

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	17201 Norwood Road, Sandy Spring	Meeting Date:	2/21/2024
Resource:	Master Plan Site No. 28/13 <i>Norwood</i>	Report Date:	2/14/2024
Applicants:	Jose Thommanna MCDOT Division of Transportation Engineering	Public Notice:	2/7/2024
Review:	HAWP	Tax Credit:	n/a
Permit No.:	1056978	Staff:	Chris Berger
Proposal:	Lighting installation		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve with one condition** the HAWP application with final review and approval of all details delegated to staff:

1. Applicant shall provide staff with a specification for the light.



Figure 1: The Norwood property is outlined in red. The shared-use path on the property is indicated with a yellow line.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site No 28/13, *Norwood*
 STYLE: Georgian Residence with Victorian-era carriage house, and granary, barn, sheds
 DATE: circa 1751, 1867

Excerpt from *Places from the Past*:

A grand residence built in 1751, Norwood is one of a group of substantial brick houses built by the Quaker Thomas family. The original five-bay structure has a double-pile, central passage plan. The slightly asymmetrical front façade features Flemish bond brickwork, a molded watertable, and a brick beltcourse. The doorway with fanlight and front portico are not original. Windows on the first level are clearly wider than originals, since the flat-arch lintels do not extend to their full width. Large and irregular, the brick was likely made on site. The construction date is found on a cast-iron fireback along with the inscription R, S, and T. The letters are presumed to be the initials of original owners Richard Thomas and Sarah Thomas. In addition to its association with the Thomas family, Norwood has additional historical significance as the home of Joseph Moore, local leader, director of the Montgomery Mutual Fire Insurance Company, and one-term State Senator (1882). Moore constructed the east wing of the house in 1867 and built two Gothic Revival outbuildings that are still extant: a carriage house and granary. The well-landscaped grounds also include a bank barn.

PROPOSAL:

The applicant, Jose Thommanna of the Montgomery County Department of Transportation, provided the following work description:

Project work includes the addition of lighting adjacent to an existing shared-use path (SUP) northeast of MD 182 between Norwood Road and the Sandy Spring Adventure Park. This work is part of a larger SUP project along the northeast side of MD 182 that will result in a continuous SUP between MD 108 (Olney-Sandy Spring Road) and Ednor Road near Woodlawn. The current project is a safety enhancement to provide lighting for path users. Twelve-foot-tall fixtures will be installed south of the path along the Norwood property. No trees will be removed for this work and directional boring of conduits will be used to minimize disturbance to existing tree root systems. The lighting design matches lighting that is on an existing SUP segment that runs from just northwest of Lake Norwood Way to Norwood Road.

APPLICABLE GUIDELINES:

In accordance with Section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses Chapter 24A-8 of the Montgomery County Code (Chapter 24A), *the Secretary of the Interior's Standards for Rehabilitation (Standards)*, and pertinent guidance in applicable master plans. In this case, the *Sandy Spring/Ashton Master Plan*. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Sandy Spring/Ashton Master Plan (Approved and Adopted July 1998)

The plan seeks to maintain the rural character of the area. Norwood, located at the west boundary of the plan area, is specifically identified throughout the document.

Under “The Elements of Rural Character: section, under the subsection titled Rural Open Space, on Page 9, it states:

Preserve historic settings of special features and historic resources. This Plan places special attention on protecting the physical settings of special features such as Meeting

House Road, The Sandy Spring, and the Norwood and Dellabrooke homesteads. Whether officially designated historic resources or special places or treasured landscape, these places require extensive amounts of open space to preserve their rural setting.

Under the same section under the subsection titled Rural Roads on Page 10, it states:

Road character is particularly important in establishing the area's rural setting and differentiating Sandy Spring/ Ashton from neighboring suburban communities. The design of the roadway, the relationship of buildings to the road, and the views experienced contribute to the road character. This Plan includes design guidelines for the roads of Sandy Spring/Ashton. The intent of these recommendations is to heighten the sense of arrival to this rural area and preserve the character of the roads. This Plan recommends specific designs for MD 108 and Norwood/Dr. Bird Road and the creation of a new design for neighborhood streets consistent with the rural character of the area.

Finally, Norwood is listed on a table on Page 78 titled “Historic Resources” and reads as follows:

- The environmental setting is the 11-acre parcel and consists of the main house and related outbuildings, including a carriage house/garage and barn, a tree-lined entranceway, and extensively landscaped front and side yards.
- The resulting park-like setting would be severely compromised by any additional development on the parcel and reduction of this setting is not recommended.

STAFF DISCUSSION:

Staff finds the proposal to install six lights meet the applicable regulations and recommends approval. The asphalt shared-use path extends approximately 700 feet within Needwood’s west property boundary and according to aerials was built circa 2012. There is no HAWP on file for this work.



Figure 2: The applicant provided this representative photo of the proposed 12-foot tall fiberglass post with “Colonial” light at the top.

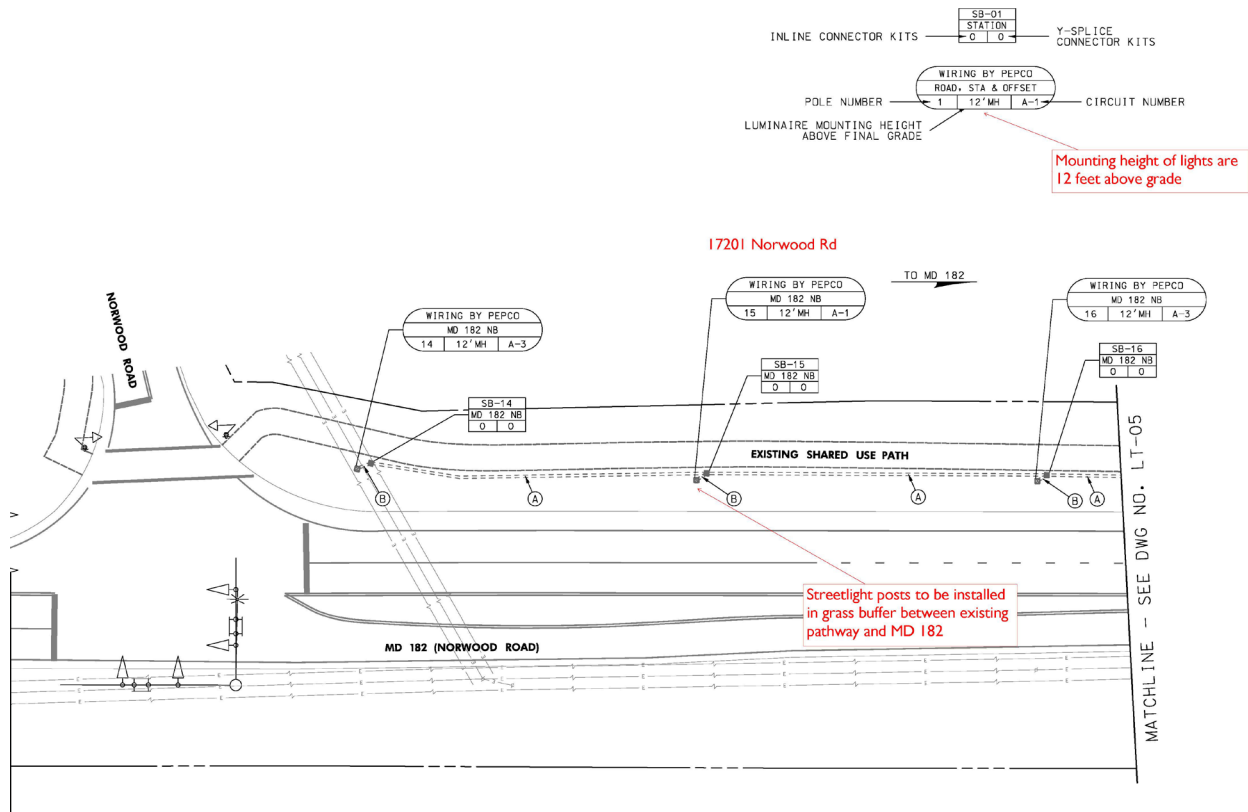


Figure 3: The northern half of the project area along Norwood Road. Three lights will be installed along this section.

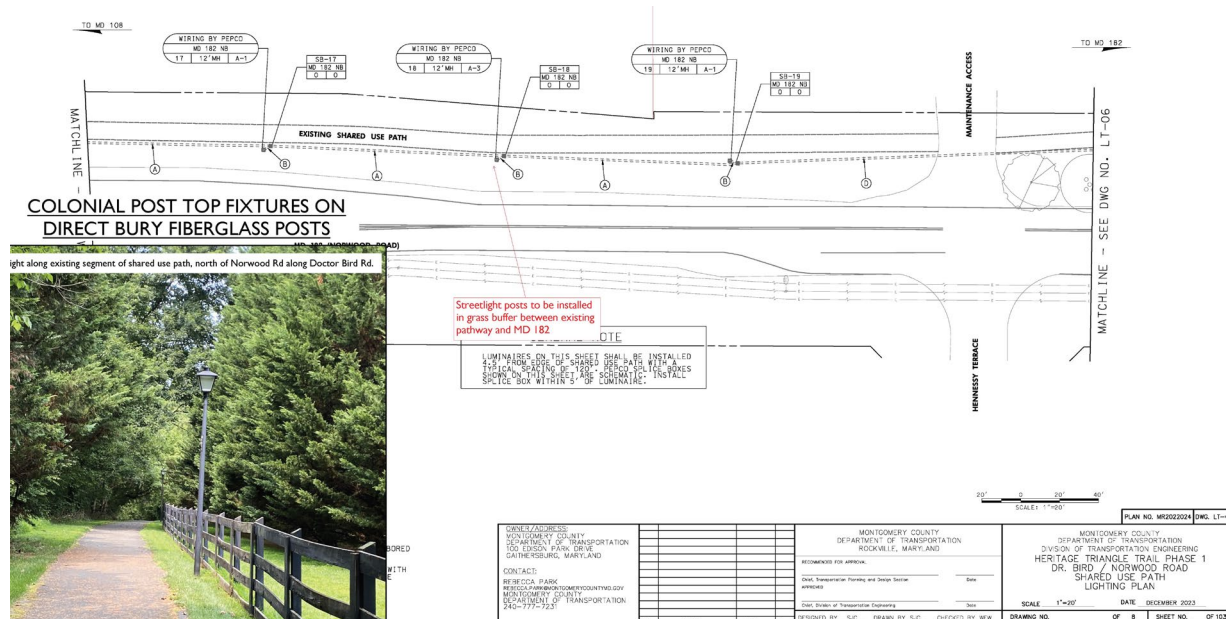


Figure 4: The northern half of the project area along Norwood Road. Three lights will be installed along this section.



Figure 5. This Google Streetview photo from November 2022 show the existing southern half of the project area at Hennessy Terrace facing north.



Figure 6. This Google Streetview photo from November 2022 show the existing northern half of the project area. The Norwood main house is evident in the background.

Though they will be 12 feet tall, the lights will be located within the boundary of the Norwood property and will be minimally visible from the historic buildings, in accordance with Chapter 24A-8(b)(1). The main house is the closest building on the property and is approximately 375 feet from the path, so the visible impact of the lights from the historic buildings will be minimal. Further, the Norwood Road cut drops approximately 5 feet before it reaches the path. The deciduous and evergreen trees screen the view of the path from the house so that the lights are partially obstructed from view for the most of the year. In accordance with Chapter 24A-8(b)(2), the simple fiberglass posts with “Colonial” post tops are

compatible with the historic site as they will be a minimal visual presence and have a simple design. The lights will improve the safety for path users in low-light conditions to meet the requirements of Chapter 24A-8(b)(4). MCDOT will need to obtain an easement or other permission by the property owner prior to installation since the work is not occurring within the ROW, but on the Norwood property itself.

In conformance with the *Standards*, the installation of the lights will result in the retention of the historic character of the property; it will not destroy materials that characterize the property; and the form and integrity of the property will remain should the lights be removed in the future.

Finally, in compliance with the *Sandy Spring/Ashton Master Plan* the lights will not destroy Norwood's historic setting; the rural character of Norwood Road will be maintained; and Norwood's parklike setting will not be affected.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (4), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10, and *Sandy Spring/Ashton Master Plan*.

STAFF RECOMMENDATION

Staff recommends that the HPC **approve with one condition** the HAWP application with final review and approval of all details delegated to staff:

1. Applicant shall provide staff with a specification for the light.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (4) and Chapter 24A-8(d), having found that the proposal is consistent with the purposes of Chapter 24A;

and meets the *Secretary of the Interior's Rehabilitation* # 2, 9, and 10;

and with the *Sandy Spring/Ashton Master Plan*;

and with the general condition that the applicants shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicants shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicants will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: E-mail:
Address: City: Zip:
Daytime Phone: Tax Account No.:

AGENT/CONTACT (if applicable):

Name: E-mail:
Address: City: Zip:
Daytime Phone: Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 100 Street: Edison Park Drive

Town/City: Gaithersberg Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
17208 Doctor Bird Road, Sandy Spring MD 20860	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

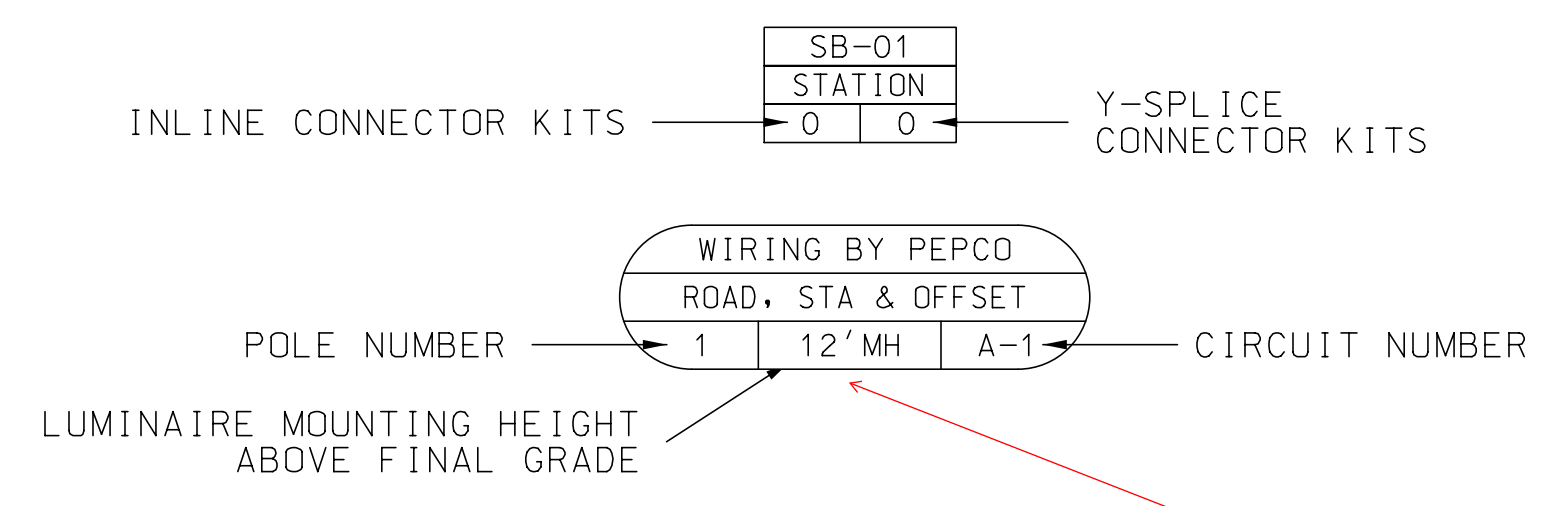
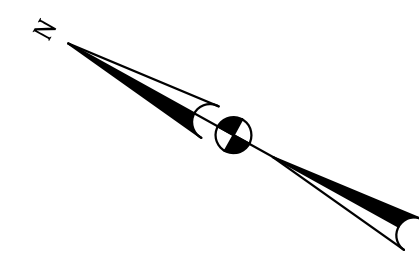
Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

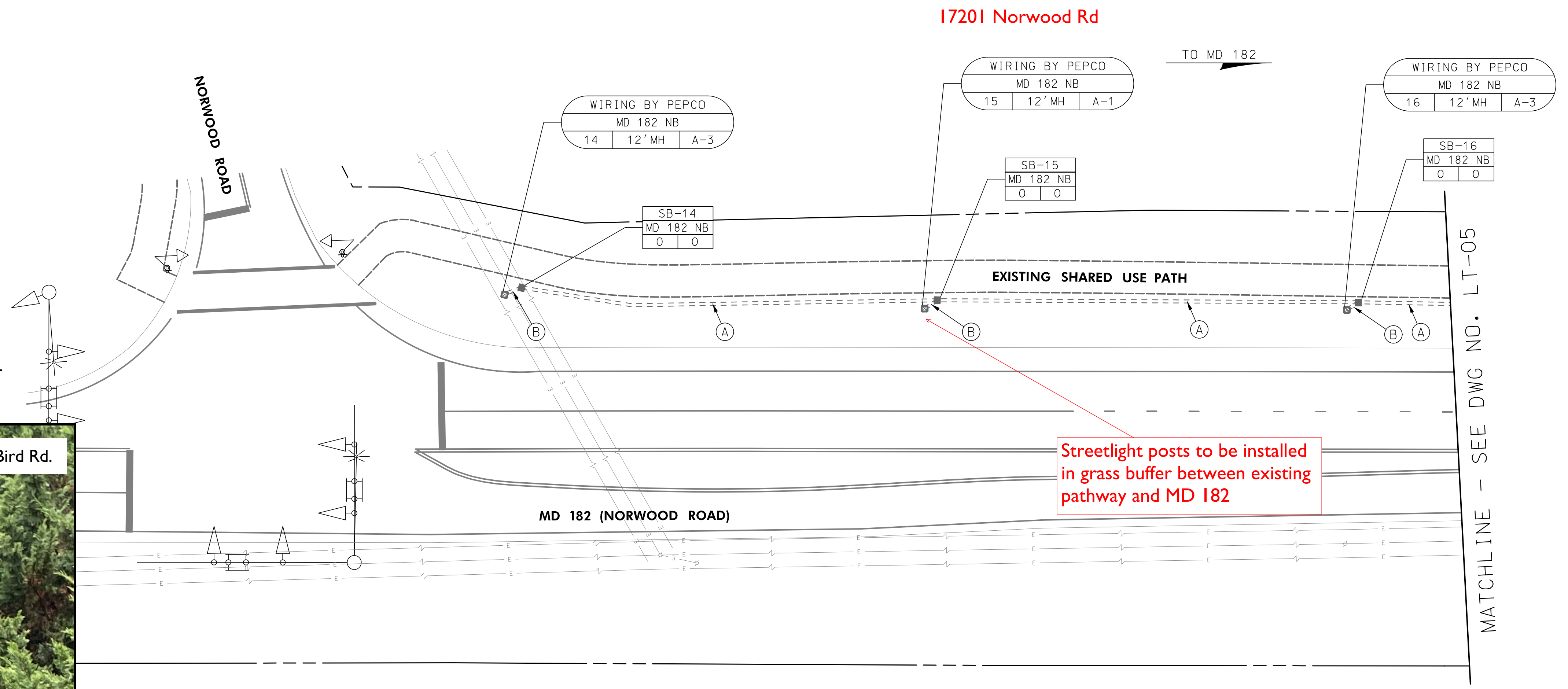
	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



Mounting height of lights are 12 feet above grade

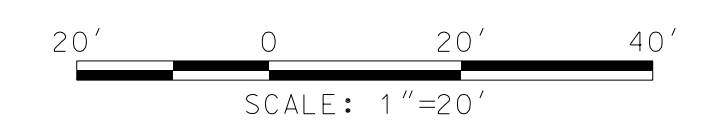
COLONIAL POST TOP FIXTURES ON DIRECT BURY FIBERGLASS POSTS

Light along existing segment of shared use path, north of Norwood Rd along Doctor Bird Rd.



Streetlight posts to be installed in grass buffer between existing pathway and MD 182

GENERAL NOTE
 LUMINAIRES ON THIS SHEET SHALL BE INSTALLED 4.5' FROM EDGE OF SHARED USE PATH WITH A TYPICAL SPACING OF 120'. PEPCO SPLICE BOXES SHOWN ON THIS SHEET ARE SCHEMATIC. INSTALL SPLICE BOX WITHIN 5' OF LUMINAIRE.



PLAN NO. MR2022024 DWG. LT-04

OWNER / ADDRESS:
 MONTGOMERY COUNTY
 DEPARTMENT OF TRANSPORTATION
 100 EDISON PARK DRIVE
 GAITHERSBURG, MARYLAND

CONTACT:
 REBECCA PARK
 REBECCA.PARK@MONTGOMERYCOUNTYMD.GOV
 MONTGOMERY COUNTY
 DEPARTMENT OF TRANSPORTATION
 240-777-7231

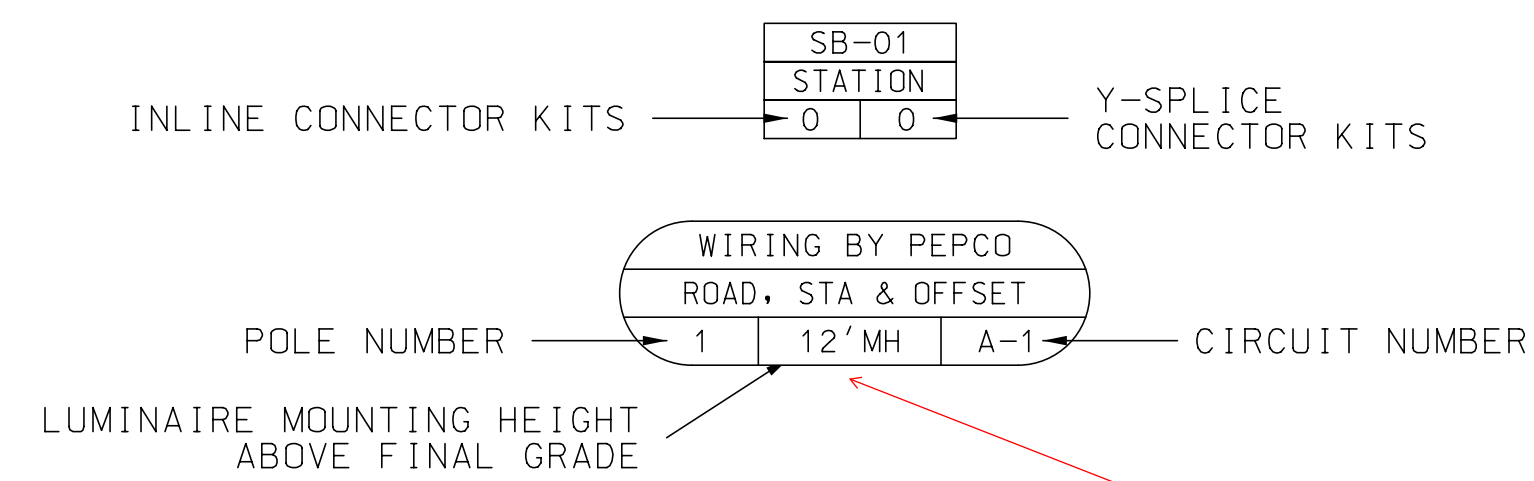
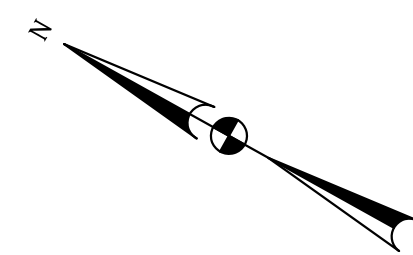
MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION ROCKVILLE, MARYLAND			
RECOMMENDED FOR APPROVAL			
Chief, Transportation Planning and Design Section	Date		
APPROVED			
Chief, Division of Transportation Engineering	Date		
DESIGNED BY	DRAWN BY	CHECKED BY	
NO.	REVISION	DATE	BY

MONTGOMERY COUNTY
 DEPARTMENT OF TRANSPORTATION
 DIVISION OF TRANSPORTATION ENGINEERING
 HERITAGE TRIANGLE TRAIL PHASE 1
 DR. BIRD / NORWOOD ROAD
 SHARED USE PATH
 LIGHTING PLAN

SCALE 1"=20' DATE DECEMBER 2023

DRAWING NO. OF 8 SHEET NO. OF 103

PLOTTER: 12/11/2023
 FILE: \\ad.rtk.com\ys\Cloud\Projects\2020\MCDOTransp\Task 27 - Heritage Triangle Trail\CADD\Plans\dk-pLT-0004_DrBird.dgn



Mounting height of lights are 12 feet above grade

17201 Norwood Rd

TO MD 108

TO MD 182

WIRING BY PEPCO		
MD 182 NB		
17	12' MH	A-1

SB-17		
MD 182 NB		
0	0	

WIRING BY PEPCO		
MD 182 NB		
18	12' MH	A-3

SB-18		
MD 182 NB		
0	0	

WIRING BY PEPCO		
MD 182 NB		
19	12' MH	A-1

SB-19		
MD 182 NB		
0	0	

MATCHLINE

EXISTING SHARED USE PATH

MAINTENANCE ACCESS

MATCHLINE - SEE DWG NO. LT-06

COLONIAL POST TOP FIXTURES ON DIRECT BURY FIBERGLASS POSTS

Light along existing segment of shared use path, north of Norwood Rd along Doctor Bird Rd.



Streetlight posts to be installed in grass buffer between existing pathway and MD 182

NOTE
LUMINAIRE ON THIS SHEET SHALL BE INSTALLED 4.5' FROM EDGE OF SHARED USE PATH WITH A TYPICAL SPACING OF 120'. PEPCO SPLICE BOXES SHOWN ON THIS SHEET ARE SCHEMATIC. INSTALL SPLICE BOX WITHIN 5' OF LUMINAIRE.



PLAN NO. MR2022024 DWG. LT-05

OWNER / ADDRESS:
MONTGOMERY COUNTY
DEPARTMENT OF TRANSPORTATION
100 EDISON PARK DRIVE
GAITHERSBURG, MARYLAND

CONTACT:
REBECCA PARK
REBECCA.PARK@MONTGOMERYCOUNTYMD.GOV
MONTGOMERY COUNTY
DEPARTMENT OF TRANSPORTATION
240-777-7231

MONTGOMERY COUNTY
DEPARTMENT OF TRANSPORTATION
ROCKVILLE, MARYLAND

RECOMMENDED FOR APPROVAL

Chief, Transportation Planning and Design Section
APPROVED

Chief, Division of Transportation Engineering

MONTGOMERY COUNTY
DEPARTMENT OF TRANSPORTATION
DIVISION OF TRANSPORTATION ENGINEERING
HERITAGE TRIANGLE TRAIL PHASE 1
DR. BIRD / NORWOOD ROAD
SHARED USE PATH
LIGHTING PLAN

SCALE 1"=20' DATE DECEMBER 2023

NO.	REVISION	DATE	BY	DESIGNED BY	DRAWN BY	CHECKED BY	DRAWING NO.	OF	SHEET NO.	OF
				SJC	SJC	WEW		8		103



Photo 1: Norwood property and SUP, looking east from intersection of Norwood and Dr. Bird Roads (Google Street View, November 2022)



Photo 2: Norwood property and SUP, looking southeast from intersection of Norwood and Dr. Bird Roads (Google Street View, November 2022)



Photo 1: Norwood property and SUP, looking southeast from north of Hennessy Terrace (Google Street View, November 2022)



Photo 4: Norwood property, Norwood dwelling, and SUP, looking north from just north of Hennessy Terrace (Google Street View, November 2022)



Photo 5: Norwood property and SUP, looking north from Hennessy Terrace (Google Street View, November 2022)