

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10301 Armory Avenue, Kensington	Meeting Date:	2/21/2024
Resource:	Primary Resource Kensington Historic District	Report Date:	2/14/2024
Applicant:	Alexis Gurganious McCarthy	Public Notice:	2/7/2024
Review:	HAWP	Tax Credit:	Partial
Permit Number:	1057271	Staff:	Chris Berger

PROPOSAL: New roof, new vent pipe and vents, new pad and HVAC installation

STAFF RECOMMENDATION

Staff recommends that Historic Preservation Commission (HPC) **approve** the HAWP application with final review and approval of all details delegated to staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary Resource within the Kensington Historic District
STYLE: Prairie/Four Square
DATE: Circa 1898

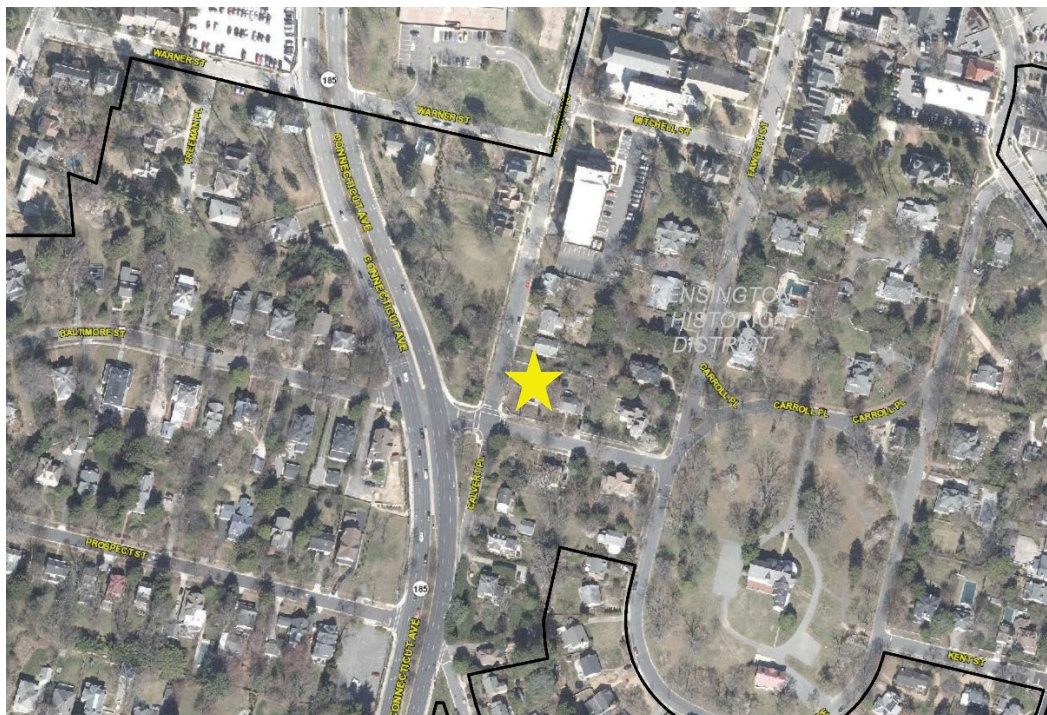


Figure 1: The subject property at 10301 Armory Ave. is denoted by the yellow star. It is located at the northeast corner of Armory Avenue and Baltimore Street near Connecticut Avenue. The black line is the boundary of the Kensington Historic District.

PROPOSAL

The applicant proposes to replace the existing three-tab shingles with a GAF Timberline architectural grade shingles. The roof will include hip and ridge cap shingles, drip edge, a pipe jack, and replacement of the damaged flashing. The applicant also proposes to install an HVAC system. Exterior components of the project will include a heat pump and a condensing unit that will be placed on a poly pad measuring 48-by-30 inches located in the rear yard between the rear porch and the cellar entry. The refrigerant lineset, drain hose, and power lines will extend from the units to the rear elevation of the house. They will be protected by plastic coverings that will form a T shape and extend from the ground to the roof line on the rear elevation and enter the house in three locations via four-inch diameter holes (*Figures 6 and 7*). The heat pump and condensing units will be within a security fence, so they will not be visible from the right of way.

The existing brick chimney will be reconstructed; however, that work item included in the HAWP application is considered in-kind replacement and not subject to an Historic Area Work Permit.

APPLICABLE GUIDELINES

Kensington Historic District Guidelines

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision of Kensington)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

The Amendment notes:

The district is architecturally significant as a collection of late 19th and early 20th Century houses exhibiting a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake and Colonial Revival. The houses share a uniformity of scale, set backs and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of

the district while allowing for appropriate growth and change.

Montgomery County Code Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a Primary Resource in the Kensington Master Plan Historic District. The site features a Four Square dwelling with Prairie-styled details constructed circa 1898. The house is located on the northeast corner of Armory Avenue and Baltimore Street near Connecticut Avenue. The applicant proposes to: 1) replace the roof and 2) install an HVAC system.

1. Replace the Roof

Staff finds the roof replacement and associated installation of hip and ridge cap shingles, a drip edge, a pipe jack, and replacement of the damaged flashing meets the applicable regulations and recommends approval. The existing roof shingles appear to be three tab and in need replacement. The shingles are

critical to the building's ongoing maintenance, and the proposed GAF Timberline architectural grade shingles will be an upgrade. Staff regularly consults with property owners for the in-kind replacement of asphalt shingle roofs and approves HAWPs for the replacement of three-tab asphalt shingles with architectural grade asphalt shingles. This work will qualify for the County's rehabilitation tax credit.



Figure 2. This photo provided by the applicant shows the roof's existing three-tab shingles to be replaced.

2. Install HVAC system

Staff finds the HVAC system installation meets the applicable regulations and recommends approval. All the alterations will be located in the rear yard and will be minimally visible from the right of way. The applicant has demonstrated a willingness to minimize the visual impact of the lines to be installed on the rear elevation by proposing to paint the plastic coverings that will go over the refrigerant lineset, drain hose, and power lines.

The work meets the *Amendment* because the proposed project will not negatively affect the district's sense of time and place as a Victorian-era garden suburb. The project meets the *Vision of Kensington* because the addition of a modern heating and cooling system to the building will both maintain the character of the district while allowing for appropriate growth and change. In conformance with Chapter 24A-8(b)(1), the HVAC system will not substantially alter the exterior features of the historic resource. The project will require minimal alteration of the building in order to bore the four-inch wide holes and affix the plastic coverings to the rear elevation. The heat pump, condensing unit, and pad will be located in the rear yard out of view. Further, in accordance with Chapter 24A-8(b)(2), because the work will be out of view from the right of way it will be compatible with the character and nature of the features of the historic district. The project also meets the *Standards* because the historic character of the property will be retained and preserved; the exterior alterations will not destroy historic materials that characterize a property; and the alterations will be undertaken in a manner so that if removed in the future the essential form and integrity of the historic property and its environment will be unimpaired.

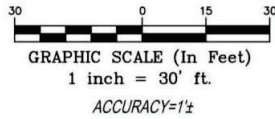
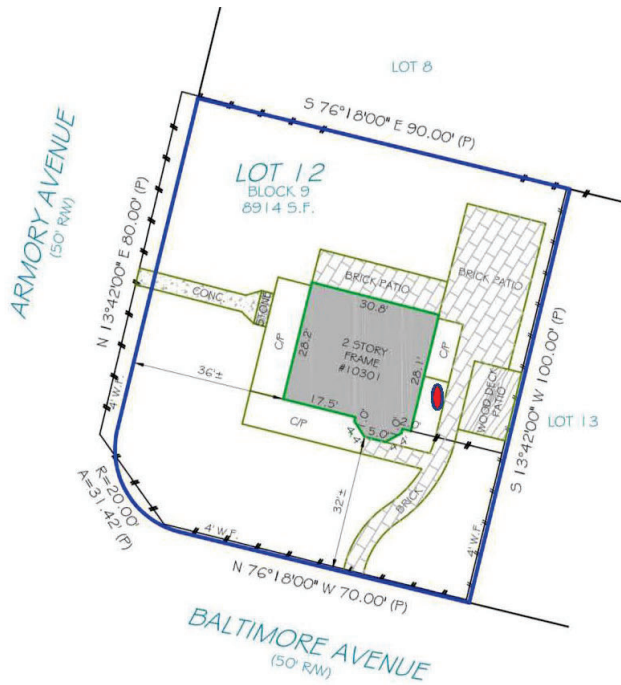


Figure 3. The applicant provided this site plan to show the proposed location of the pad holding the heat pump and condensing unit in the rear yard, indicated with a red oval.



Figure 4. The applicant provided this diagram to show the location of the pad holding the heat pump and condensing unit in the rear yard.

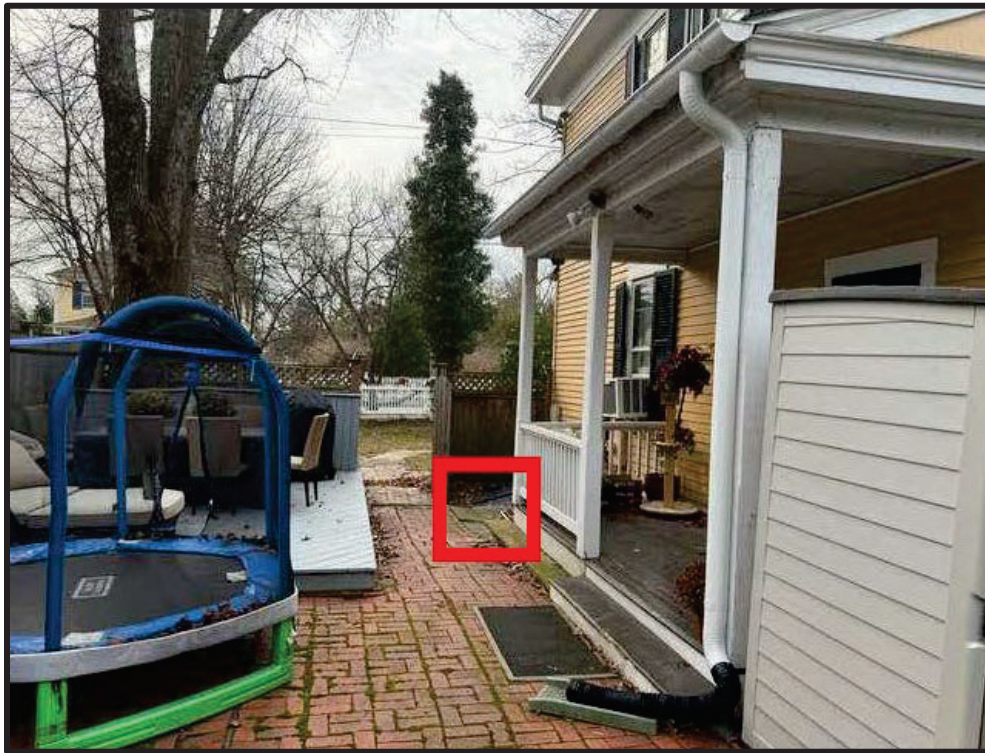


Figure 5. The applicant provided this diagram to show the location of the pad holding the heat pump and condensing unit in the rear yard enclosed by a security fence.

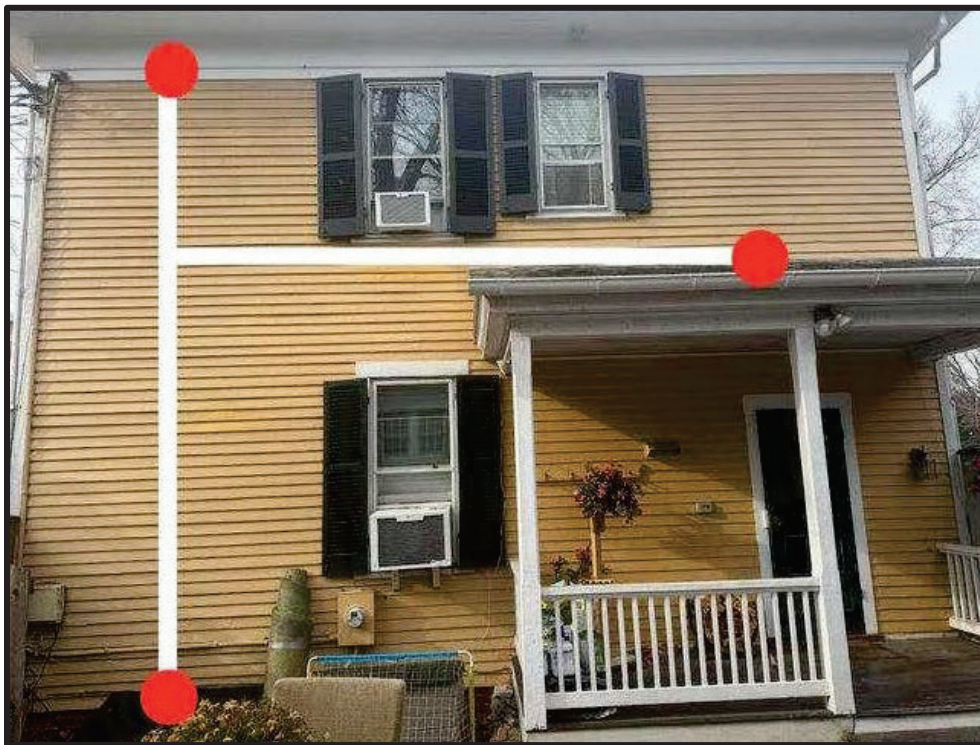


Figure 6. This diagram provided by the applicant shows the locations, indicated with red circles, on the rear elevation where four-inch diameter holes will be drilled into the wall for the refrigerant lineset, drain hose, and power lines.



Figure 7. This representative photo provide by the applicant shows the plastic covering that will installed on the rear elevation to house the refrigerant lineset. It will be painted to match the color of the house.

After full and fair consideration of the applicant's submission, staff finds the proposal consistent with the Criteria for Issuance in Chapter 24A-8(b)(1) and (2) and Chapter 24A-8(d), having found the proposal is consistent with the *Amendment, Vision of Kensington*, and *Secretary of the Interior's Standards for Rehabilitation* # 2, 9, and 10.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Vision of Kensington*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: Alexis Gurganious McCarthy
Address: 10301 Armory Ave
Daytime Phone: 8654383251

E-mail: alexisgurganious@gmail.com
City: Kensington Zip: 20895
Tax Account No.: 01020242

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:

E-mail:
City: Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? X Yes/District Name Historic Kensington Park
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:
Town/City: Nearest Cross Street:
Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other: HVAC, Chimney

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alex S

1/29/2024

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
10301 Armory Avenue
Kensington, MD 20895

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Philip Karasik
10305 Armory Avenue
Kensington MD 20895

Lauren & Todd Holtzaple
3807 Baltimore Street
Kensington, MD 20895

Bret & Cathy Gates
3806 Baltimore Street
Kensington, MD 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

This two-story, yellow Victorian with cedar siding and square in shape, was constructed in 1898. It features regularly spaced double-hung sash windows with shutters on the first and second floors and a wraparound porch. There is also a small porch and deck in the rear.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Chimney Repair - the original chimney masonry is worn, so the chimney will be repaired using original materials.

New Roof - the home is in need of a new roof and will use similar materials.

New HVAC - Inside, ducted HVAC will be installed in the attic to heat and cool the second floor. Ductless mini splits will be installed on the first floor. Outside, HVAC system will be installed in the back of the home and not visible from the street.

Work Item 1: Chimney Masonry

Description of Current Condition:

The original chimney's mortar crown is damaged with multiple cracks. The top brick rows from the roofline up are also loose with damaged mortar joints that are allowing excessive moisture to seep into the bricks and brick joints. This excessive moisture will freeze in colder weather conditions and break apart the mortar joints and brick rows.

Proposed Work:

To repair the chimney, place ladders and two stage scaffolding to reach the chimney top. Remove the damaged mortar crown and all the bricks rows from the roofline up. Rebuild the chimney from the roofline up using original bricks and mortar to match as close as possible to the original color and dimensions. Clean up all work debris from the job site. This will repair damage, maintain the original appearance of the chimney, and preserve the historic character.

Work Item 2: New Roof

Description of Current Condition:

The current shingle roof is showing signs of wear and is in need of replacement

Proposed Work:

Tear off, haul and dispose of laminated shingles
Install GAF Timberline shingles
Install GAF Hip / Ridge Cap shingles
Remove existing paper 15lb roofing felt and replace with synthetic roofing underlayment
Install GAF asphalt starter course
Install ice and water barrier per IRC Code 905.1.2
Remove and replace drip edge
Remove and replace pipe jack
Remove and replace all damaged flashing (step-flashing, counter flashing, apron flashing, etc.)

Work Item 3: New HVAC

Description of Current Condition:

The home does not currently have an HVAC system, so a brand new HVAC system will be installed along the perimeter floor of the attic to heat and cool the second floor, while mini splits will be installed to heat and cool the first floor.

Proposed Work:

- Ducted attic system: New outdoor heat pump unit will be placed on a poly pad. The fan coil unit will be horizontal in the attic space and will be fully equipped with all necessary safeties and emergency drain pan. All duct work will be in the attic space, on the outside perimeter of the space and will be properly sized, sealed and insulated. All supply registers will be in the ceiling of each room near exterior windows. Quantity of registers per room will depend on size of the room. The return will be in the hallway ceiling on the second floor.

- Ductless mini-splits: New outdoor heat pump condensing unit will be placed on a new poly pad and pump ups. The fan coil unit will be mounted on the exterior wall in the back room on the main level and the exterior wall in the kitchen. The copper refrigerant line set complete with communication wire and drain will be routed directly out to the outside of the home and over to the heat pump unit's location. The fan coil's operation will be controlled by remote.

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #1 – Chimney Masonry**



1. Side View



2. Front View

Kensington Mayor's House
10301 Armory Ave Kensington, MD 20895
Work Item #2 – New Roof



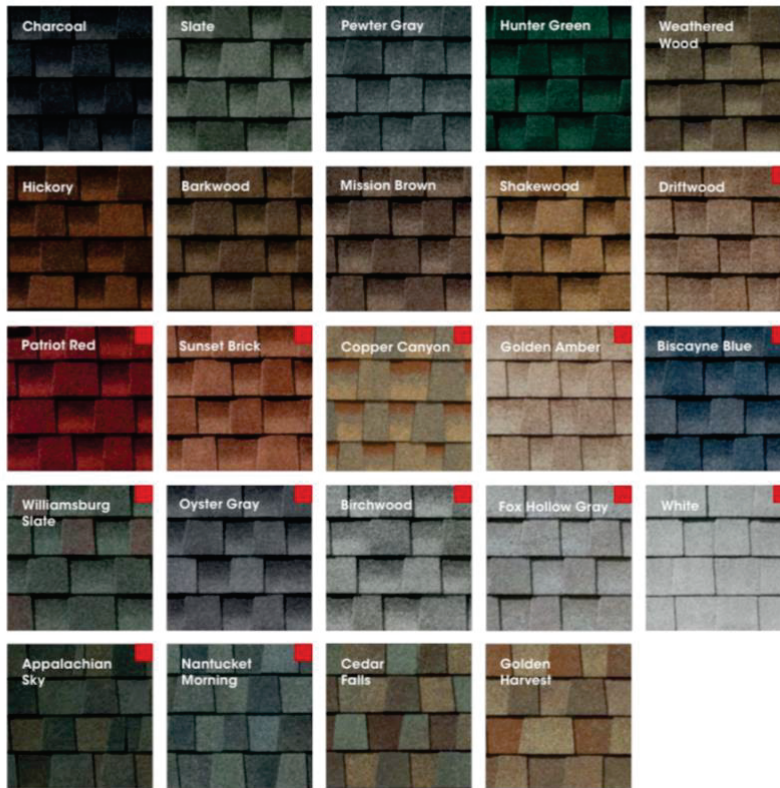
Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #2 – New Roof (cont.)



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 High Definition® Lifetime® Shingles



Now with GAF Time-Release Algae-Fighting Technology and LayerLock® Technology, Timberline HDZ® offers everything you can expect from an architectural shingle roof, and more.



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¹15-year WindProven® limited wind warranty on GAF Shingles with LayerLock® Technology requires the use of GAF Starter Shingles, Roof Deck Protection, Ridge Cap Shingles, and Leak Barrier or Attic Ventilation. See GAF Roofing System Limited Warranty for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the GAF Roofing System Limited Warranty, see the GAF Shingle & Accessory Limited Warranty.

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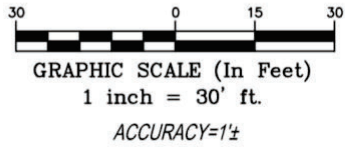
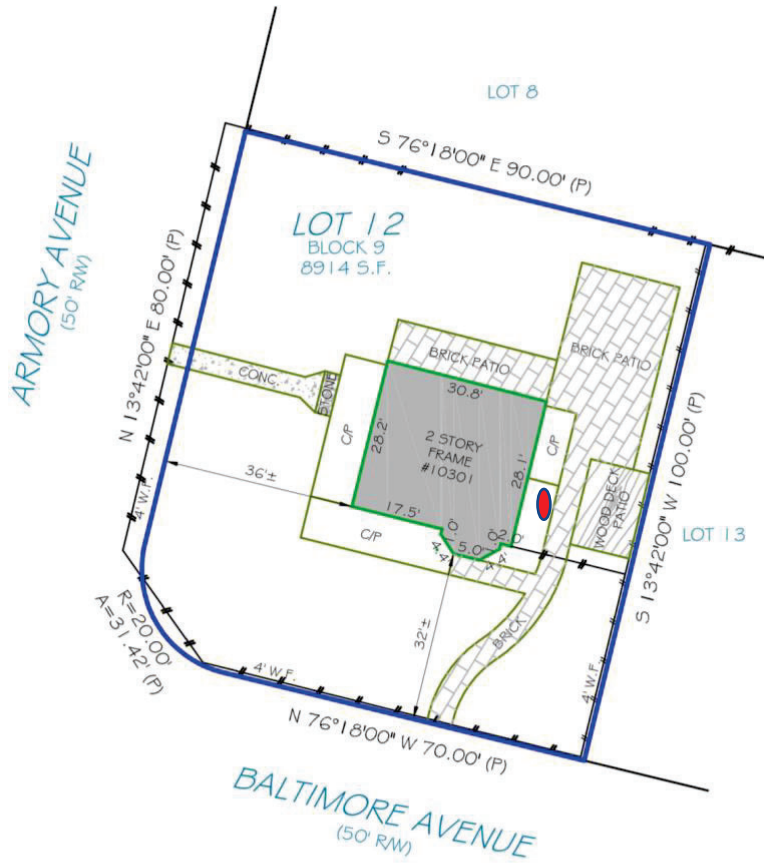
NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Available regionally

Timberline® Shingles LRS

Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #3– New HVAC

Red oval – where the HVAC system will be placed in the backyard.



Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #3– New HVAC (cont.)



Alternative view of backyard; HVAC would be concealed behind gated fence.

**Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #3– New HVAC (cont.)**



Size of concrete pad: 48 Inches (L) x 30 Inches (wide)

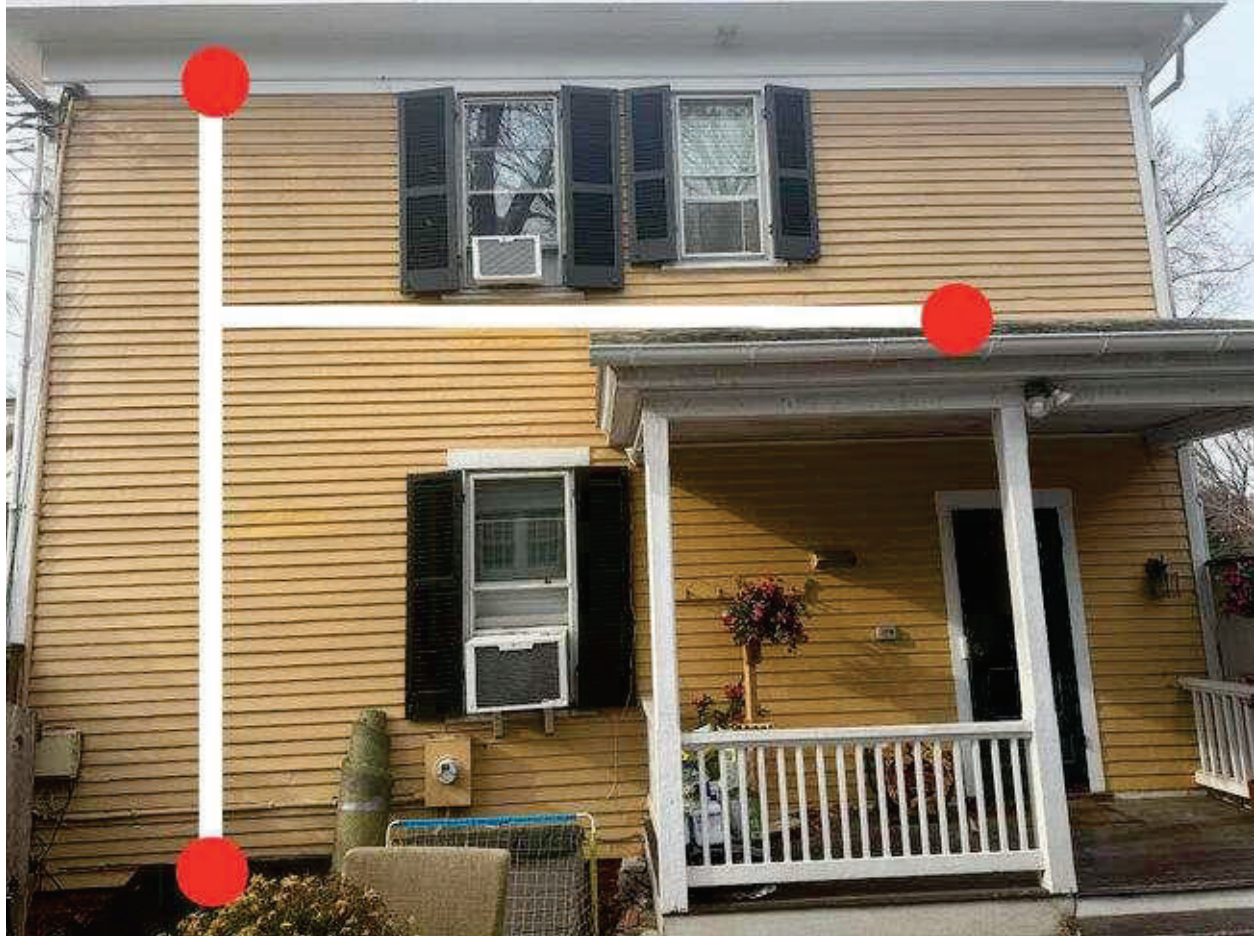
Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #3– New HVAC (cont.)



Size of outdoor units:

- Upstairs condenser (27Hx30Lx30 Wide)
- Mini Split (22Hx27Wx12D)

**Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #3– New HVAC (cont.)**



Refrigerant lineset, drain hose and power lines covered by a plastic enclosure. Company will enter the house in three different areas with 4 inch diameter holes, represented by the red circles. These holes will be concealed by a small plastic covering.

**Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #3– New HVAC (cont.)**



Sample plastic covering that would be used. It would be painted yellow to match the house.

Historic Area Work Permit
10301 Armory Ave Kensington, MD 20895
Work Item #3– New HVAC (cont.)



Sample photo of the AC units

From: [Berger, Chris](#)
To: [Alexis Gurganious](#)
Subject: RE: 10301 Armory Avenue, Kensington (HAWP #1057271)
Date: Monday, February 5, 2024 6:47:00 PM

Alexis,

Thank you for catching the error in the subject line. I corrected it.

A poly HVAC pad is fine. I just wanted to know which material you planned to use. Thank you for confirming the area where the pad will be located is large enough.

For the fan coil unit, you wrote on the application under New HVAC, Proposed Work: "The fan coil unit will be mounted on the exterior wall in the back room on the main level and the exterior wall in the kitchen." I'll include your email response as proof the coils will be inside.

We expect your Historic Area Work Permit to be approved on the Historic Preservation Commission's consent agenda in which case a presentation would not be needed. I'll reach out on February 20 to confirm.

Chris Berger, AICP

Cultural Resources Planner III

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

Chris.Berger@montgomeryplanning.org

Office: 301-495-4571

From: Alexis Gurganious <alexisgurganious@gmail.com>
Sent: Monday, February 5, 2024 4:27 PM
To: Berger, Chris <Chris.Berger@montgomeryplanning.org>
Subject: Re: 6905 Laurel Avenue, Takoma Park (HAWP #1057051)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Chris,

Thanks for your response.

Just to confirm, you are referencing 10301 Armory Ave, Kensington, MD 20895, correct? I know the subject line mentions Takoma Park so just want to be sure.

- Thanks for flagging the pad material. I initially received two quotes -- one that would use concrete and one that would use a poly pad -- so I was open to either. However, in doing my own independent research, it sounds like the poly pad is preferred. Does choosing the poly pad impact approval?

The heat pump is approximately 30"X30"X30" and the mini split is approximately 18"X30"X30". In talking to my contractor, there is a ducted coil on the inside units, but not on the exterior units. A photo of the proposed unit can be found on page 10 attached. On the exterior, there will only be three small entry points into the home, outlined on page 8 attached. Please let me know if I misunderstood your question.

- As noted in the photos attached, the current stone area between the porch, basement cellar, and window well is 6 feet (72 in) long and 5 feet (60 in) wide.

Thanks,
Alexis

On Mon, Feb 5, 2024 at 2:34 PM Berger, Chris <Chris.Berger@montgomeryplanning.org> wrote:

Hello,

I have been assigned to review your application to repair the chimney, install a new roof, and install an HVAC unit. The work is tentatively scheduled to be reviewed by the Historic Preservation Commission at its February 21 meeting. We do not have concerns about any of your work items, but we do need the following additional information and clarifications:

- For the New HVAC, under proposed work, you wrote on the project description that the heat pump units will be on a poly pad, but the photo and diagram says they will be on a 48-by-30 inch concrete pad. Please clarify the pad material.
- Please show the location of the proposed fan coil unit on the exterior wall and provide the unit's approximate dimensions. A specification sheet for the unit or representative photo would also be helpful.
- The proposed concrete pad size is described as 48 inches long on the diagram. Please double check that measurement and confirm there is enough space between the porch and cellar door to fit 48-inch long pad. (It may the stones and board in the photos provided that makes the area appear smaller than reality.) Also provide the distance of the pad from the nearby basement window well.

If you could get this information back to me by this Wednesday, February 7, we will remain on track for the February 21 meeting.

Chris Berger, AICP

Cultural Resources Planner III

Montgomery County Planning Department

2425 Reedy Drive, 13th Floor, Wheaton, MD 20902

Chris.Berger@montgomeryplanning.org

Office: 301-495-4571



