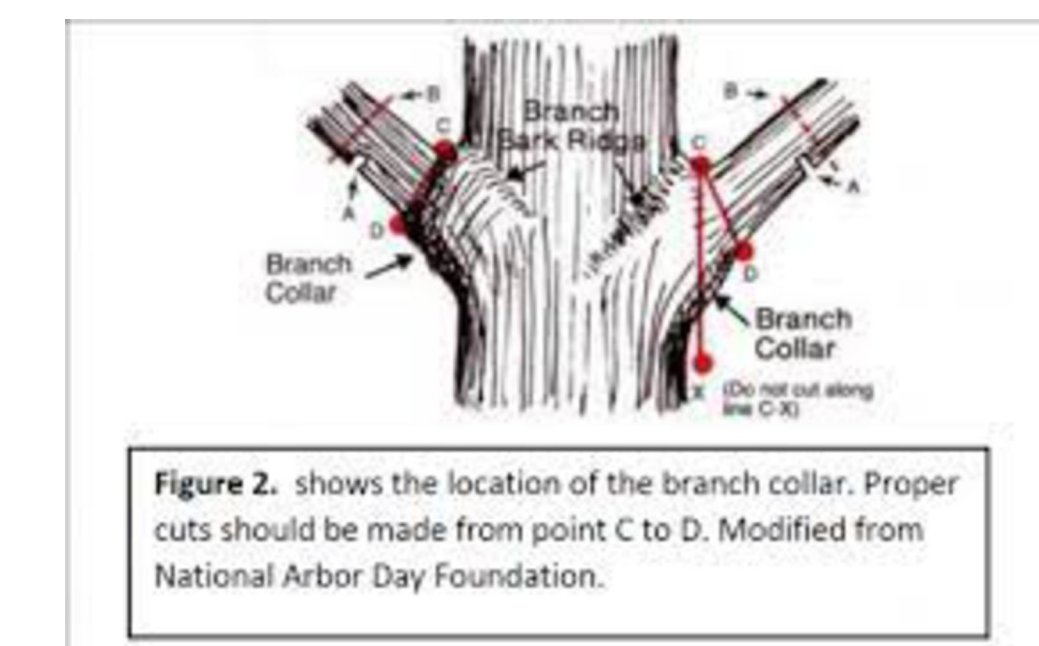
TOPSOIL APPLICATION

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES.
- TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4-8 INCH LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4 INCHES. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

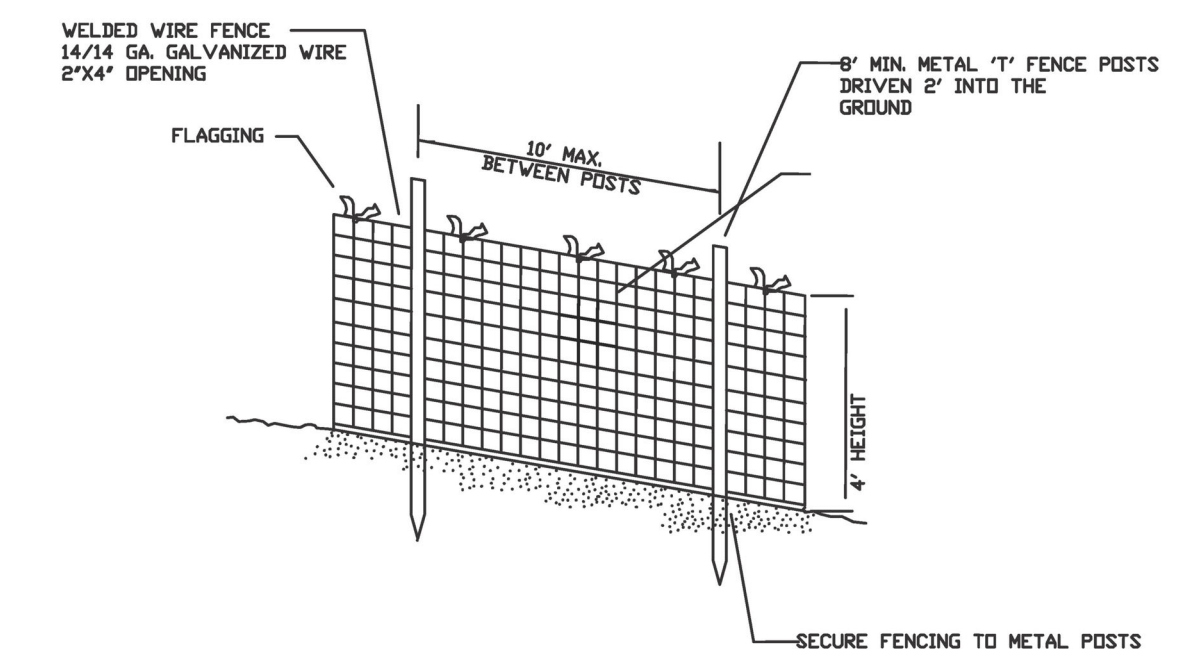


1 SITE PLAN/DRAINAGE PLAN/TREE PROTECTION PLAN
 1:10

SITE SURVEY/TREE SURVEY
 PERFORMED BY ARCHITECT 12/28/23

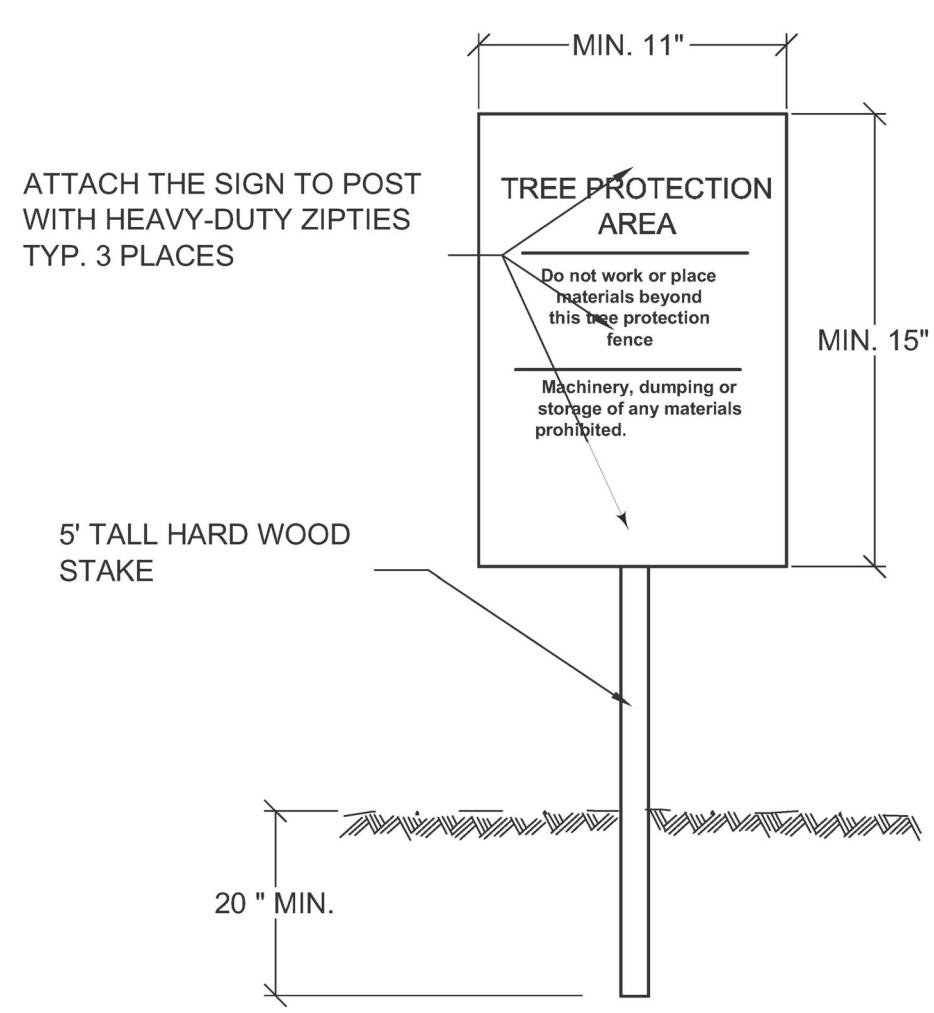


2 PRUNING DIAGRAM
 NOT TO SCALE



3 TREE PROTECTION FENCE DETAIL
 NOT TO SCALE

TEMPORARY TREE PROTECTION SIGNAGE



- NOTES:
- ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
 - SIGNS SHOULD BE PROPERLY MAINTAINED.
 - AVOID INJURY TO ROOTS WHEN PLACING POSTS FOR THE SIGNS.

4 TREE PROTECTION SIGNAGE
 NOT TO SCALE

APAC Engineering Inc.
 Robert Wilson, PE
 8555 16th Street - Suite 200
 Silver Spring, MD 20910
 apacengineering@aol.com
 301.545.0543

STUDIO 105 ARCHITECTURE LLC
 MEGAN DINICOLA, AIA
 105 WHIMMOOR TERRACE
 SILVER SPRING, MD 20901
 MEGAN@STUDIO105ARCHITECTURE.COM
 301.566.5146

ARCHITECT/ENGINEER

ADDITION + ALTERATIONS
 TO
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 511 PHILADELPHIA AVE
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NO.	DESCRIP.	DATE

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FOR PERMIT/HAWP REVIEW

SITE PLAN AND EXTERIOR IMPROVEMENTS

03 JANUARY 2024

C-100

SHEET #

NO.	DESCRIP.	DATE

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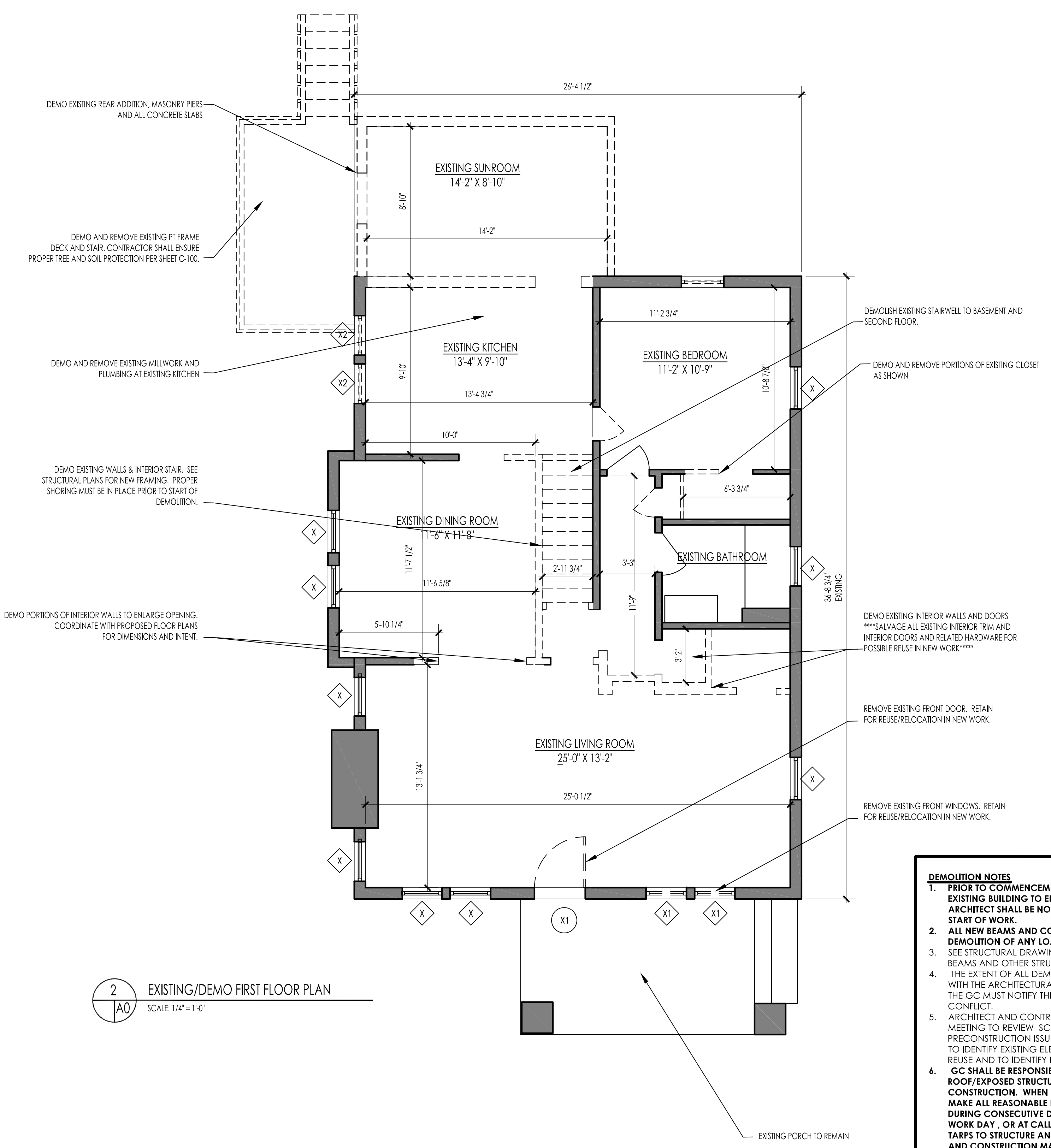
FOR PERMIT/HAWP REVIEW

DEMOLITION PLANS

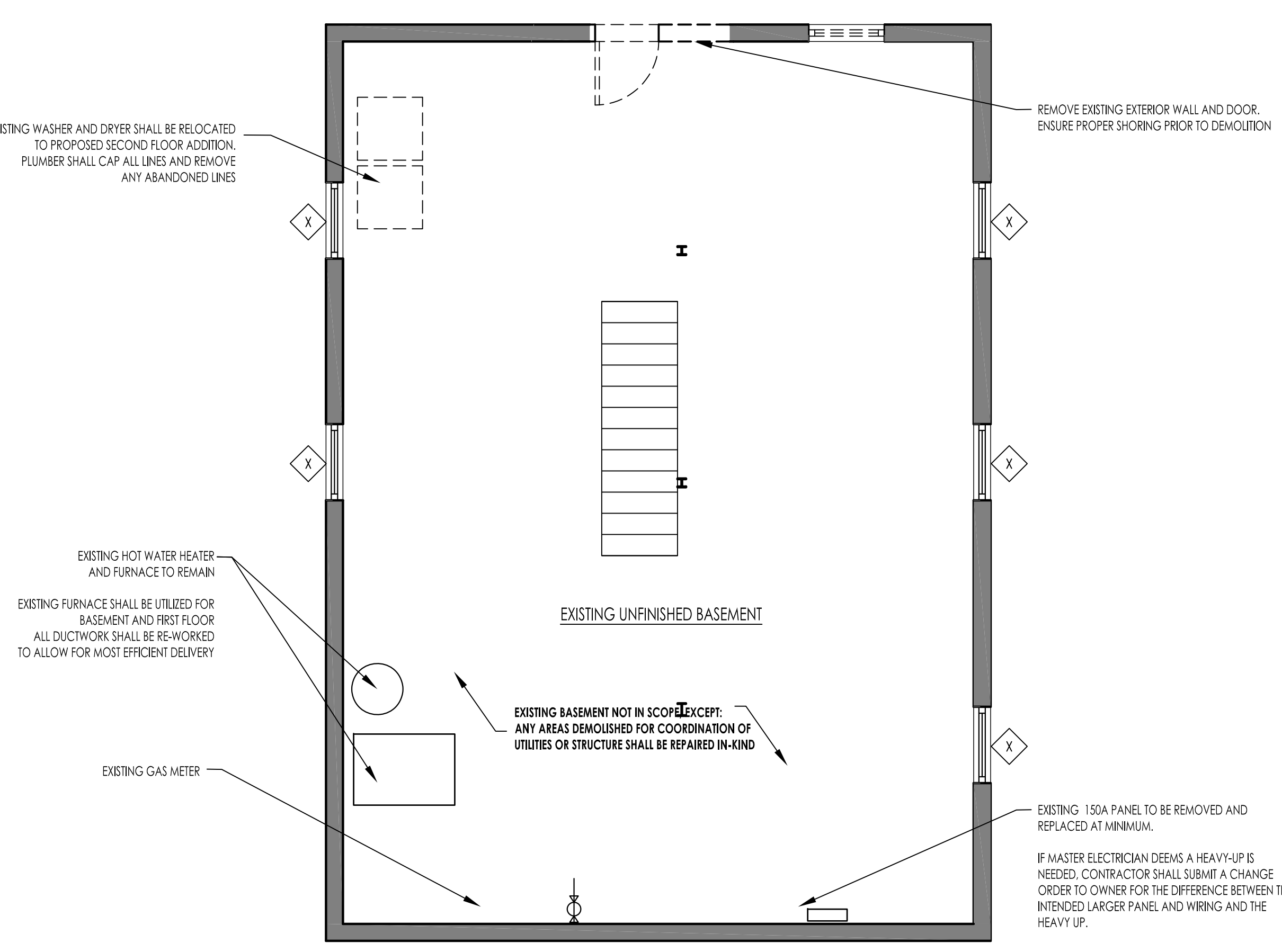
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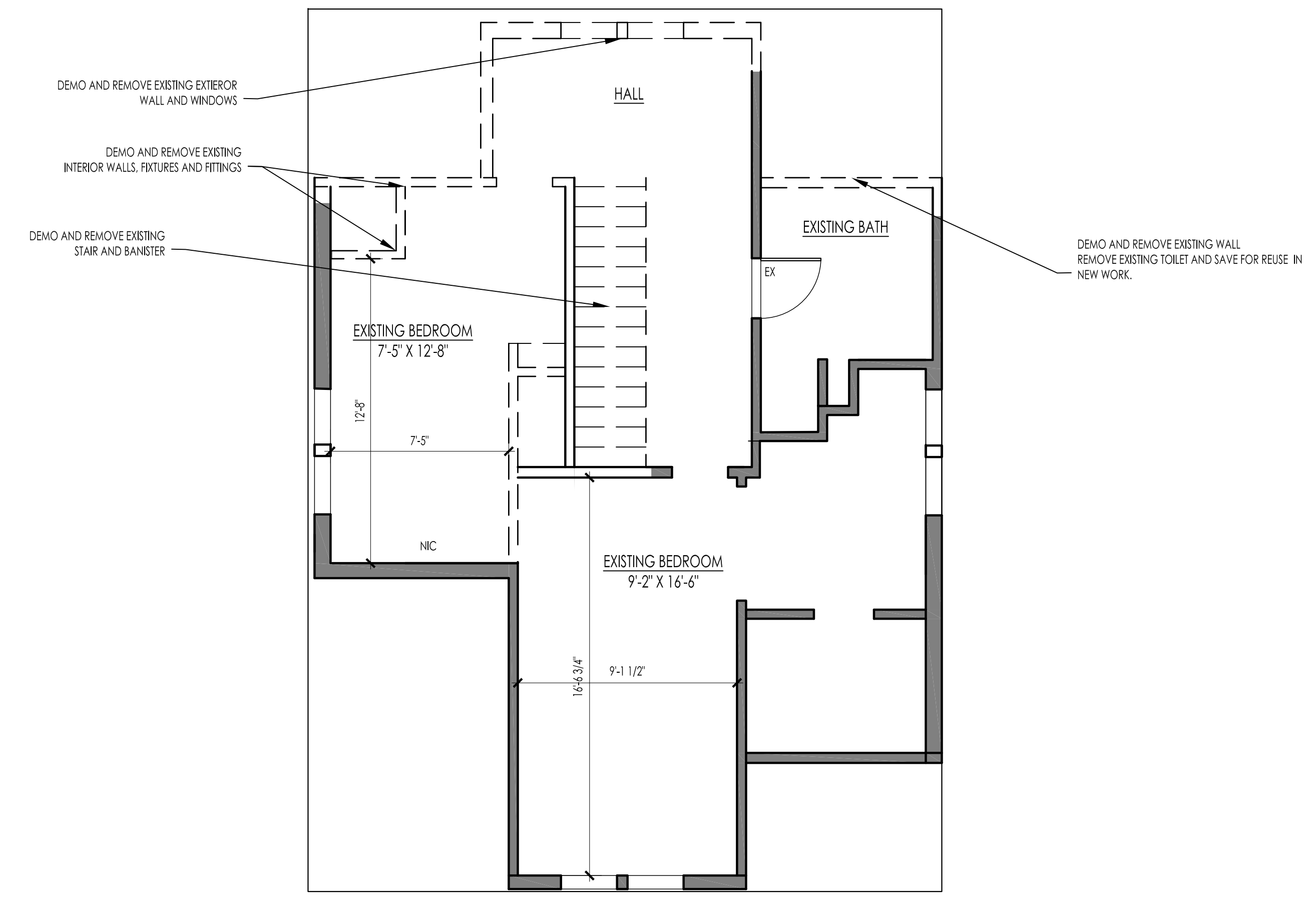
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2 EXISTING/DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

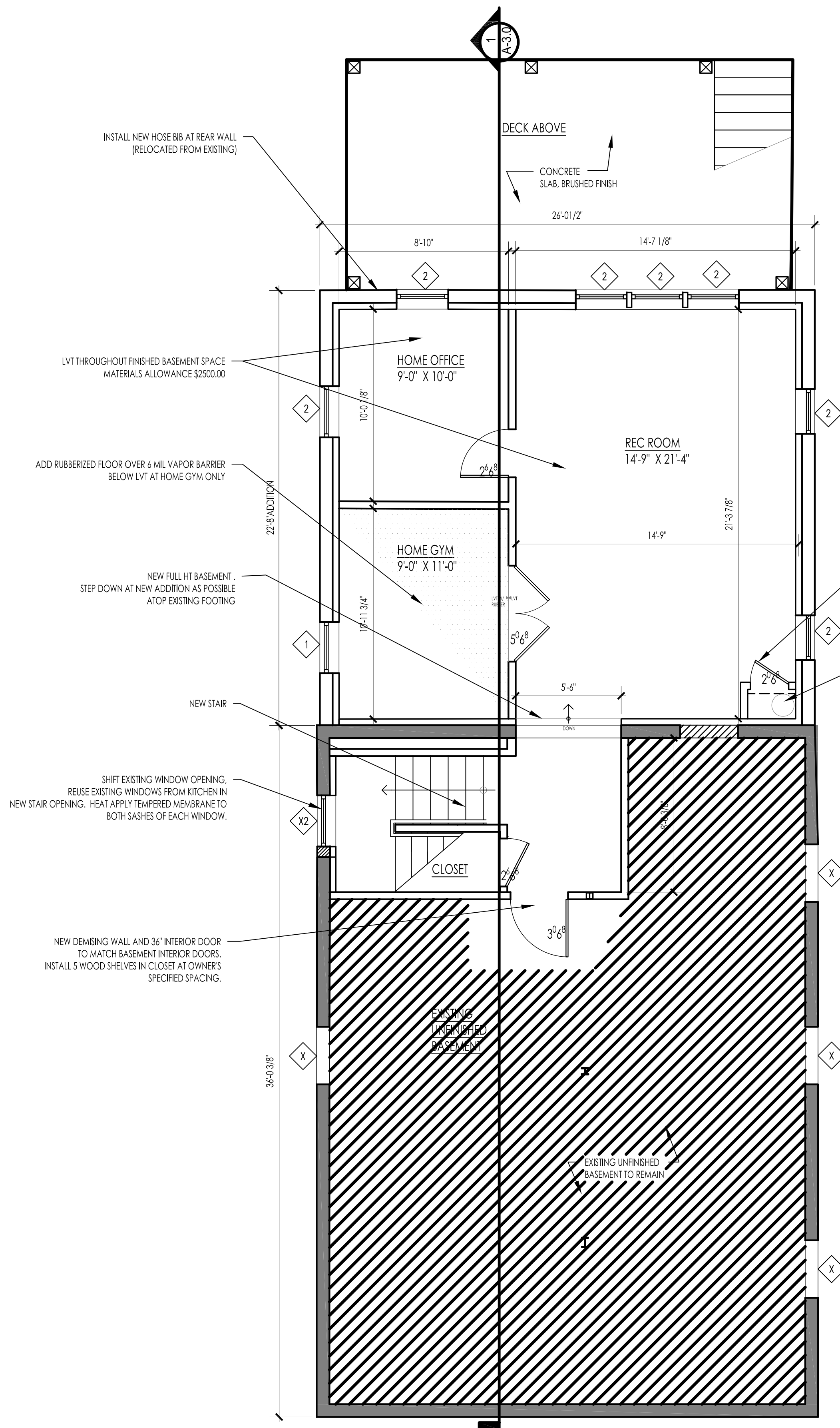


1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"

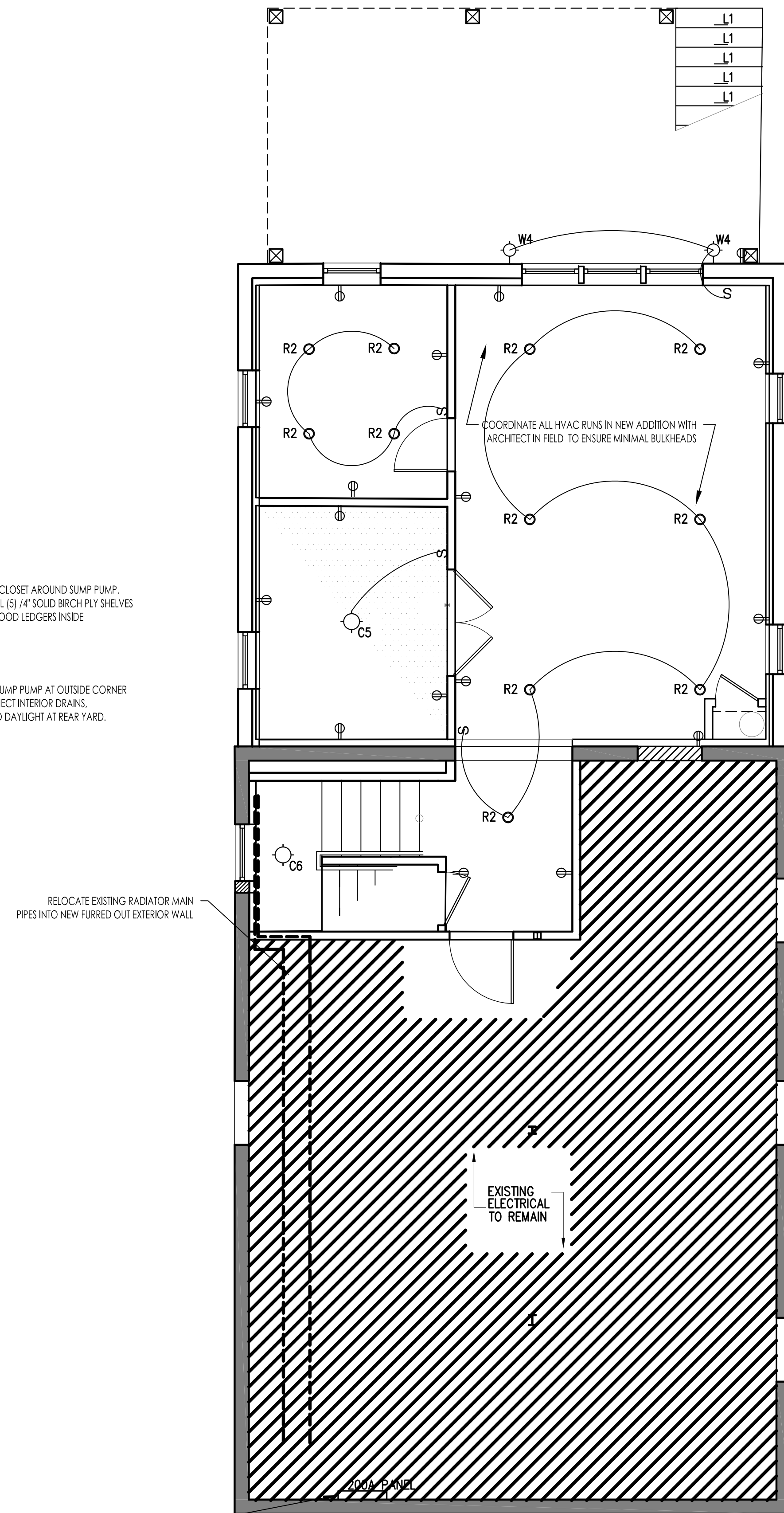


3 EXISTING/DEMO SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES**
- PRIOR TO COMMENCEMENT OF WORK, GC SHALL FIELD MEASURE EXISTING BUILDING TO ENSURE COORDINATION WITH DRAWINGS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO START OF WORK.
 - ALL NEW BEAMS AND COLUMNS MUST BE IN PLACE PRIOR TO DEMOLITION OF ANY LOAD BEARING WALLS.
 - SEE STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS, BEAMS AND OTHER STRUCTURAL ELEMENTS.
 - THE EXTENT OF ALL DEMOLITION WORK SHOWN SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS AND THE EXISTING STRUCTURE. THE GC MUST NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICT.
 - ARCHITECT AND CONTRACTOR SHALL HAVE A PRE-CONSTRUCTION MEETING TO REVIEW SCHEDULE, PLANS AND ADDRESS AND PRECONSTRUCTION ISSUES. ARCHITECT WILL DO A WALK-THROUGH TO IDENTIFY EXISTING ELEMENTS OF THE HOUSE TO BE SAVED FOR REUSE AND TO IDENTIFY ELEMENTS FOR SALVAGE/DONATION.
 - GC SHALL BE RESPONSIBLE FOR PROTECTING ENTIRETY OF ROOF/EXPOSED STRUCTURE DURING DEMOLITION AND CONSTRUCTION. WHEN REMOVING ROOF STRUCTURE, GC SHALL MAKE ALL REASONABLE EFFORTS TO PERFORM DEMOLITION WORK DURING CONSECUTIVE DAYS OF DRY WEATHER. AT THE END OF EACH WORK DAY, OR AT CALL FOR INCLEMENT WEATHER, GC SHALL AFFIX TARPS TO STRUCTURE AND COVER ALL EXPOSED AREAS OF STRUCTURE AND CONSTRUCTION MATERIALS. IN THE EVENT OF WATER PENETRATION, GC SHALL BE RESPONSIBLE FOR PROPER REMEDIATION OR REPLACEMENT OF ALL AREAS SUBJECTED TO MOISTURE AND RELATED MOLD/MILDEW AND DAMAGE.
 - ALL ELECTRICAL WORK EXPOSED IN DEMOLITION SHALL BE TEMPORARILY TAPED AND CAPPED AS REQ'D. REFER TO ELECTRICAL PLANS FOR RE-USE / RELOCATION OF WIRING. ELECTRICAL WORK TO BE ABANDONED SHALL BE TAPED AND CAPPED AS REQUIRED, OR REMOVED COMPLETELY.
 - ANY PLUMBING WORK EXPOSED IN DEMOLITION SHALL BE TEMPORARILY CAPPED AS REQUIRED. PLUMBING TO BE ABANDONED SHALL BE PERMANENTLY CAPPED OR REMOVED COMPLETELY.
 - ALL TV AND TELEPHONE WIRING EXPOSED IN DEMOLITION WHICH IS INTENDED TO REMAIN OR TO BE RELOCATED SHALL BE CLEARLY LABELLED.
 - ALL EXISTING FLOORS TO REMAIN SHALL BE PROTECTED THROUGHOUT DEMOLITION AND CONSTRUCTION BY SHEETS OF 1/8" THICK MASONITE OR APPROVED EQUAL. THESE ARE TO BE WELL FITTED TO THE FULL FLOOR CONFIGURATION WITH BUTT JOINTS FULLY TAPED.
 - REMOVAL AND DUMPING OF REFUSE MUST BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND RESTRICTIONS. GC SHALL REMOVE DEBRIS FROM SITE ON A REGULAR BASIS AND SHALL NOT STOCKPILE DEBRIS IN BUILDING. SUPPLIES MAY ONLY BE STOCKPILED IN LOCATION TO BE DETERMINED BY OWNER.
 - AREAS LABELED AS NIC SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION FROM DUST, CONSTRUCTION DEBRIS AND WEATHER. ANY AREAS IN BASEMENT DAMAGED BY THE WORK SHALL BE REPLACED IN KIND.



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 BASEMENT POWER AND LIGHT PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- PRIOR TO COMMENCEMENT OF WORK, GC SHALL FIELD MEASURE EXISTING BUILDING TO ENSURE COORDINATION WITH DRAWINGS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- WRITTEN DIMENSIONS AND NOTES SUPERCEDE ANY SCALED DRAWING. ANY DISCREPANCIES BETWEEN SCALE AND DIMENSION SHALL BE BROUGHT TO ARCHITECTS' ATTENTION FOR CLARIFICATION.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- ALL HEADER HEIGHTS SHALL BE CONSISTENT. SILL HTS. VARY AS SHOWN AND SHALL BE VERIFIED WITH ACTUAL RO OF WINDOWS.
- ALL NEW BEAMS AND COLUMNS MUST BE IN PLACE PRIOR TO DEMOLITION OF ANY LOAD BEARING WALLS.
- SEE STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS, BEAMS AND OTHER STRUCTURAL ELEMENTS.
- ROOF ELEVATIONS AND SLOPES ARE APPROXIMATE. CONTRACTOR TO VERIFY EXISTING DIMENSIONS AND ADJUST LEVELS ACCORDINGLY.
- MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE CONSTRUCTED AS DESIGN BUILD. THE INFORMATION SHOWN ON THESE CONTRACT DOCUMENTS REFLECTS THE MINIMUM CODE REQUIREMENTS. COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATE EXACT LOCATION AND SIZE OF WET STACKS, CHASES AND OTHER PENETRATIONS WITH MECHANICAL AND PLUMBING CONTRACTOR.
- SUBCONTRACTORS SHALL COORDINATE LOCATION OF STACKS, VENTS, AND OTHER THROUGH FLOOR/ROOF PENETRATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- EXISTING RADIATOR HEAT SYSTEM FROM EXISTING BOILER AND EXISTING PIPING TO HEAT FIRST, SECOND FLOORS AND BASEMENT. EXTEND EXISTING DUCTED COOLING SYSTEM FROM EXISTING FURNACE AT SECOND FLOOR TO COOL FIRST AND SECOND FLOORS. INSTALL (1) CENTRAL RETURN PER FLOOR.
- WHERE EXISTING PLASTERBOARD IS REMOVED AND WALL CAVITY EXPOSED, GC SHALL INSTALL INSULATION AS DESCRIBED IN THESE DRAWINGS TO MEET THE EXISTING BUILDING REQUIREMENTS OF THE IECC/IRC 2018.
- MINIMUM INSULATION REQUIREMENTS, PER THE IECC 2018 ARE AS FOLLOWS:
 ZONE 4
 CEILING/ROOF: R-49
 WOOD-FRAME WALL: R-20 OR R-13 + 5
 FLOOR: R-19
 BASEMENT WALL: R-10; R-13 (BATT)
 SLAB: R-10; 2'-0"

FINISH NOTES

- FINISHED AREAS OF BASEMENT SHALL RECEIVE LVT FLOORING. INSTALL GLUE-DOWN RUBBER BASE FLOORING BELOW LVT IN HOME GYM
- NEW 2-PC WOOD BASE THROUGHOUT WORK AREA AND TRIM AROUND ALL NEW WINDOWS SHALL MATCH EXISTING, INCLUDING SILL AND APRON AT WINDOWS. LARGE OPENING BETWEEN EX. DINING ROOM AND KITCHEN SHALL BE A CASED OPENING. OPENING BETWEEN STAIR AND FAMILY ROOM SHALL BE CASED. SEE DETAILS. SHEET A-4.0.
- NEW CLOSET UNDER STAIRS SHALL BE COMPLETELY FINISHED WITH 1/2" GWB TIGHT TO UNDERSIDE OF FRAMING
- REPLACE REMOVED PLASTER WITH 1/2" GYP BOARD WHERE OCCURS. ALL EXPOSED WALL CAVITIES SHALL BE FILLED WITH INSULATION TO CURRENT CODE. OR WITH HD Batts TO DEPTH OF EXISTING CAVITY.
- MAINTAIN LEVEL CEILING THROUGHOUT BASEMENT. FLOOR SHALL STEP DOWN AT NEW ADDITION. COORDINATE LOCATION OF ALL HVAC DUCTWORK AND OTHER BULKHEADS TO MINIMIZE IMPACT ON CEILING HEIGHT.
- REPLACE ALL INTERIOR DOORS WITH NEW SOLID CORE WOOD DOORS TO MATCH STYLE OF EXISTING DOORS. HINGES SHALL MATCH FINISH COLOR OF LEVERS. DOOR HARDWARE SHALL BE BY SCHLAGE. FINAL STYLE AND FINISH TO BE DETERMINED.

REFLECTED CEILING WIRING & CABLING NOTES

- EXISTING PLASTER CEILINGS AND FRAMING SHALL BE REMOVED, AND REPLACED WITH 1/2" GYP BD.
- ALL ELECTRICAL WIRING, FIXTURES AND DEVICES SHALL BE INSTALLED ACCORDING TO NEC 2017.
- LOCATIONS OF ALL DEVICES AND FIXTURES SHALL BE CONFIRMED AT WALK-THROUGH ON SITE PRIOR TO COMMENCEMENT OF WIRING ROUGH-IN.
- ALL NEW ELECTRICAL DEVICES SHALL BE STANDARD STYLE, COLOR WHITE. DIMMER SWITCHES SHALL BE STANDARD STYLE WITH SLIDE DIMMER. ASSUME 20% OF NEW SWITCHES WILL BE DIMMERS.
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LIGHTING SCHEDULE

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C2	SEMI-FLUSHMOUNT			
C3	FLUSHMOUNT			
C4	SEMI-FLUSHMOUNT			
C5	SEMI-FLUSHMOUNT			
F1	110 CFM FAN W/ HUMIDITY SENSOR AND LIGHT			
F2	44" HUGGER STYLE FAN, W LIGHT			
F3	52" CEILING FAN, W LIGHT			
L1	LANDSCAPE LIGHTING (STEP LIGHT)			
P1	PENDANT			
P2	CHANDELIER			
R1	4" RECESSED DOWNLIGHT			
R2	6" RECESSED DOWNLIGHT			
W1	BATH SCONCE-2 LIGHT			
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W3	EXTERIOR WALL SCONCE			
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FLD-1	FLOOD LIGHT, LOCATION TBD, SWITCHED AT MASTER BEDROOM			
EX/ETR	EXISTING TO REMAIN			

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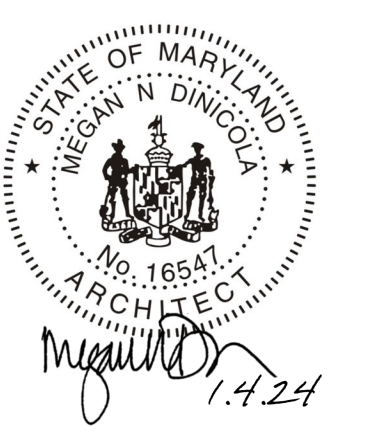
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NO.	DESCRIP.	DATE

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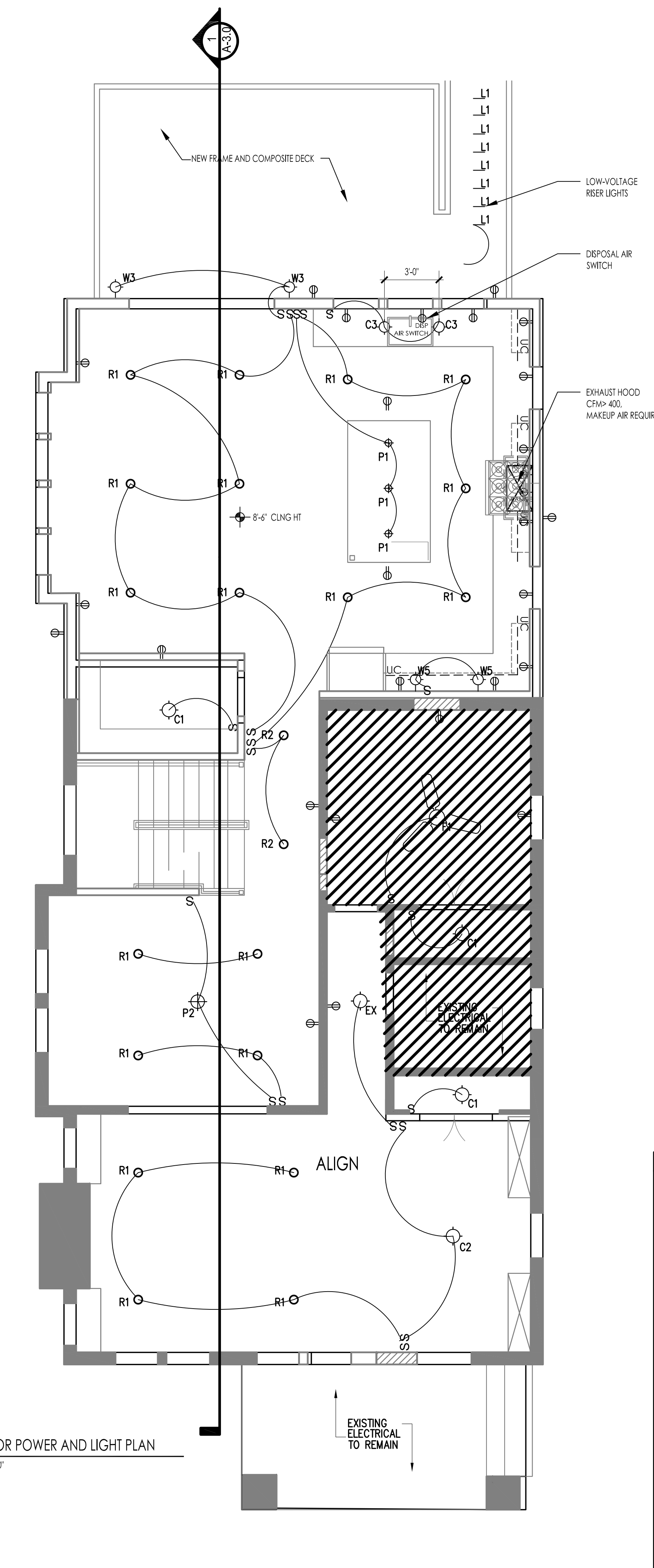
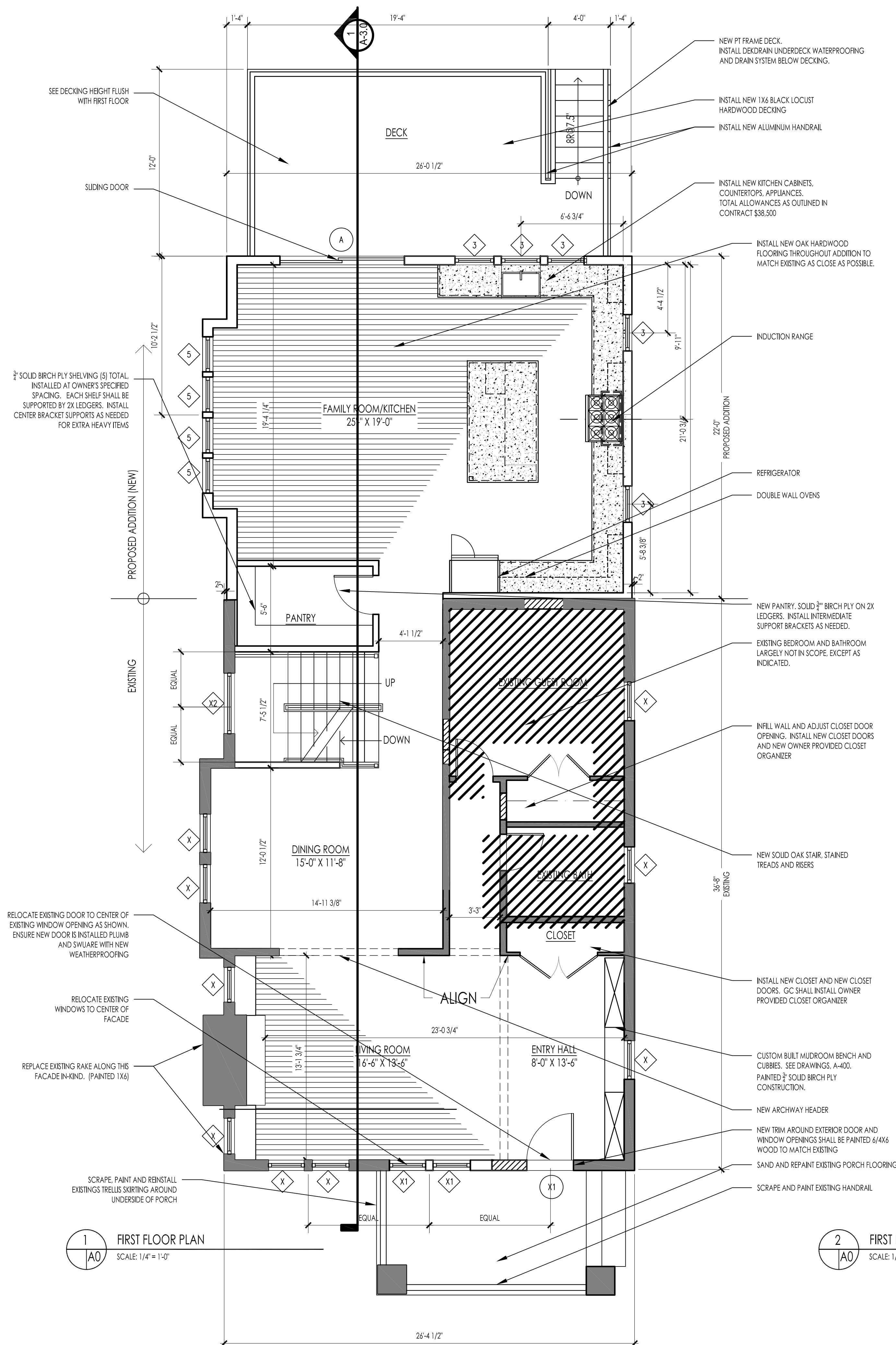
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BASEMENT PLANS

03 JANUARY 2024

A-100

SHEET #



FLOOR PLAN NOTES

1. PRIOR TO COMMENCEMENT OF WORK, GC SHALL FIELD MEASURE EXISTING BUILDING TO ENSURE COORDINATION WITH DRAWINGS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO START OF WORK.
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3. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
4. ALL HEADER HEIGHTS SHALL BE CONSISTENT. SILL HTS. VARY AS SHOWN AND SHALL BE VERIFIED WITH ACTUAL ROOF WINDOWS.
5. ALL NEW BEAMS AND COLUMNS MUST BE IN PLACE PRIOR TO DEMOLITION OF ANY LOAD BEARING WALLS.
6. SEE STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS, BEAMS AND OTHER STRUCTURAL ELEMENTS.
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8. MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE CONSTRUCTED AS DESIGN BUILD. THE INFORMATION SHOWN ON THESE CONTRACT DOCUMENTS REFLECTS THE MINIMUM CODE REQUIREMENTS. COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.
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11. EXISTING RADIATOR HEAT SYSTEM FROM EXISTING BOILER AND EXISTING PIPING TO HEAT FIRST, SECOND FLOORS AND BASEMENT. EXTEND EXISTING DUCTED COOLING SYSTEM FROM EXISTING FURNACE AT SECOND FLOOR TO COOL FIRST AND SECOND FLOORS. INSTALL (1) CENTRAL RETURN PER FLOOR.
12. WHERE EXISTING PLASTERBOARD IS REMOVED AND WALL CAVITY EXPOSED, GC SHALL INSTALL INSULATION AS PRESCRIBED IN THESE DRAWINGS TO MEET THE EXISTING BUILDING REQUIREMENTS OF THE IECC/IRC 2018.
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FINISH NOTES

1. NEW WOOD FLOORS AT FAMILY ROOM/KITCHEN ADDITION SHALL BE NEW 2-1/4" T&G FLOORING, SPECIES TO MATCH EXISTING, TOOTHED IN WHERE APPLICABLE. MUDROOM, LAUNDRY AND POWDER ROOM SHALL RECEIVE CERAMIC TILE, TILE PATTERN, COLOR, STYLE TBD UNDER SEPARATE COVER.
2. NEW SECOND FLOOR BEDROOMS, MASTER CLOSET AND HALLWAYS SHALL RECEIVE NEW 2-1/4" T&G FLOORING, TOOTHED-IN WHERE APPLICABLE.
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8. MAINTAIN LEVEL CEILING THROUGHOUT KITCHEN, AND CONTINUOUS CEILING HT BETWEEN THE EXISTING AND NEW WORK. MAINTAIN LEVEL FLOOR AT SECOND FLOOR ADDITION.
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REFLECTED CEILING WIRING & CABLING NOTES

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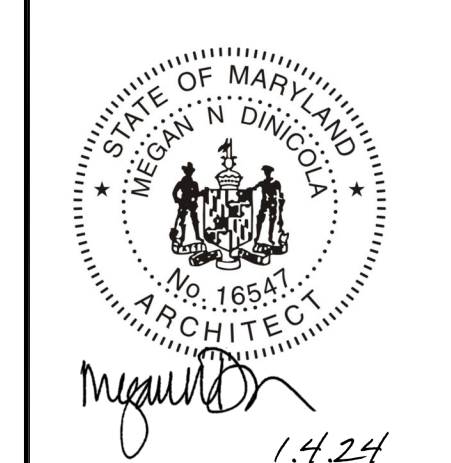
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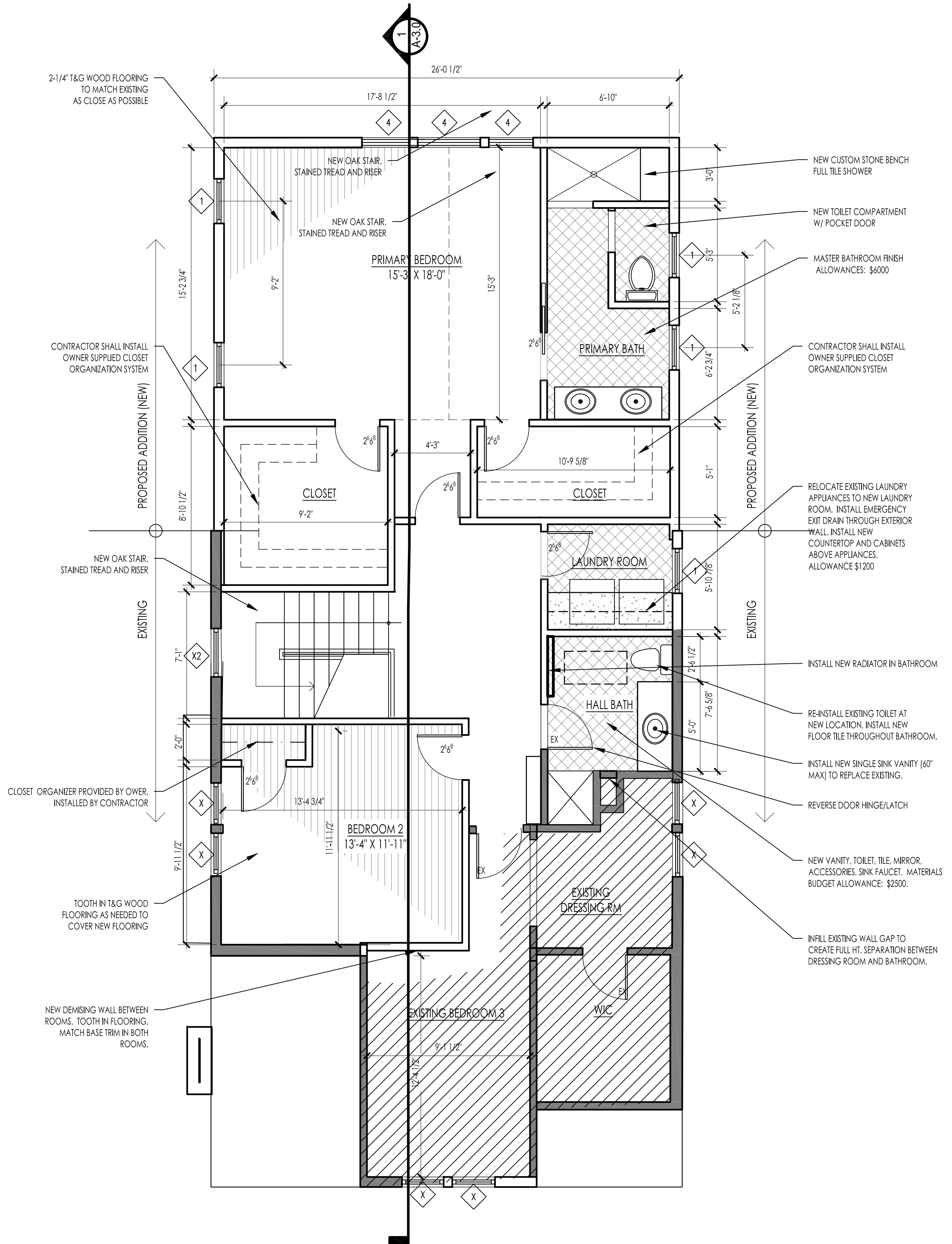
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FIRST FLOOR PLANS

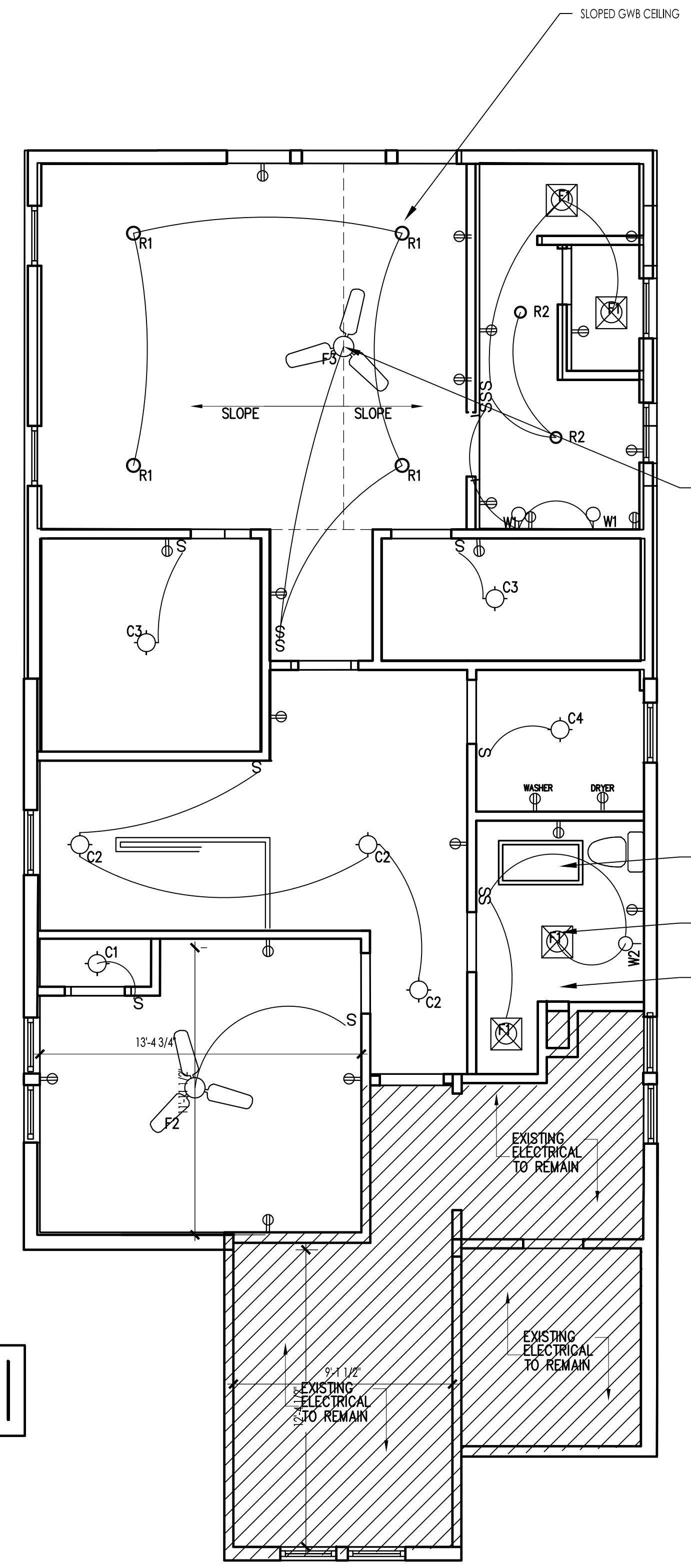
03 JANUARY 2024

A-110

SHEET #



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR POWER AND LIGHT PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

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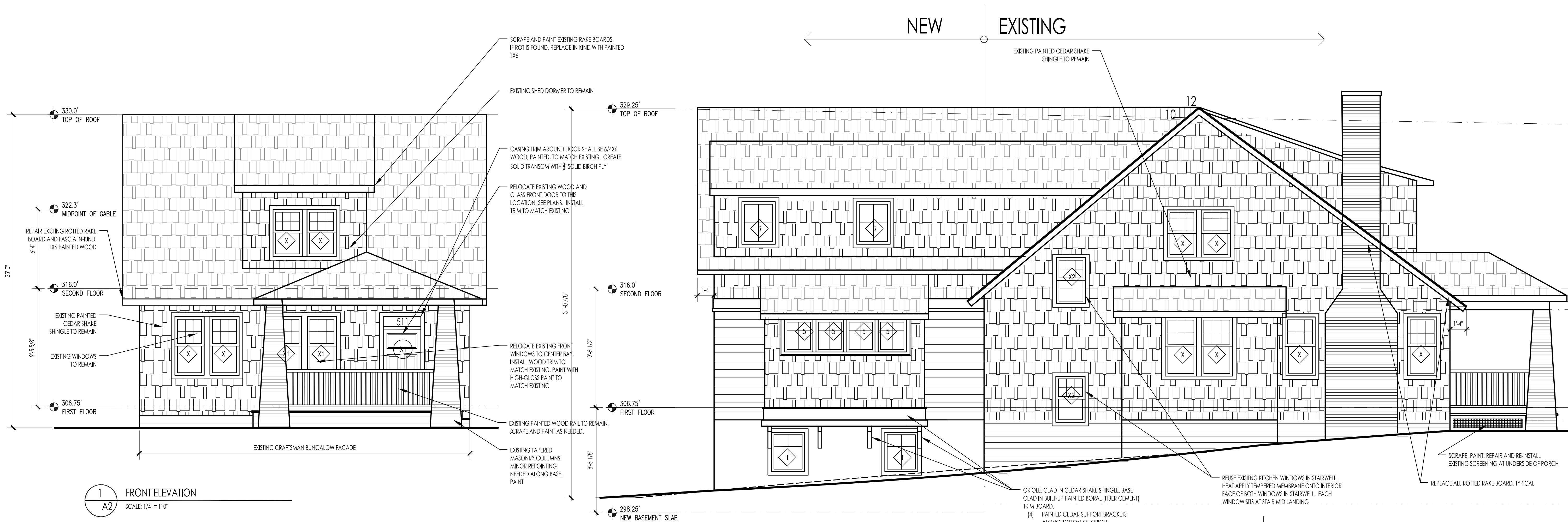
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SECOND FLOOR PLANS

03 JANUARY 2024

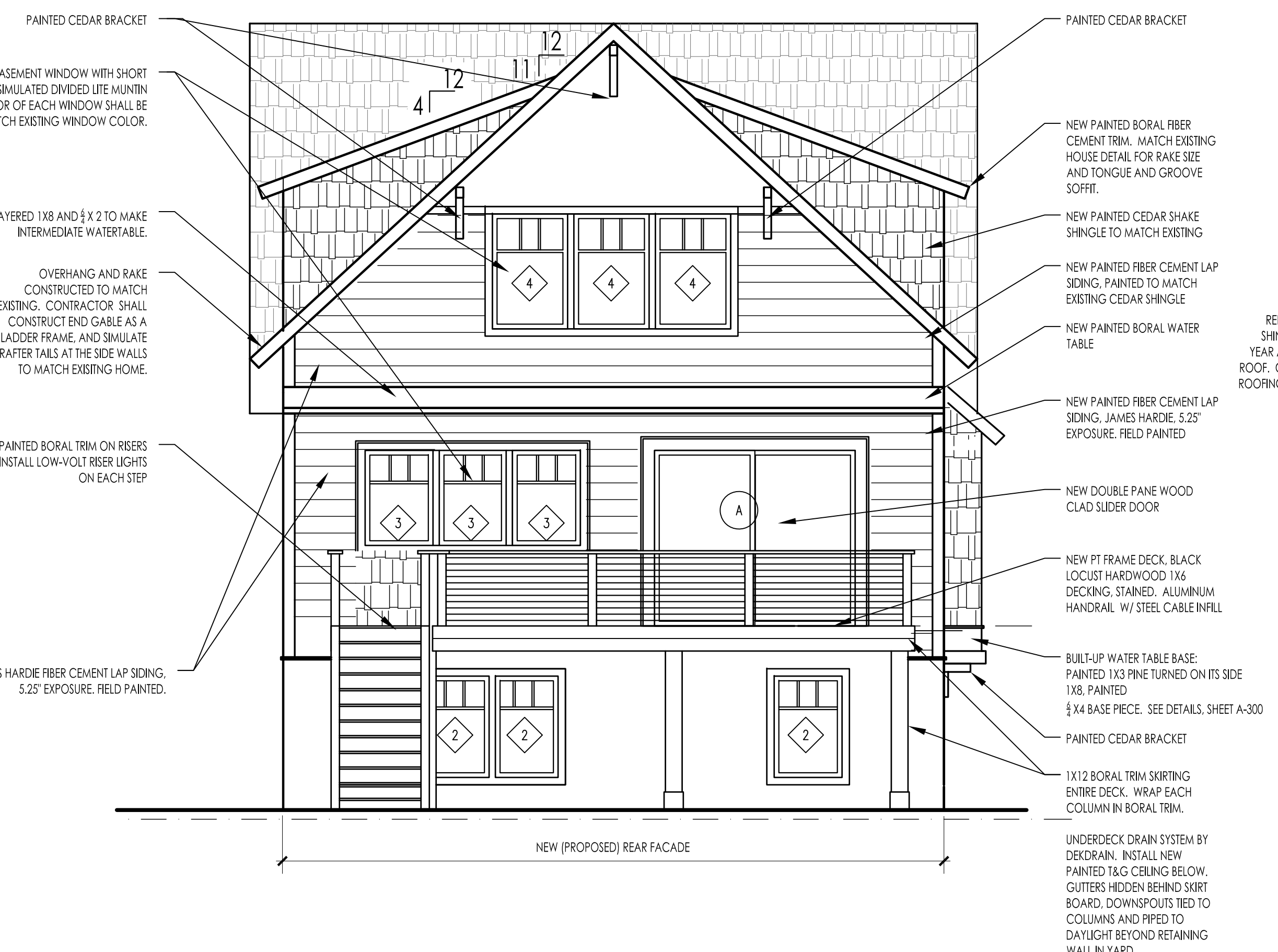
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SHEET #

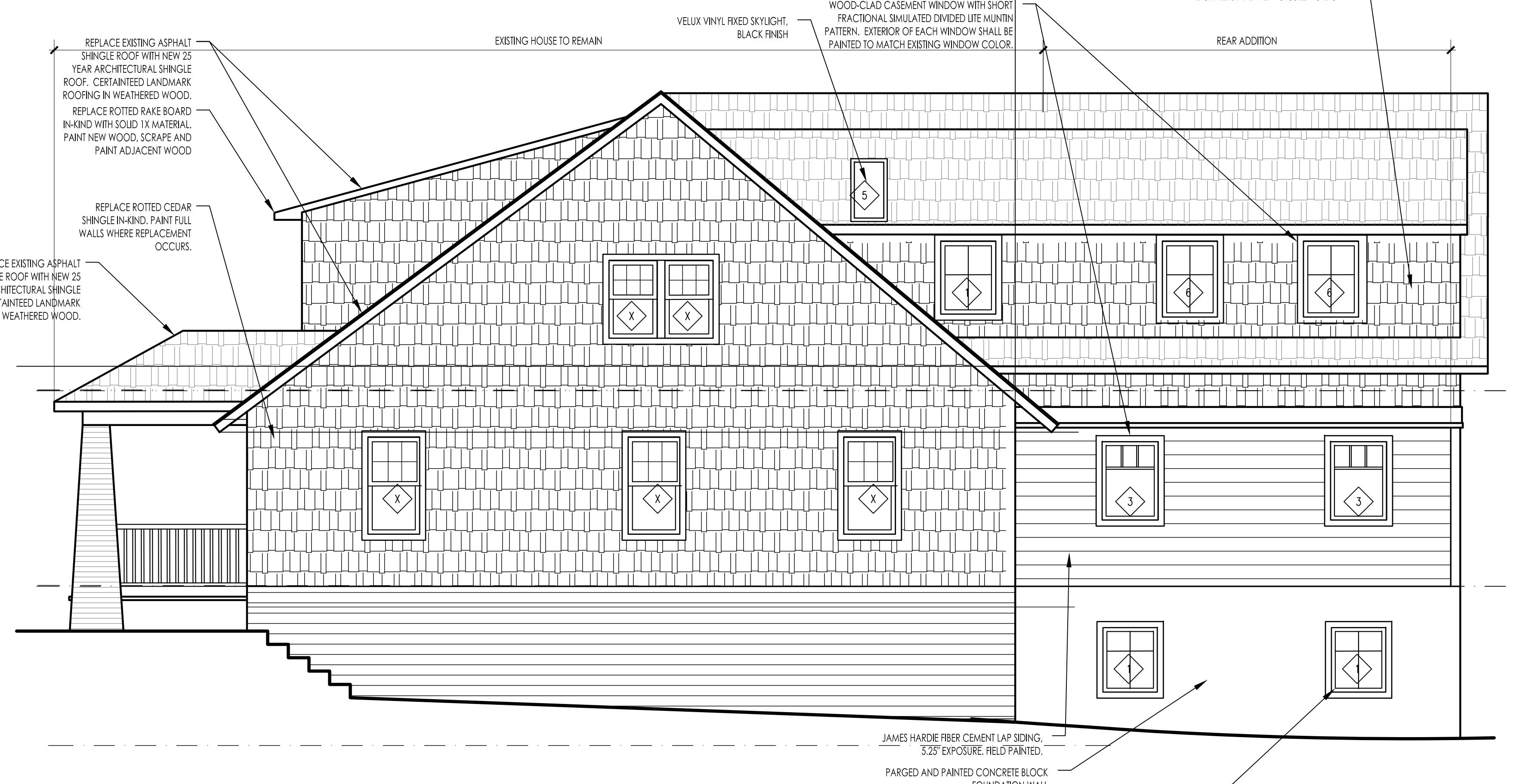


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION
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ELEVATIONS AND EXTERIOR DETAILS

03 JANUARY 2024

A-200

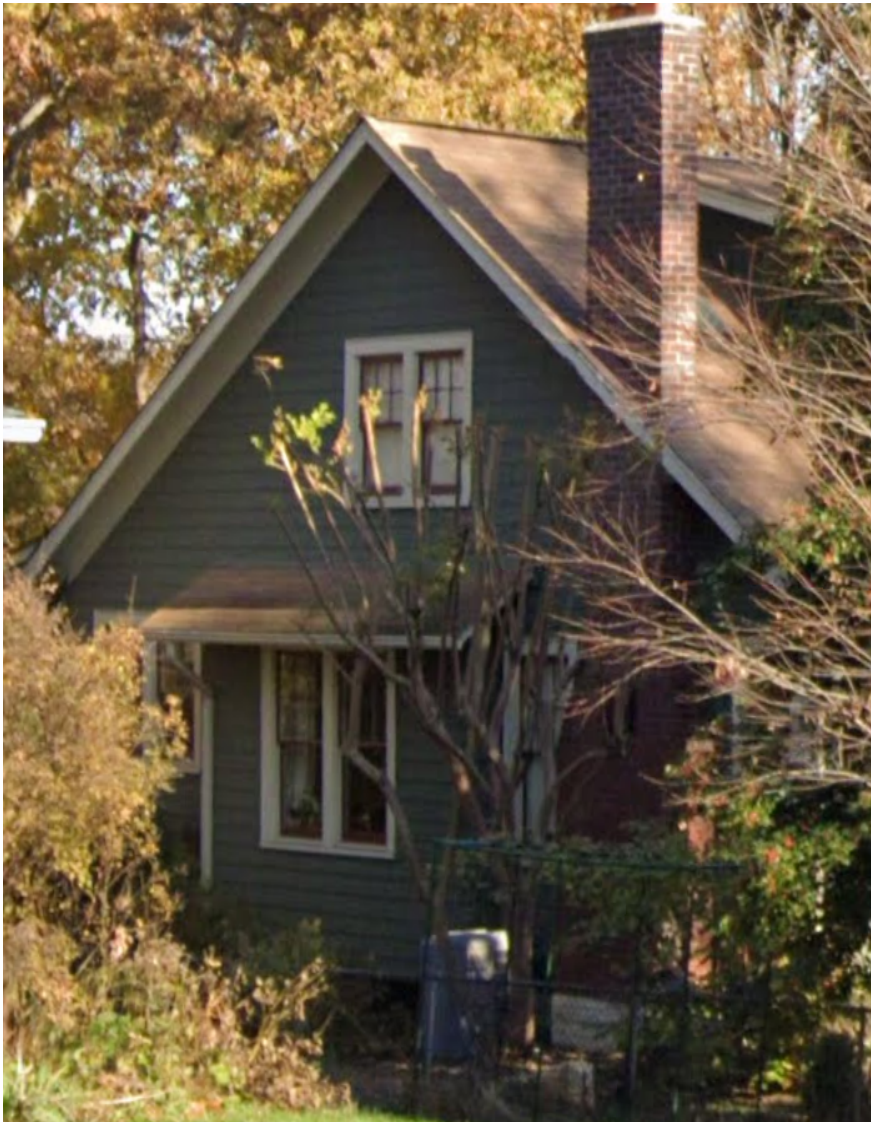
SHEET #



511 Philadelphia Avenue | Front Facade (Existing)



511 Philadelphia Avenue | Rear Facade (Existing)



511 Philadelphia Avenue | North Side Facade (Existing)



511 Philadelphia Avenue | South Side Facade (Existing)



511 Philadelphia Avenue | Sample photos of repairs needed to existing exterior trim