MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7113 Sycamore Ave., Takoma Park Meeting Date: 2/21/2024

Resource: Contributing Resource **Report Date:** 2/14/2024

Takoma Park Historic District

Applicant: Frances Burwell **Public Notice:** 2/7/2024

Benjamin Norkin, Architect

Review: HAWP Tax Credit: Partial

Case Number: 1050155 Staff: Chris Berger

Proposal: Partial demolition; new second-story addition with raised roof; and new roof

throughout

RECOMMENDATION

Staff recommends that the Historic Preservation Commission <u>approve with three conditions</u> the HAWP application with final approval of all details delegated to staff:

- 1. The applicant shall provide specifications for all proposed features, including the stucco, trim, and gutters.
- 2. The applicant shall remove the single windows proposed on each end of the proposed dormer.
- 3. The applicant shall not install the brackets in the gable ends.



Figure 1: The subject property (noted with the yellow star) is located on Sycamore Avenue. The red line is the boundary of the Takoma Park Master Plan Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District

STYLE: Craftsman Bungalow

DATE: Ca. 1915-1922

BACKGROUND

The HPC provided a preliminary consultation at its December 6, 2023, meeting for the partial demolition and raised roof with second-story addition.¹

The HPC supported the proposed addition and recommended the applicant return with the HAWP and requested the following:

- Submit a streetscape analysis that shows the addition of the subject house in context with the surrounding resources.
- Explore slightly raising the roof to achieve a 3"/12" pitch that would allow for the replacement of the standing seam metal roof with an asphalt shingle roof.
 - o If the pitch remains include a detail that shows how the two roof materials would be tied together at the ridge.
- Study options for raising the roof that would permit for the slope of the new addition to be parallel with the original house.
- Consider ways for the rear addition to further mimic a shed dormer.
 - o Retain the existing rake of the sunroom addition.
 - Decrease the size/form of the windows on the side elevations of the addition. This should allow for the retention of the sunroom rake and better align with the predominant architectural style of the house.
 - o Consider removing the decorative wood brackets.

Staff requested the applicant include all specifications sheets for the siding, roofing, windows, trim, etc.²

PROPOSAL

The applicant proposes the following alterations: 1) raise the ridge of the side-gable roof approximately 44 inches (the new roof would follow the existing slope); 2) construct a second-story addition on the rear half of the historic house which would mimic a full-width shed dormer; 3) replace the existing asphalt shingle roof on the front half of the house with architectural-grade asphalt shingles; 4) extend the existing internal, parged chimney on the front slope of the side-gable roof; and 5) replace the upper gable end windows on the side elevations of the original house.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents

¹ The link to the Dec. 6, 2023, preliminary consultation staff report is here: https://montgomeryplanning.org/wp-content/uploads/2023/12/II.A-7113-Sycamore-Avenue-Takoma-Park-PENDING.pdf
The link to the Dec. 6, 2023, meeting is here: https://mncppc.granicus.com/MediaPlayer.php?publish_id=e6e00851-950c-11ee-a93d-0050569183fa

² The preliminary consultation staff report sent to the applicant is available here: https://mcatlas.org/filetransfer/HistoricPreservation/Temp%20Files/7113%20Sycamore%20Avenue.pdf

when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A* (Chapter 24A), and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public rightof-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being "Contributing Resources." While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally
 consistent with the predominant architectural style and period of the resource and should preserve
 the predominant architectural features of the resource; exact replication of existing details and
 features is, however, not required.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Second story additions or expansions should be generally consistent with the predominant
 architectural style and period of the resource (although structures that have been
 historically single story can be expanded) and should be appropriate to the surrounding
 streetscape in terms of scale and massing.

- Minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The applicable *Standards* are as follows:

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be

- compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Property History

The following information was included in the Dec. 6, 2023, preliminary consultation report.

The subject property located mid-block on the east side of Sycamore Avenue and is a Contributing Resource to the Takoma Park Historic District. The site features a Craftsman-influenced Bungalow constructed ca. 1915-1922. The one-story with partially exposed basement, three-bay, wood-frame house rests on a masonry foundation covered with stucco. The walls are sheathed with wood lap siding and support an asphalt shingle, side-gable roof with open overhanging eaves and decorative wood brackets. A full-width, front-gable porch supported by tapered wood posts resting on brick piers adorns the façade. The upper gable end of the porch is covered with stucco matching the foundation. The porch is accessed by a central stair with masonry cheek walls. Typical fenestration includes a single-leaf, six-light wood door and paired six-over-one, double-hung, wood-sash windows (*Figure 2*).

There have been minor alterations to the original house. Sanborn Fire Insurance Maps (1927-1963) document the original one-story porch on the rear of the house (*Figure 2*). Former property owners enclosed the porch at an unknown date. In 1992, the Historic Preservation Commission approved HAWP 37/3-92E for the demolition of the enclosed porch and construction of the extant, one-story, shed roof, rear addition.³ The addition continues the architectural details of the main house (stuccoed foundation and chimney, wood lap siding, exposed overhanging eaves, etc.). Two skylights pierce the shed roof.

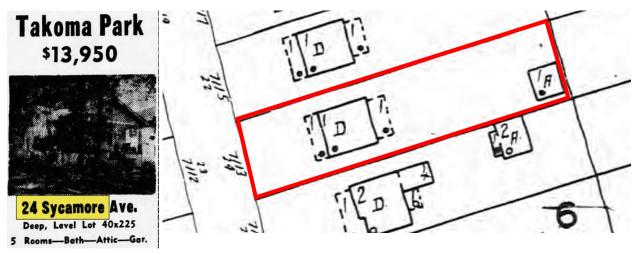


Figure 2: Real estate advertisement in the Evening Star, October 8, 1949, left, and Sanborn Fire Insurance Map, 1927-1963.

Sources: Evening Star and Sanborn Fire Insurance Company

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640006/Box046/37-3-92E_Takoma%20Park%20Historic%20District_7113%20Sycamore%20Avenue_10-09-1992.pdf.

³ For more information, see

1) Raise the ridge of the side-gable roof

Staff finds that the proposed form, scale, and height of the side-gable roof to be compatible with the historic house and surrounding district and recommends approval. The applicant seeks to continue the 5.75/12 inch roof slope 8 feet to create a new ridge line that is 44 inches taller than the existing in order to convert the attic into habitable space. In the late 20th century, the HPC approved similar alterations to other one-story bungalows and houses of similar form and massing in the Takoma Park Historic District. Examples include 42 Columbia Avenue and 7421 Maple Avenue (*Figures 3-4*) where the raised roofs followed the existing slope to limit adverse effects to the resource's original form and streetscape. The partial retention of the original roof with open eave permitted the expression of the original scale and massing of the house.

The HPC approved other design schemes for the expansion of similar one to 1.5-story houses. This included raising the roof like the previously cited examples but fully expanding the size/footprint of the original side-gable house. These schemes offer no reference to the original scale and massing of the house, alter the fenestration pattern of the side elevations, and provide a false sense of development. An example includes 510 Albany Avenue (*Figure 5*). At the subject property, this design scheme and expansion of the side-gable form would necessitate the demolition of the ca. 1993 one-story addition which the property owners seek to avoid.



Figure 3: View of the façade of 42 Columbia Avenue prior to raising the roof (left) and view of the façade and side elevation after raising the roof (right). The red arrow points to the retention of the original roof form. Source: Montgomery Planning and Applicant.

⁴ For more information,

https://mcatlas.org/tiles/06 HistoricPreservation PhotoArchives/Padlock/HAR60640006/Box042/37-3_Takoma%20Park%20Historic%20District_42%20Columbia%20Avenue_05-26-1987.pdf and https://mcatlas.org/tiles/06 HistoricPreservation PhotoArchives/Padlock/HAR60640006/Box043/37-3-89F Takoma%20Park%20Historic%20District_7421%20Maple%20Avenue_04-07-1989.pdf.

⁵ For more information,

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640004/Box030/37-3-96RR Takoma%20Park%20Historic%20District 510%20New%20York%20Avenue 11-06-1996.pdf.



Figure 4: View of the side elevation of 7421 Maple Avenue prior to raising the roof (left) and view of the façade and side elevation after raising the roof (right). The red arrow points to the retention of the original roof form. Sources: Montgomery Planning and Google



Figure 5: View of the front and side elevations of 510 New York Avenue prior to raising the roof (left) and after raising the roof (right). The original roof form was not preserved.

Sources: Montgomery Planning and Google

2) Construct a Second-Story Addition

Staff finds that the design and materials of the new addition to be consistent with the applicable guidelines (*Figures 8-11*). The addition's 3.75/12 inch shed roof pitch on the rear elevation will match the pitch of the existing rear addition. The gable ends will have rough finish stucco siding. The rear elevation will be an expanse of 6/1 aluminum-clad casement windows that recall the existing double-hung sash windows on the residence. The addition will have an architectural asphalt shingle roof on both the front and rear elevation with open overhanging eaves and decorative wood brackets. The plans submitted as part of the preliminary consultation proposed a standing-seam metal roof on the addition because of its low pitch, and the HPC requested the roof pitch be increased so the roofing material on the home was consistent.

As part of the preliminary consultation, the applicant requested a streetscape analysis that showed the addition of the subject house in context with the subject houses. The applicant provided photos of the homes on the west side of Sycamore Avenue near the subject property on a site plan and indicated their number of stories (*Figure 12*). Only the subject property and its adjacent property to the north are currently 1.5 stories tall; all others were 2.5 stories, including the adjacent house to the south at 7111 Sycamore Avenue. The roof pitch presented as part of the preliminary consultation was lower, and the

HPC requested the applicant raise the roof to achieve a 3/12 inch pitch. If that as not possible, the applicant was to provide detailed drawings about the treatment of the ridge where the asphalt shingle and standing seam metal met. The applicant's architect closely met the HPC's request with the 3.75/12 inch roof pitch, so the additional information was unnecessary. The applicant's architect did not meet the HPC's request that the addition meet the pitch of the slope parallel to the original house, but they were able to match the pitch of the existing one-story addition. Staff believes the steeper roof pitch and retention of the rake on the left-side elevation at the HPC's suggestion helps the proposed addition better mimic a shed dormer. The applicant did not follow HPC's suggestion to decrease the form and size of the windows on the side elevations of the addition; they appear to be the same size as the windows proposed on the rear elevation. Staff is not supportive of the windows on the gable end and seeks a condition they are removed. Staff believes they are not in keeping with the sidewalls of traditional shed dormers and are not compatible with the historic character of the property. The applicant still proposes decorative wood brackets in the new addition. Staff finds the brackets would create a false sense of history and not compatible for the house and seeks a condition that the brackets are not installed. Staff again requests specifications for all proposed elements, including the stucco, trim, and gutters.

As stipulated by the *Guidelines*, the proposed design continues the architectural style of the house. Staff finds the size and massing of the proposed addition will not overwhelm the character of the house. The proposed addition's design is architecturally compatible with the design of the historic house and surrounding district. The brackets, stucco siding, roof pitch, and window designs replicate elements from the historic house. Staff finds stucco siding on the addition helps to differentiate the new construction from the historic, as required by *Standard* 9.

Finally, Staff finds the proposed materials including stucco siding, aluminum clad windows, and architectural-grade asphalt shingles are compatible with the character of the resource and surrounding district. Staff notes these materials have consistently been found to be compatible by the HPC for new construction and building additions in the Takoma Park Historic District. Staff recommends the HPC approve the addition under the *Design Guidelines*; *Standards* 2, 9, and 10; and 24A-8(b)(2) and 24A-8(d).

3) Replace Asphalt Shingle Roof With Architectural Shingles

Staff finds the roof replacement meets the applicable regulations and recommends approval. The existing shingles on the house appear to be three-tab asphalt shingles. The applicant proposes to replace with Duration TruDefinition Laminated Architectural roof shingles. Staff believes the proposed shingles will be an upgrade. Staff regularly consults with property owners for the in-kind replacement of asphalt shingle roofs and approves HAWPs for the replacement of three-tab asphalt shingles with architectural grade asphalt shingles as is proposed. This work will qualify for the county's rehabilitation tax credit.

4) Extend Existing Chimney

Staff finds the approximate 5' extension of the chimney to be consistent with the applicable guidelines. The chimney would be required to be raised due to building code and its proposed height corresponds to the proportions of the new roof. The new section of the chimney would be finished with stucco and painted to match the existing stack. Staff finds the alteration of the chimney to be compatible with applicable guidelines and Chapter 24A-8(b) and Chapter 24A-8(d) as the proposal will not substantially after the exterior features of the historic resource; the proposal is compatible with the character of the historic district in which the historic resource is located; and the work would not seriously impair the historic or architectural value of the the district.

5) Replace Upper Gable End Windows

The windows are presently located in unoccupiable space and their replacement with an aluminum-clad wood window measuring 36 inches wide and 21 inches tall. Staff finds the replacement of the two three-light, wood-sash, awning windows in the upper gable ends of the side elevations to be compatible with applicable guidelines and Chapter 24A-8(b) and Chapter 24A-8(d) as the proposal will not substantially alter the exterior features of the historic resource; the proposal is compatible with the character of the historic district in which the historic resource is located; and the work would not seriously impair the historic or architectural value of the the district.



Figure 6: The front and left side elevations of the existing house, left, and the rear elevation.



Figure 7: The right side elevation, facing toward Sycamore Avenue, left, and the left side elevation.



Figure 8: These 3D views show the existing and proposed from the right of way.

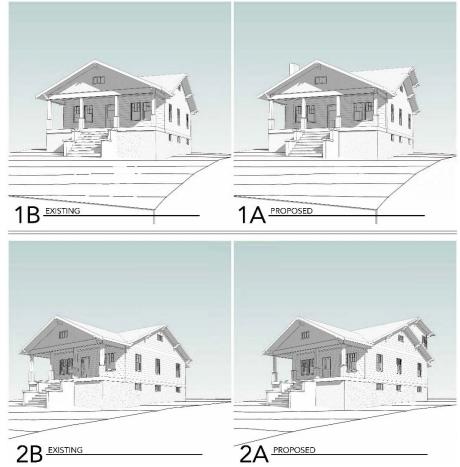


Figure 9: These 3D views show the house after construction.

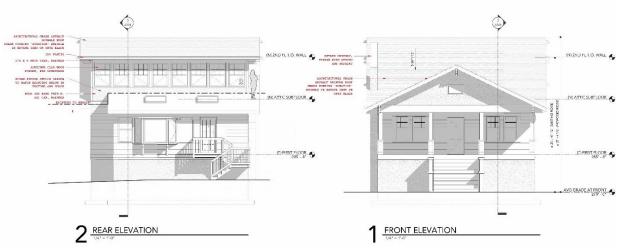


Figure 10: The proposed front and rear elevations.

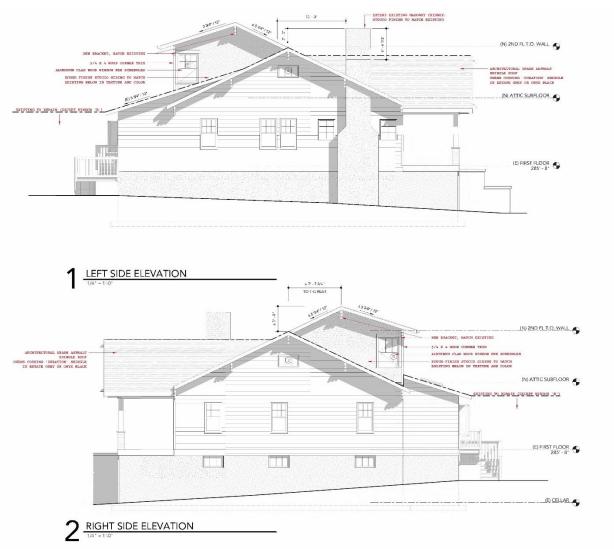


Figure 11: The proposed side elevations.



Figure 12: These photos show most of the other nearby homes on the east side of Sycamore Avenue in the Takoma Park Historic District are 2.5 stories.

STAFF RECOMMENDATION

Staff recommends that the Commission <u>approve with three conditions</u> the HAWP application with final approval of all details delegated to staff:

- 1. The applicant shall provide specifications for all proposed features, including the stucco, trim, and gutters.
- 2. The applicant shall remove the single windows proposed on each end of the proposed dormer.
- 3. The applicant shall not install the brackets in the gable ends.

under the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) and Chapter 24A-8(d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Com

mission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1050155 DATE ASSIGNED____

APPLICANT:

Name: FRANCES BURWELL	E-mail: BURWELLFG@GMAIL.COM
Address: 7113 SYCAMORE AVE	City: TAKOMA PARK Zip: 20912
Daytime Phone: 202.413.8389	Tax Account No.: 01079202
AGENT/CONTACT (if applicable):	
Name: BENJAMIN NORKIN	E-mail: BEN@BENNORKINARCHITECTURE.COM
Address: 7204 TRESCOTT AVE	City: TAKOMA PARK Zip: 20912
Daytime Phone: 202.578.7094	Contractor Registration No.: N/A
LOCATION OF BUILDING/PREMISE: MIHP # of Histori	ic Property
Is there an Historic Preservation/Land Trust/Environment map of the easement, and documentation from the Easement of the Easem	sement Holder supporting this application. 6 / Reviews Required as part of this Application? 1 include information on these reviews as
Town/City: TAKOMA PARK Nearest Cros	ss Street: COLUMBIA AVE
Lot: 9 Block: 22 Subdivision:	
TYPE OF WORK PROPOSED: See the checklist on P for proposed work are submitted with this applica be accepted for review. Check all that apply: New Construction Deck/Porch Addition Fence Demolition Hardscape/Lands Grading/Excavation Roof	ation. Incomplete Applications will not Shed/Garage/Accessory Structure Solar Tree removal/planting

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
FRAN BURWELL	BEN NORKIN ARCHITECTURE
7113 SYCAMORE AVE	7204 TRESCOTT AVE
TAKOMA PARK, MD 20912	TAKOMA PARK, MD 20912
Adjacent and confron	nting Property Owners mailing addresses
BRUCE & MARGARET EDWARDS 7115 SYCAMORE	PETER FRANCHOT & ANNE MAHER 7111 SYCAMORE AVE
TAKOMA PARK, MD 20912	TAKOMA PARK, MD 20912
KARIN & DENNIS MCDONOUGH 7110 WOODLAND AVE TAKOMA PARK, MD 20912	THOMAS LALONDE & JULIA ZITO 7112 SYCAMORE AVE TAKOMA PARK, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Detached single family dwelling. Craftsman style bungalow, constructed approximately 1915-1925. House is listed as a Contributing Resource in the approved Takoma Park Master Plan.

Existing one story framed house on masonry cellar with limited storage attic. Rear addition sunroom/kitchen expansion added approximately 1992-1993.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Existing 2x4 @ 24" O.C. roof rafters need to be reinforced with new structural members in order to provide adequate strength and cavity space for insulation.

Homeowner proposes to raise existing roof ridge approximately 3'-8" by continuing the existing 5.75:12 slope approximately 7'-8" to the rear. Additional ridge height would allow creation of new habitable space on second floor.

Existing front half of the roof will remain and be refinished. Existing roof toward rear of house (from existing risge) to be removed in order to create habitable space. A new shallower slope roof will be constructed at the rear of the new ridge to simulate the appearance of a dormer. The new dormer roof will be sloped approximately 3.75:12 to match an existing non-original roof above a sunroom addition below.

All roof areas will be refinished with new architectural grade asphalt shingles, as specified in drawings.

New exterior walls at attic need to be aligned with existing exterior walls below. Existing roof rake, wood siding and decorative brackets to remain, giving the appearance that the rear attic addition is a dormer.

Existing awning window in attic gable on each end will be replaced with similar design awning window.

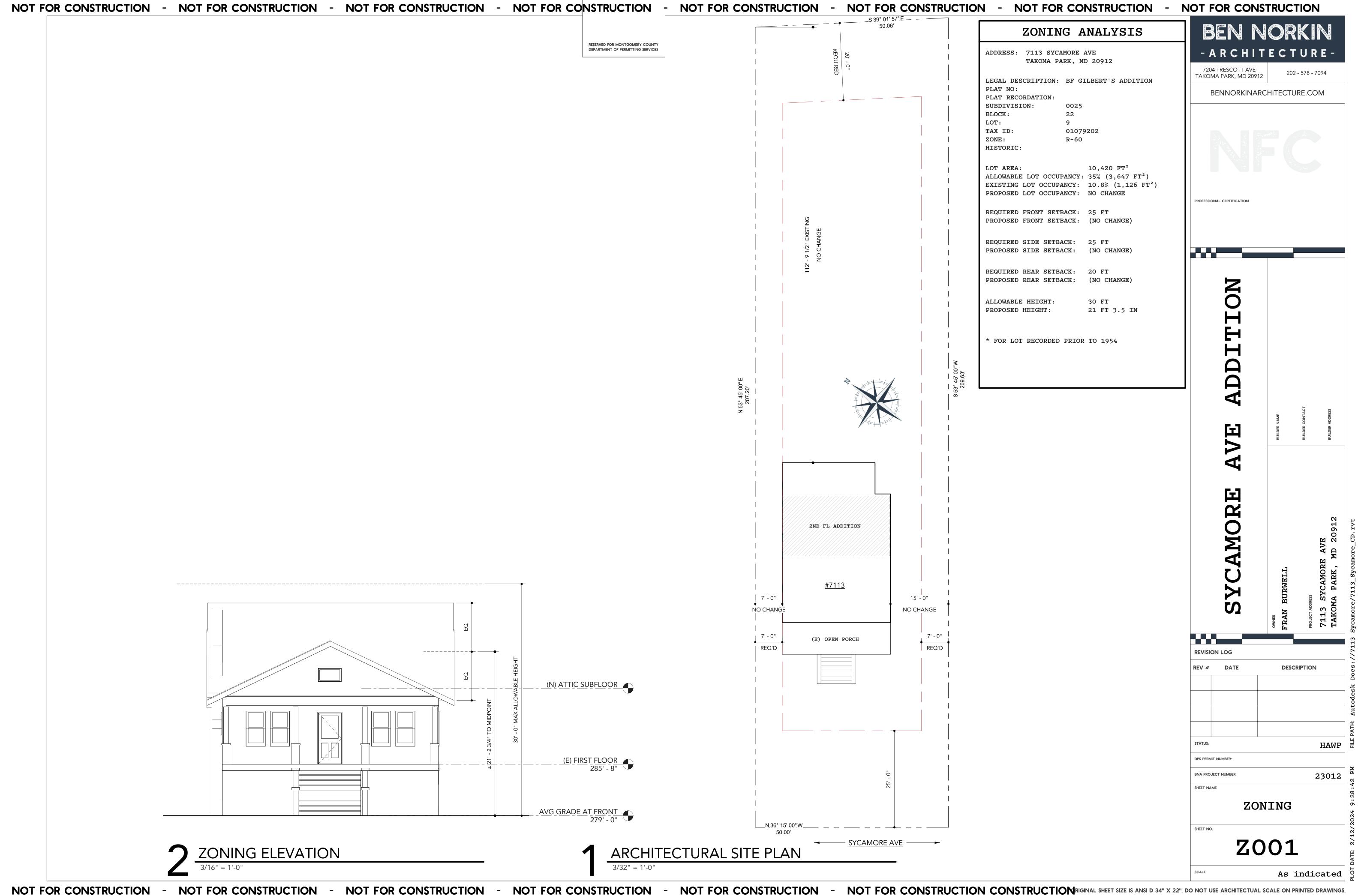
Interior work includes sistering all existing attic joists with new dimensional lumber and creating a new stair to the attic.

Work Item 1: ROOF FRAMING	
Description of Current Condition:	Proposed Work:
2x4 @ 24" o.c. is not structurally sufficient and does not allow enough depth to adequately insulate the attic.	Reinforce existing framing with larger members for strength and increased depth for insulation.
Work Item 2: ROOF FINISH	
Work Item 2: ROOF FINISH Description of Current Condition:	Proposed Work:

Work Item 3: REAR SHED DORMER	
Description of Current Condition:	Proposed Work:
Does not exist	New habitable space at rear of attic to be constructed to appear as a shed dormer. Finish will be rough-finished stucco, to match existing stucco at the base of the house and in the existing front gable above the front porch, painted to match existing. New Casement windows will have same lite pattern as existing double hunge windows with a simulated rail.

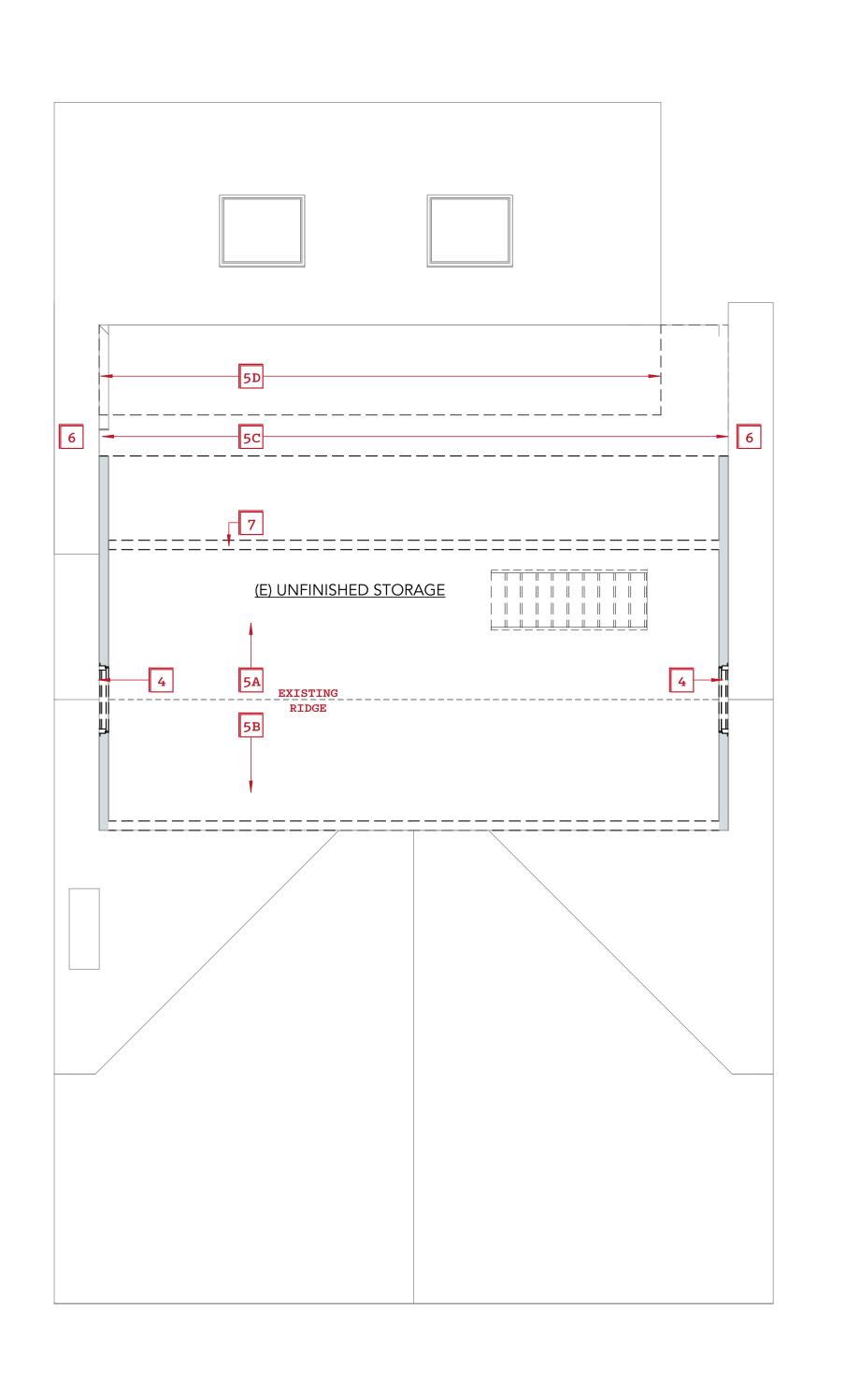
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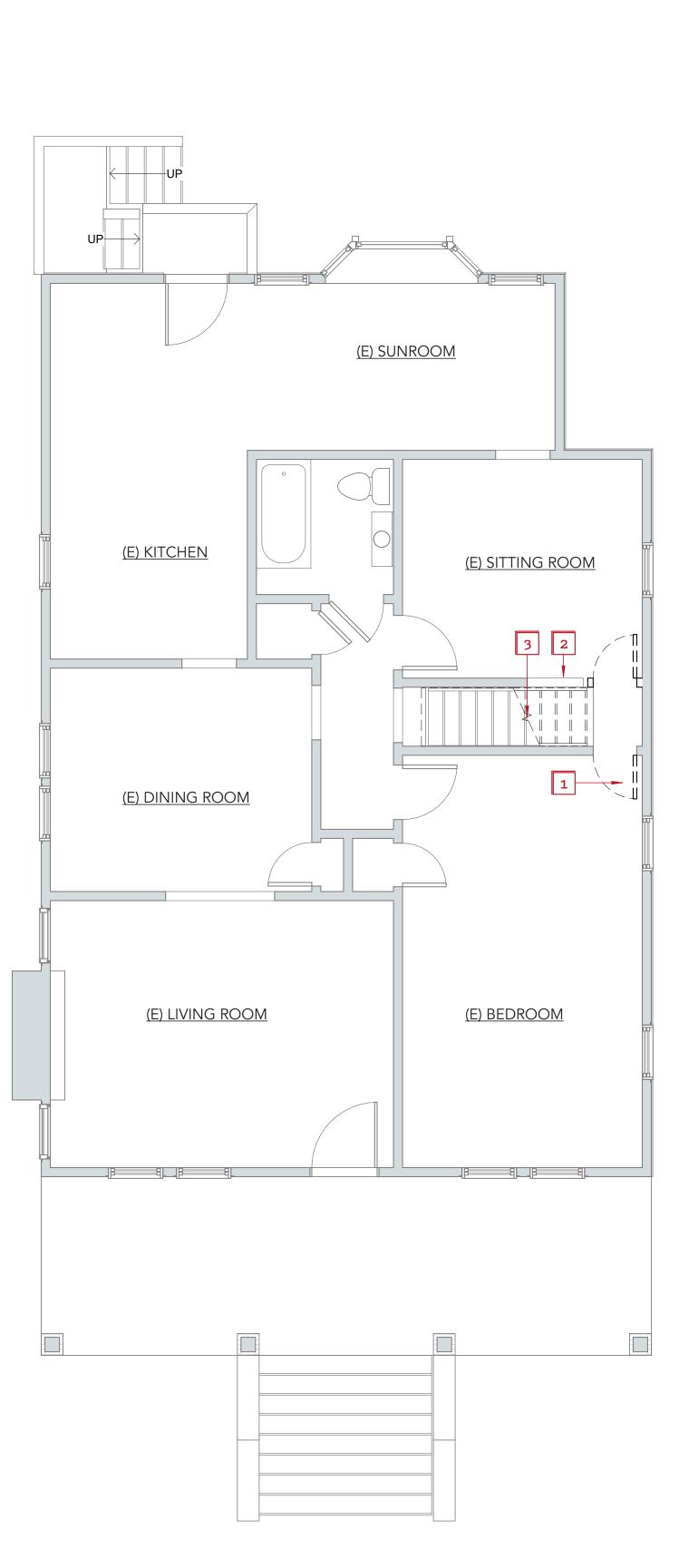
Work Item 4 INTERIOR				
Description of Current Condition: -	Proposed Work: Existing non-compliant stair to attic to be removed and replaced with new stair with code required treads and risers. Partial demoltiion of wall on first floor adjacent to stair in order to create new open rake railing. Existing attic floor framing to remain in order to preserve existing ceiling. Attic floor joists to be sistered with new 2x10.			
Work Item 5 STRUCTURE				
Description of Current Condition: -	Proposed Work: In addition to roof structural repairs listed above, new posts and footers will be required within the house and cellar. Minor interior demolition may be required to set posts. No exterior walls will be affected.			
Work Item 3:				
Description of Current Condition:	Proposed Work:			

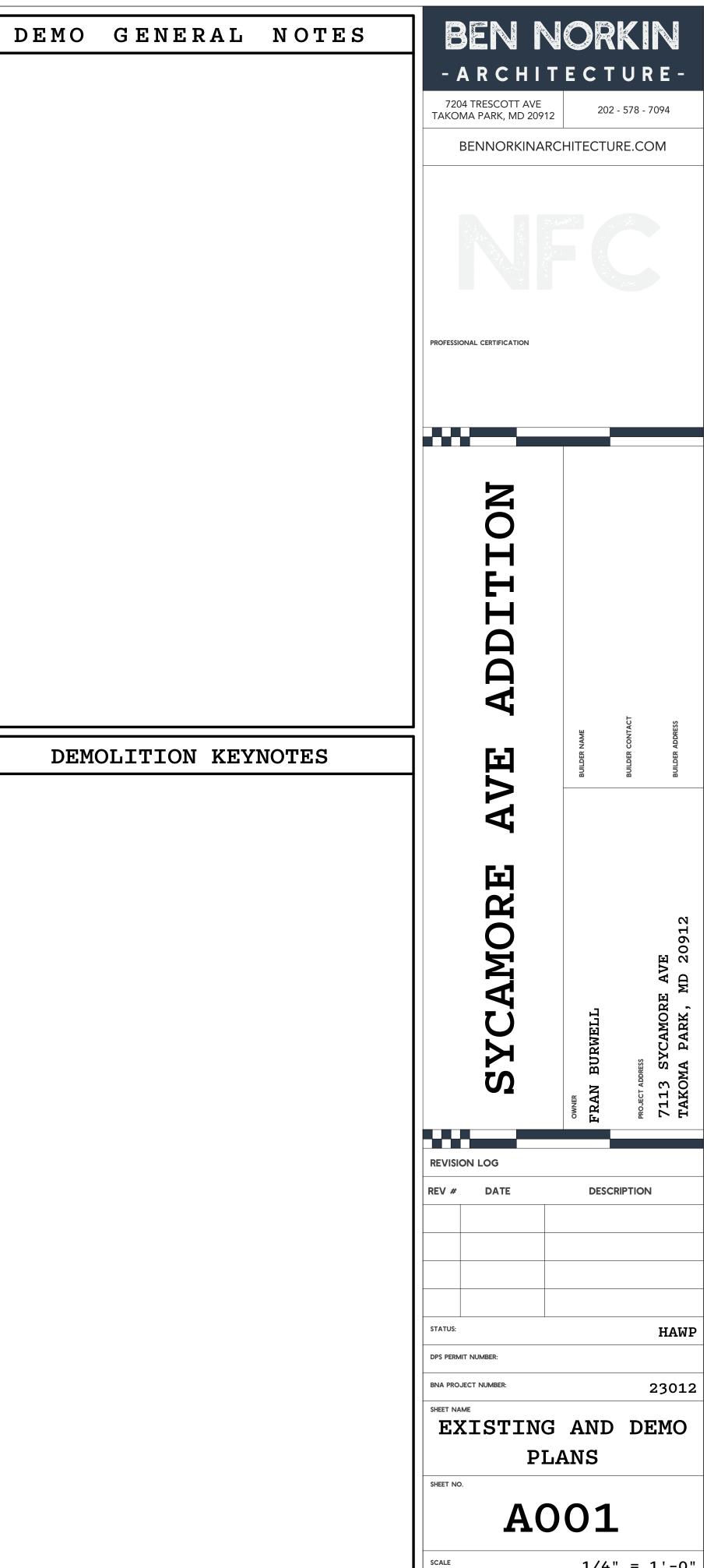


RESERVED FOR MONTGOMERY COUNTY

DEPARTMENT OF PERMITTING SERVICES

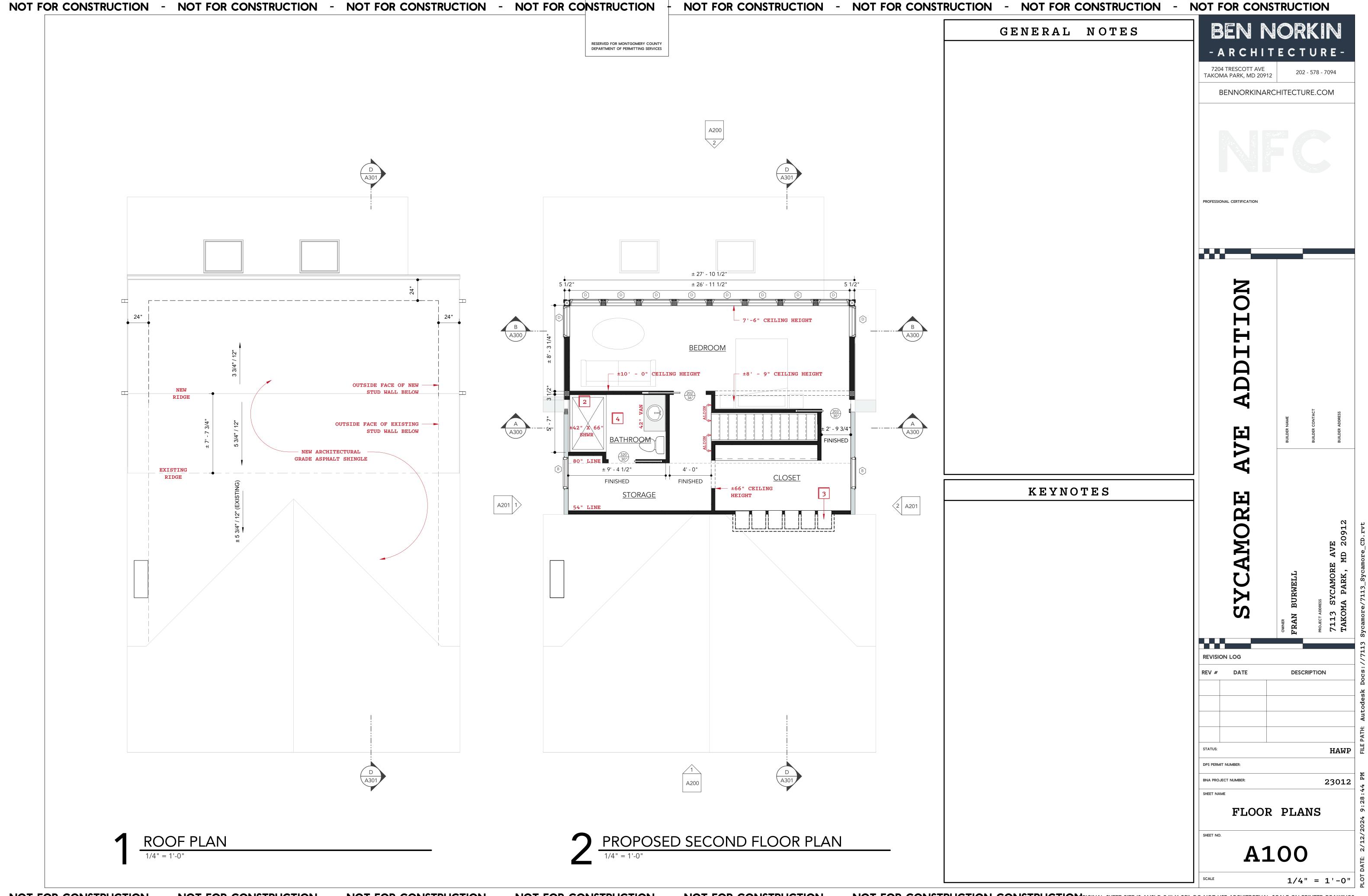


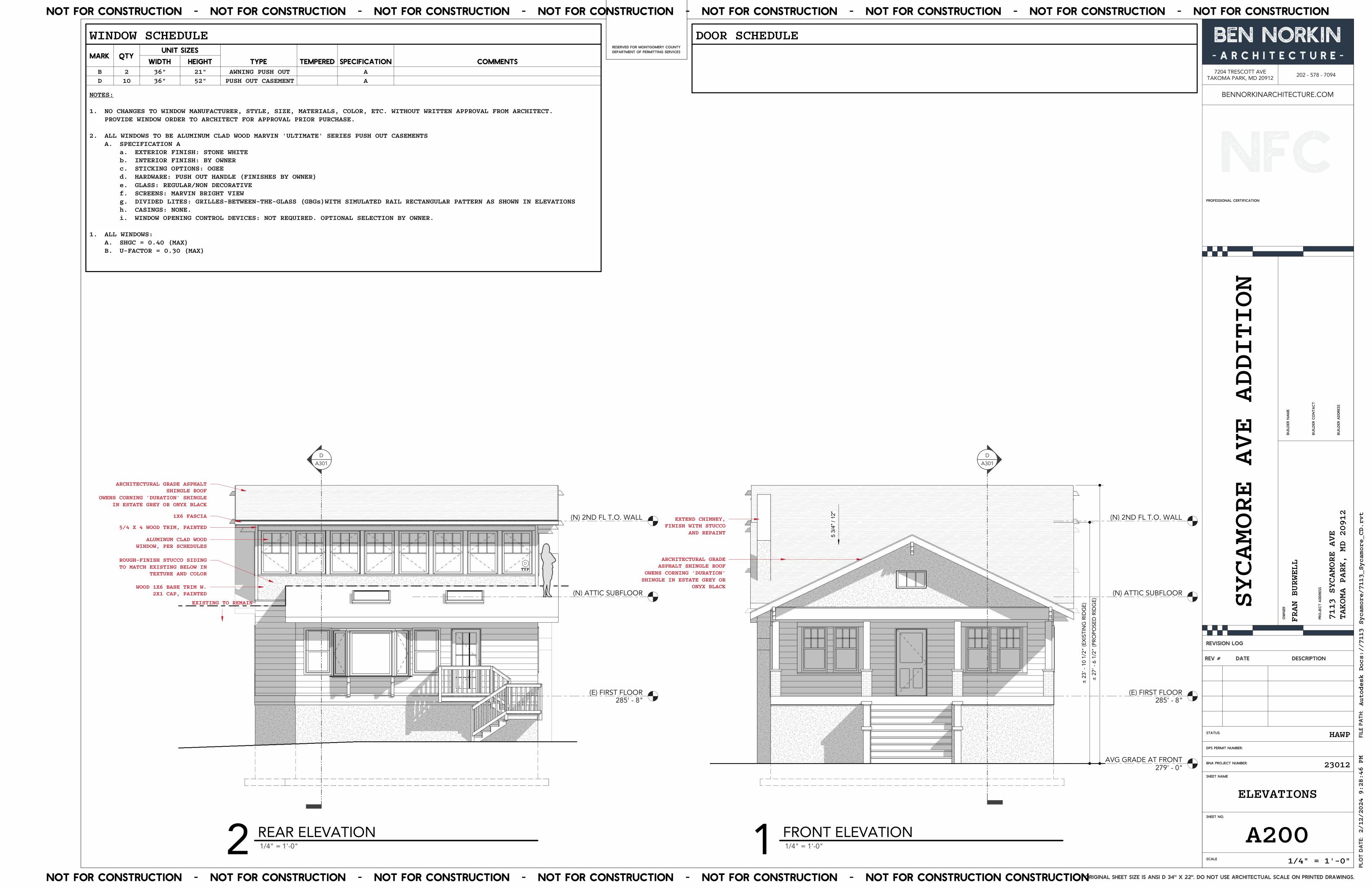


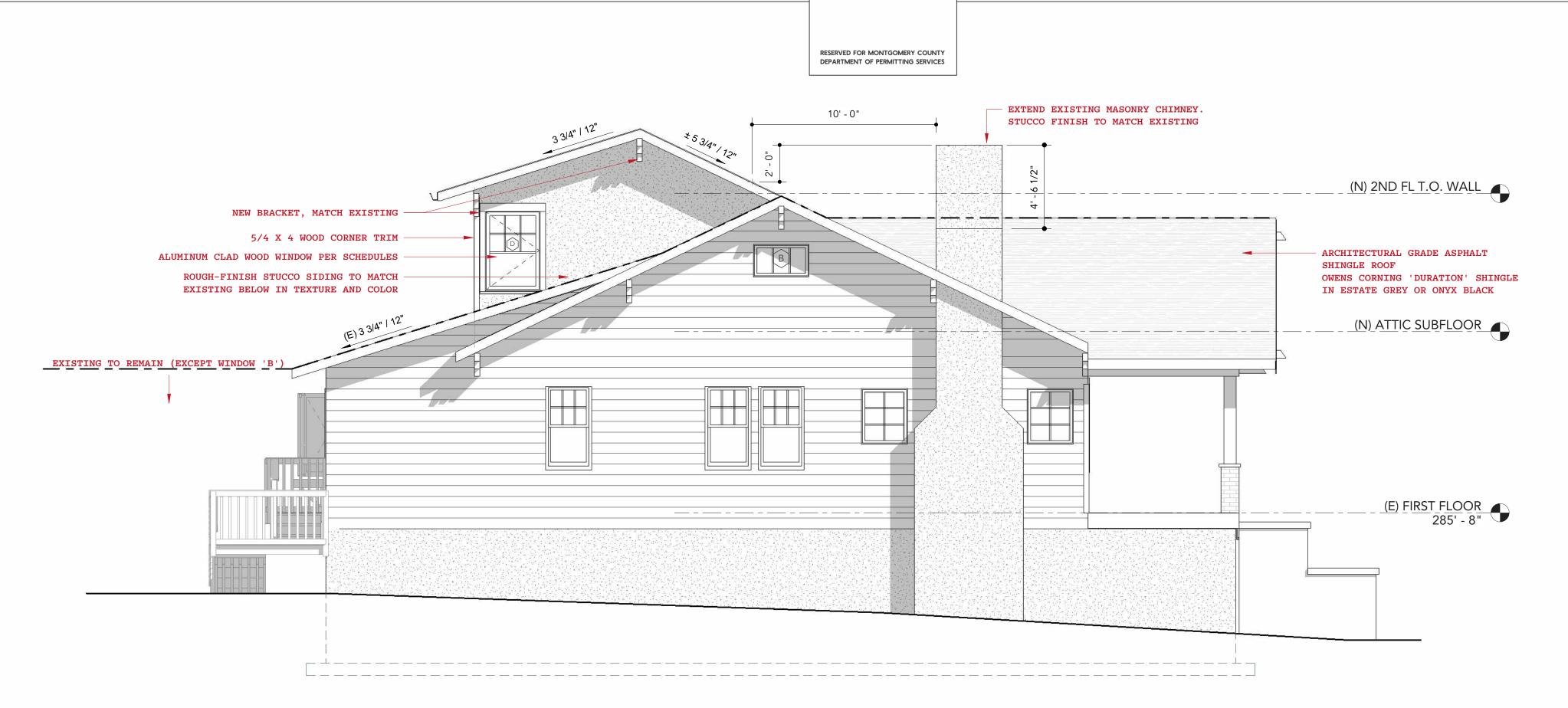


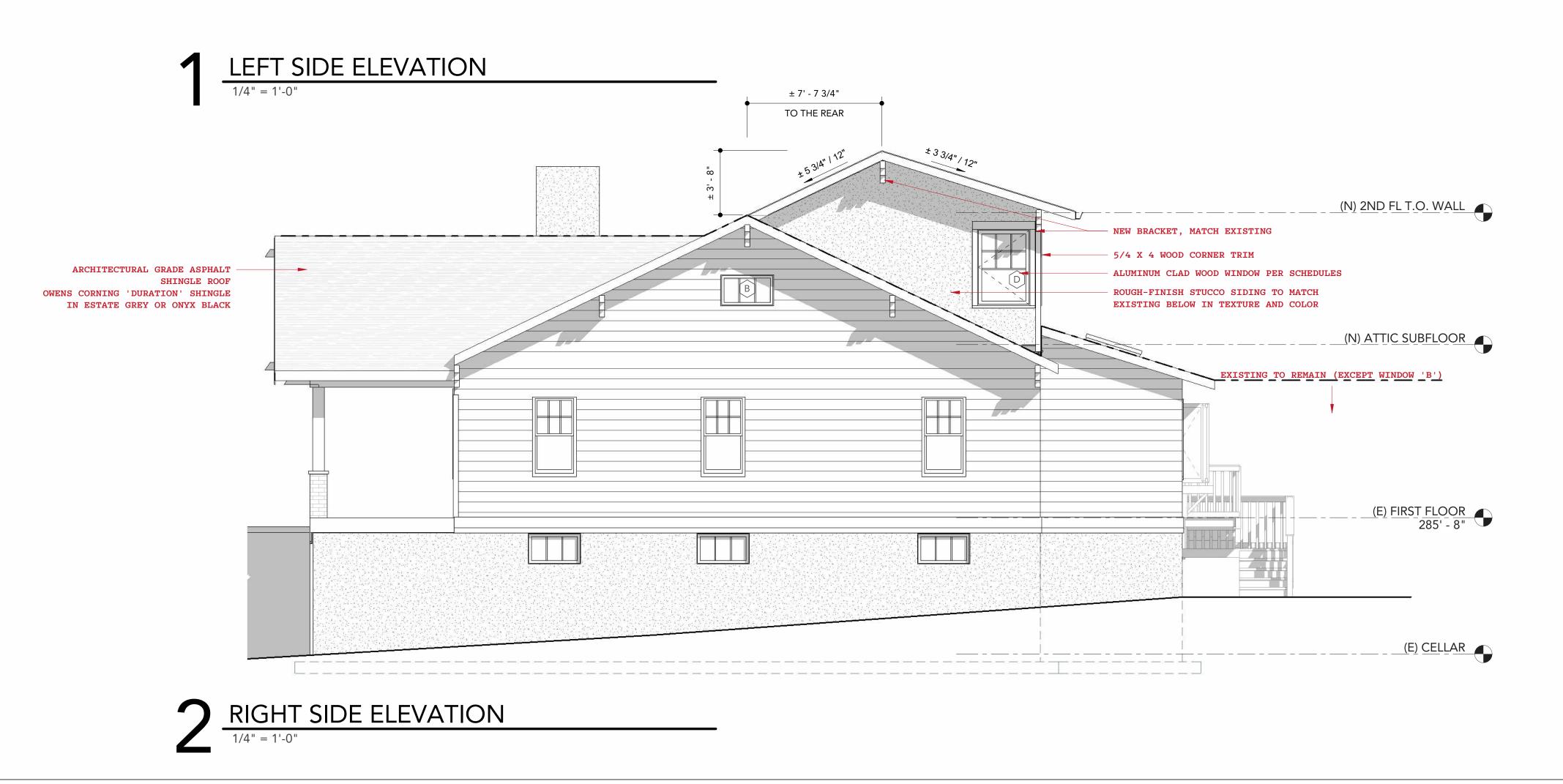
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FIRST FLOOR - EXISTING / DEMO

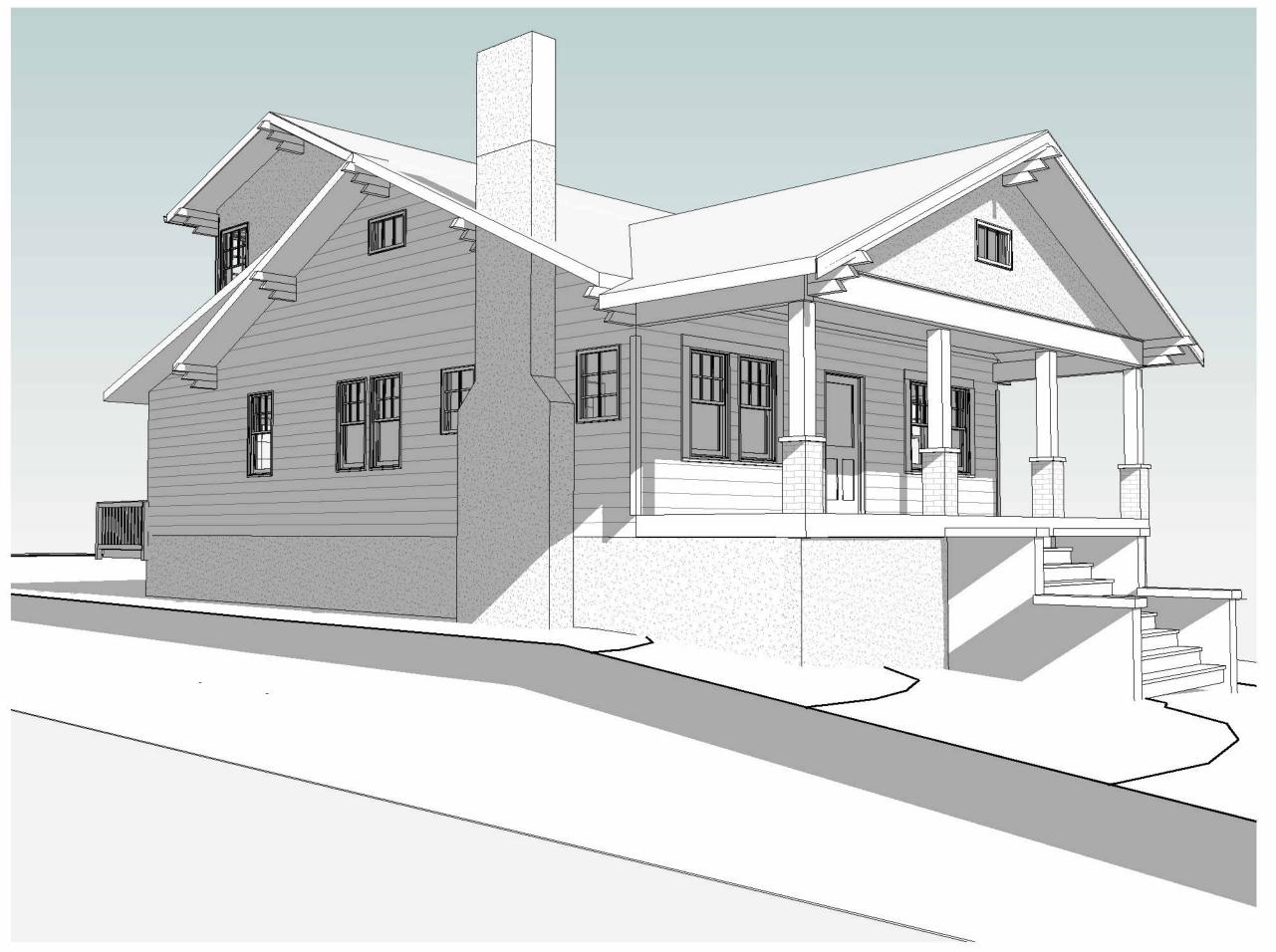




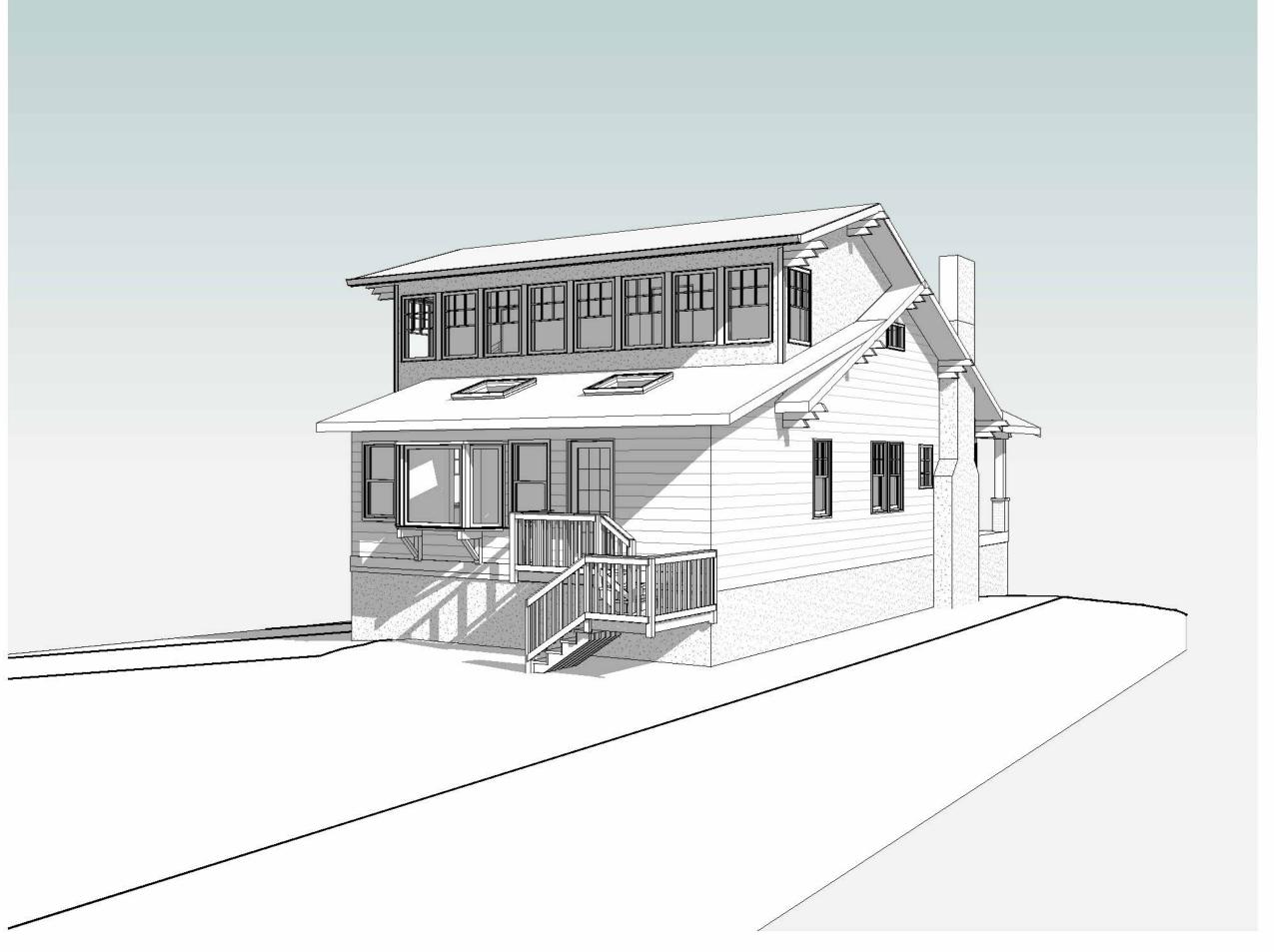












BENNORKINARCHITECTURE.COM ADDITION AVE AMORE

BEN NORKIN

- ARCHITECTURE-

REV # DATE DESCRIPTION

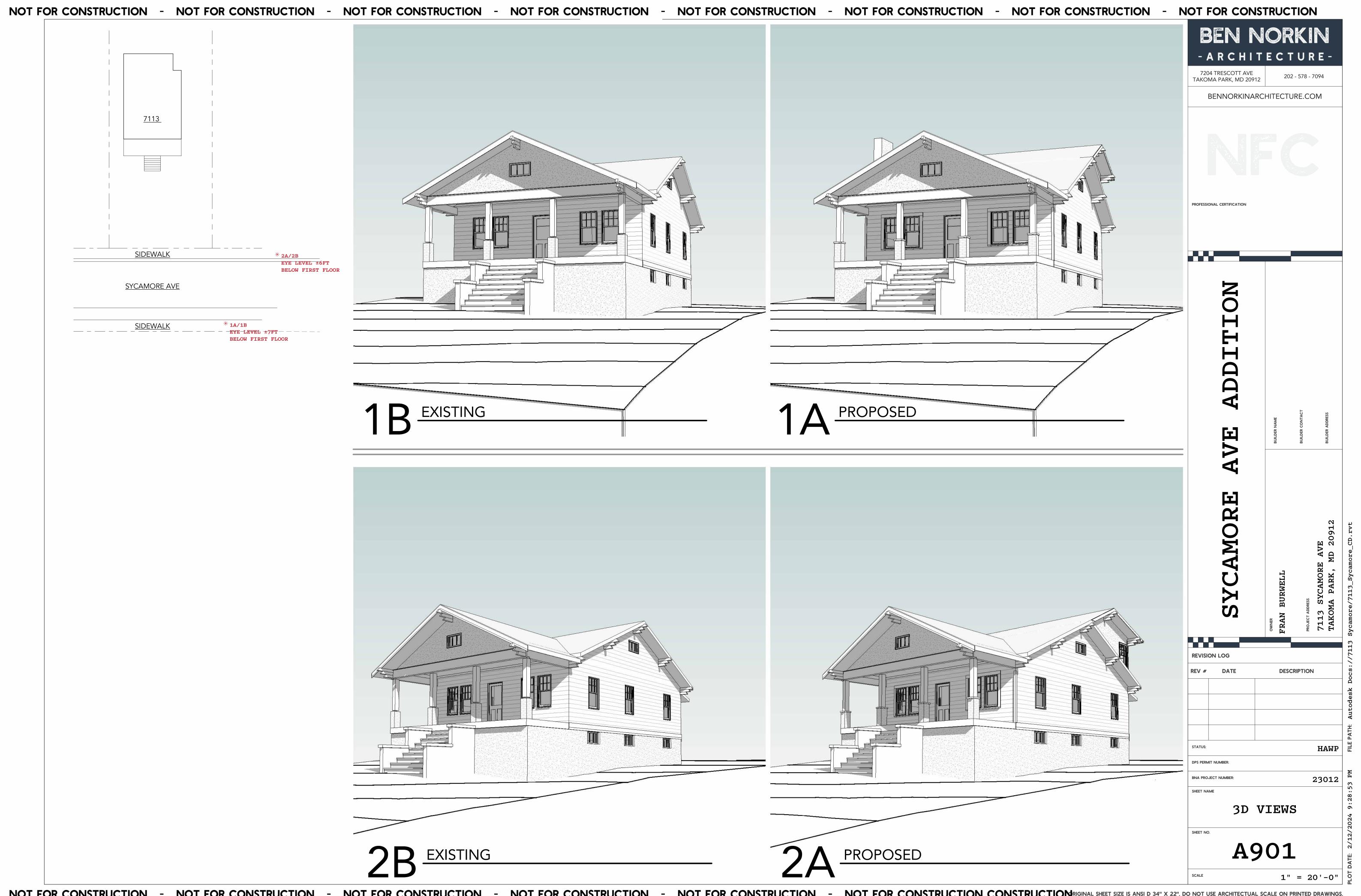
STATUS: HAWP

DPS PERMIT NUMBER: 23012

SHEET NAME

SHEET NO.

A900





















BREATHE.



HOME SWEET HOME

Your home is your sanctuary. It's the place where you want to feel the most comfortable. Safe. Protected. But no matter how much you love your house, it seems the work is never completely done. And if purchasing a new roof is on your to-do list, it may seem like a daunting task—especially if your roof is already damaged or leaking. Since a roof plays such an important role in protecting you and your family from the elements, you realize that you can't let the damage get out of hand.

Don't worry, we know that a roof replacement project is a big, important decision. You can feel confident about choosing our roofing products—Owens Corning has been a recognized leader in the building industry for over 75 years. In fact, we're America's #1 roofing brand.** Not only can we help you choose the right shingle and roofing system components, we can also help you select the right contractor for the job. An Owens Corning® Roofing Preferred Contractor.

Together we can make this a positive experience—an opportunity, really. This is your chance to choose a roof that not only has outstanding performance, but also has exceptional beauty. So for years to come, you'll feel great every time you pull in the driveway.

Safe. Protected. Home.



TruDefinition® DURATION® SHINGLES with SureNail Technology® **Bold contrast. Deep dimension. TruDefinition.**® TruDefinition® Duration® Shingles are specially formulated to provide great contrast and dimension to any roof. Through the use of multiple granule colours and shadowing, TruDefinition® Duration® Shingles offer a truly unique and dramatic effect. This exclusive combination of colour and depth is what makes TruDefinition® Duration® Shingles like no other. TruDefinition® Duration® Shingles are available in popular colours with bold, lively contrast and complementing shadow lines for great dimension. They feature a Limited Lifetime Warranty,*/# 209 KM/H* / 130 MPH Wind Resistance Limited Warranty* and an Algae Resistance Limited Warranty.*



Beyond the outstanding curb appeal and impressive warranty coverage, they also come with the advanced performance of SureNail Technology®.





The SureNail® Difference— A technological breakthrough in roofing. The innovative features

of Owens Corning® TruDefinition® Duration® Shingles with SureNail Technology® offer the followina:

Breakthrough Design. Featuring a tough, woven engineered reinforcing fabric to deliver consistent fastening during installation.

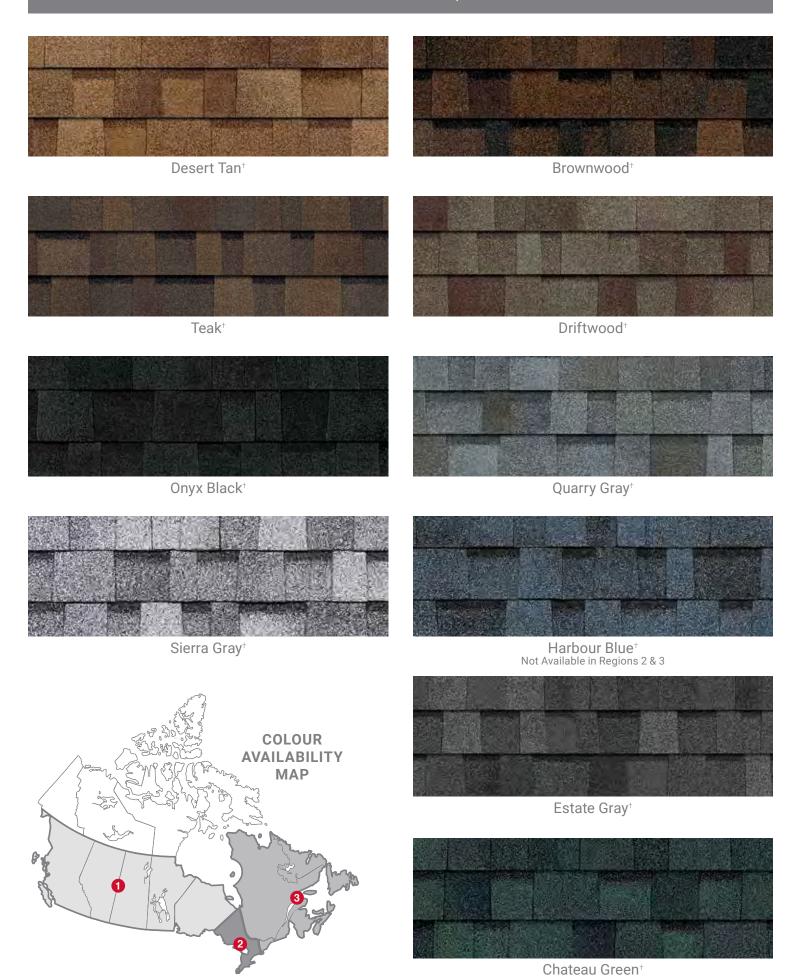
Triple Layer Protection.™ A unique "triple layer" of reinforcement occurs when the fabric overlays the common bond of the shingle laminate layers that offers excellent fastener holding power.

Excellent Adhesion. Our enhanced Tru-Bond®‡ sealant grips tightly to the engineered fabric nailing strip on the shingle below.

Excellent Adhesive Power. Specially formulated, wide adhesive bands help keep shingle layers laminated together.

Exceptional Wind Resistance. The industry's first asphalt roofing shingle engineered to deliver 209 KM/H* / 130 MPH wind warranty performance with only 4 nails. 33% fewer nails are required for warranty protection¹, which can mean fewer deck penetrations.







Product Attributes

Warranty Length*

Wind Resistance Limited Warranty*



209 KM/H* / 130 MPH

Algae Resistance Limited Warranty*

Tru PROtection Non-Prorated Limited Warranty* Period

TruDefinition® Duration® Shingles **Product Specifications**

Nominal Size	13¹/₄" x 39³/ ₈ "	
Exposure	5 ⁵ /8"	
Shingles per Square	64	
Bundles per Square		
Coverage per Square	98.4 sq. ft.	

Applicable Standards and Codes

- equirements.
 2014 Laminate Innovation Survey by Owens Corning Roofing and Asphalt, LLC.
 2014 Laminate Innovation Survey by Owens Corning Roofing and Asphalt, LLC.
 2018 Sources of the printing process and the variations in natural lighting, actual shingle colours
 and granule blends may vary from the photo. The pitch of your roof can also impact how a shingle looks on
 our home. We suggest that you view a roofing display or several shingles to get a bette diea of the actual
 colour. To accurately judge your shingle and colour choice, we recommend that you view it on an actual roof
 with a pitch similar to your own roof prior to making your final selection. Colour availability subject to change
 without notice. Ask your professional roofing contractor for samples of colours available in your area.
 This illustration depicts Triple Layer Protection* and the amount of Triple Layer Protection* may vary on
 shingle-to-shingle basis.
- ‡ Tru-Bond* is a proprietary premium weathering-grade asphalt sealant that is blended by Owens Corning Roofing and Asphalt, LLC.
- 40-Year Limited Warranty on commercial projects.
 Where allowed by code. Applicable in Canada only. Preferred Contractors are independent contractors an are neither affiliates nor agents of Owens Corning Roofing and Asphalt, LLC, or its affiliated companies.
 # International Code Council Evaluation Services Acceptance Criteria for Alternative Asphalt Shingles

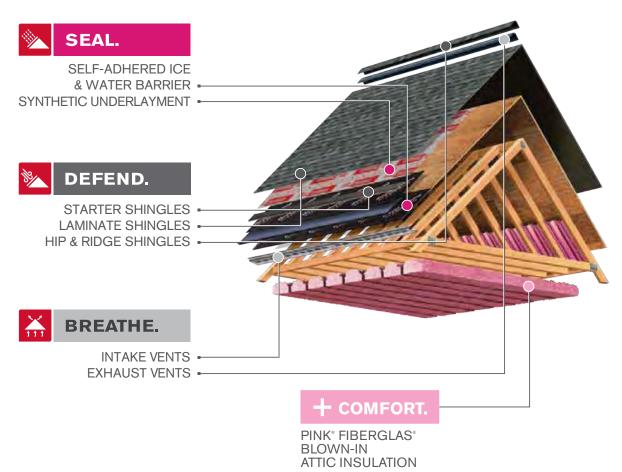


Total Protection Roofing System®

TOTAL PROTECTION SIMPLIFIED



Owens Corning® Total Protection Roofing System® integrates engineered Owens Corning® components that work together to address these three primary performance areas, critical to a high-performance roof, while also making it easy to understand the importance of each. With Owens Corning, it's easy to confidently deliver total protection, beauty and peace of mind.



Want to know more about Owens Corning® roofing products or find an Owens Corning® Roofing Preferred Contractor in your area? It's easy to reach us:

1-800-GET-PINK® | www.owenscorning.ca



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Section Details: Operating/Picture - Casement/Awning Push Out - 3/4" (19) IG

Scale: 3" = 1' 0"

