

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	1 High Street, Brookeville	Meeting Date:	2/21/2024
Resource:	Primary Resource (Brookeville Historic District)	Report Date:	2/14/2024
Applicant:	Sajid Niazi (Jeffrey Lees, Architect)	Public Notice:	2/07/2024
Review:	HAWP	Tax Credit:	N/A
Case Number:	REV 1003919	Staff:	Rebecca Ballo

PROPOSAL: For revisions to previously approved HAWP for removal of a brick retaining wall and grading.

STAFF RECOMMENDATION:

Staff recommends that the HPC approve the HAWP.

NOTE: The original HAWP and a subsequent revision were approved with conditions for the building permit that are still applicable.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Primary Resource within the Brookeville Historic District
Brookeville Post Office

DATE: 1922

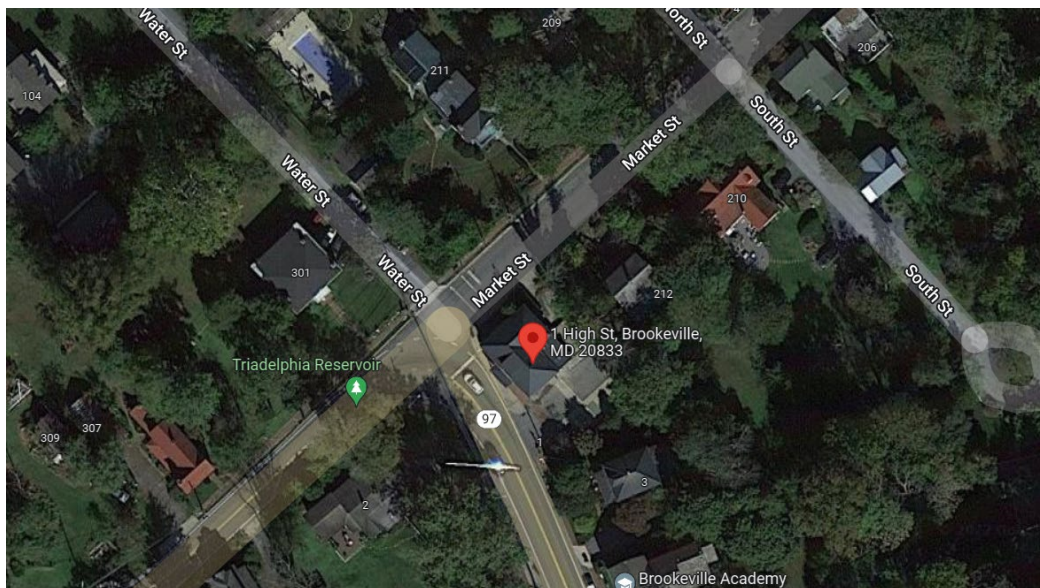


Fig. 1: Subject property at the southeastern corner of High Street (Georgia Avenue) and Market Street.

BACKGROUND:

The applicant previously appeared before the Commission for a preliminary consultation at the April 20, 2022 HPC meeting.¹ The HPC held a public hearing to discuss the HAWP at the August 17, 2022 HPC meeting, and voted to leave the record open for one month to allow for additional community input. The HPC closed the record and voted to approve the HAWP with conditions at the September 21, 2022 HPC meeting.² A subsequent revision to the HAWP was reviewed and approved with conditions at the January 11, 2023 meeting.³ Condition #6 of that HAWP revision stated the following:

“#6. A revised grading plan showing the removal of the brick retaining wall and the addition of any other retaining walls, if necessary, must be submitted as a revision to this HAWP#1003919 for review and approval by the HPC prior to the issuance of any building permits.”

The applicant has submitted this proposed HAWP revision to comply with Condition #6.

PROPOSAL:

The applicant proposes to remove approximately 30' linear feet of the low brick retaining wall that exists on the northeastern property line between the subject property and 212 Market Street. The portion of the wall to be removed is shown in Note #54 on the attached Site Plan, Sheet C2.01.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Brookeville Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Brookeville Historic District Master Plan Amendment (Amendment)*, *Montgomery County Code Chapter 24A-8 (Chapter 24A-8)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

¹ Link to April 20, 2022 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2022/04/II.A-1-High-Street-Brookeville-Preliminary-Consultation.pdf>

Link to April 20, 2022 HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=55685b4d-c1a8-11ec-a5da-0050569183fa

² Link to September 21, 2022 staff report with updated memo: https://montgomeryplanning.org/wp-content/uploads/2022/09/II.B-1-High-Street-Brookeville-1003919_for_web.pdf. Link to Meeting audio/video is available here, item starts at 1:48:00: https://mncppc.granicus.com/MediaPlayer.php?view_id=7&clip_id=2663

³ Link to the January 11, 2023 staff report: <https://montgomeryplanning.org/wp-content/uploads/2023/01/I.J-1-High-Street-Brookeville-1003919-REVISION.pdf>

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (a) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The applicant proposes to remove approximately 30' linear feet of the low brick retaining wall that exists on the northeastern property line between the subject property and 212 Market Street. The portion of the wall to be removed is shown in Note #54 on the attached Site Plan, Sheet C2.01.

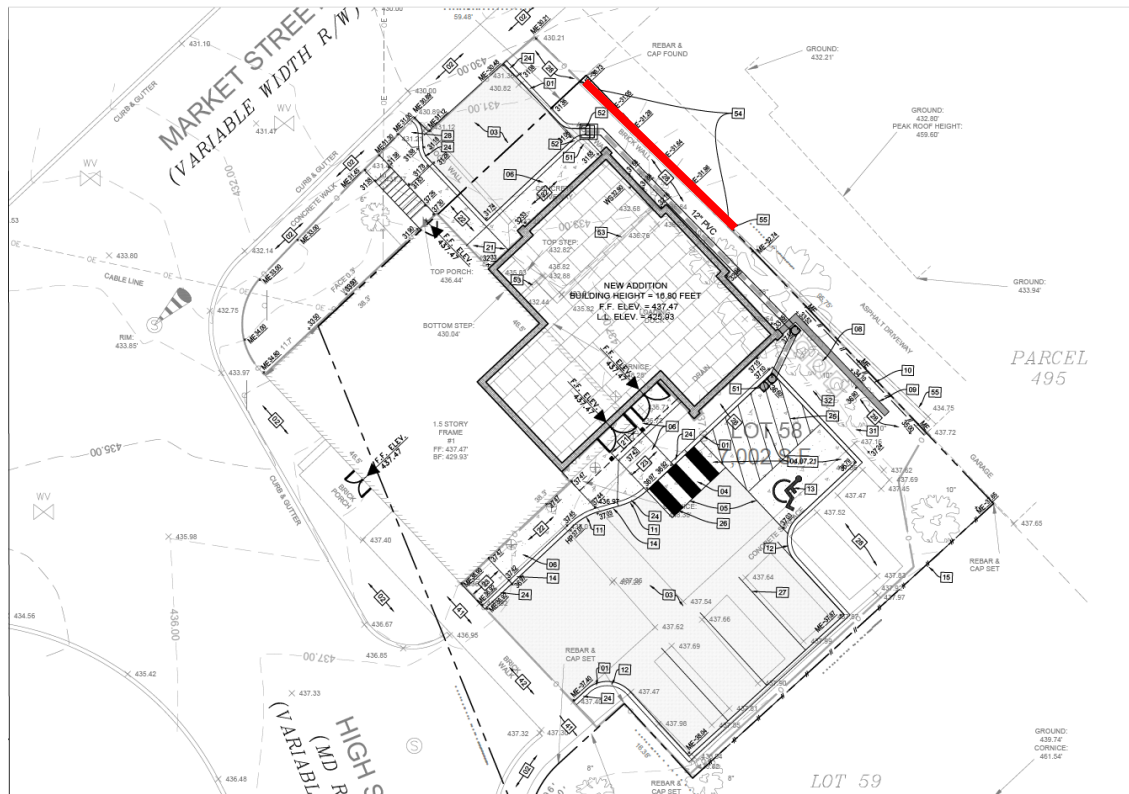


Fig.2: Excerpt of Sheet C2.01. The length of wall to be removed is shown in red.

Previous reviews of this HAWP have established that the removal of the wall is appropriate. The revised sheet shows that there will be minimal to no regrading necessary in this area once the wall is removed, and no new wall is proposed to be constructed in its place. Staff finds that the submittal of this sheet fulfills the Condition of approval #6.

Staff finds that the applicant's revised HAWP proposal, as modified by the recommended conditions, will not remove or alter materials, features, or spaces that characterize the property, per *Standard #2*.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the recommended conditions, consistent with the Criteria for Issuance in Chapter 24A-(b) 1, 2, and (d), having found it consistent with the *Secretary of the Interior's Standards for Rehabilitation #2*, as outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), (2), and (d), having found that the proposal, as modified by the conditions, will not

substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or Rebecca.Ballo@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1003919
DATE ASSIGNED _____

APPLICANT:

Name: Sajid Niazi
Address: 2624 Dapple Grey Ct
Daytime Phone: 410-507-1316

E-mail: sajniazi@yahoo.com
City: Olney Zip: 20832
Tax Account No.: 03331876

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 1 High Street Brookville MD 20833

Is the Property Located within an Historic District? Y Yes/District Name Brookville
 ___ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 1 Street: High Street
Town/City: Brookville Nearest Cross Street: Market Street
Lot: 58 Block: _____ Subdivision: 05 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sajid Niazi Sajid Niazi 2/1/24

 Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 2624 Dapple Grey Ct Olney MD 20832	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
212 Market Street, Brookeville Md 20833	211 Market Street, Brookeville MD 20833
3 High Street, Brookeville MD 20833	
2 High Street #49, Brookeville MD 20833	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Continuance of HAWP 1003919. Submitting the revised plan showing the removal of the small brick wall.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Reference to Historic Area Work Permit #1003919 REV: For building addition, parking lot expansion, fence installation, and site improvements Approval with seven (7) conditions. This submission is to satisfy condition number 7 "A revised grading plan showing the removal of the brick retaining wall and the addition of any other retaining walls, if necessary, must be submitted as a revision to this HAWP#1003919 for review and approval by the HPC prior to the issuance of any building permits.

Attached is the revised plan.

Work Item 1: _____

Description of Current Condition:
Continuance of HAWP 1003919. Submitting the revised plan showing the removal of the small brick wall.

Proposed Work:
See attached

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

NO.	DESCRIPTION	DATE

TAX MAP HJ62 WSSC 227NW33

PLAT 21826

8TH ELECTION DISTRICT
TOWN OF BROOKEVILLE
MARYLAND

**LOT 58
BROOKEVILLE**

PROJ. MGR KJH

DRAWN BY SEC

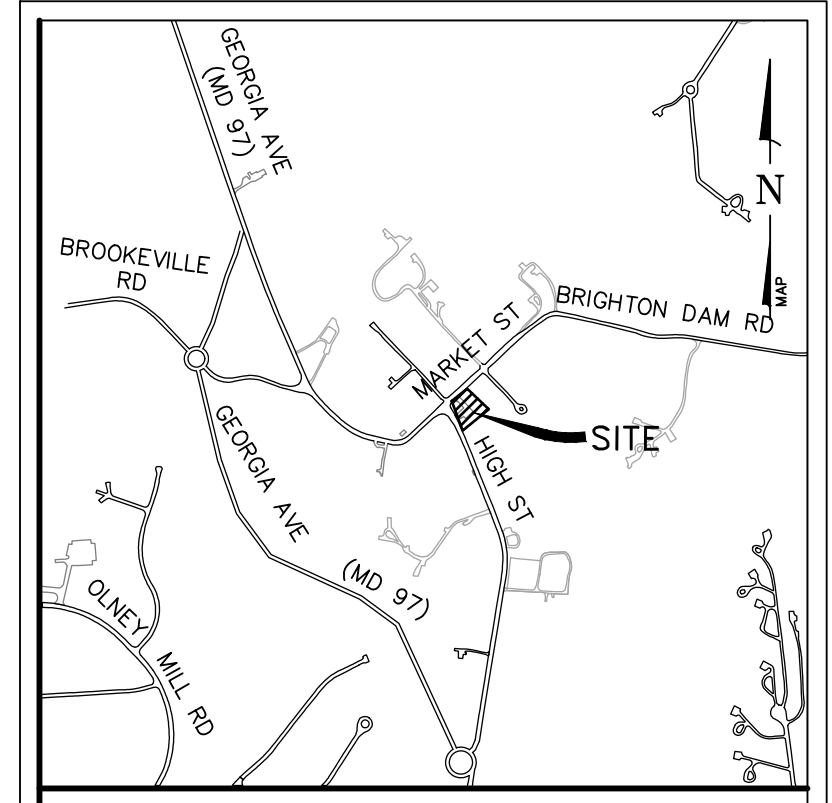
SCALE 1" = 10'

DATE 08.09.2023

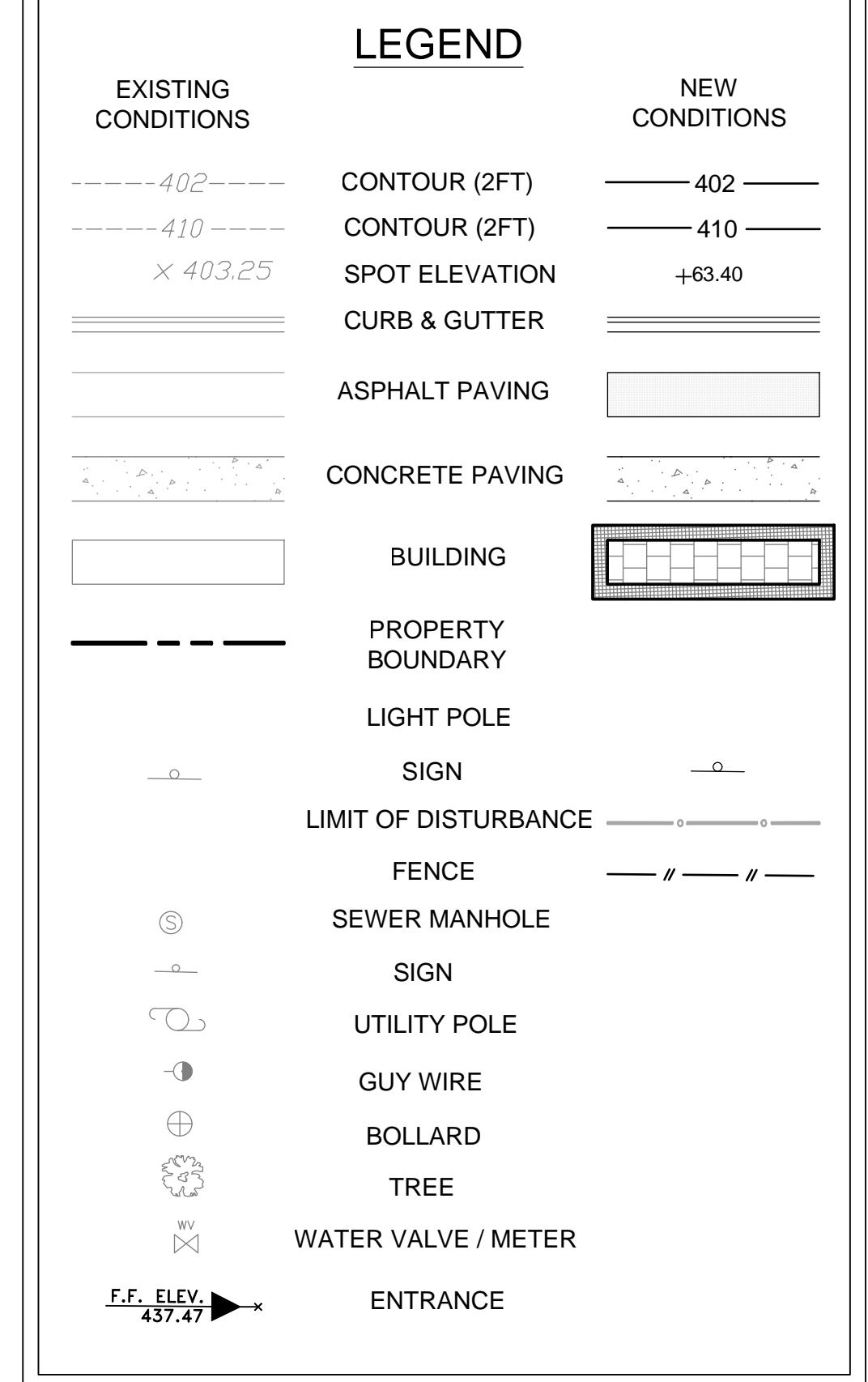
SITE PLAN

PROJECT NO. 2021.276.11

SHEET NO. 1 OF 1

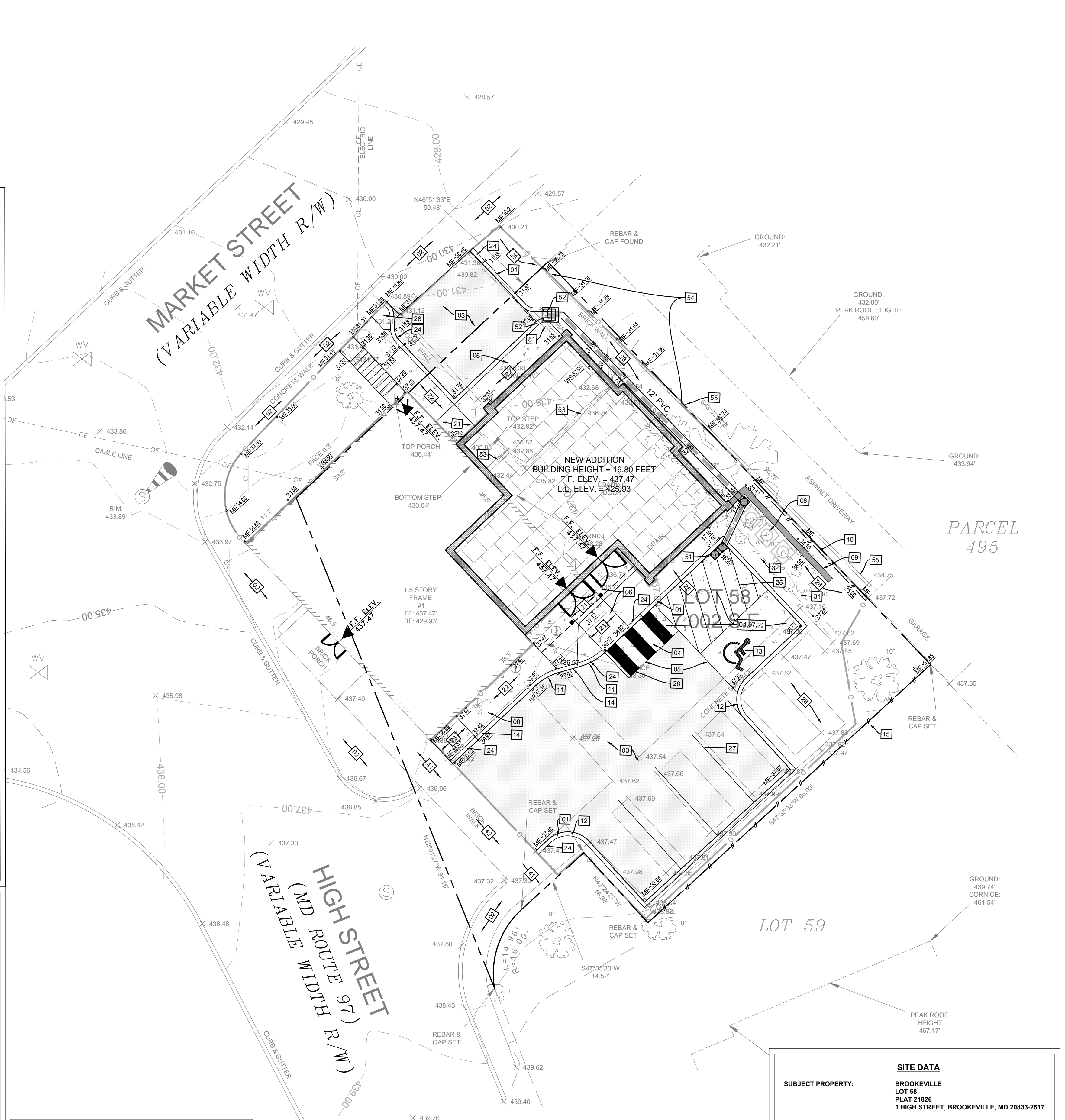


VICINITY MAP
SCALE 1" = 1,000'



ABBREVIATIONS

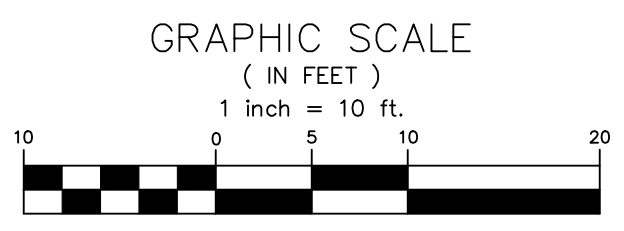
F.F.	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
TYP	TYPICAL
ME	MATCH EXISTING LINE AND GRADE. ELEVATION PROVIDED AFTER FOR REFERENCE ONLY.
EX	EXISTING
HP	HIGH POINT



- KEY NOTES**
- CURB & GUTTER (TYPICAL)
 - PER DISCUSSIONS WITH THE TOWN OF BROOKEVILLE, A FUTURE DEVELOPMENT BY SHA IS EXPECTED ON MAIN STREET AND HIGH STREET WHICH WILL BRING THE EXISTING SIDEWALK INTO COMPLIANCE WITH ADA REQUIREMENTS. THEREFORE, THE EXISTING SIDEWALK AND DRIVEWAY ENTRANCE IN THE PUBLIC RIGHT OF WAY ARE TO REMAIN.
 - ASPHALT PAVEMENT SECTION
 - CONCRETE PAVEMENT SECTION
 - CONCRETE PAVING EDGE OF SLAB (TYPICAL)
 - SITE CONCRETE SIDEWALK (TYPICAL)
 - CONCRETE PAVING JOINT DETAILS
 - CONDENSER UNITS FOR HVAC
 - CONCRETE RETAINING WALL
 - 6' WOOD PRIVACY FENCE
 - 10' RADIUS ON FACE OF CURB
 - 5' RADIUS ON FACE OF CURB
 - INTERNATIONAL ACCESSIBILITY SYMBOL
 - VARIABLE HEIGHT CURB SEE SPOT ELEVATIONS FOR HEIGHT
 - 4' HIGH WOOD PICKET FENCE
 - 2% MAX SLOPE IN ALL DIRECTIONS (TYPICAL)
 - 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE (TYPICAL)
 - 8.33% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE (TYPICAL)
 - NOSE DOWN CURB AND GUTTER TRANSITION
 - 4" WIDE PAINTED STRIPES AT 45 DEGREE ANGLE WITH 2' SPACING
 - CROSSWALK STRIPING
 - PARKING STRIPING (TYPICAL)
 - SEE LANDSCAPE PLAN FOR LAWN AND PLANTING AREAS
 - STAIRS. SEE ARCHITECT PLANS FOR DETAILS.
 - RESERVED PARKING / MAX FINE / VAN ACCESSIBLE SIGNS.
 - NO PARKING IN ACCESS AISLE SIGN
 - EXISTING SLOPES DO NOT EXCEED 2% IN ALL DIRECTIONS
 - EXISTING SLOPES DO NOT EXCEED 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE
 - TWO NYLOPLAST 15" PEDESTRIAN GRATES
 - MD 360.01 - 12" OUTLET STRUCTURE
 - EXISTING RETAINING WALL TO BE REMOVED
 - EXISTING BRICK RETAINING WALL TO BE REMOVED
 - EXISTING BRICK RETAINING WALL TO REMAIN
- NOTE: ALL ITEMS LISTED ABOVE TO BE NEW INSTALL UNLESS NOTED DIFFERENTLY.

- SITE NOTES**
- PROPERTY, BOUNDARY AND TOPOGRAPHIC INFORMATION FROM A MARCH, 2022 TOPOGRAPHIC SURVEY PREPARED BY REAL ESTATE SURVEYORS AND DEVELOPERS, LLC.
 - THE PROJECT IS LOCATED WITHIN THE MUNICIPAL BOUNDARIES OF THE TOWN OF BROOKEVILLE. THE TOWN OF BROOKEVILLE HAS PLANNING AND ZONING AUTHORITY.
 - THE PROJECT IS LOCATED WITHIN THE TOWN OF BROOKEVILLE COMPREHENSIVE PLAN.
 - THE PROJECT IS LOCATED WITHIN THE BROOKEVILLE HISTORIC DISTRICT.
 - THE PROJECT IS LOCATED WITHIN THE PATUXENT PRIMARY MANAGEMENT AREA.
 - EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES AND PAINT MARKINGS, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
 - THE PROJECT LOCATED WITHIN WATER SERVICE CATEGORY W-1 WITHIN THE MUNICIPALITY OF THE TOWN OF BROOKEVILLE. AREAS SERVED BY COMMUNITY (PUBLIC) SYSTEMS THAT ARE EITHER EXISTING OR UNDER CONSTRUCTION.
 - THE PROJECT IS LOCATED WITHIN SEWER SERVICE CATEGORY S-1 WITHIN THE MUNICIPALITY OF THE TOWN OF BROOKEVILLE. AREAS SERVED BY COMMUNITY (PUBLIC) SYSTEMS THAT ARE EITHER EXISTING OR UNDER CONSTRUCTION.
 - THE PROJECT IS LOCATED WITHIN THE HAWLINGS RIVER - REDDY BRANCH WATERSHED.
 - HIGH STREET (MD 97) IS A ROADWAY OPERATED AND MAINTAINED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION.
 - MARKET STREET IS A ROADWAY OPERATED AND MAINTAINED BY THE TOWN OF BROOKEVILLE.
 - THE TOTAL LAND DISTURBANCE ASSOCIATED WITH THE PROPOSED CONSTRUCTION WILL BE LESS THAN 5000 SQUARE FEET AND/OR WILL RESULT IN LESS THAN 100 CUBIC YARDS OF EARTH MOVEMENT.
 - COMPLIANCE WITH THE INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC) WILL NOT BE REQUIRED FOR THIS PROJECT.
 - ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE. SERVICING UTILITY COMPANIES INCLUDE:
WATER & SEWER: WSSC
NATURAL GAS: WASHINGTON GAS
ELECTRIC: POTOMAC ELECTRIC POWER CO.
TELECOMMUNICATIONS: VERIZON & COMCAST

- GENERAL CONSTRUCTION NOTES**
- CALL "MISS UTILITY" ("ONE CALL" AT 811 OR 1-800-257-7777) TWO FULL BUSINESS DAYS PRIOR TO BEGINNING ANY CONSTRUCTION THAT CAUSES DISTURBANCE. HOMEOWNERS & REGISTERED EXCAVATORS MAY FILE REQUESTS ONLINE AT <http://www.missutility.net>
 - SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THIS OFFICE IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.



SITE DATA

SUBJECT PROPERTY: BROOKEVILLE LOT 58 PLAT 21826 1 HIGH STREET, BROOKEVILLE, MD 20833-2517

PROPERTY OWNER: ONE HIGH STREET, LLC 10500 LITTLE PATUXANT PARKWAY, SUITE S710 COLUMBIA, MD 21044

TRACT AREA: 7,002 SQUARE FEET (0.16074 ACRES)

PRIOR DEDICATIONS: NONE

PROPOSED DEDICATION: NONE PROPOSED

ZONING CLASSIFICATION: HISTORIC VILLAGE COMMERCIAL (HVC)

PROPOSED USE: PROFESSIONAL AND BUSINESS OFFICES

GROSS FLOOR AREA: 2,789 SQUARE FEET

FOOTNOTES
1. AS DEFINED UNDER THE MONTGOMERY COUNTY ZONING ORDINANCE (69-4.1.7-C)

HISTORIC VILLAGE COMMERCIAL (HVC) DEVELOPMENT STANDARDS

	PERMITTED/REQUIRED	PROVIDED BY THIS PLAN
BUILDING HEIGHT: SECTION 10-401. (c) (1)	NORMALLY 25 FT.	16.8 FT.
SETBACKS: SECTION 10-401. (c) (2)	SEE FOOTNOTE 1)	
SECTION 10-401. (c) (3)	SEE FOOTNOTE 2)	
SECTION 10-401. (c) (4)	SEE FOOTNOTE 3)	
VEHICLES		
MINIMUM REQUIRED, FOR OFFICE AND PROFESSIONAL (OFFICE): 59-6.2.4.B	7 SPACES (2.25 PER 1,000 SF)	7 SPACES
ACCESSIBLE SPACES: 59-6.2.3.B / COMAR 05.01.07 AND 05.02.02	1 SPACES (THAT IS VAN ACCESSIBLE)	1 SPACES (THAT IS VAN ACCESSIBLE)
MOTORCYCLE / SCOOTER SPACES: 59-6.2.3.C	NA ⁶	0
MINIMUM BICYCLE PARKING SPACES: 59-6.2.4.C	NA ⁶	0
FOOTNOTES:		
1) ALL SETBACKS MUST DEMONSTRATE A COMPATIBLE RELATIONSHIP TO ADJACENT EXISTING AND PROPOSED DEVELOPMENT.		
2) ANY NEW REDEVELOPMENT OR ADDITIONS TO EXISTING STRUCTURES MUST SATISFACTORILY DEMONSTRATE TO THE PLANNING COMMISSION THAT THE REDEVELOPMENT WILL BE CONSISTENT AND COMPATIBLE WITH THE HISTORIC HERITAGE AND DESIGN OF BROOKEVILLE AND SURROUNDING RESIDENTIAL USES. THE PLANNING COMMISSION SHALL EVALUATE ANY NEW REDEVELOPMENT BASED ON ITS DESIGN CHARACTERISTICS, USE OF CONSTRUCTION MATERIALS AND PROPOSED SETBACKS, HEIGHT AND ADEQUACY OF PARKING.		
3) USE APPROVAL. ALL PROPERTIES IN THIS ZONE MUST OBTAIN A HISTORIC USE PERMIT FROM THE PLANNING COMMISSION FOR ANY CHANGE IN USE. ALL SUCH APPLICATIONS MUST BE SUBMITTED ON FORMS MADE AVAILABLE BY THE TOWN AND SHALL DEMONSTRATE THAT THE PROPOSED USE IS OF A NATURE AND SCALE CONSISTENT WITH THE HISTORIC HERITAGE OF THE TOWN AND COMPLIES WITH THE REQUIREMENTS OF THIS ZONE. IN PARTICULAR, SUCH APPLICATION MUST INCLUDE (1) INFORMATION AS TO THE INTENDED NUMBER OF EMPLOYEES/WORKERS, ANTICIPATED NUMBER OF VISITORS/CUSTOMERS/STUDENTS, AND INTENDED HOURS OF OPERATION AND (2) A PARKING PLAN, AND MUST DESCRIBE HOW THE APPLICATION WILL ACHIEVE THE OBJECTIVES OF THIS ORDINANCE. SUCH APPLICATION MUST PROVIDE A DETAILED DESCRIPTION OF ANY PROPOSED SIGNAGE, WHICH MAY NOT BE ILLUMINATED, AND DESCRIBE WHETHER THE PROPOSED USE WILL USE EQUIPMENT OR ANY PROCESS WHICH MAY CREATE NOISE, VIBRATION, GLARE, FUMES, ODORS OR ELECTRICAL OR ELECTRONIC INTERFERENCE DETECTABLE BEYOND THE WALLS OF THE STRUCTURE.		
4) THE TOWN OF BROOKEVILLE ZONING ORDINANCE DOES NOT INCLUDE SPECIFIC PARKING METRICS; THE INFORMATION SHOWN HEREON IS BASED ON THE MONTGOMERY COUNTY REQUIREMENTS.		
5) PARKING FACILITY CONTAINS LESS THAN 50 SPACES.		
6) DEVELOPMENT STANDARD NOT APPLICABLE IN HVC ZONE.		

REVIEWED

By Michael Kyne at 1:20 pm, Oct 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission

Handwritten signature of Robert A. ...



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
LAND PLANNING

3025 Highman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301 870 0400
www.mhga.com

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Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer under the Laws of the State of Maryland.
License No. 16016, E-Engineer (Civil) 10/1/2018

OWNER: ONE HIGH STREET, LLC
12560 LITTLE PATRIOT PARKWAY, SUITE 5710
COLUMBIA, MD 21044
CONTACT: SAJ NAZI
PHONE: 410-607-1316
EMAIL: ajnazi@onehigh.com

Table with 3 columns: NO., DESCRIPTION, DATE.

100 8047480 mhfc 2/28/23

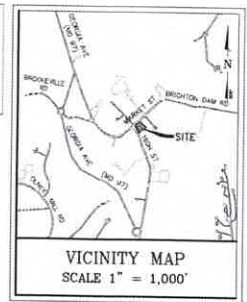
FLAT 2126B
5TH ELECTION DISTRICT
TOWN OF BROOKVILLE
MARYLAND

LOT 68
BROOKVILLE

PROJ. MGR: KJM
DRAWN BY: SEC
SCALE: 1" = 10'
DATE: 08.09.2023

SITE PLAN

C2.01
PROJECT NO.: 2021.276.11
SHEET NO.: 1 OF 1



LEGEND table with columns: EXISTING CONDITIONS, NEW CONDITIONS. Includes symbols for contours, spot elevations, curbs, paving, and boundaries.

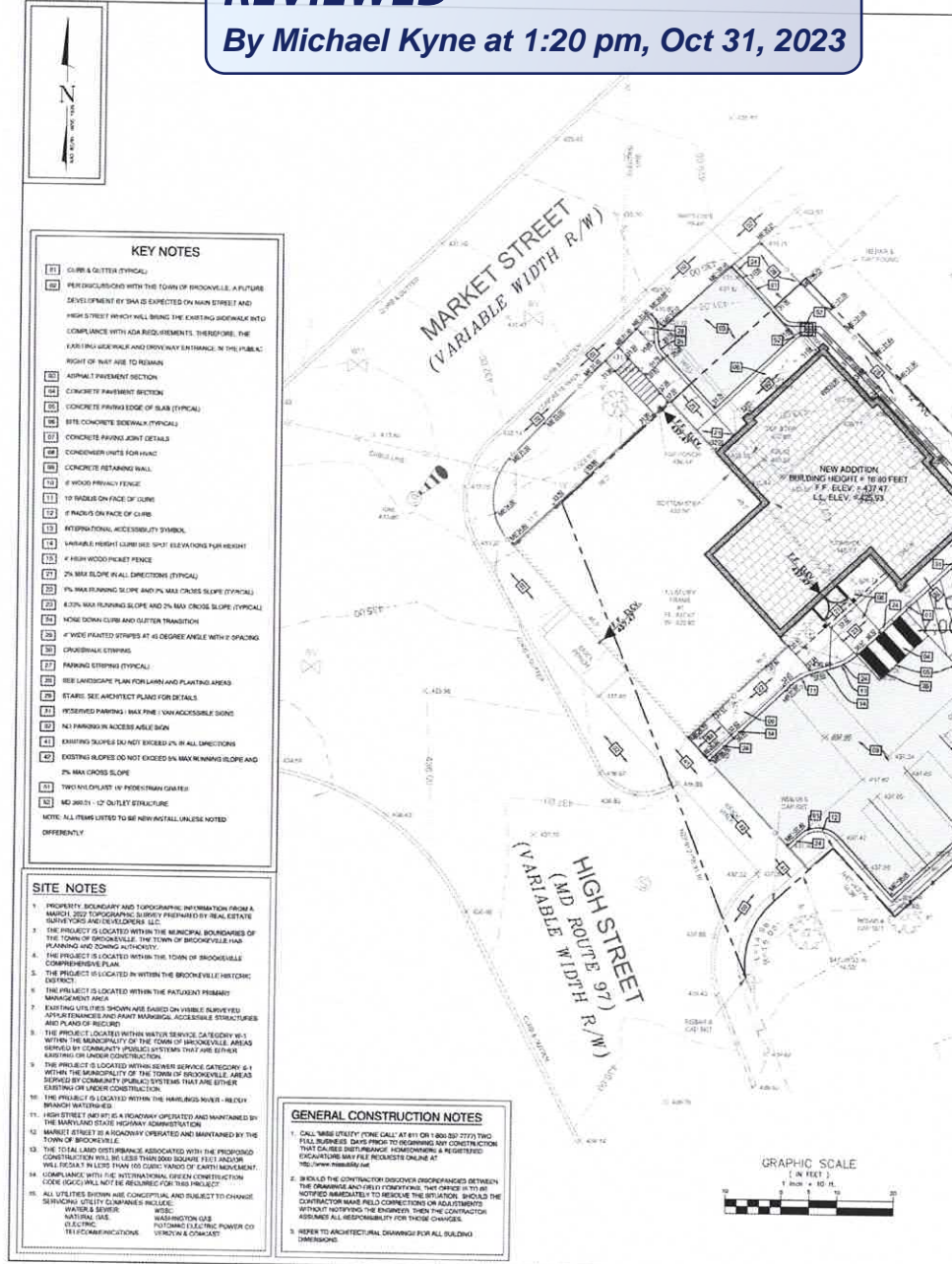
HISTORIC VILLAGE COMMERCIAL (HVC) DEVELOPMENT STANDARDS table with columns: BOLDING HEIGHT, NETWORKS, VEHICLES, ACCESSIBLE SPACES, MOTORCYCLE/SCOOTER SPACES, MINIMUM BICYCLE PARKING SPACES, FOOTNOTES.

SITE DATA table with fields: SUBJECT PROPERTY, PROPERTY OWNER, TRACT AREA, PRIOR DEDICATION, PROPOSED DEDICATION, ZONING CLASSIFICATION, PROPOSED USE, GROSS FLOOR AREA, FOOTNOTES.

- KEY NOTES: 01 CURB & GUTTER TYPICAL, 02 PERVIOUSIONS WITH THE TOWN OF BROOKVILLE, 03 HIGH STREET WHICH WILL BRING THE EXISTING SIDEWALK INTO COMPLIANCE WITH ADA REQUIREMENTS...

- SITE NOTES: 1. PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION FROM A MARSH 2022 TOPOGRAPHIC SURVEY PREPARED BY REAL ESTATE SURVEYORS AND DEVELOPERS LLC, 2. THE PROJECT IS LOCATED WITHIN THE MUNICIPAL BOUNDARIES OF THE TOWN OF BROOKVILLE...

- GENERAL CONSTRUCTION NOTES: 1. CALL MARY UTILTY (PHONE CALL AT 811 OR 1-800-380-7273) TWO FULL BUSINESS DAYS PRIOR TO BEGINNING ANY CONSTRUCTION. DIGITARY CALL MAY BE REQUIRED ONLINE AT: https://www.maryland.gov



REVIEWED

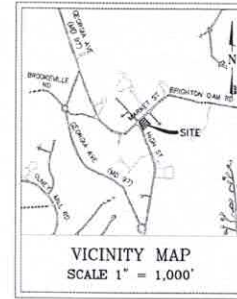
By Michael Kyne at 1:20 pm, Oct 31, 2023

APPROVED

Montgomery County

Historic Preservation Commission

Robert H. Potter



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
LAND PLANNING

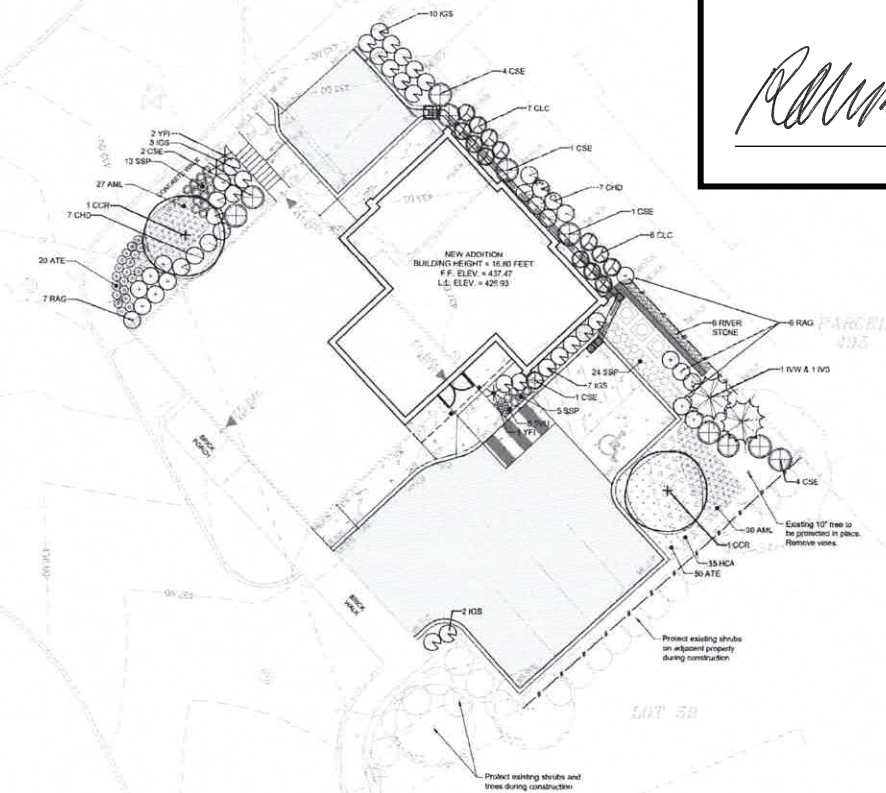
2220 Algonquin Road, Suite 100
Montgomery Village, MD 20886
Phone: 301-810-0400
www.mhg.com

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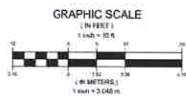
Professional Engineer
Robert H. Potter
10023338

OWNER:
ONE HIGH STREET, LLC
15501 LITTLE PATRIOTANT
PARKWAY, SUITE S710
COLUMBIA, MD 21044
CONTACT: SAJ NAJZ
PHONE: 410-567-1316
EMAIL: saj@highstreet.com



LANDSCAPE PLANT LIST							
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HGT	ROOT	SPACING
EVERGREEN AND ORNAMENTAL TREES							
CCR	2	<i>Carols canadensis</i> 'Appalachian Red'	Appalachian Red Redbud		6-12' L4	B&B	AS SHOWN
RW	1	<i>Thuja occidentalis</i> 'Winter Red'	Winter Red Winterberry		5'	B&B	AS SHOWN
RV	1	<i>Thuja occidentalis</i> 'Southern Gentleman'	Southern Gentleman Winterberry		5'	B&B	AS SHOWN
DECIDUOUS AND EVERGREEN SHRUBS							
AML	87	<i>Amelanchier canadensis</i> 'VICTORIAN HILL'	Lovelyscape Maund Chokeberry		12-18'	#3 Cont.	24" o.c.
CHD	14	<i>Crataegus harringtonii</i> 'Duke's Sentinel'	Duke's Sentinel Japanese Quince		24-30"	#7 Cont.	36" o.c.
CLC	13	<i>Diervilla umbellata</i> 'Caleo'	Vanilla Spice™ Summersweet		24-30"	#3 Cont.	36" o.c.
CSE	11	<i>Cornus sericea</i>	Red Osier Dogwood		24-30"	#3 Cont.	48" o.c.
KIS	22	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry		24-30"	#3 Cont.	36" o.c.
RAG	13	<i>Rhus aromatica</i> 'Cro-Low'	Prostrate Fragrant Sumac		12-18"	#3 Cont.	30" o.c.
HERBACEOUS PERENNIALS							
ATE	70	<i>Andropogon lateralis</i>	Silver Bluestem			#1 Cont.	18" o.c.
MCP	35	<i>Muhlenbergia capillaris</i>	Muhly Grass			#1 Cont.	24" o.c.
TVU	5	<i>Thymus vulgaris</i> 'Silver Power'	Verticillate English Thyme			#1 Cont.	12" o.c.
SSP	42	<i>Schizanthus scapularis</i> 'Spark Munchkin'	Dwarf Little Bluestem			#1 Cont.	18" o.c.
YFI	3	<i>Yucca filamentosa</i>	Adam's Needle Yucca			#3 Cont.	30" o.c.

Note: Plant counts are provided for the convenience of the contractor. The plan does not contain any discrepancies between the table and the plan. Contractor is responsible for verifying the counts and bringing any discrepancies to the attention of the landscape architect and client before proceeding. The planting plan must be carefully followed to ensure good plant survival and acceptance of landscaping upon completion of the project. Failure to install the specified plants in the specified locations will result in the rejection of the entire planting area, and the contractor will be required to reinstall the plantings as shown on the plan at their own expense. Substitutions are not allowed without prior approval of the landscape architect.



811
FOR UTILITY LOCATIONS
CONTACT "ONE CALL" AT 811
AT LEAST 48 HOURS
PRIOR TO CONSTRUCTION
Know what's below.
Call before you dig.

REVISIONS

NO. DESCRIPTION DATE

LOT 58
BROOKFIELD

PROJ. MGR. KGH
DRAWN BY. PHH
SCALE 1" = 10'
DATE 08/09/2023

CONSTRUCTION
LANDSCAPE PLAN

L2.01
PROJECT NO. 2021.276.11
SHEET NO. 1 OF 2

From: [Saj Niazi](#)
To: [Michael Kyne](#); [Ballo, Rebecca](#)
Subject: Fw: Tonight's Meeting
Date: Saturday, January 27, 2024 1:17:11 PM
Attachments: [C2.01 - Site Plan.pdf](#)
[image001.png](#)
[image002.png](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Rebecca,

Per your comment below, my engineer has updated the cite plan. See the attached please to satisfy the condition "A revised grading plan showing the removal of the brick retaining wall and the addition of any other retaining walls, if necessary, must be submitted as a revision to this HAWP#1003919 for review and approval by the HPC prior to the issuance of any building permits".

Thank you.

Saj Niazi Cell 410-507-1316

----- Forwarded Message -----

From: Kyle Hughes <khughes@mhgpa.com>
To: Sajniazi <sajniazi@yahoo.com>
Cc: Stephen Crum <scrum@mhgpa.com>; Jeffrey Lees <jalees@jeffreyleesarchitect.com>
Sent: Saturday, January 27, 2024 at 10:36:29 AM EST
Subject: RE: Tonight's Meeting

Hi Saj,

Please see attached for an updated plan that reflects removing around half of this brick wall. The other half (the half closer to the shed) is in your neighbor's property and we therefore will not be able to remove it without their permission. The historic area work permit staff will understand that we cannot do something that is not in our property so they should be agreeable to this.

Below is the wall that is being requested to be removed:



Thank you,

Kyle Hughes, PE, MBA

Project Manager



9220 Wightman Road, Suite 120

Montgomery Village, MD 20886

Mobile: 240.732.3046 (preferred)

Office: 301.670.0840

Email: Khughes@MHGPA.com

www.mhgpa.com

From: Sajniazi <sajniazi@yahoo.com>



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: October 31, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1045881: Tree removals and replanting plans.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 25, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sajid Niazi (Jeffrey Lees, Architect)
Address: 1 High Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





FOR STAFF ONLY:
HAWP# 1045881
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Sajid Niazi
Address: 2624 Dapple Grey Ct
Daytime Phone: 410-507-1316

E-mail: sajniazi@yahoo.com
City: Olney Zip: 20832
Tax Account No.: 03331876

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Co: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic P

Is the Property Located within an Historic District? Yes/ No/
Is there an Historic Preservation/Land Trust/Environmental Assessment for the easement, and documentation from the assen

REVIEWED

By Michael Kyne at 1:20 pm, Oct 31, 2023



Are other Planning and/or Hearing Examiner Approvals /R (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 1 Street: High Street
Town/City: Brookville Nearest Cross Street: Market Street
Lot: 58 Block: _____ Subdivision: 05 Parcel: 495

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sajid Niazi
Signature of owner or authorized agent

9/20/23
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
2624 Dapple Grey Ct
Olney MD 20832

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

212 Market Street Brookville MD 20833

3 High Street, Brookeville MD 20833

211 Market Street, Brookeville 20833

2 High Street, Brooke MD 20833

APPROVED

Montgomery County
Historic Preservation Commission



REVIEWED

By Michael Kyne at 1:20 pm, Oct 31, 2023

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Continuance of HAWP 1003919. Tree removal is required on the East side of the property. Proposed site and landscape plans are attached.

REVIEWED
By Michael Kyne at 1:20 pm, Oct 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission


Description of Work Proposed: Please give an overview of the work to be undertaken:

Removal of trees

see attached pictures

Picture 1 - trees along the wooden fence
- trees circled - Total trees 6

Picture 2 - trees along the wooden fence
- trees circled - Total trees 3

Work Item 1: Tree Removal

Description of Current Condition:
Remove trees

Proposed Work:
Continuance of HAWP 1003919. See landscape plan

Work Item 2: _____

Description of Current Condition:

Proposed

REVIEWED
By Michael Kyne at 1:20 pm, Oct 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission


Work Item 3: _____

Description of Current Condition:

Proposed Work:

REVIEWED

By Michael Kyne at 1:20 pm, Oct 31, 2023

APPROVED

Montgomery County
Historic Preservation Commission

Rachel A. [Signature]

Six trees

(4) (1) (6)

(17)

11010.02

REVIEWED

By Michael Kyne at 1:20 pm, Oct 31, 2023

APPROVED

Montgomery County
Historic Preservation Commission

Ronald H. Adams

Three trees