

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	4600 Waverly Avenue, Garrett Park (Garrett-Waverly Neighborhood Park)	Meeting Date:	2/21/2024
Resource:	Garrett Park Historic District	Report Date:	2/14/2024
Applicant:	Town of Garrett Park (Barbara Matthews)	Public Notice:	2/7/2024
Review:	HAWP	Tax Credit:	n/a
Permit Number:	1057416	Staff:	Chris Berger
Proposal:	Sidewalk expansion, retaining wall curb, stairway alterations, and tree removal		

STAFF RECOMMENDATION

Staff recommends the HPC **approve with one condition** the HAWP application:

1. Applicant shall show the locations of the three trees proposed for removal on a site plan.

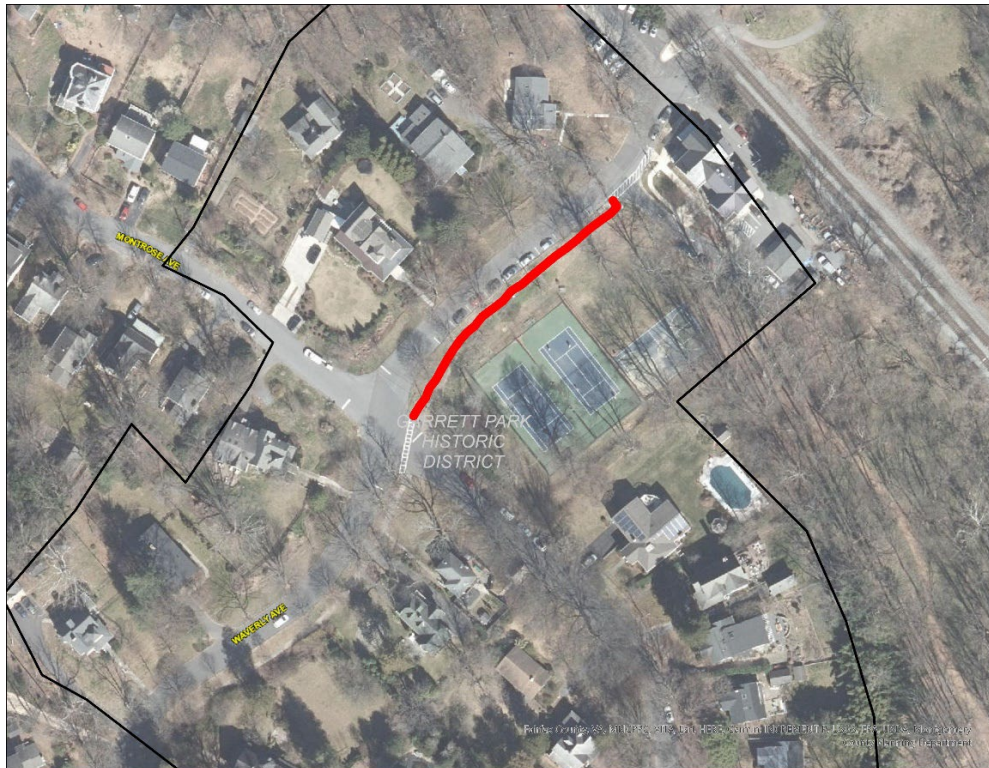


Figure 1: The sidewalk location along Waverly Avenue in Garrett Park is indicated with a red line. The Garrett Park Historic District boundaries are the black line.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Garrett Park Historic District
 DATE: not applicable
 STYLE: not applicable

PROPOSAL

The Town of Garrett Park proposes to replace an approximately 260-foot long section of sidewalk in the Garrett-Waverly Neighborhood Park with a wider, ADA-compliant sidewalk. The section of sidewalk is between Waverly Avenue between Montrose Avenue and the Penn Place building at 4600 Waverly Ave. According to the applicant, the existing section of sidewalk is uneven with tripping hazards. Many of the concrete sidewalk panels have been shaved down, but there are displaced joints in the sidewalk. The Town seeks to replace the sidewalk section in its entirety for safety and economic reasons.

The sidewalk width will be increased from 4 feet to 5 feet as was recommended by the Garrett Park Arboretum Committee. The stretch of sidewalk is heavily used by pedestrians, according to the applicant, and they believe widening the sidewalk will reduce pedestrian excursions off the pavement because of insufficient width. They noted there will still be sufficient greenspace between the sidewalk edge and the curb for the planting of new trees. The Town intends to tint the concrete with a taupe color to match the color of the sidewalks installed in 2020 under a Safe Routes to School grant.

The retaining wall curb will be 1.5-feet tall and 8 inches wide and will be located along the south edge of the sidewalk. It will be built of concrete and extend 6 inches above the top of the sidewalk.

The two existing stairs with railings that extend from the sidewalk and down the hill toward the tennis courts will be extended to accommodate the new sidewalk. At the concrete stairway to the west toward Montrose Avenue, the landing at the top will be replaced with three stair threads and risers. The railing will be extended along the left side, and a new railing will be added to the length of the stairs on the right side. At the concrete stairway to the east toward Penn Place, the concrete stairs will be reconstructed to match the proposed grade, and a landing will be added.

Three of the four existing Sugar Maple trees will be removed as part of the project. The trees proposed for removal are a 25-inch diameter at breast height (dbh) Green Mountain, a 12-inch dbh Legacy, and a 6-inch dbh Goldspire. The Town consulted an arborist who said the trees will not survive the sidewalk construction. The applicant said four replacement trees will be planted based upon the arborist's recommendation, likely a mix of native, full stature shade trees they said will add diversity to the Garrett Park Arboretum. The applicant added the replacement trees will not be known for producing extreme surface roots.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Garrett Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Comprehensive Amendment to the North Bethesda-Garrett Park Master Plan (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Sector Plan

The subject property is located within the Garrett Park Historic District. Only buildings are identified in the *Sector Plan*, and the right of way near the park is not specified in the document. The *Sector Plan* does note that the neighborhood should retain its park-like setting and mature and varied plantings.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of Interior's Standards for Rehabilitation

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The project area is in the Garrett Park Master Plan Historic District along Waverly Avenue at the Garrett-

Waverly Neighborhood Park. It includes four work items: 1) replace and widen sidewalk; 2) add a retaining wall curb to sidewalk; 3) alter two stairways that connect to sidewalk; and 4) cut down three trees.

1) Replace and Widen Sidewalk

Staff finds the proposed sidewalk replacement and widening meets the applicable regulations and recommends approval. The additional foot of width will have a minimal effect on the environmental setting of the historic district but may be helpful to keep pedestrians on the concrete and not walking on the grass where they could damage tree roots or on the steep grade toward the tennis courts. The replacement sidewalk also is necessary to improve safety and comply with ADA requirements.

In accordance with Chapter 24A-8(b), the widened sidewalk will not substantially alter the exterior features of a historic resource within a historic district; it is compatible with the historical, archeological, architectural or cultural features of the historic district; and it is necessary to remedy the existing unsafe sidewalk conditions. Staff reminds that per Chapter 24A-8(b), the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” The proposal also meets the *Standards* # 2, 9, and 10, because the historic character of the historic district will be retained and preserved; the new construction will not destroy historic materials, features, and spatial relationships that characterize the property; and the essential form and integrity of the historic district and its environment would be unimpaired should the sidewalk be removed in the future.

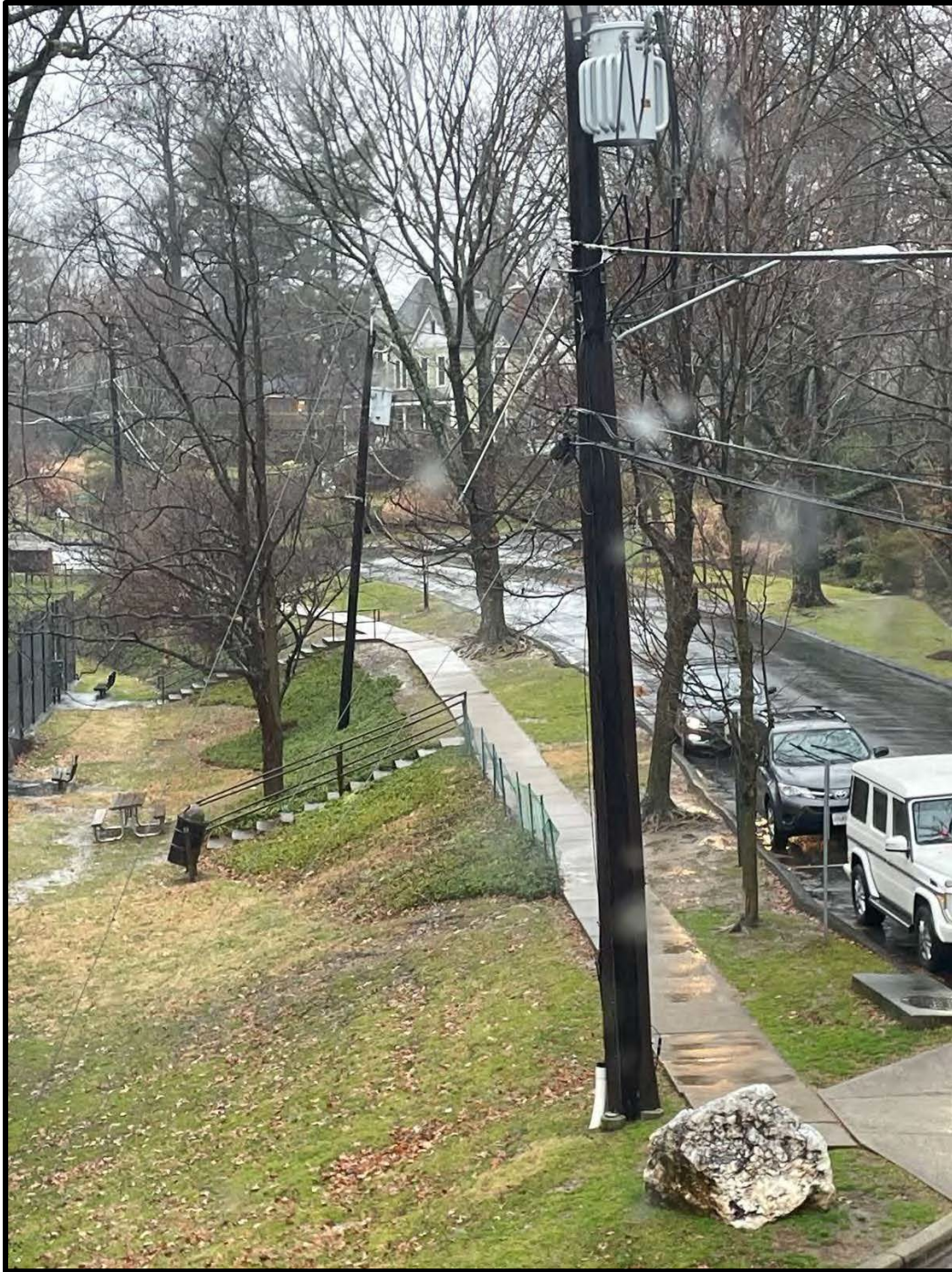


Figure 2: This photo provided by the applicant shows the existing sidewalk section to be replaced and widened.

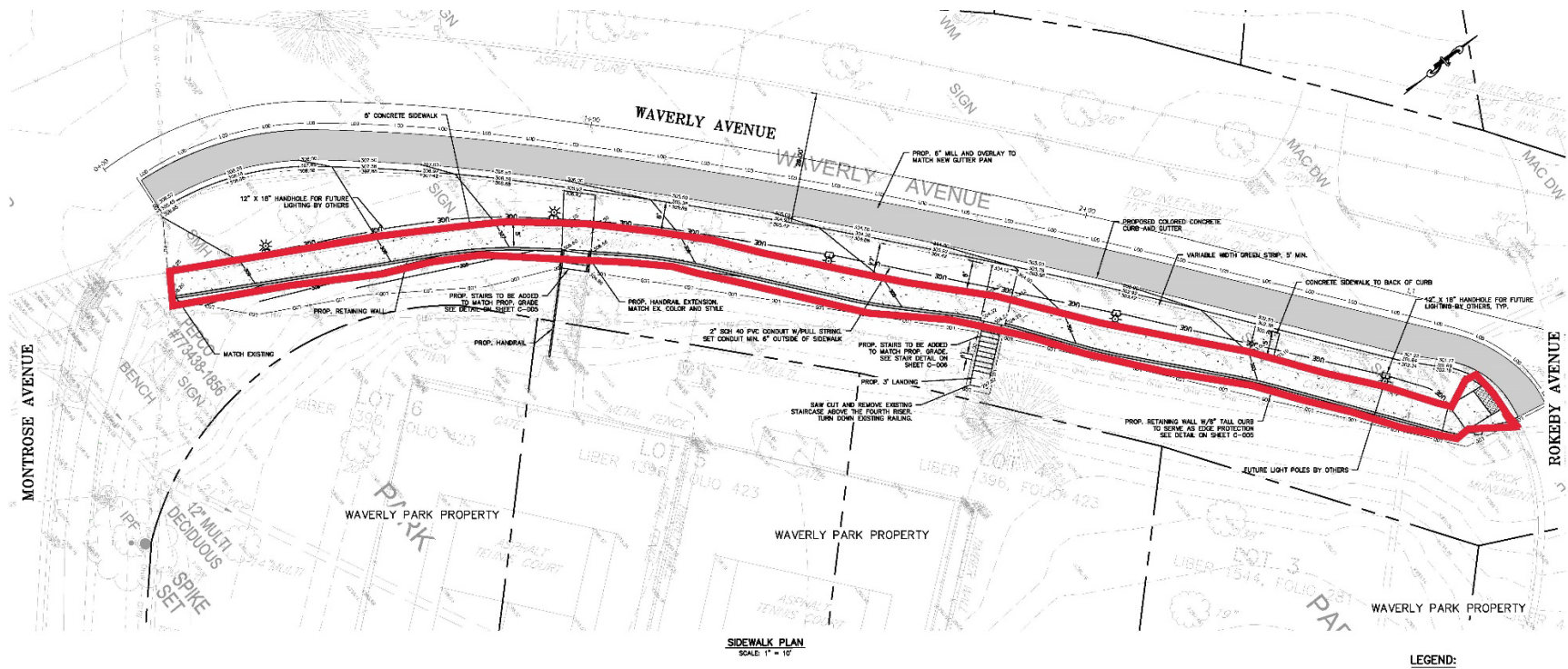


Figure 3: This site plan shows both the proposed sidewalk to be replaced and widened and new retaining wall curb outlined in red.

2) Add retaining wall curb to the sidewalk

Staff finds installation of the retaining wall curb meets the applicable regulations and recommends approval. It will be built in conjunction with the sidewalk and be located along the south edge of the proposed walk. The retaining curb should help slow erosion and improve safety along the edge of the slope. It may also help keep pedestrians on the sidewalk and off the grass.

In accordance with Chapter 24A-8(b), the retaining wall curb will not substantially alter the exterior features of a historic resource within a historic district; it is compatible with the historical, archeological, architectural or cultural features of the historic district; it is necessary to remedy the existing unsafe sidewalk conditions. Staff reminds that per Chapter 24A-8(b), the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” The proposal also meets the *Standards # 2, 9, and 10*, because the historic character of the historic district will be retained and preserved; the new construction will not destroy historic materials, features, and spatial relationships that characterize the property; and the essential form and integrity of the historic district and its environment would be unimpaired should the retaining wall curb be removed in the future.

3) Alter two stairways that connect to sidewalk

Staff finds the alterations to the stairways meets the applicable regulations and recommends approval. The reconfigured stairs and landings and expanded railings will be necessary to accommodate the wider sidewalk and associated curb.

In accordance with Chapter 24A-8(b), the stairway alterations will not substantially alter the exterior features of a historic resource within a historic district; it is compatible with the historical, archeological, architectural or cultural features of the historic district; it is necessary to remedy the existing unsafe sidewalk conditions. Staff reminds that per Chapter 24A-8(b), the HPC “shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.” The proposal also meets the *Standards # 2, 9, and 10*, because the historic character of the historic district will be retained and preserved; the new construction will not destroy historic materials, features, and spatial relationships that characterize the property; and the essential form and integrity of the historic district and its environment would be unimpaired should the altered stairways be removed in the future.

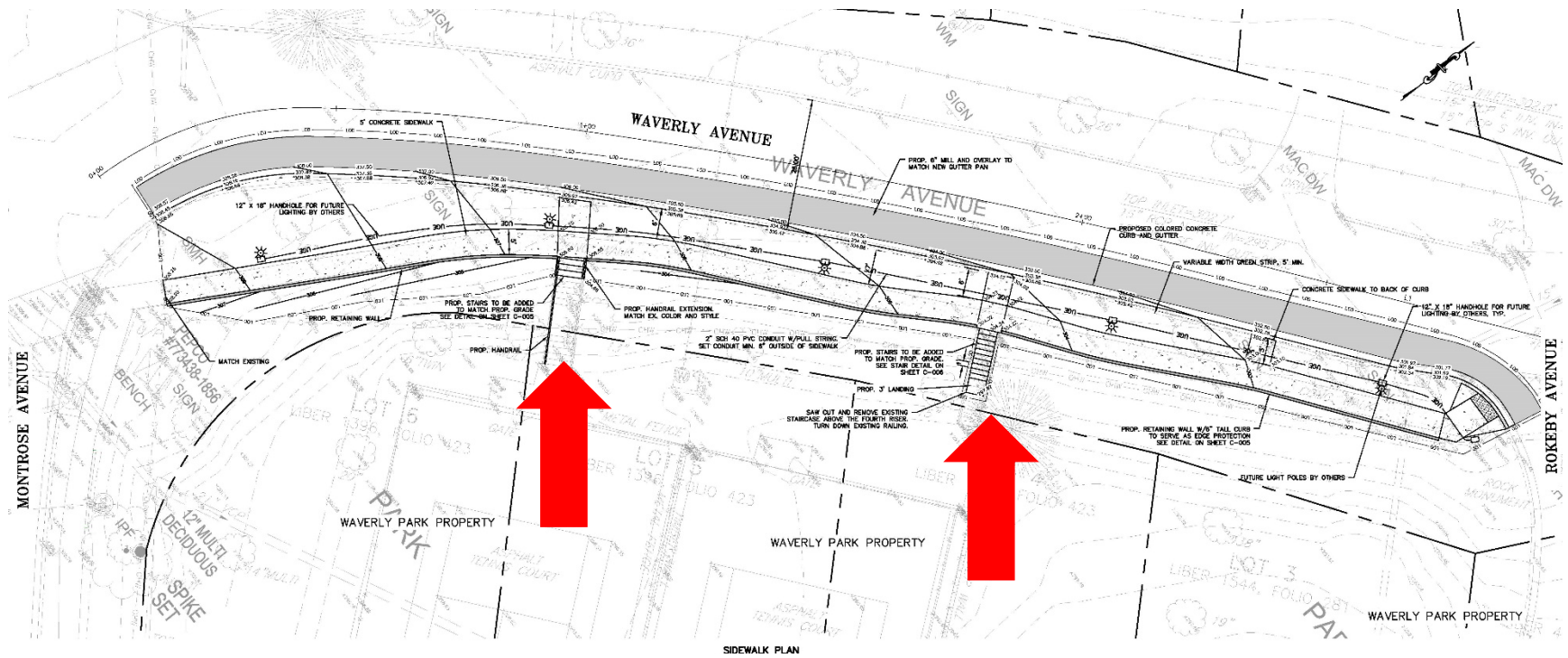


Figure 4: This site plan provided by the applicant shows the stairway locations to be altered indicated with red arrows.

4) Cut down three trees

According to the applicant's arborist, three trees need to be removed to accommodate the sidewalk construction, and staff finds the proposal meets the applicable regulations and recommends approval. The applicant has not provided the location of the three sugar maples to be removed, so staff seeks a condition the applicant provide the location of the trees on a site plan before the plans are stamped.

The *Sector Plan* calls for the retention of the neighborhoods parklike setting, and the loss of the three trees deviates from that. However, the replanting of four trees should in time provide more canopy coverage than currently. In accordance with Chapter 24A-8(b), the widened sidewalk will not substantially alter the exterior features of a historic resource within a historic district; it is compatible with the historical, archeological, architectural, or cultural features of the historic district; it is necessary to remedy the existing unsafe sidewalk conditions. Staff reminds that per Chapter 24A-8(b), the HPC "shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district." The proposal also meets the *Standards # 2, 9, and 10*, because the historic character of the historic district will be retained and preserved; the new construction will not destroy historic materials, features, and spatial relationships that characterize the property; and the essential form and integrity of the historic district and its environment would be unimpaired should the sidewalk be removed in the future.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the condition, as being consistent with the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (4) and Chapter 24A-8(d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation # 2, 9, and 10* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one condition** the HAWP application:

1. Applicant shall show the locations of the three trees proposed for removal on a site plan.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (4) and Chapter 24A-8(d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation # 2, 9, and 10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application. No

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information. No

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Barbara D Matthews

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

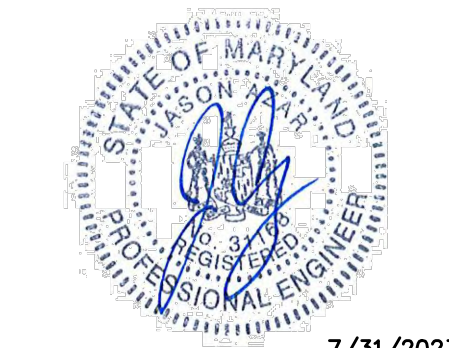
	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



Town of Garrett Park

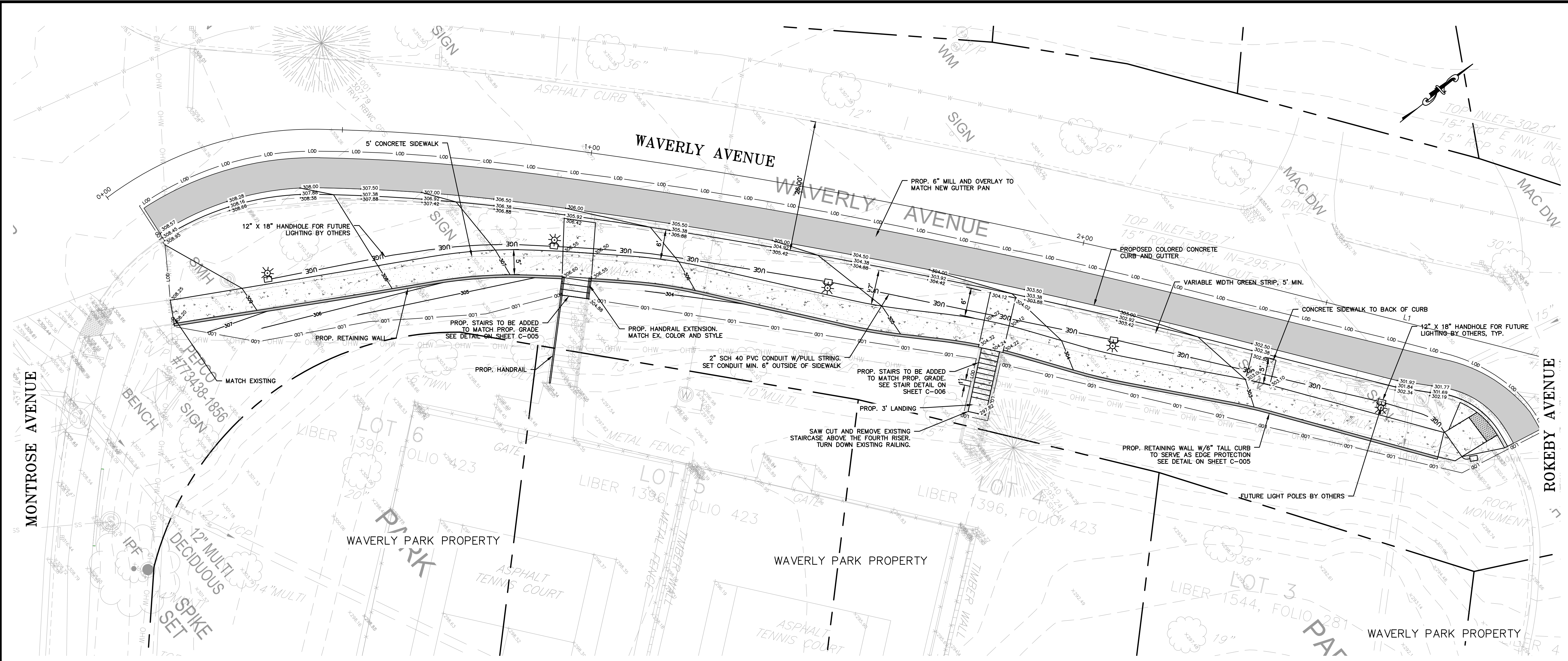


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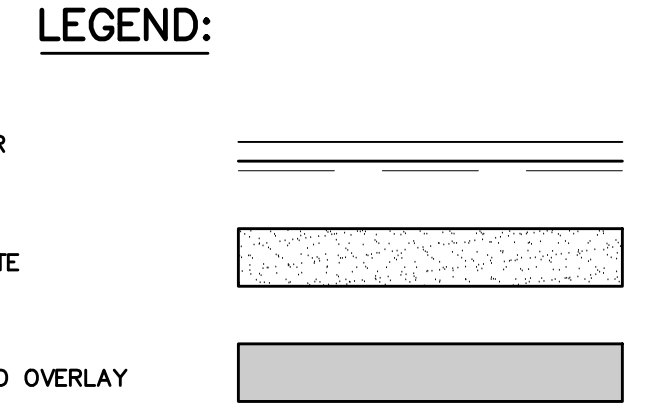


7/31/2023
PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31168
EXPIRATION DATE: 01/12/2025

**TOWN OF GARRETT PARK
SIDEWALK IMPROVEMENTS PROJECT**
TOWN OF GARRETT PARK
PO BOX 84, 4600 WAVERLY AVENUE, 3RD FLOOR
GARRETT PARK, MARYLAND 20896

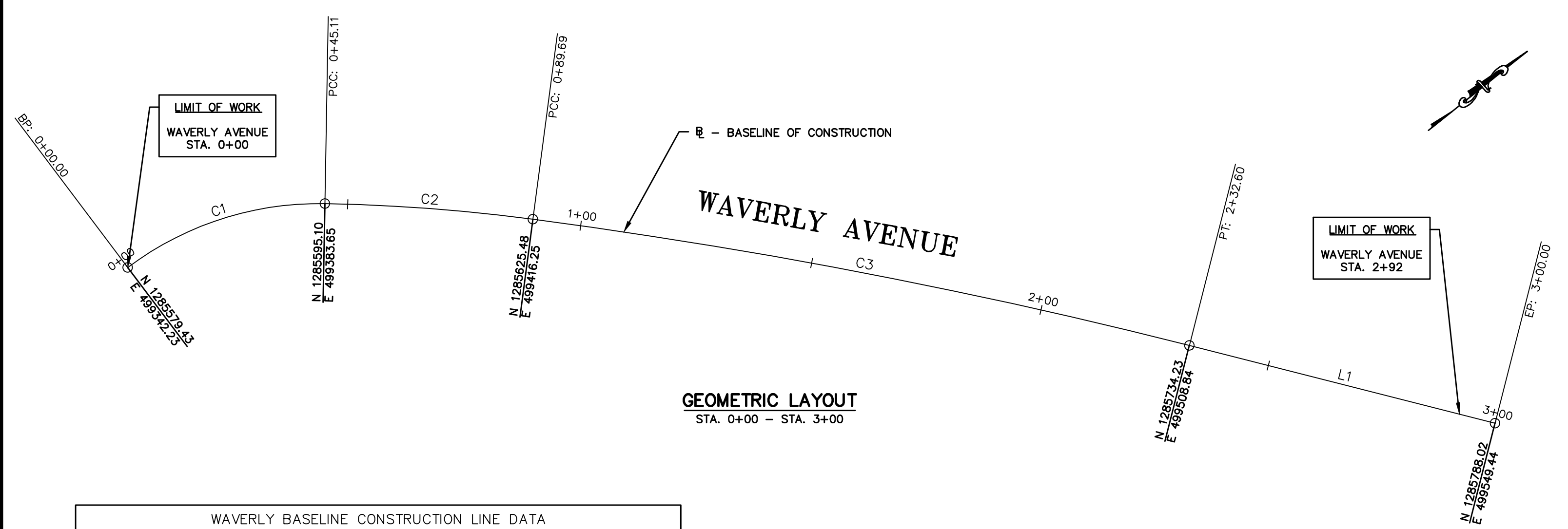


SIDEWALK PLAN
SCALE: 1" = 10'



WAVERLY AVENUE ALIGNMENT OFFSET TABLE
TO FACE OF CURB AND SIDEWALK

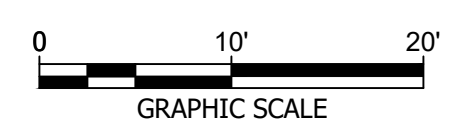
SIDE	STATION	OFFSET TO FACE OF CURB	OFFSET TO FRONT OF SIDEWALK
RT	0+00	13'	25.44'
RT	0+25	13'	29.89'
RT	0+50	13'	28.50'
RT	0+75	13'	23.14'
RT	1+05	13'	19.73'
RT	1+25	13'	19.09'
RT	1+50	13'	20.37'
RT	1+75	13'	19.80'
RT	2+00	13'	20.00'
RT	2+25	13'	19.71'
RT	2+50	13'	18.92'
RT	2+75	12.28'	19.35'
RT	2+92	18.98'	-



GEOMETRIC LAYOUT
STA. 0+00 - STA. 3+00

LINE	LENGTH	BEARING	START POINT (NORTHING, EASTING)	END POINT (NORTHING, EASTING)
L1	67.40'	N52° 57' 05"E	(1285734.2303, 499508.8358)	(1285788.0203, 499549.4414)

CURVE	DELTA	Dc	RADIUS	LENGTH	CHORD	EXTERNAL
C1	38°00'36"	94°39'51"	68.00'	45.11'	44.29'	3.92'
C2	6°29'59"	14°37'07"	393.00'	44.58'	44.56'	0.63'
C3	6°43'22"	4°42'19"	1218.00'	142.91'	142.83'	2.10'



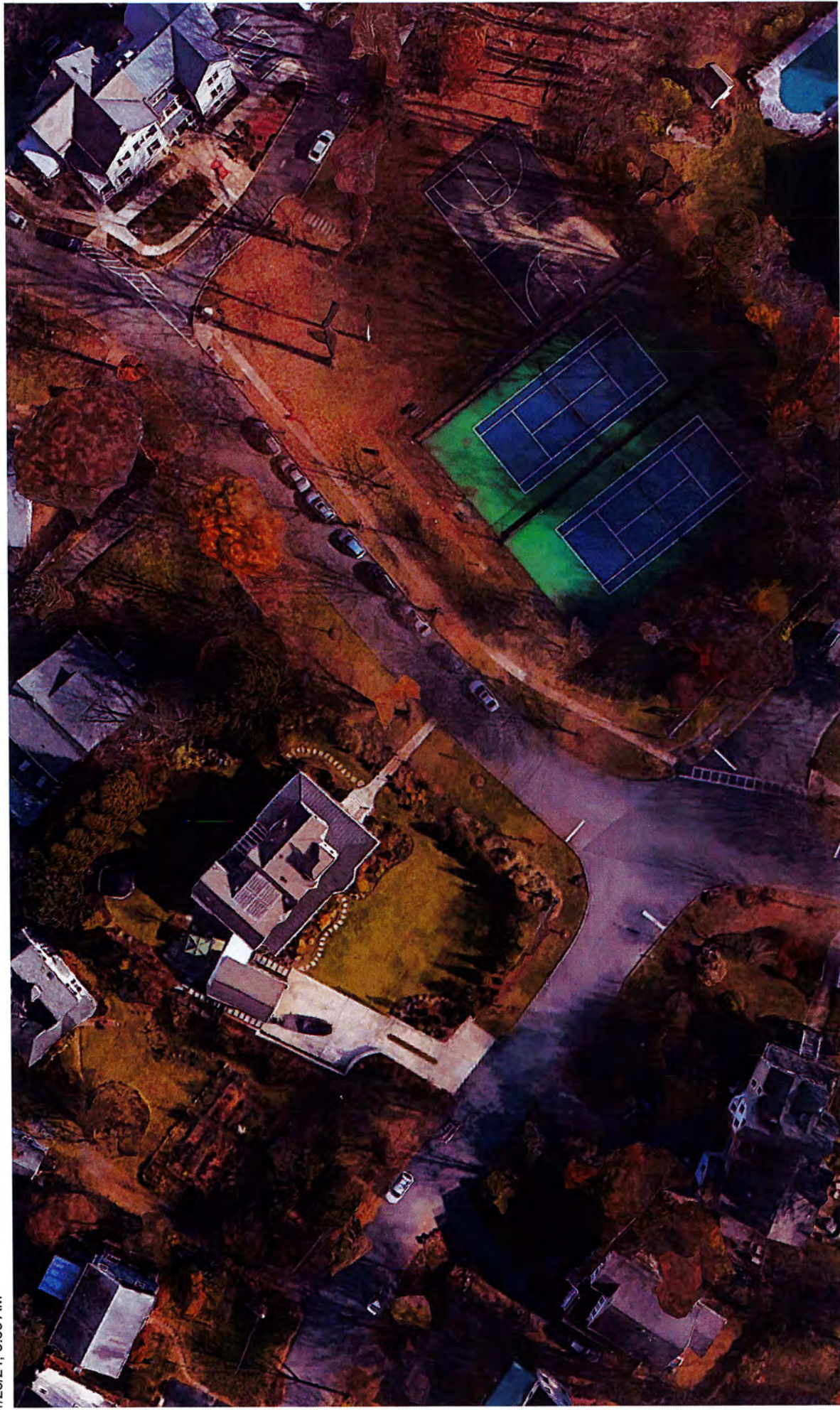
NO.	DATE	DESCRIPTION

DATE: JULY 2023
CAA PROJECT NO.: 205.021
DRAWN BY: MS
CHECKED BY: JA
SHEET TITLE

SIDEWALK PLAN

SHEET

C-200











From: [Barbara Matthews](#)
To: [Berger, Chris](#)
Subject: RE: 4600 Waverly Avenue, Garrett Park (HAWP #1057416) Sidewalk
Date: Tuesday, February 6, 2024 11:39:32 AM
Attachments: [Pages from Waverly Sidewalk Plans.pdf](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good morning –

I apologize for any confusion. There will not be a retaining wall but rather a retaining curb. It is a max of 1.5' tall and monolithic with the sidewalk. Attached is the detail sheet with the retaining curb. Page 2 shows a detail of the stairs.

In essence, we must change the grade of the sidewalk to make it ADA compliant, which requires alternations of the existing staircases (and the need for the retaining curb). We are only removing a portion of the existing stairs and modifying them, so they match the new sidewalk elevation.

Please let me know if you have further questions or require additional information.

Sincerely,

Barbara B. Matthews
Town Manager /Clerk-Treasurer
Town of Garrett Park

(301) 933 -7488

From: Berger, Chris <Chris.Berger@montgomeryplanning.org>
Sent: Monday, February 5, 2024 3:35 PM
To: Barbara Matthews <barbara.matthews@garrettparkmd.gov>
Subject: 4600 Waverly Avenue, Garrett Park (HAWP #1057416) Sidewalk

Hello,

We have received your application to replace and expand the sidewalk along Waverly Avenue. The plan also shows a retaining wall, stairs, and railings close to the sidewalk. Will those be built as part of the sidewalk project? If so please provide details on those proposed features including materials and dimensions. Representative photos may also be helpful.

The Historic Area Work Permit application is tentatively scheduled for the February 21 Historic

Preservation Commission. I would need the additional materials by this Wednesday, February 7, to make that meeting date.

I'm available to answer any questions.

Chris Berger, AICP

Cultural Resources Planner III

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

Chris.Berger@montgomeryplanning.org

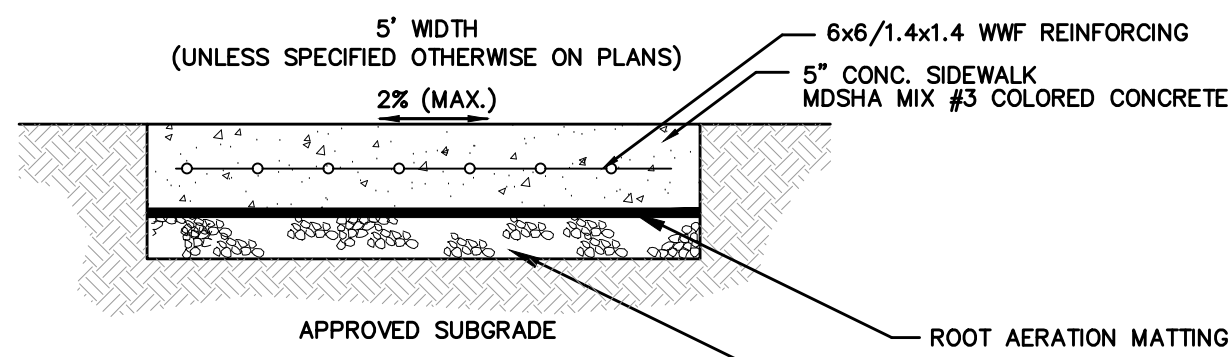
Office: 301-495-4571

GENERAL NOTES:

- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY CONFLICTS CONCERNING THE CONSTRUCTION AROUND EXISTING OBSTRUCTIONS PER THESE PLANS SHALL BE RESOLVED BETWEEN THE CONTRACTOR AND THE FIELD ENGINEER.
- THE CONTRACTOR AND OTHERS SHALL PERFORM ALL WORK IN A MANNER THAT WILL ENSURE THE LEAST PRACTICAL OBSTRUCTION TO TRAFFIC, PEDESTRIANS, RESIDENTS, AND BE CONSISTENT WITH SAFETY.
- BASILINE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. DIMENSIONS AND STATIONING ARE APPROXIMATE AND NOT A RESULT OF FIELD SURVEY.
- THE CONTRACTOR WILL NOTIFY PROPERTY OWNERS 72 HOURS PRIOR TO RECONSTRUCTION OF DRIVEWAY ENTRANCES.
- THE TOWN OF GARRETT PARK DOES NOT WARRANT THE CORRECTNESS OF THE TOPOGRAPHIC OR UTILITY DATA PRESENTED HEREIN AND IS NOT RESPONSIBLE FOR ANY CONCLUSIONS DRAWN FROM THEM.
- SIDEWALK RECONSTRUCTION LIMITS SHALL COINCIDE WITH CRACK CONTROL JOINTS (JOINTER GROOVES) OR EXPANSION JOINTS IN EXISTING SIDEWALK. NEW EXPANSION JOINTS SHALL BE PROVIDED AT THE INTERFACE OF EXISTING AND PROPOSED SIDEWALK. SEE STANDARD MD. NO. 655.01.
- CONTRACTOR TO INSTALL DETECTABLE WARNING SURFACE ON ALL ADA CROSSWALK RAMPS AS PER STANDARD MD. NO. 655.40.
- FORM NEW SIDEWALK AND EXPANSION JOINT MATERIAL AROUND EX. UTILITY POLES, MANHOLE COVERS, VALVE COVERS, AND FIRE HYDRANTS AS NECESSARY.
- EXISTING INLETS SHALL NOT BE DAMAGED DURING CONSTRUCTION. DAMAGE TO THE INLETS WILL REQUIRE THE INLET TO BE REPLACED AT NO ADDITIONAL COST TO THE ADMINISTRATION. IN ADDITION, ALL DRAINAGE PIPES FROM PRIVATE PROPERTIES CONVEYING STORMWATER INTO PUBLIC RIGHT-OF-WAY MUST BE PRESERVED. EXISTING DRAINAGE PATTERNS TO BE MAINTAINED UNLESS OTHERWISE SPECIFIED ON PLANS. EXTEND EXISTING DRAINS IF ENCOUNTERED THROUGH FACE OF NEW CURB OR AS DIRECTED BY THE TOWN OR TOWN'S REPRESENTATIVE.
- RECONSTRUCT PROPERTY WALKWAYS TO INTO PROPOSED SIDEWALK GRADES AS DIRECTED BY THE TOWN.
- EXISTING CURB HEIGHTS PROVIDED ON PLAN SHALL BE VERIFIED BY THE CONTRACTOR. RAMP AND DRIVEWAY TRANSITION LENGTHS SHALL BE VERIFIED IN THE FIELD ACCORDING TO SHA STANDARD MD. NO. 630.01, MD. NO. 630.02, MD. NO. 655.11, MD. NO. 655.12, AND MD. NO. 655.13.
- STABILIZE ALL DISTURBED AREAS NOT DRAINING TO A SEDIMENT CONTROL DEVICE AT THE END OF EACH DAY. THE CONTRACTOR SHALL LIMIT WORK ACTIVITIES SUCH THAT ALL DISTURBED AREAS CAN BE STABILIZED TO FINAL GRADE AND PLACEMENT OF THE TOP SOIL, SEED AND MULCH, SOD OR OTHER STABILIZATION METHODS CAN BE PERFORMED AT THE END OF EACH WORK DAY. PERMANENT STABILIZATION OF ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL BE WITH SOD.
- MAINTAIN ALL VEHICLE ACCESS POINTS AT RESIDENTIAL DRIVEWAYS AND UNSIGNALIZED INTERSECTIONS.
- MAINTAIN IN GOOD CONDITION ALL EXISTING TRAFFIC SIGNS. IF, IN THE OPINION OF THE ENGINEER, ANY SIGNS ARE DAMAGED BY THE CONTRACTOR'S OPERATION, THEY ARE TO BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING VISIBLE MANHOLES, VALVE BOXES, INLETS AND OTHER STRUCTURES, AS PER SPECIFICATION SECTION 504 AND 875.
- DO NOT LEAVE A PAVEMENT DROP-OFF AT ANYTIME AFTER A WORK DAY IS COMPLETE.
- MAINTAIN THE LIMITS OF WORK WITHIN THE PROJECT IN A SAFE AND NEAT MANNER THROUGHOUT THE DURATION OF THE CONTRACT. PILES OF DEBRIS SUCH AS EXCAVATED SOIL AND HMA ARE EXPECTED TO BE REMOVED OR STABILIZED WITHIN THE SAME WORKING DAY FAILURE TO COMPLY WITH THIS REQUIREMENT MAY RESULT IN ADMINISTRATIVE ACTION AS OUTLINED UNDER FAILURE TO MAINTAIN PROJECT OF THE SPECIFICATIONS.
- ALL WORK WILL BE CONDUCTED IN TOWN OF GARRETT PARK RIGHT-OF-WAY AND THE CONTRACTOR MUST OBTAIN A RIGHT-OF-ENTRY AGREEMENT FROM THE TOWN OF GARRETT PARK PRIOR TO THE COMMENCEMENT OF ANY STAGING ACTIVITIES SUCH AS THE ESTABLISHMENT OF A FIELD OFFICE OR FOR THE STORAGE OF EQUIPMENT AND MATERIAL WITHIN SAID RIGHT-OF-WAY. APPROVAL WILL REQUIRE THE EXECUTION OF THE AGREEMENT AND A RETAINAGE TO BE WITHHELD FROM PROGRESS PAYMENTS UNTIL SUCH TIME THE AFFECTED AREA(S) HAVE BEEN RESTORED TO PRE-USE CONDITION. IF ADDITIONAL DISTURBANCE IS NECESSARY, THE CONTRACTOR MAY BE REQUIRED TO AMEND ANY APPLICABLE PERMITS THAT MAY BE AFFECTED AND WILL BE SUBJECTED TO ANY AND ALL PERMIT CONDITIONS.
- SEDIMENT AND EROSION CONTROL REGULATIONS WILL BE STRICTLY ENFORCED DURING CONSTRUCTION.
- SIDEWALK RAMP CONSTRUCTION WILL BE PAID AS 5 INCH CONCRETE SIDEWALK.
- WHERE CURB, CURB AND GUTTER, OR DEPRESSED CURB IS PROPOSED, THE CONTRACTOR SHALL REPLACE THE ADJACENT CURB OR CURB AND GUTTER TO THE EXISTING CURB JOINT.
- CONTRACTOR SHALL PROVIDE ENTRANCE TIE-IN AS NECESSARY TO PROVIDE ADEQUATE TRANSITION FROM RECONSTRUCTED ENTRANCE TO EXISTING PAVEMENT (SEE MD 630.01 AND MD 630.02); PAVEMENT MATERIAL SHALL MATCH EXISTING.
- HMA FOR DRIVEWAYS WILL BE SUPERPAVE ASPHALT MIX 9.5MM FOR SURFACE, PG 64S-22, LEVEL 4 (2 INCH DEPTH).
- ADJUST EXISTING UTILITIES IMPACTED BY THE SIDEWALK & SIDEWALK RAMP CONSTRUCTION. THE COST IS INCIDENTAL TO SIDEWALK AND SIDEWALK RAMP CONSTRUCTION.
- THE CONTRACTOR SHALL RESET ANY SIGNS DISTURBED BY THE CONSTRUCTION AS DIRECTED BY THE ENGINEER.
- ALL CONCRETE FOR CURBS, SIDEWALKS, DRIVEWAY APRONS, ETC. SHALL BE COLORED CONCRETE. COLOR SHALL BE INTEGRAL TO THE CONCRETE. THE TOWN SHALL SELECT A COLOR FROM A CHART OF STANDARD COLORS. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO TOWN. A 5' X 5' TEST PANEL SHALL BE PREPARED TO SHOW CONCRETE COLOR AND BE ACCEPTED BY THE TOWN PRIOR TO FINALIZING COLOR FOR THE ENTIRE PROJECT. THE CONTRACTOR SHALL NOT CHANGE COLOR OR PIGMENT MANUFACTURER DURING CONSTRUCTION. IT IS THE INTENTION OF THE TOWN FOR THE CONCRETE TO BE TAUPE IN COLOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL STUMPS AND MAJOR ROOTS FOR TREES INDICATED ON PLANS TO BE REMOVED AND/OR SCHEDULED TO BE REMOVED BY TOWN WITHIN THE LIMITS OF THE PROJECT AS NECESSARY FOR THE INSTALLATION OF PROPOSED SIDEWALK AND CURBING. CONTRACTOR SHALL PROVIDE ADEQUATE FILL AND COMPACTED SUBGRADE MATERIAL TO EXCAVATED AREAS FOR PROPER INSTALLATION OF CURB AND GUTTER/SIDEWALK OR RESTORATION TO EXISTING GRADE.

MAINTENANCE OF TRAFFIC NOTES:

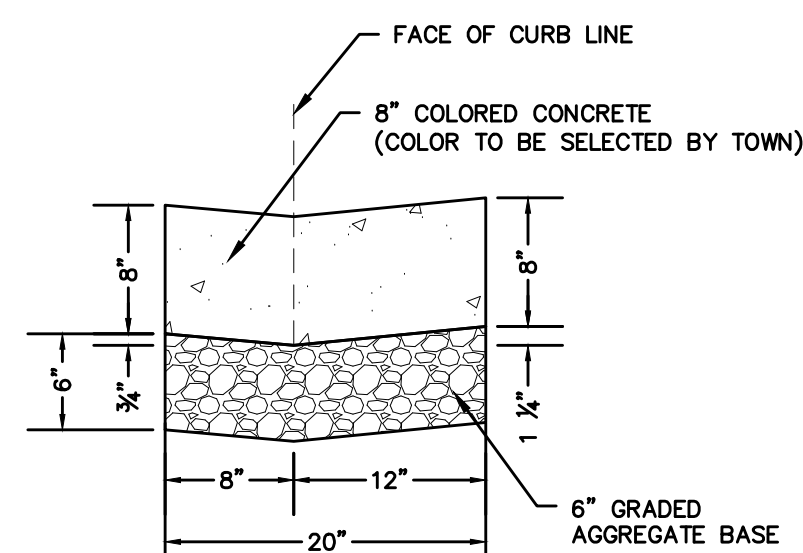
- MD SHA STANDARD PLATES ARE TO BE USED FOR MAINTENANCE OF TRAFFIC.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOT STANDARDS MD 104.00-01 THRU 104.06-25.
- NO WORK IS TO BEGIN UNTIL ALL ADVANCE WARNING SIGNS, DRUMS AND ARROW PANELS ARE IN PLACE AND OPERATIONAL.
- ADVANCED NOTIFICATION OF SIDEWALK CLOSURES SHALL BE PROVIDED. A BARRIER THAT IS DETECTABLE BY A PERSON WITH A VISUAL DISABILITY SHALL BE PLACED ACROSS THE FULL WIDTH OF THE CLOSED SIDEWALK.
- WHERE PEDESTRIANS ARE DIRECTED TO CROSS TO THE OPPOSITE SIDE OF THE ROADWAY, APPROPRIATE ADVANCED WARNING SIGNS SHOULD BE PLACED AT THE INTERSECTIONS RATHER THAN MID-BLOCK CROSSINGS.
- TRAFFIC CONTROL DEVICES AND OTHER CONSTRUCTION MATERIALS AND FEATURES SHALL NOT INTRUDE INTO THE USABLE WIDTH OF THE SIDEWALK, TEMPORARY OR OTHER PEDESTRIAN FACILITY.



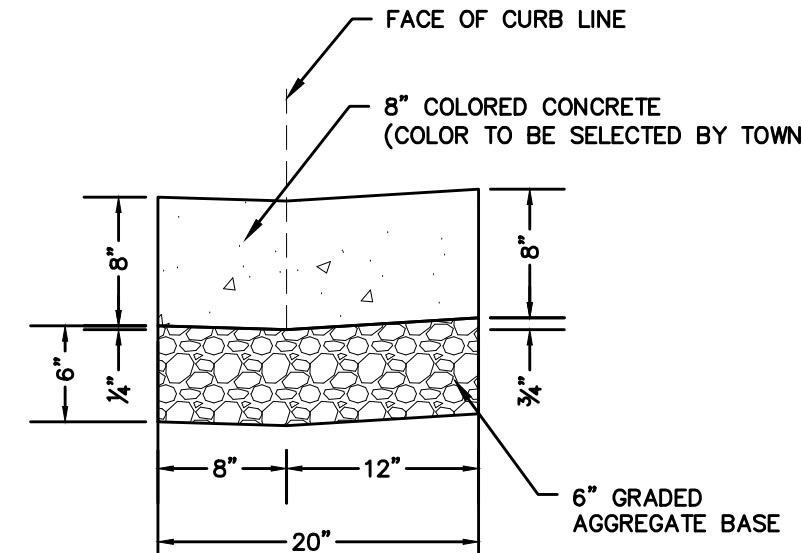
NOTES:

- REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS.
- EXPANSION JOINT MATERIAL SHALL BE PLACED AROUND POLES, AND HYDRANTS, ETC. WHEN THE SIDEWALK ABUTS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE.
- EXPANSION JOINT MATERIAL SHALL HAVE A MAXIMUM LONGITUDINAL SPACING OF 100 FEET. THE MATERIAL SHALL BE 1/2-INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING, TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH FS TT-S-00227.
- SCORE THE CONCRETE TO A DEPTH OF 1/3 THE SLAB THICKNESS TO PROVIDE WEAKENED PLANE TRAVERSE JOINTS AT 5'-0" INTERVALS, PARALLEL WITH AND PERPENDICULAR TO THE CURBING OR AS INDICATED ON THE SCORING PLAN.

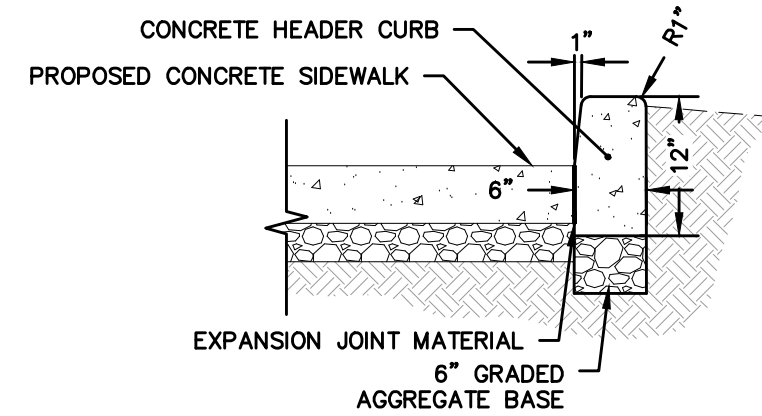
1 TYPICAL CONCRETE SIDEWALK DETAIL NOT TO SCALE



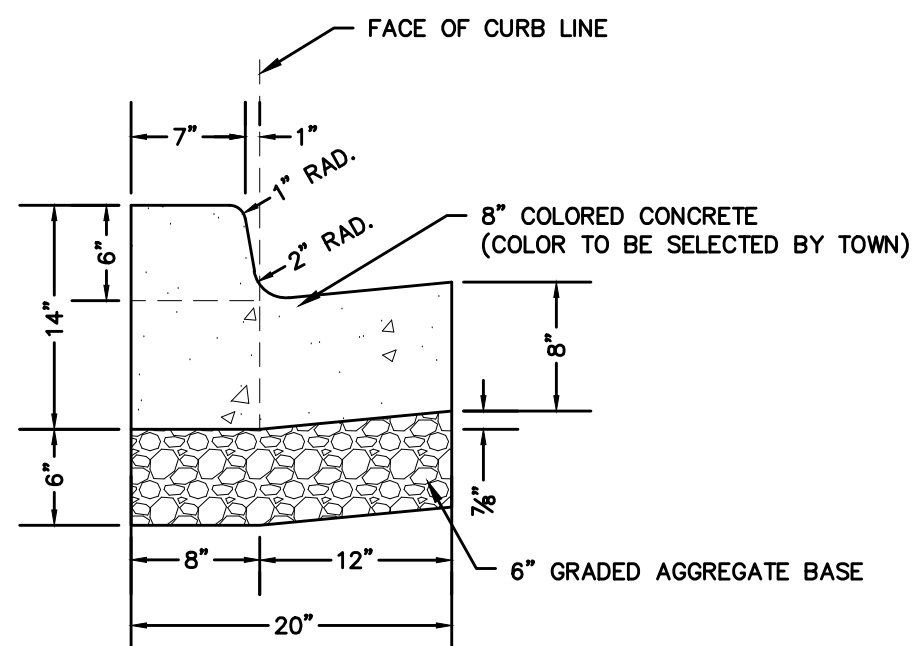
2 TYPICAL DEPRESSED CURB DETAIL NOT TO SCALE



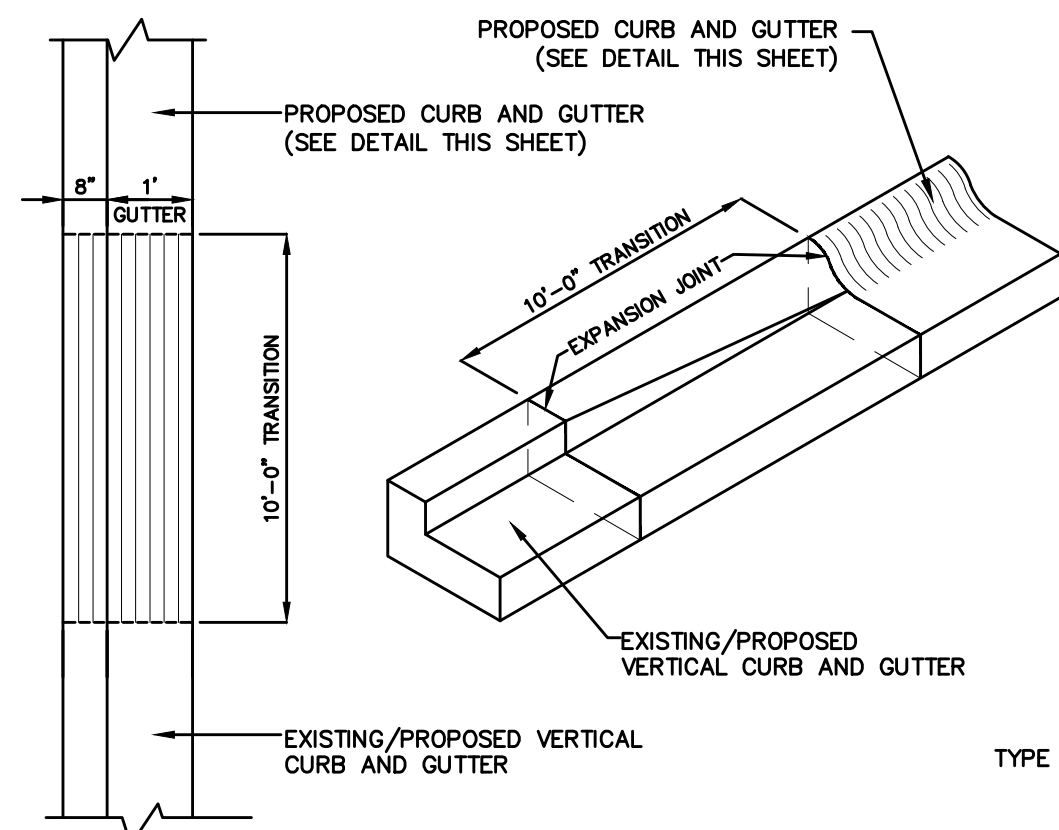
3 TYPICAL DEPRESSED CURB DETAIL (FOR USE AT ADA RAMPS) NOT TO SCALE



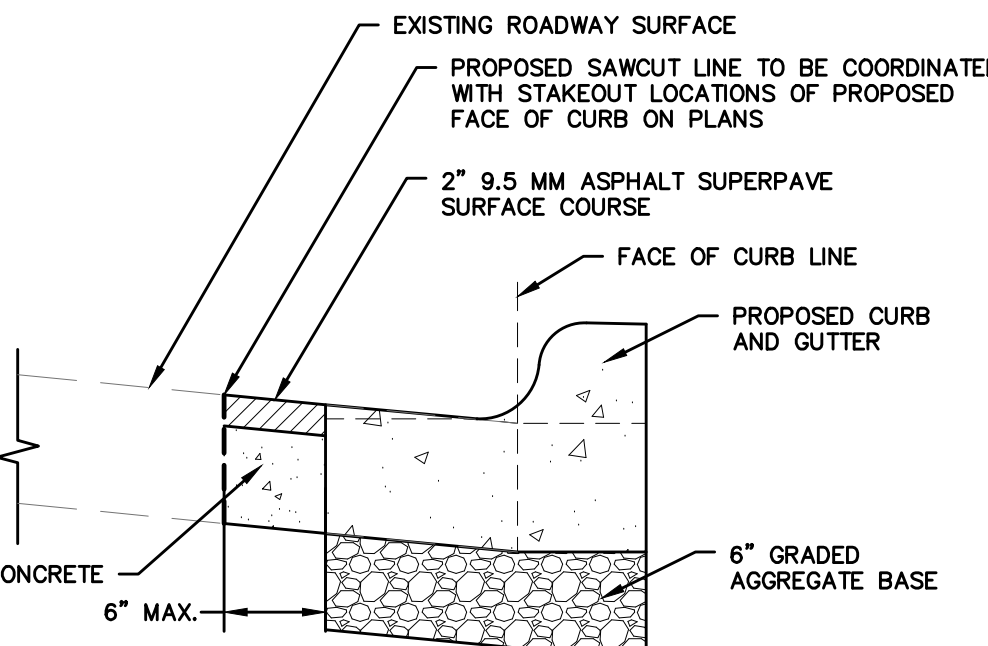
4 6" HEADER CURB DETAIL NOT TO SCALE



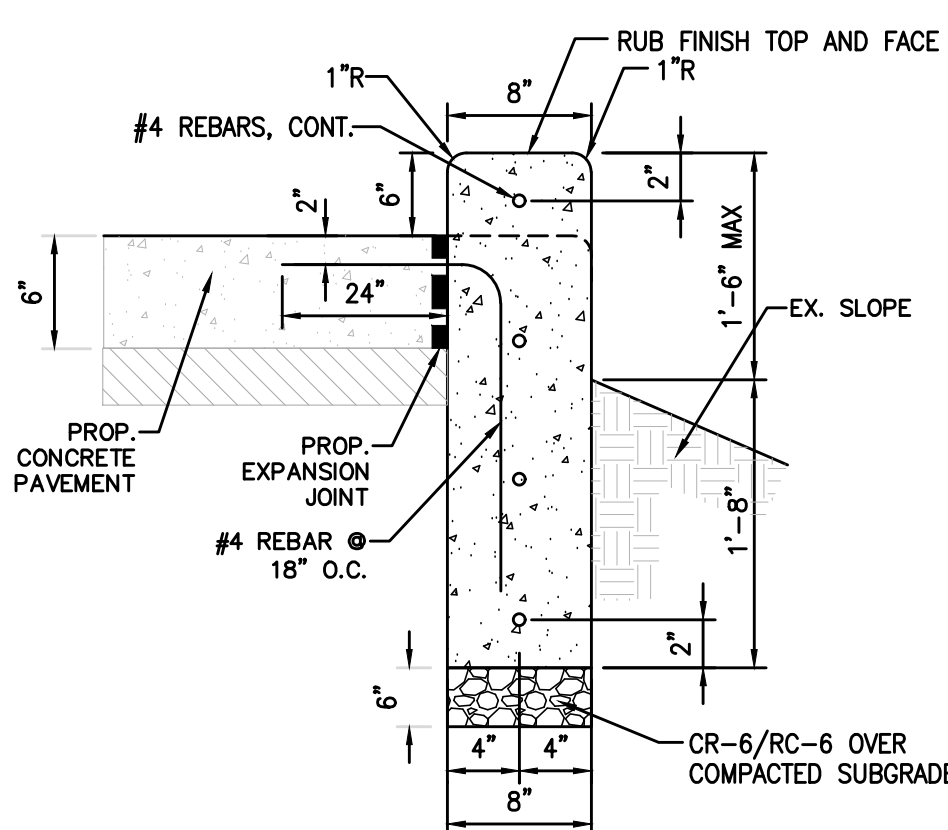
5 TYPICAL COMBINATION VERTICAL CURB AND GUTTER DETAIL NOT TO SCALE



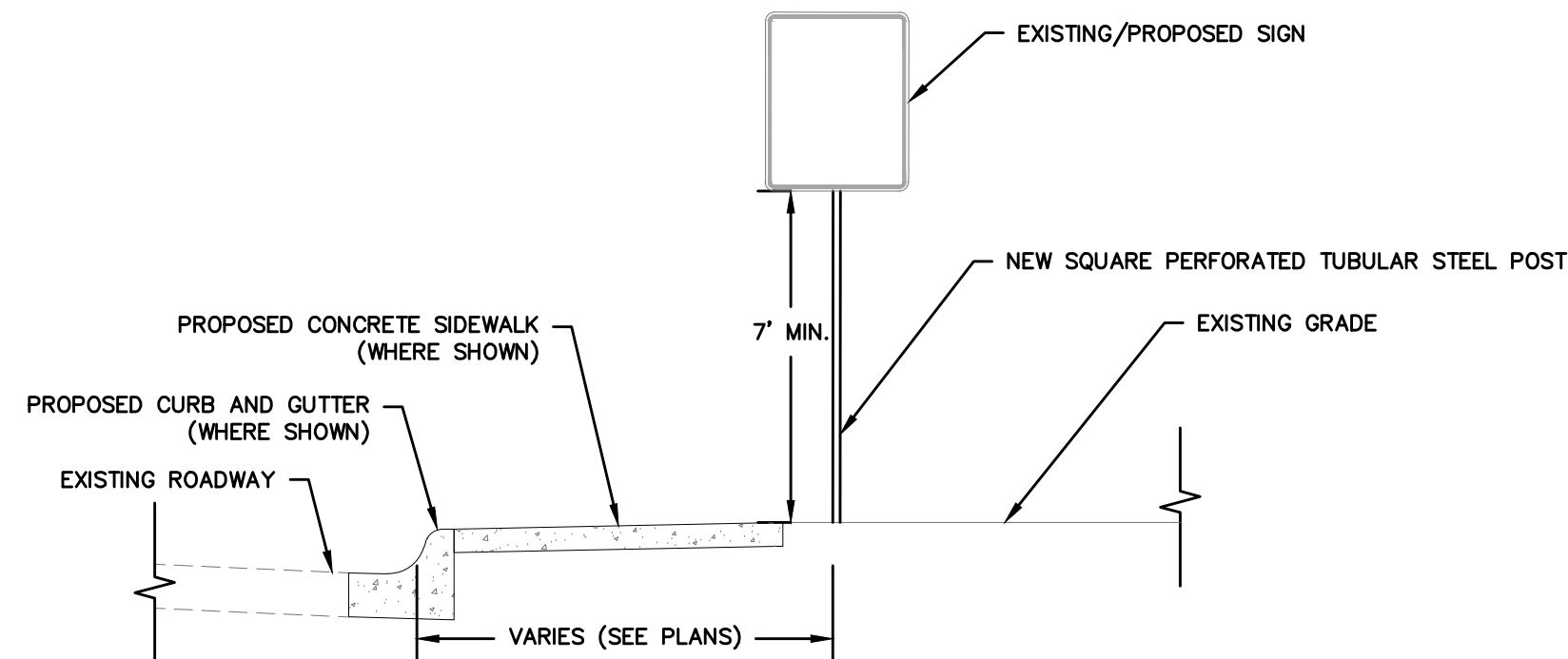
6 TYPICAL TRANSITION CURB DETAIL NOT TO SCALE



7 TYPICAL SAWCUT AND PAVEMENT PATCH DETAIL NOT TO SCALE

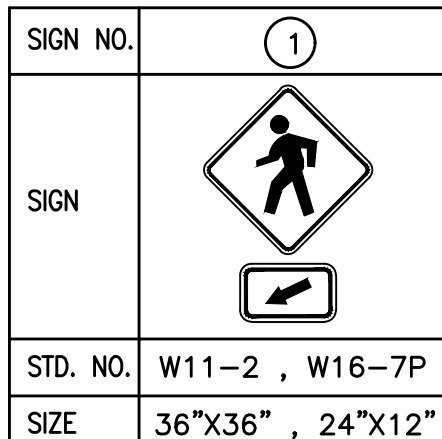


9 RETAINING WALL CURB NOT TO SCALE

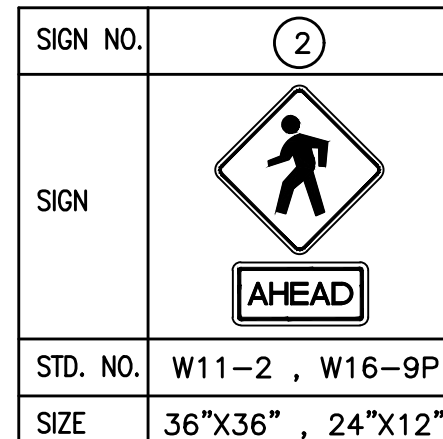


GENERAL NOTES:

- CONTRACTOR SHALL REFER TO SHA STD. NO'S MD-802.04 AND MD-813.02 FOR ALL SIGN CONSTRUCTION AND RELOCATION OF EXISTING SIGNS.
- CONTRACTOR SHALL FURNISH AND INSTALL THE NECESSARY ATTACHMENT HARDWARE TO ATTACH SIGNS TO THE PROPOSED SQUARE TUBULAR STEEL SIGN POST. THIS HARDWARE SHALL BE INCIDENTAL TO THE SQUARE PERFORATED TUBULAR STEEL SIGN POST ITEM.

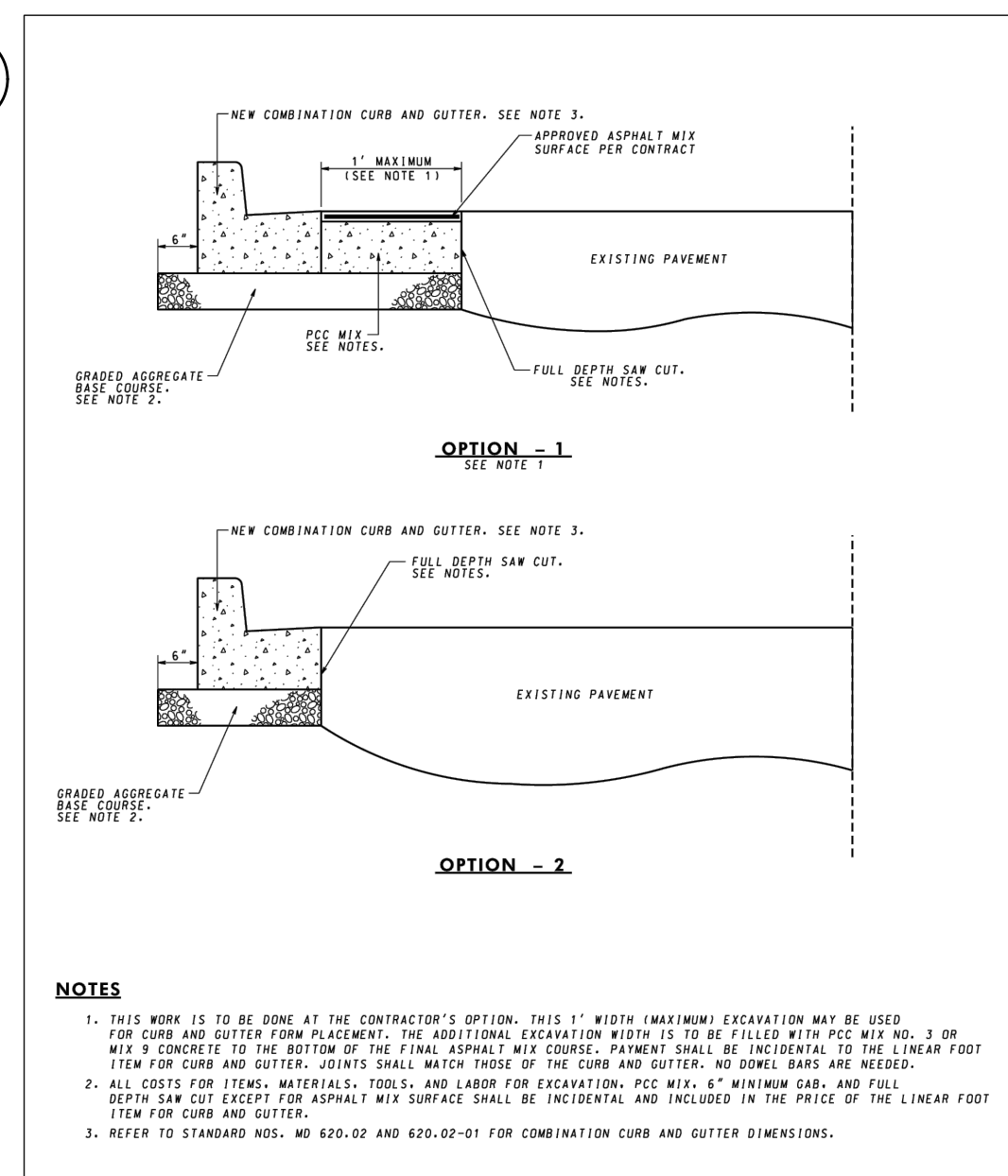


10 TYPICAL SIGN CONSTRUCTION/RELOCATION DETAIL NOT TO SCALE

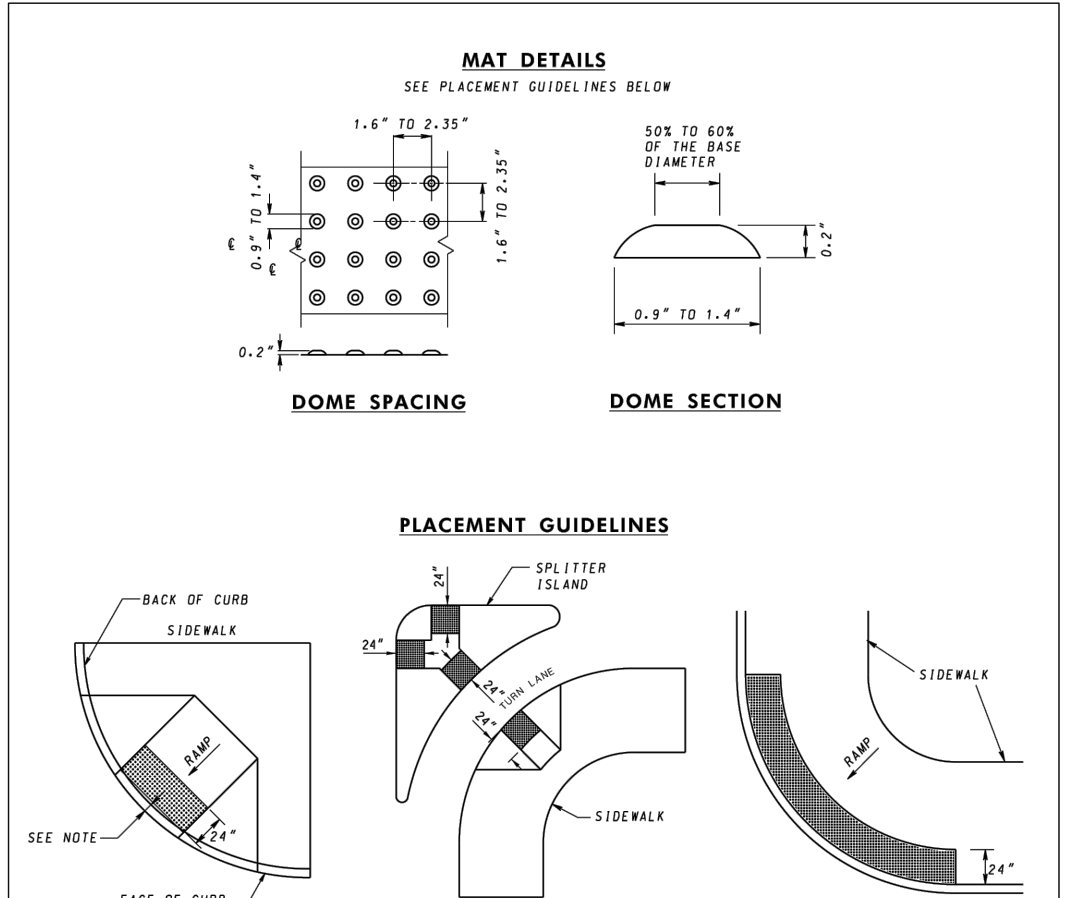


GENERAL SIGNING NOTES:

- ALL PROPOSED SIGNING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISIONS THERETO:
 - MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE MARYLAND STATE HIGHWAYS STANDARD SIGN BOOK.
 - THE MARYLAND STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
- PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS, AND TO COMPLY WITH STANDARDS REFERENCED IN NOTE 1.



SPECIFICATION	CATEGORY CODE ITEMS	STANDARD NO.	MD
611	611-1	MD 580.03	



- NOTES:**
- THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES FROM THE FACE OF CURB.
 - FOR SOME APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOME CLOSEST TO THE BACK OF CURB ARE NO LESS THAN 0.5\"/>
 - DETECTABLE WARNING SURFACES SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 611 OF THE SPECIFICATIONS.
 - DETECTABLE WARNING SURFACES ARE REQUIRED AT STREET CROSSING & SIGNALIZED INTERSECTIONS.

SPECIFICATION	CATEGORY CODE ITEMS	STANDARD NO.	MD
611	611-1	MD 655.40	

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 A Woman Owned Small Business

Professional Engineer
 JAMES M. CLARK
 License No. 11168
 State of Maryland
 7/31/2023

PROFESSIONAL CERTIFICATION:
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 11168
 EXPIRATION DATE: 01/12/2025

TOWN OF GARRETT PARK
SIDEWALK IMPROVEMENTS PROJECT
 TOWN OF GARRETT PARK
 PO BOX 84, 4600 WAVERLY AVENUE, 3RD FLOOR
 GARRETT PARK, MARYLAND 20896

NO.	DATE	DESCRIPTION

DATE: JULY 2023
 CAA PROJECT NO.: 205.021
 DRAWN BY: HMS
 CHECKED BY: JA
 SHEET TITLE

GENERAL NOTES AND DETAILS
SHEET
C-005



Town of
Garrett Park



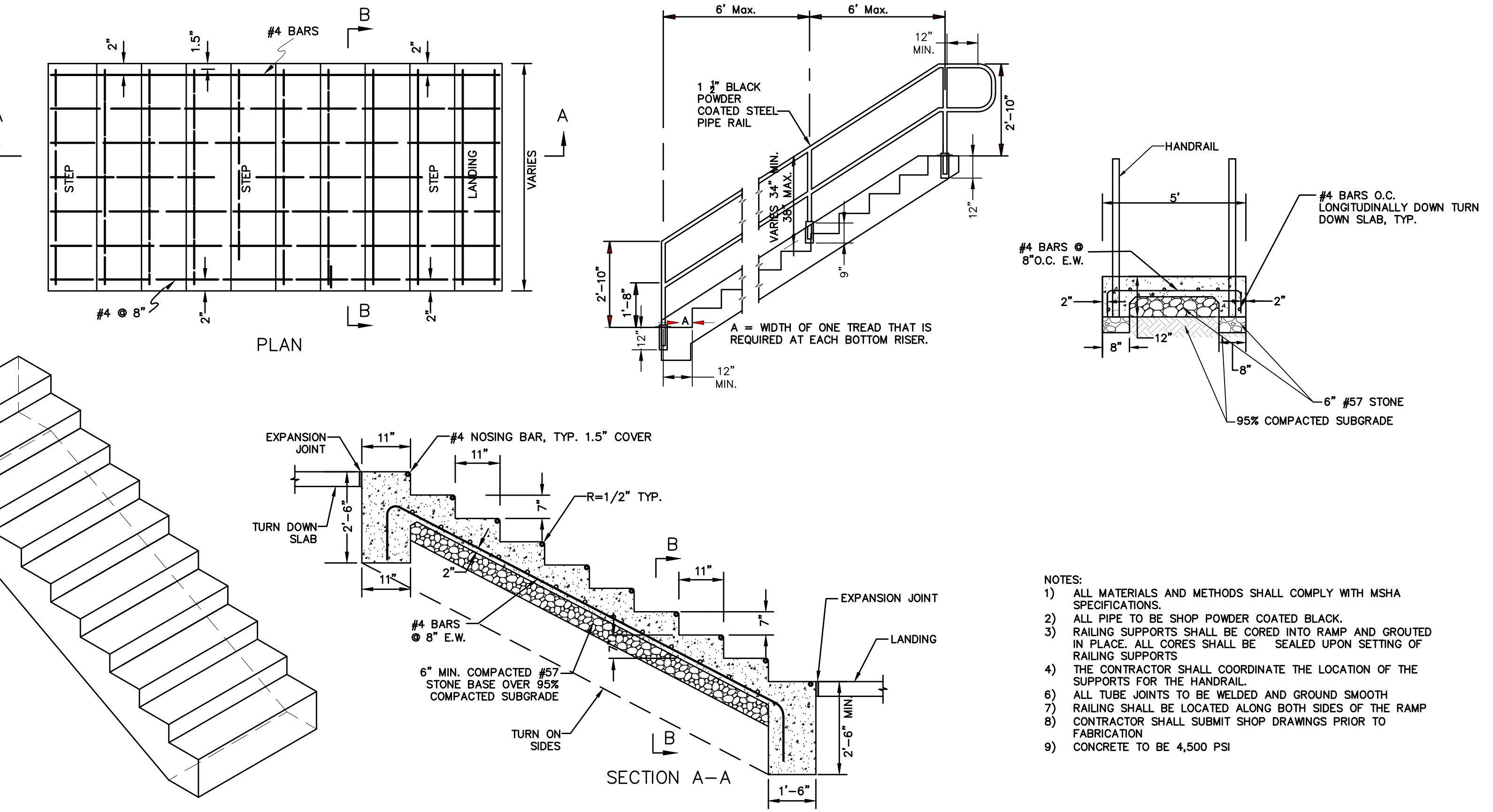
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LICENSE NO. 31168
EXPIRATION DATE: 01/12/2025



- NOTES:
- 1) ALL MATERIALS AND METHODS SHALL COMPLY WITH MSHA SPECIFICATIONS.
 - 2) ALL PIPE TO BE SHOP POWDER COATED BLACK.
 - 3) RAILING SUPPORTS SHALL BE CORED INTO RAMP AND GROUTED IN PLACE. ALL CORES SHALL BE SEALED UPON SETTING OF RAILING SUPPORTS.
 - 4) THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE SUPPORTS FOR THE HANDRAIL.
 - 5) ALL TUBE JOINTS TO BE WELDED AND GROUND SMOOTH.
 - 6) RAILING SHALL BE LOCATED ALONG BOTH SIDES OF THE RAMP.
 - 7) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
 - 8) CONCRETE TO BE 4,500 PSI.

1 CONCRETE STAIR DETAIL
NOT TO SCALE

**TOWN OF GARRETT PARK
SIDEWALK IMPROVEMENTS PROJECT**

TOWN OF GARRETT PARK
PO BOX 84, 4600 WAVERLY AVENUE, 3RD FLOOR
GARRETT PARK, MARYLAND 20896

NO.	DATE	DESCRIPTION

DATE: JULY 2023
 CAA PROJECT NO.: 205.021
 DRAWN BY: MS
 CHECKED BY: JA

SHEET TITLE
GENERAL NOTES AND DETAILS

SHEET
C-006