

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|---|-----------------------|---------------|
| Address: | 43 W. Lenox Street, Chevy Chase | Meeting Date: | 2/21/2024 |
| Resource: | Contributing Resource Chevy Chase Village Historic District | Report Date: | 2/14/2024 |
| Applicant: | Drew Cantor Mark Kramer, Architect | Public Notice: | 2/7/2024 |
| Review: | Historic Area Work Permit | Tax Credit: | n/a |
| Case Number: | 1057144 | Staff: | Dan Bruechert |
| Proposal: | New Construction, Fenestration Alteration, Skylights, Recladding Addition, New HVAC screening, and New Deck | | |

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP with **six (6) conditions:**

1. Specifications for the decking and railing material and the railing design that is millable, has a uniform finish, and is paintable shall be submitted to Staff for review. Final approval authority to ensure the proposed decking is compatible with the character of the house and surrounding district is delegated to Staff;
2. A final shingle specification for either an architectural or three-tab shingle shall be submitted to Staff for review and approval before final issuance of the HAWP.
3. Windows specifications showing a simulated divided light with a spacer bar shall be submitted to Staff prior to the issuance of the HAWP. Final approval authority to ensure this condition has been satisfied is delegated to Staff. A proposal for an alternate window configuration needs to be submitted as an amendment to this HAWP for consideration at a future HPC meeting.
4. Detailed specifications for the garage door shall be submitted to Staff for review and approval prior to the issuance of the HAWP. Final approval authority for the replacement garage door is delegated to Staff.
5. Specifications for a second-floor railing consistent in design and materials with Condition 1 shall be submitted for review and approval before issuance of the HAWP. Final approval authority for the railing material and design is delegated to Staff.
6. Detailed material and design specifications for the HVAC screening shall be submitted to Staff for review and approval before issuance of the HAWP. Final approval authority for the HVAC screening is delegated to Staff.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1918



Figure 1: The subject property is in the northwest corner of the historic district and backs up to the golf course.

PROPOSAL

The applicant proposes to construct a mudroom addition at the rear, reconstruct and expand the existing rear deck, replace several rear windows and doors, and rebuilding the roof on an existing addition and installing skylights. The applicant additionally proposes to install new siding on the rear addition and construct HVAC screening.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
 - Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
 - Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Exterior trim on Outstanding resources should be subject to strict scrutiny if it is visible from the public right-of-way.
 - Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated.
 - Skylights should be subject to strict scrutiny if visible from the public right-of-way, otherwise they should be subject to lenient scrutiny.
 - Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.
- The *Guidelines* state five basic policies that should be adhered to, including:
 - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
 - Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
 - Maintaining the variety of architectural styles and the tradition of architectural excellence.
 - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
 - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The house at the subject property is a side gable Colonial Revival house with clapboard siding and a slate roof. The house has non-historic additions on the right side and at the rear. The applicant proposes a number of work items at the rear of the house including:

- Constructing a small mud room addition;
- Constructing an expanded deck;
- Replacing several of the rear window and doors;
- Rebuilding the roof over the rear addition and installing skylights;
- Re-cladding the non-historic rear addition; and
- Constructing screening around the HVAC units under the proposed deck.

Staff finds the proposed changes will not have a significant impact on the character of the site or surrounding district and recommends the HPC approve the HAWP with the identified conditions.

Mud Room Addition

In the northeast corner of the non-historic addition, the applicant proposes to construct a small (60 ft²) mudroom. The proposed mudroom will be covered in clapboard siding, to match the house, with a single aluminum-clad French Door with a skylight. The small shed roof will have a skylight. A roof material specification is not identified in the submitted application materials.

Staff finds the proposed mudroom will not be at all visible from the public right-of-way, and, per the *Design Guidelines*, is to be subject to a very lenient review. Staff finds the proposed construction will not impact the character or historic fabric of the subject property as it will be constructed over existing decking. Staff further finds the proposed simple design and materials, including wood siding, and aluminum-clad door are compatible with the character of the historic building and recommends the HPC approve the mudroom under 24A-8(b)(2) and (d); the *Design Guidelines*; and Standards 2, 9, and 10.

Staff finds either a slate or asphalt shingle would be appropriate for the proposed mudroom and recommends the HPC require the applicant to submit the proposed roofing material to Staff to review and approve before issuance of the HAWP. Staff recommends the HPC delegate final approval authority to ensure the roofing is compatible with the character of the house to Staff.

Deck Expansion

The applicant proposes extending the deck on the north side of the non-historic addition. The deck expansion will be approximately 300 ft² (three hundred square feet) and will not be at all visible from the public right-of-way. The proposed decking will be Trex, however, the applicant did not provide a specification for which product by Trex is proposed. No detail or material for the code-compliant railing was submitted. Staff notes the floor plan notation is for a “Traditional White Railing,” but Staff does not find that to be sufficient detail to evaluate the proposal. The deck structure will be wood.

Staff finds the size and placement of the proposed decking to be appropriate and will not detract from the character of the site or surrounding district. Staff, however, cannot determine the appropriateness of the decking material or railing even under lenient scrutiny, as proscribed by the *Design Guidelines*. Regardless, Staff does not find Trex to be a compatible decking or railing material in the Chevy Chase Village Historic District. While wood is the preferred material, because the proposed deck is adjacent to non-historic construction, Staff finds that a substitute material may be acceptable. If the applicant wishes to pursue a substitute material it needs to be millable, with a uniform (not mottled) finish, that is paintable. Staff recommends that the HPC delegate final approval authority for the rear decking and railing to Staff to ensure the material is either wood or in conformance with the identified criteria discussed above before issuance of the HAWP

Staff also notes that the applicant proposes to replace the remainder of the existing rear deck over a new structure with Trex in dimensions that match the existing. The current decking material is not identified either on the submitted plans or in photographs. This is not considered a replacement in-kind and a material change requires an approved HAWP. Staff recommends the HPC extend the recommended condition, discussed above, extend to the replacement decking for the deck in the northeast corner of the house.



Figure 2: There is currently no deck to the rear of the existing non-historic addition.

Rear Fenestration Replacement

The applicant proposes to remove and replace much of the fenestration at the rear of the house. The existing fenestration is a mix of aluminum framed windows and doors and multi-light wood-clad doors (see *Figure 3* below). On the rear elevation, the applicant proposes to remove all of the openings on the basement and first floor and convert a window assembly to a pair of French doors on the second floor. The applicant also proposes to remove the existing garage door and reduce the size of the opening on the left side. On the right elevation, the applicant proposes to reconfigure a non-historic window opening and a first-floor pair of French Doors. Aside from the garage door, which Staff has been unable to verify, none of the identified openings are historic and will not be visible from the public right-of-way. All new windows and doors on the rear will be multi-light Pell Lifestyle aluminum-clad wood casement windows and multilight French Doors.

finds, even under a lenient scrutiny review, that this appearance is not compatible with the character of the house or surrounding district. The appearance of the glazing with grilles between the glass is too flat to be a compatible substitute for multi-light windows and doors. Staff recommends the HPC condition the approval of this HAWP to require the replacement windows and doors have what Pella calls “simulated Divided Light with spacer.” These detailed specifications need to be submitted and reviewed prior to issuance of the HAWP. Final approval authority to ensure the windows have satisfied this condition can be delegated to Staff.



Figure 5: Grille profile options from Pella, Staff recommends the HPC require simulated divided light with spacer (circled) instead of the proposed grilles between the glass (far left).

Staff also notes that a specification for the replacement garage door was not provided with the application materials. Because this door is to be reviewed under lenient scrutiny and because so many styles and door materials are appropriate, Staff recommends the HPC delegate final approval authority for a compatible replacement garage door to Staff for final review and approval.

Roof Reconstruction and Skylight Installation

At the rear of the house, the applicant proposes to remove the existing shed roof over the non-historic addition and reconstruct it with a minor modification for a second-story deck. The reconstructed roof will include skylights. A shingle specification was not provided with the submitted material.

Staff finds that the proposal to replace the existing roof is driven by material failure and finds that its replacement will virtually match the existing. Staff finds skylights on the rear are to be reviewed under lenient scrutiny and will not have a significant impact on the character of the house.

Staff recommends two additional conditions related to the proposed rear addition roof. First, Staff notes that a roofing specification was not provided with the submitted materials. Because Staff finds either an architectural shingle or three-tab shingles would be appropriate, Staff recommends the HPC delegate final approval authority to Staff to verify an appropriate shingle be submitted with the final material specifications. The second condition is related to the railing for the proposed second-story deck. The drawing notes the railing will be Trex but does not identify a specific line or design. Staff cannot provide any feedback on the design and does not find Trex to be a compatible material and recommends the HPC delegate final approval authority to Staff to ensure the final railing is a compatible design and material. This railing needs to satisfy the requirements of the condition for the deck railing discussed above.

Other Work

Staff identified two other work items not identified in the application narrative or description of work. First, the applicant proposes to install new clapboard siding on the non-historic addition that matches the existing historic house cladding. Staff finds this change will not be visible from the public right of way and is appropriate under the *Design Guidelines* and will help to unify the architectural design of the

house. The other proposed change is the addition of a new HVAC screening underneath the rear deck. This feature will not be at all visible from the public right-of-way, however, no specifications were included with the application materials. Detailed specifications shall be submitted to Staff for review and approval prior to the issuance of the HAWP. Staff recommends the HPC delegate final approval authority for the design and materials for the HVAC screening to Staff.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application with six (6) conditions:

1. Specifications for the decking and railing material and the railing design that is millable, has a uniform finish, and is paintable shall be submitted to Staff for review. Final approval authority to ensure the proposed decking is compatible with the character of the house and surrounding district is delegated to Staff;
2. A final shingle specification for either an architectural or three-tab shingle shall be submitted to Staff for review and approval before final issuance of the HAWP.
3. Windows specifications showing a simulated divided light with a spacer bar shall be submitted to Staff prior to the issuance of the HAWP. Final approval authority to ensure this condition has been satisfied is delegated to Staff. A proposal for an alternate window configuration needs to be submitted as an amendment to this HAWP for consideration at a future HPC meeting.
4. Detailed specifications for the garage door shall be submitted to Staff for review and approval prior to the issuance of the HAWP. Final approval authority for the replacement garage door is delegated to Staff.
5. Specifications for a second-floor railing consistent in design and materials with Condition 1 shall be submitted for review and approval before issuance of the HAWP. Final approval authority for the railing material and design is delegated to Staff.
6. Detailed material and design specifications for the HVAC screening shall be submitted to Staff for review and approval before issuance of the HAWP. Final approval authority for the HVAC screening is delegated to Staff;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), and the *Chevy Chase Village Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| | |
|---|--|
| Owner's mailing address | Owner's Agent's mailing address |
| Adjacent and confronting Property Owners mailing addresses | |
| | |
| | |
| | |

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

| | |
|-----------------------------------|----------------|
| Work Item 1: _____ | |
| Description of Current Condition: | Proposed Work: |

| | |
|-----------------------------------|----------------|
| Work Item 2: _____ | |
| Description of Current Condition: | Proposed Work: |

| | |
|-----------------------------------|----------------|
| Work Item 3: _____ | |
| Description of Current Condition: | Proposed Work: |

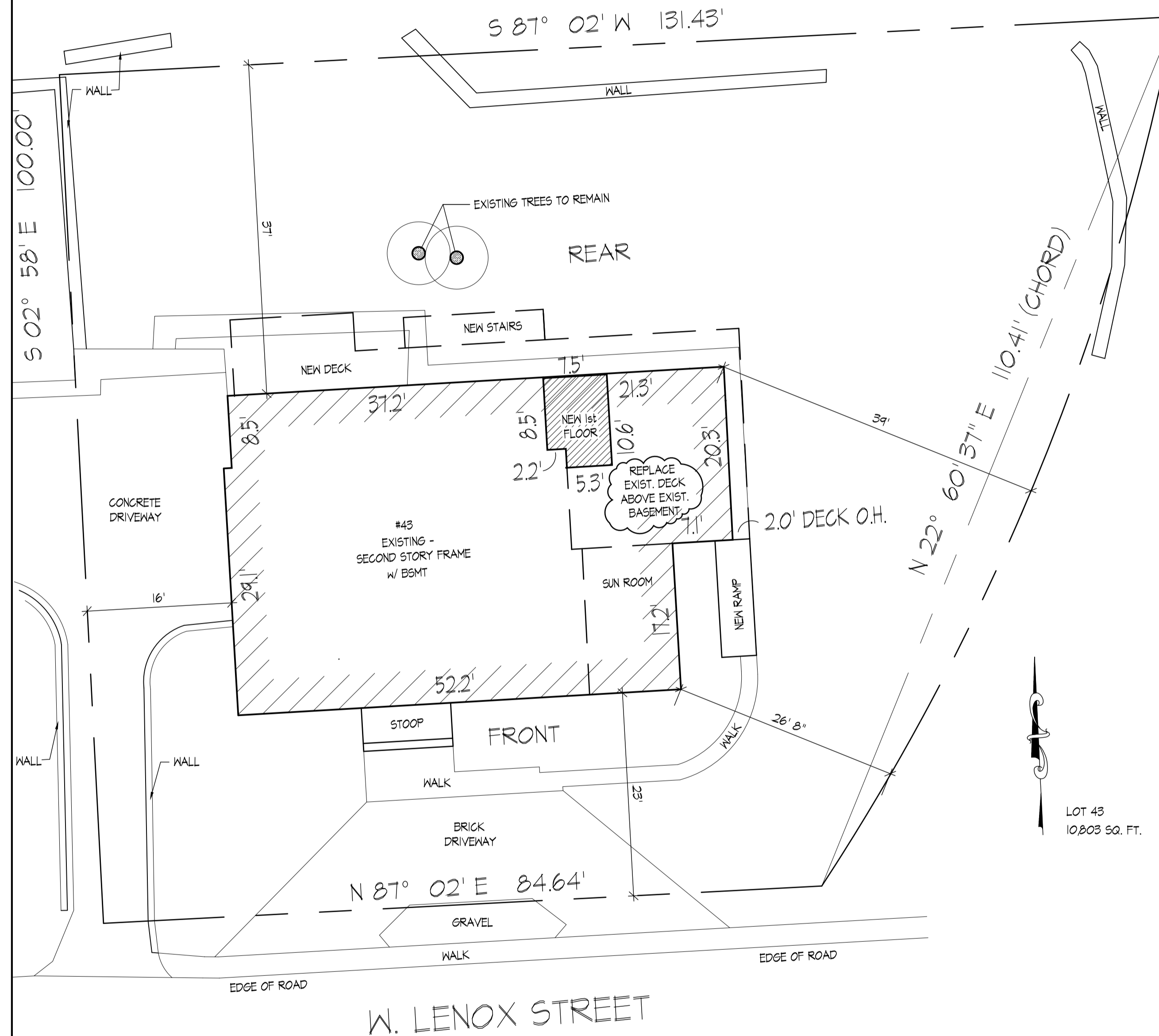
**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

| | Required Attachments | | | | | | |
|---------------------------------------|------------------------|--------------|-------------------------|----------------------------|----------------|----------------|-----------------------------|
| Proposed Work | I. Written Description | 2. Site Plan | 3. Plans/ Elevations | 4. Material Specifications | 5. Photographs | 6. Tree Survey | 7. Property Owner Addresses |
| New Construction | * | * | * | * | * | * | * |
| Additions/ Alterations | * | * | * | * | * | * | * |
| Demolition | * | * | * | | * | | * |
| Deck/Porch | * | * | * | * | * | * | * |
| Fence/Wall | * | * | * | * | * | * | * |
| Driveway/ Parking Area | * | * | | * | * | * | * |
| Grading/Exc avation/Land scaing | * | * | | * | * | * | * |
| Tree Removal | * | * | | * | * | * | * |
| Siding/ Roof Changes | * | * | * | * | * | | * |
| Window/ Door Changes | * | * | * | * | * | | * |
| Masonry Repair/ Repoint | * | * | * | * | * | | * |
| Signs | * | * | * | * | * | | * |

PEMMERL-CANTOR RESIDENCE

43 WEST LENOX STREET, CHEVY CHASE, MARYLAND

PLAN



GENERAL NOTES FOR RESIDENTIAL CONSTRUCTION

- All work shall conform to the applicable section of the Montgomery County building code sections of the single family guidelines and all applicable building codes 2018 IRC.
- Stake off area of new construction and designate trees and shrubs for removal. Protect all landscaping beyond the area of construction as required by the site. Protect all shrubs that are to remain.
- Contractor to evaluate the required electrical service. Electrical subcontractor to review the drawings and existing service. And provide the panel to satisfy all load requirements for any new construction as designated on plans.
- Coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project.
- Electrical subcontractor to review drawings and bring any questions related to specifications to the attention of the Architect.
- The General Contractor shall obtain permits required for construction, unless otherwise informed by the Architect. THE GENERAL CITY BUILDING PERMIT SHALL BE FILED BY THE ARCHITECT.
- The Contractor shall store materials and equipment in a safe and suitable area during the construction process. The Owner is not responsible for any loss of construction materials. All debris at the construction site shall be periodically removed from the site at intervals so as not to create a site hazard or create a visual hazard to the Owner.
- General Contractor shall be licensed in Montgomery County and the State of Maryland, and shall guarantee the project, labor and material for a period of one year after the punch list is completed by the Owner or the Architect, as per Maryland laws require.
- The General Contractor shall provide competent daily supervision of the project.
- The General Contractor shall carry Workman's Compensation Insurance in full force during the entire term of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance and Property Damage Insurance of \$ 500,000. to \$750,000. minimum. The owner can amend these requirements if specified on the contract.
- All drawings, specifications and copies furnished by the Architect are the documents for construction of the project only and shall not be used in any other circumstance.
- The General Contractor shall carefully study and compare the contract documents and report to the Architect any error, inconsistency or omission he/she may discover.
- The General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery and other facilities and services necessary for the proper execution and completion of the Work, whether temporary or permanent and shall guarantee no mechanic liens against such project at completion.
- The Contract Sum is stated in the building agreement and is the total amount payable by the Owner to the General Contractor for the performance of the Work under the Contract Documents. A Change Order is written by the General Contractor and Signed by the Owner, which designates the addition, deletion or revision to the contract. The change order must also designate the change in the original Contract Sum and be accepted by the Owner before it is part of the contract.
- Premises shall be left "broom clean" and exterior shall be free of debris upon completion of work. All subcontractors are required to clean premises and exterior of their debris daily unless specifically exempted by owner or architect. Particular effort is to be taken to minimize debris within existing premises on a daily basis.
- The General Contractor shall submit a progress payment request based on the original contract agreement, to the Architect and the Owner. The Architect shall have seven business days to provide approval to the Owner.

THE PROCEEDING UNLESS AMENDED WITH APPROVAL OF THE OWNER IS TO BE CONSIDERED ALONG WITH THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS.

CONTRACTOR _____ (Signature) _____ (Date)
 OWNER _____ (Signature) _____ (Date)

MISS UTILITY INSPECTION NOTE:
 CALL "MISS UTILITY" TO VERIFY LOCATION OF ALL UTILITIES WITHIN THE FRONT REAR OR SIDE YARD. COORDINATE THE LOCATION OF ANY NEW EXCAVATION WITH THE EXISTING UTILITIES.
 PORTA-TOILET FACILITY FOR PROJECT:
 GENERAL CONTRACTOR SHALL PROVIDE A PORTA-TOILET FACILITY ON THE JOB SITE AND SHALL COORDINATE ITS LOCATION WITH THE OWNER. MAINTAIN THE FACILITY THROUGHOUT THE DURATION OF CONSTRUCTION PROCESS.

PROJECT DATA

PEMMERL-CANTOR RESIDENCE
 43 WEST LENOX STREET
 CHEVY CHASE, MARYLAND,
 MONTGOMERY COUNTY

ZONE: R-60 PARCEL: 542
 LOT SIZE= 10,803 SQUARE FEET

HOUSE SET BACKS:

FRONT: 25.0' EST.; PROVIDED (NO CHANGE)
 REAR: 20.0' REQ'D.; PROVIDED (NO CHANGE)
 SIDES: 1.0' MIN.; PROVIDED (NO CHANGE)

| | RENOVATED | NEW |
|---------------|-----------|-----|
| BASEMENT | 361 | 102 |
| FIRST FL. | 366 | 75 |
| SECOND FL. | 266 | 0 |
| EXTERIOR DECK | 319 | 491 |

INDEX OF DRAWINGS

| | |
|-----|--------------------------|
| CS | COVER SHEET |
| DO1 | DEMO - 1st & BSMT. PLANS |
| DO2 | DEMO - 2nd & ATTIC PLANS |
| DO3 | DEMO - ELEVATIONS |
| AO1 | FIRST FLOOR PLAN |
| AO2 | SECOND FLOOR PLAN |
| AO3 | ATTIC & BSMT. PLANS |
| AO4 | ELEVATIONS |
| AO5 | REAR SECTION |
| AO6 | SECTIONS |
| AO7 | ENLARGED KITCHEN PLAN |
| AO8 | DECK DETAILS |
| SO1 | FRAMING & BRACING PLANS |
| EO1 | ELECTRICAL PLANS |
| TE | THERMAL ENVELOPE |

BUILDING CODE: INT'L RESIDENTIAL CODE 2018

SCOPE OF WORK

- KITCHEN RENOVATION
- MASTER BATH RENOVATION
- NEW DECK EXTENSION
- NEW MUD ROOM ADDITION
- VARIOUS ALTERATIONS

SYMBOL LEGEND

| | |
|--|----------------------------|
| | DETAIL SECTION |
| | DETAIL TAG |
| | DETAIL SHEET NO. |
| | BLDG SECTION TAG |
| | ELEVATION TAG |
| | GRAVEL FILL |
| | EARTH |
| | FIBERGLASS BATT INSULATION |
| | CONCRETE MASONRY UNITS. |
| | BRICK OR STONE VENEER |
| | CONCRETE (SOLID-POURED) |
| | ROCK WOOL INSULATION |

LIST OF ABBREVIATIONS

| | | | | | |
|---------|-----------------------|---------|-------------------------|---------------|------------------------|
| A.B. | ANCHOR BOLT | F.S. | FAR SIDE | OSB | ORIENTED STRAND BOARD |
| A.F.F. | ABOVE FINISH FLOOR | F.LR. | FLOOR FINISH | OZ | OUNCE |
| A.U. | ADJACENT | FND. | FOUNDATION | O.A. | OVER ALL |
| A.H.U. | AIR HANDLER UNIT | F.R. | FIRE RATED | PNL | PANEL |
| ALUM. | ALUMINUM | F.R. | FIRE RATED | PBD. | PARTICLE BOARD |
| ANCH. | ANCHOR | FR | FIREPLACE | PERF. | PERFORATED |
| ANG. | ANGLE | FTG. | FOOTING | P.L. | PLYWOOD |
| ARCH. | ARCHITECTURAL | F/C | FLOOR COVERING CHANGE | P.W./PLYM | PREFABRICATED |
| AT | AT | FPHB | FROST PROOF HOSE BIB | PSI | POUNDS PER SQ. IN. |
| BD. | BOARD | GA. | GAUGE | PSF | POUNDS PER SQ. FT. |
| B.D.G. | BUILDING | GALV. | GALVANIZED | P.T. | PRESSURE TREATED |
| BM | BEAM | G.C. | GENERAL CONTRACTOR | REF. | REFER TO REFERENCE |
| BTM | BOTTOM | GEN. | GENERAL | RENF. | REINFORCED |
| BLK'G | BLOCKING | GYP. BD | GYPSUM BOARD | REQ'D | REQUIRED |
| BR'G | BEARING | GL. | GLUE LAM | R.A. | RETURN AIR |
| BSMT | BASEMENT | HDR. | HARDWARE | RMS. | ROOMS |
| C.J. | CONTROL JOINT- SAWCUT | HD.WD. | HARDWOOD | R.O. | ROUGH OPENING |
| C. | CENTER LINE | HT. | HEIGHT | R. | RISER |
| C.M.U. | CONCRETE MASONRY UNIT | HRZ. | HORIZONTAL/HORIZONTALLY | RND | ROUND |
| COL. | COLUMN | HR. | HOUR | 1/R | ONE ROD |
| CONC. | CONCRETE | HDR. | HEADER | S.C. | SAWCUT |
| COND. | CONDITION | H.B. | HOSE BIB | SH. | SHIELD |
| CONT. | CONTINUOUS | I.D. | INSIDE DIAMETER | SHI. | SHEET |
| CONSTR. | CONSTRUCTION | INSUL. | INSULATION | SIM. | SIMILAR |
| CNTR. | COUNTER | I.S. | INSIDE CORNER | S.S. | STAINLESS STEEL |
| CSK. | COUNTERSUNK | INT. | INTERIOR | STL. | STEEL |
| C.O. | CASED OPENING | I.S. | INSIDE CORNER | STRUCT. | STRUCTURAL |
| CANT. | CANTILEVER | JT. | JOINT | S.A. | SUPPLY AIR |
| C.T. | CERAMIC TILE | LT. WT. | LIGHTWEIGHT | SUSP. | SUSPENSION |
| C.E. | CEILING | LVR. | LOUVER | SGD | SLIDING GLASS DOOR |
| DBL. | DOUBLE | L.T. | LAUNDRY TUB | 1/S | ONE SHELF |
| DIA. | DIAMETER | M.T. | MARBLE THRESHOLD | TEMP. | TEMPERED |
| DR. | DOOR | M. | MASONRY | T.O. | TOP OF FOUNDATION WALL |
| DWG. | DRAWING | MAS. | MASONRY | TFW | TYPICAL |
| D.S. | DOWNSPOUT | MAT. | MATERIAL | TYP. | TYPICAL |
| DTL | DETAIL | MECH. | MECHANICAL | TRP | TRIPLE |
| D | DRYER | MDO | MEDIUM DENSITY OVERLAY | U.M. | UNDER-MOUNT |
| E.A. | EACH | MIN. | MINIMUM | U.N.O. | UNLESS NOTED OTHERWISE |
| E.J. | EXPANSION JOINT | M.O. | MASONRY OPENING | VERT. | VERTICAL |
| ELEC. | ELECTRICAL | M.U.A. | MAKE-UP AIR | V.I.F. | VERIFY IN FIELD |
| ELEV. | ELEVATION | N.S. | NEAR SIDE | W. | WASHER |
| EQ. | EQUAL | N.I.C. | NOT IN CONTRACT | W/ | WITH |
| EQUIP | EQUIPMENT | NTS | NOT TO SCALE | W/ | WOOD |
| EXP. | EXPANSION | O.C. | ON CENTER | W.W.F. | WELDED WIRE FABRIC |
| EXT. | EXTERIOR | O.H. | OVERHANG | WO OR W/O | WALKOUT |
| E.E. | EACH END | OPER. | OPERATING | WNDW. OR WNL. | WINDOW |

TABLE R301.5
 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
 (IN POUNDS PER SQUARE FOOT)

| USE | LIVE LOAD |
|--|-----------|
| ATTICS WITH STORAGE ^b | 20 |
| ATTICS WITHOUT STORAGE ^b | 10 |
| DECKS ^c | 40 |
| EXTERIOR BALCONIES | 60 |
| FIRE ESCAPES | 40 |
| GUARDRAILS AND HANDRAILS ^d | 200 |
| GUARDRAILS IN-FILL COMPONENTS ^f | 50 |
| PASSENGER VEHICLE GARAGES ^a | 50 |
| ROOMS OTHER THAN SLEEPING ROOMS | 40 |
| SLEEPING ROOMS | 30 |
| STAIRS | 40 |

FOR S: 1 POUND PER SQUARE FOOT= 0.0497 KN/M², 2 1 SQUARE INCH=645 mm², 1 POUND= 4.45N
 A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000 POUND LOAD APPLIED OVER A 20 SQUARE INCH AREA.
 B. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS
 C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.
 D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
 E. SEE SECTION R 502. 2. 1 FOR DECKS ATTACHED TO EXTERIOR WALLS
 F. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL), BLASTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

RESIDENTIAL CODE NOTES= RCN
 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL CODE (IRC) , 2018 EDITION, AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO 4-1. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC. THIS DOCUMENT CONTAINS ITEMS OFTEN WRITTEN ON APPROVED PLANS AND IS PROVIDED FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE OR ALL OF ITS PROVISIONS.
 2. TABLE R 301 . 2 (1) THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

| GROUND SHOW LOAD | WIND SPEED | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM WEATHERING | | | | WINTER DESIGN TEMP. | ICE SHIELD UNDER LAYMENT REQ'D | FLOOR HAZARDS | AIR FREEZING INDEX | MEAN ANNUAL TEMP. |
|------------------|------------|-------------------------|-----------------------------------|---------|-------------------|--------------------|---------------------|--------------------------------|---------------|--------------------|-------------------|
| | | | FROST LINE DEPTH | TERMITE | DECAY | | | | | | |
| 30 PSF | 115 MPH | B | SEVERE | 30 IN | MODERATE TO HEAVY | SLIGHT TO MODERATE | 13° F | YES | JULY 2, 1979 | 300 | 55° F |

INTERNATIONAL BUILDING CODE DATA 2018 IRC

SITE PLAN
 SCALE: 1"=10'-0"

ATTIC = 546 S.F.
 2nd FL. = 1386 S.F.
 1st FL. = 1700 S.F.
 2086 S.F. x .75 = 1564 S.F.

EXISTING GROSS S.F. = 5,196 S.F.
 NEW 1st FL. = 75 S.F.

TOTAL GROSS S.F. = 5,271 S.F.

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 7960-B Old Georgetown Road, Bethesda, Md. 20814
 Phone: (301) 913-9254
 Fax: (301) 652-2700



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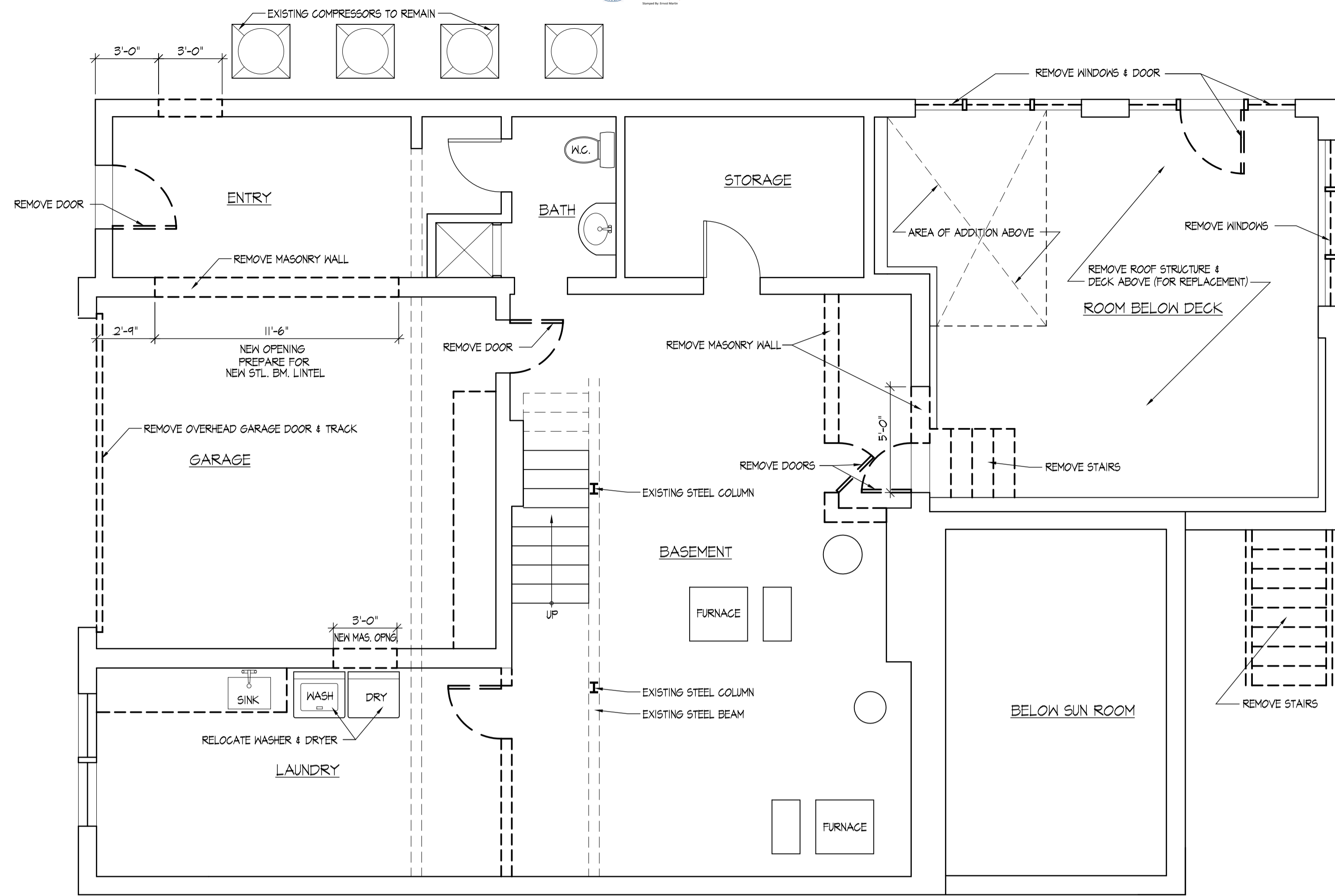
PROJECT:
 PEMMERL-CANTOR RESIDENCE
 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE:
 COVER SHEET

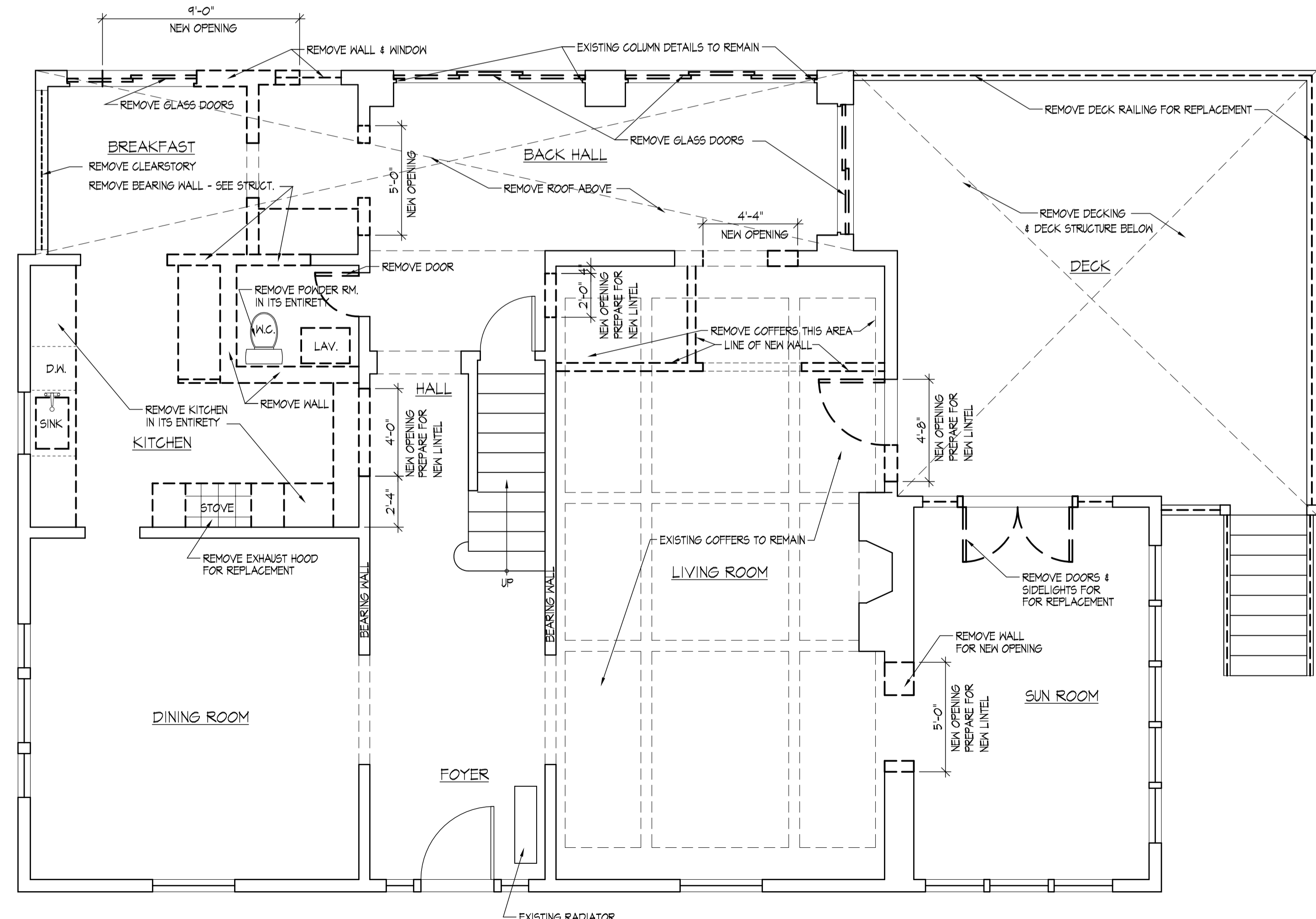
REVISIONS
 11.04.2023

PERMIT SET
 Dates: 10-04-2023
 Bids:
 Scale:
 AS NOTED
 Project Number
 2309

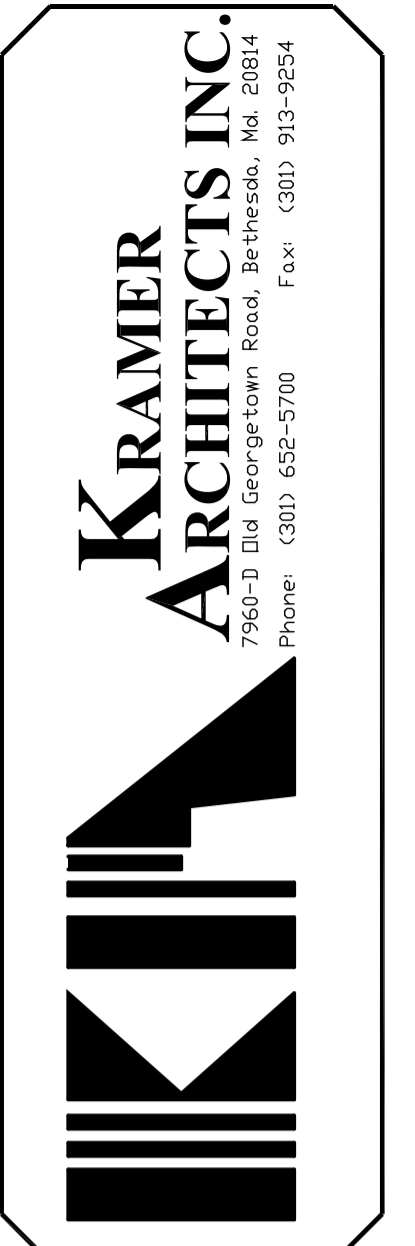




2 DEMOLITION - BASEMENT PLAN
 SCALE: 1/4"=1'-0"



1 DEMOLITION - FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



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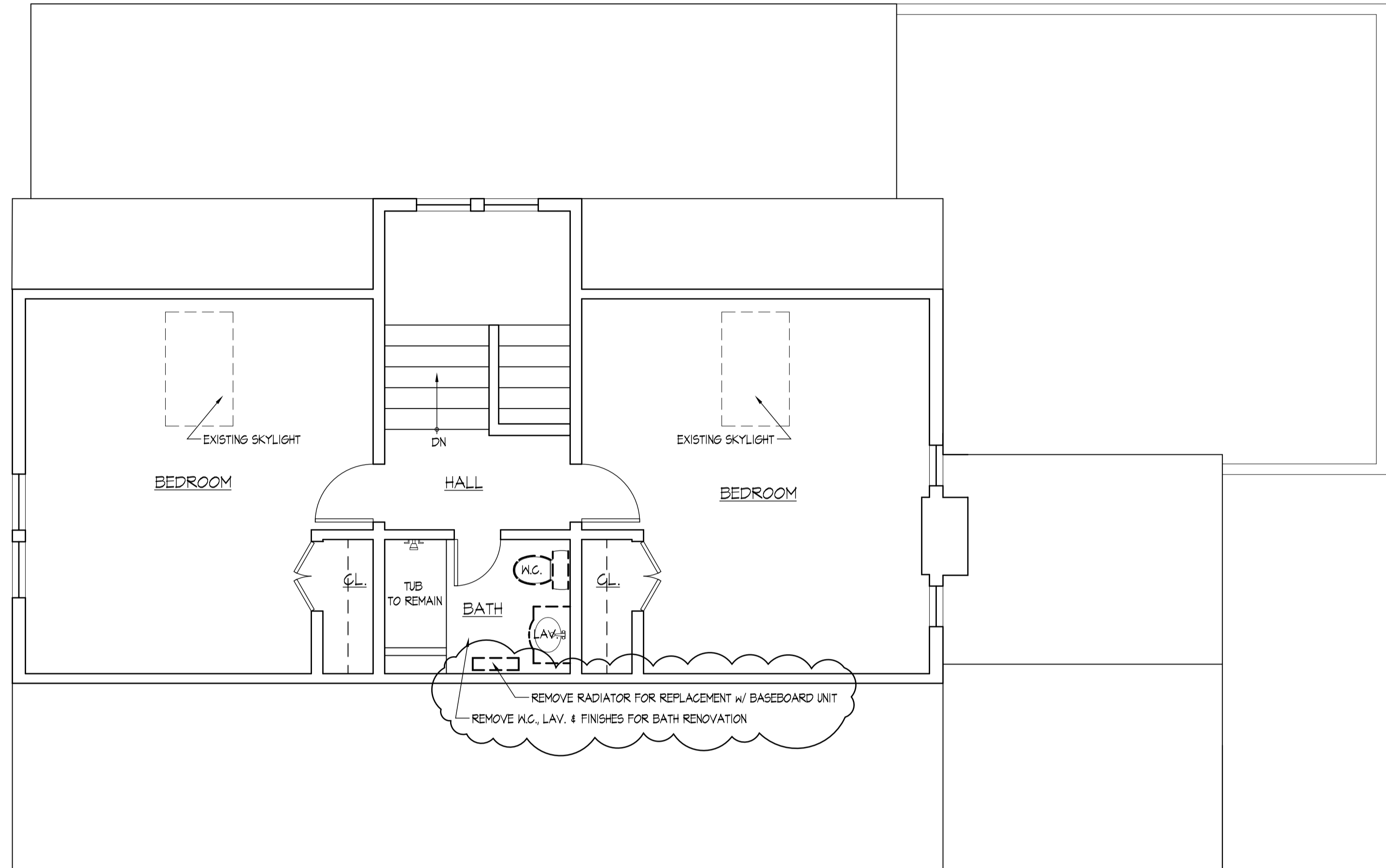
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 PEMMERL-CANTOR RESIDENCE
 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE:
 DEMO -
 1st & BSMT. PLANS

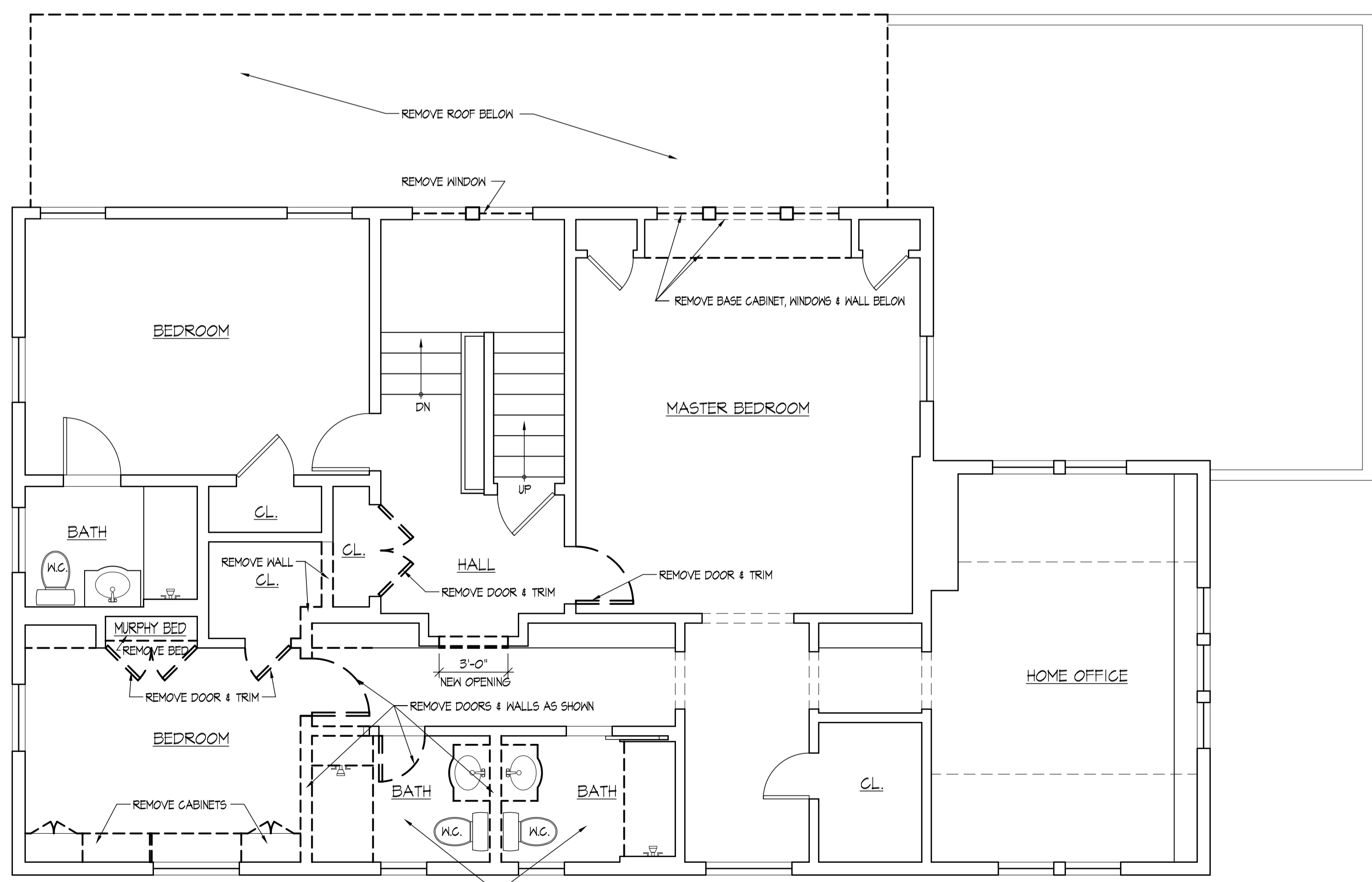
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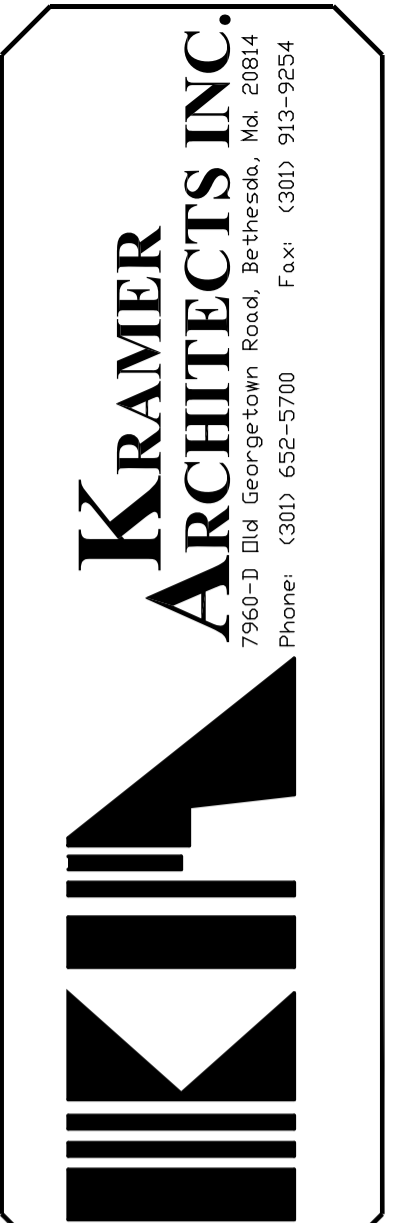
D01
 OF



2 DEMOLITION – ATTIC PLAN
 SCALE: 1/4"=1'-0"



1 DEMOLITION – SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



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PROJECT:
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 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE:
 DEMO. –
 2nd FL. & ATTIC PLANS

REVISIONS
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D02
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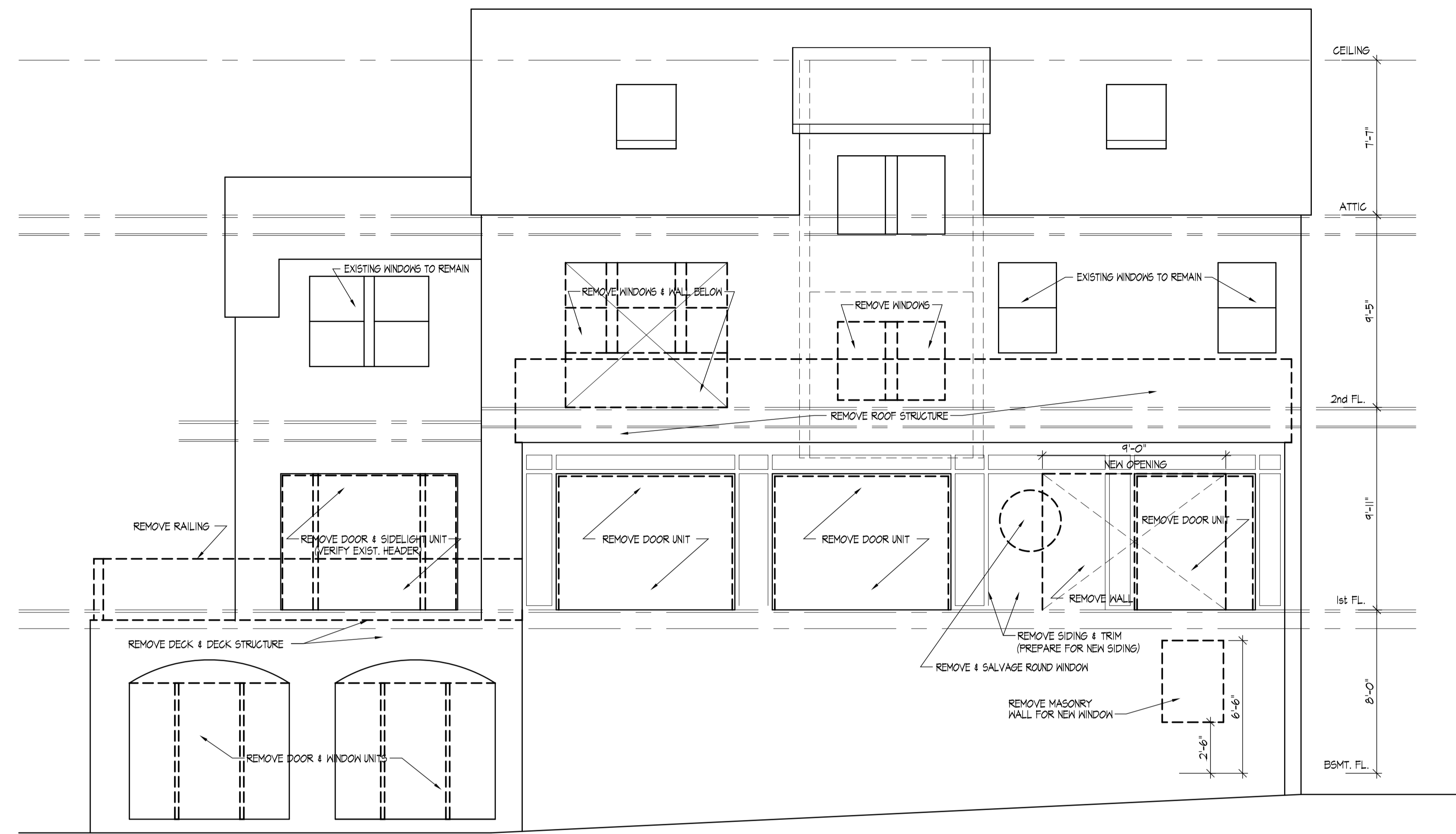
PROJECT:
 PEMMERL-CANTOR RESIDENCE
 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE:
 DEMO. -
 ELEVATIONS

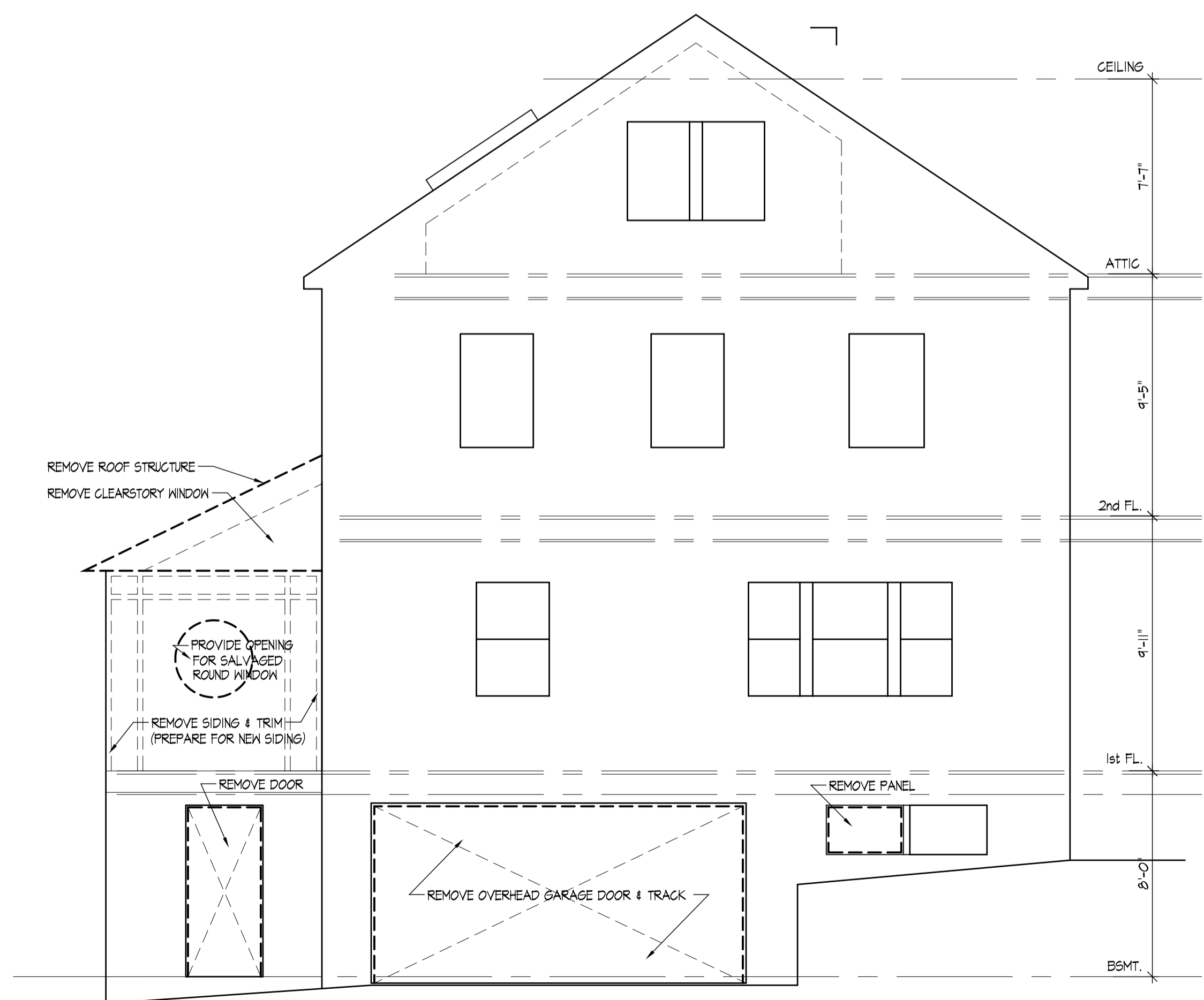
REVISIONS

PERMIT SET
 Dates: 10-04-2023
 Bids:
 Scale:
 AS NOTED
 Project Number
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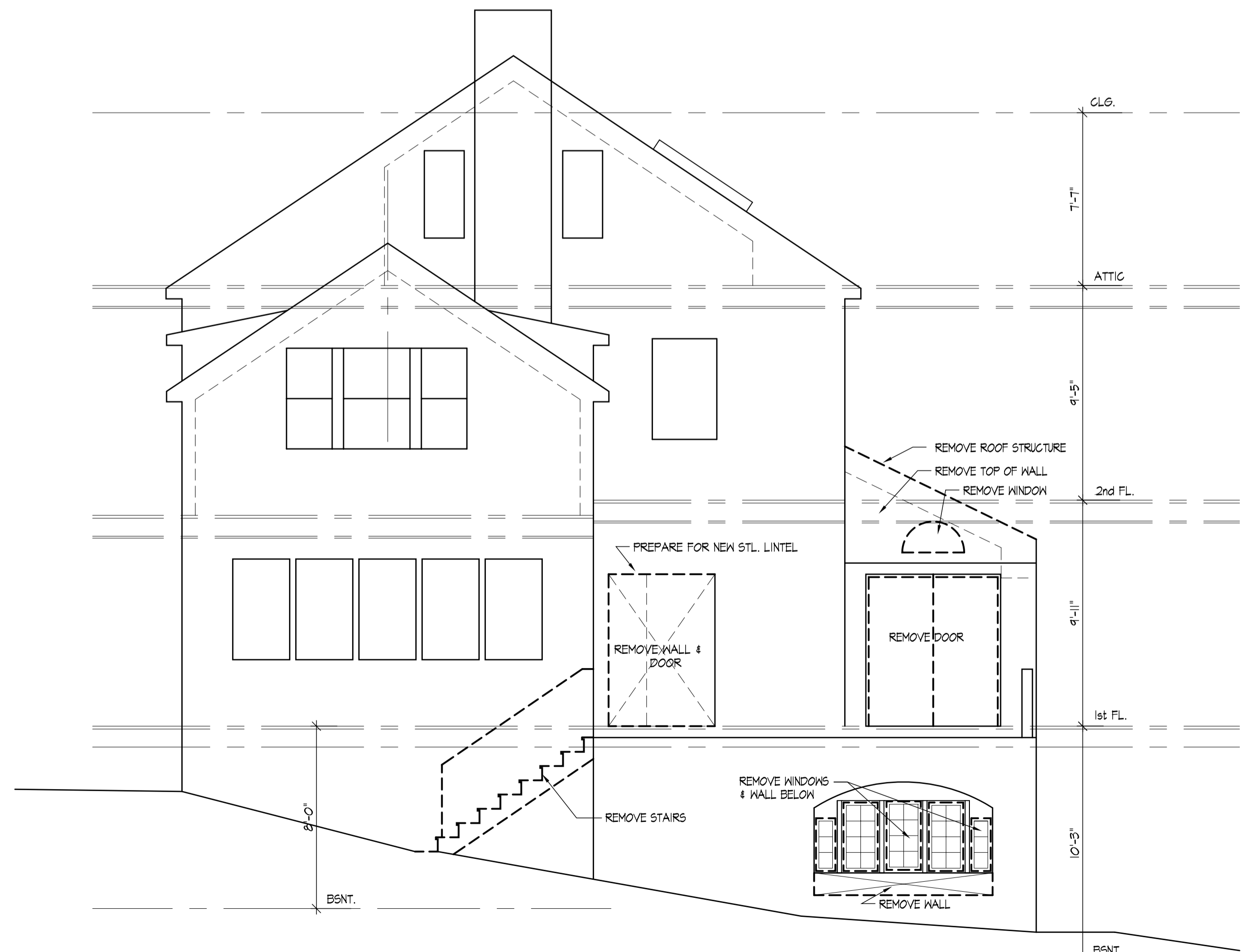
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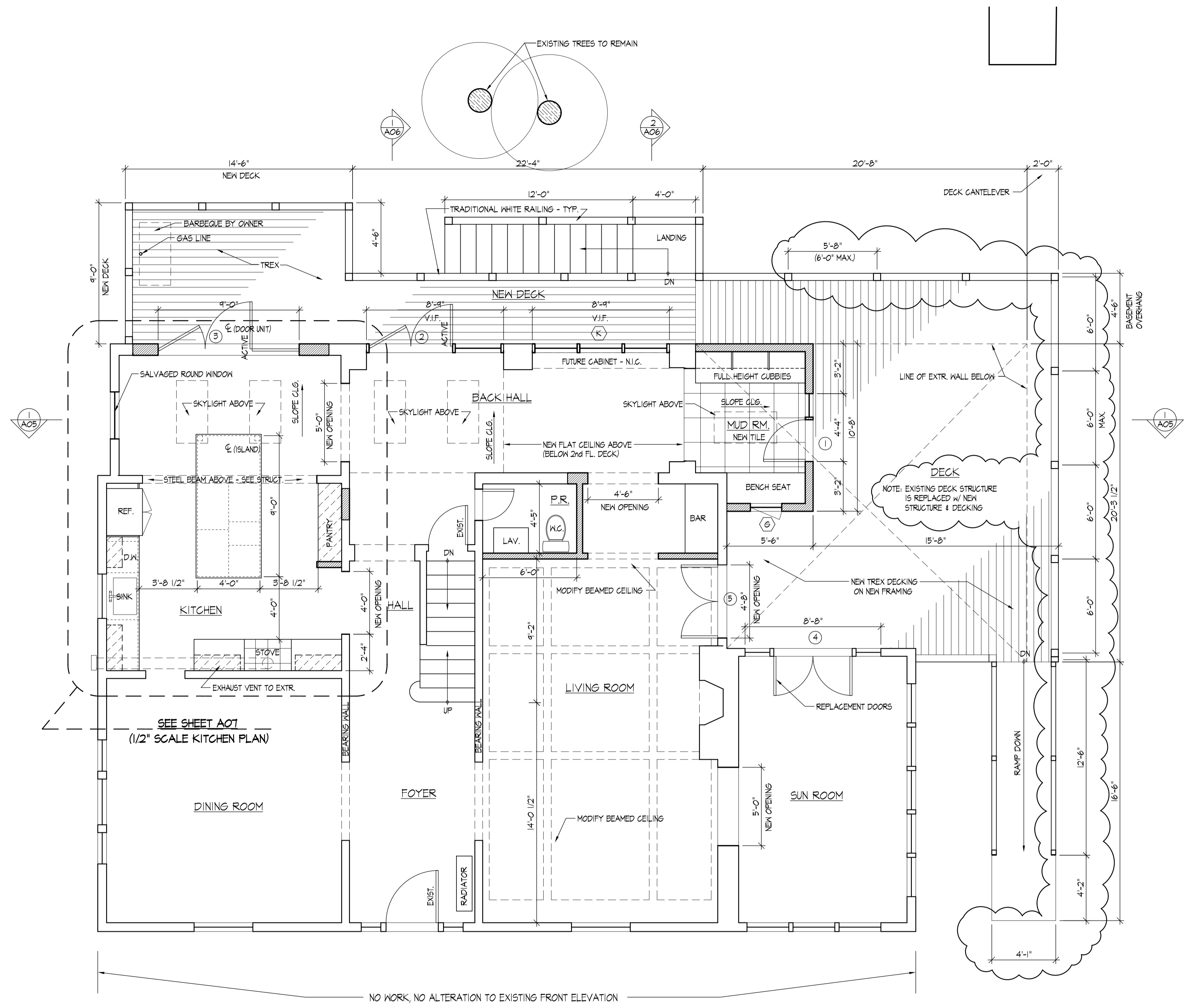
1 DEMOLITION - REAR ELEVATION
 SCALE: 1/4"=1'-0"



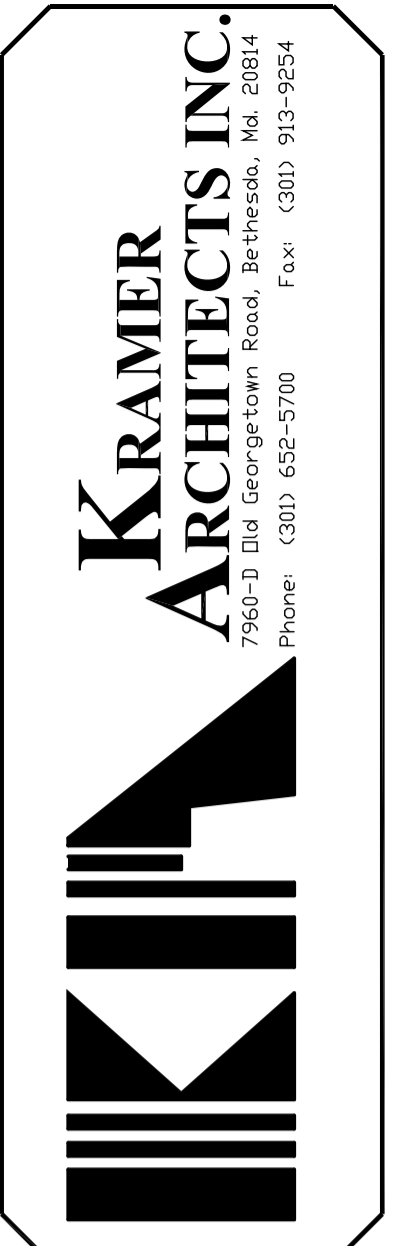
3 DEMOLITION - LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



2 DEMOLITION - RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



1 NEW WORK — FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



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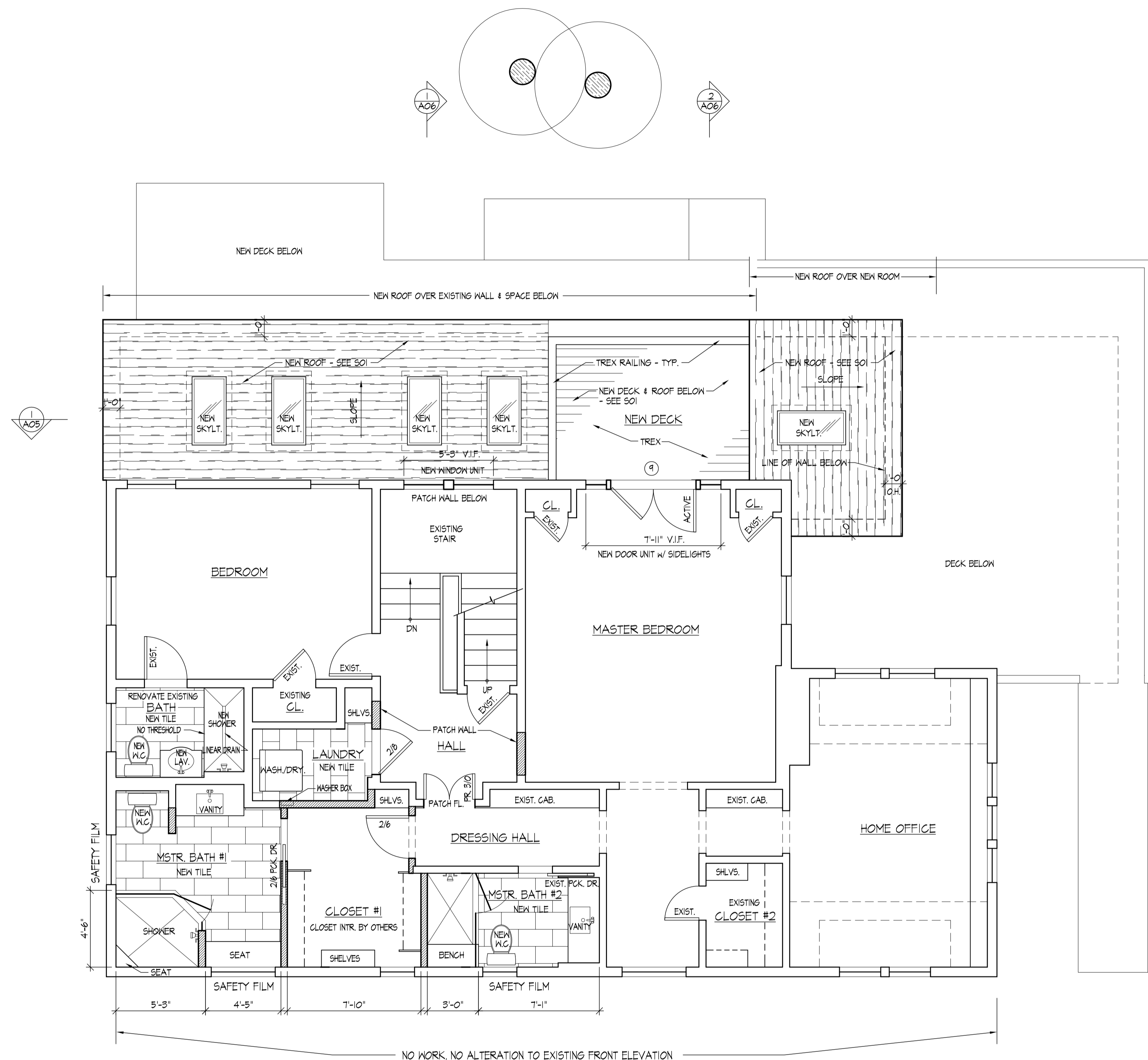
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SHEET TITLE:
 FIRST FLOOR PLAN

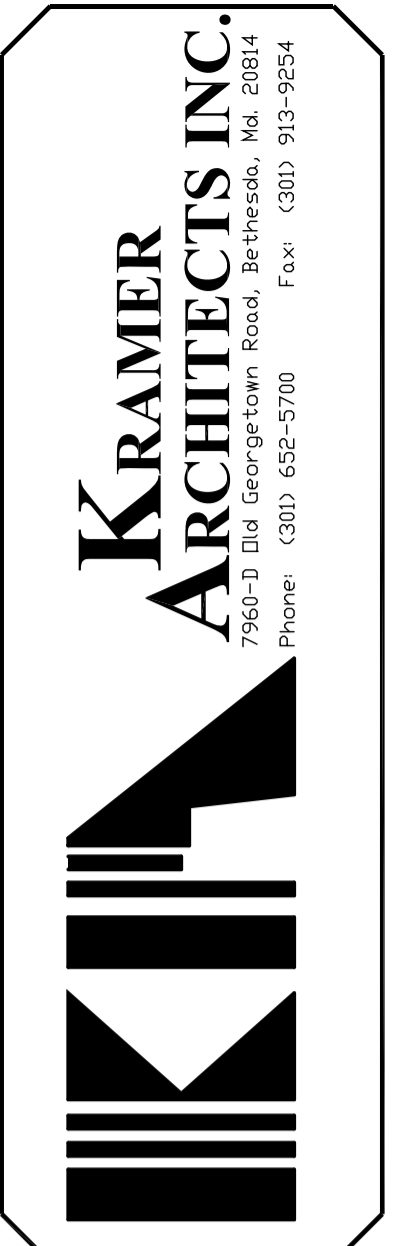
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A01
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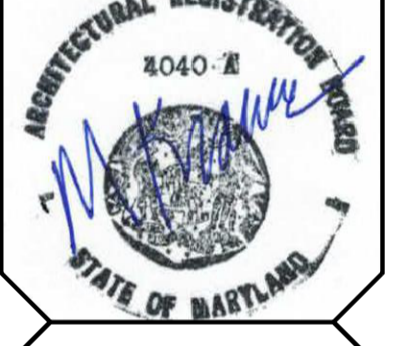


1 NEW WORK - SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



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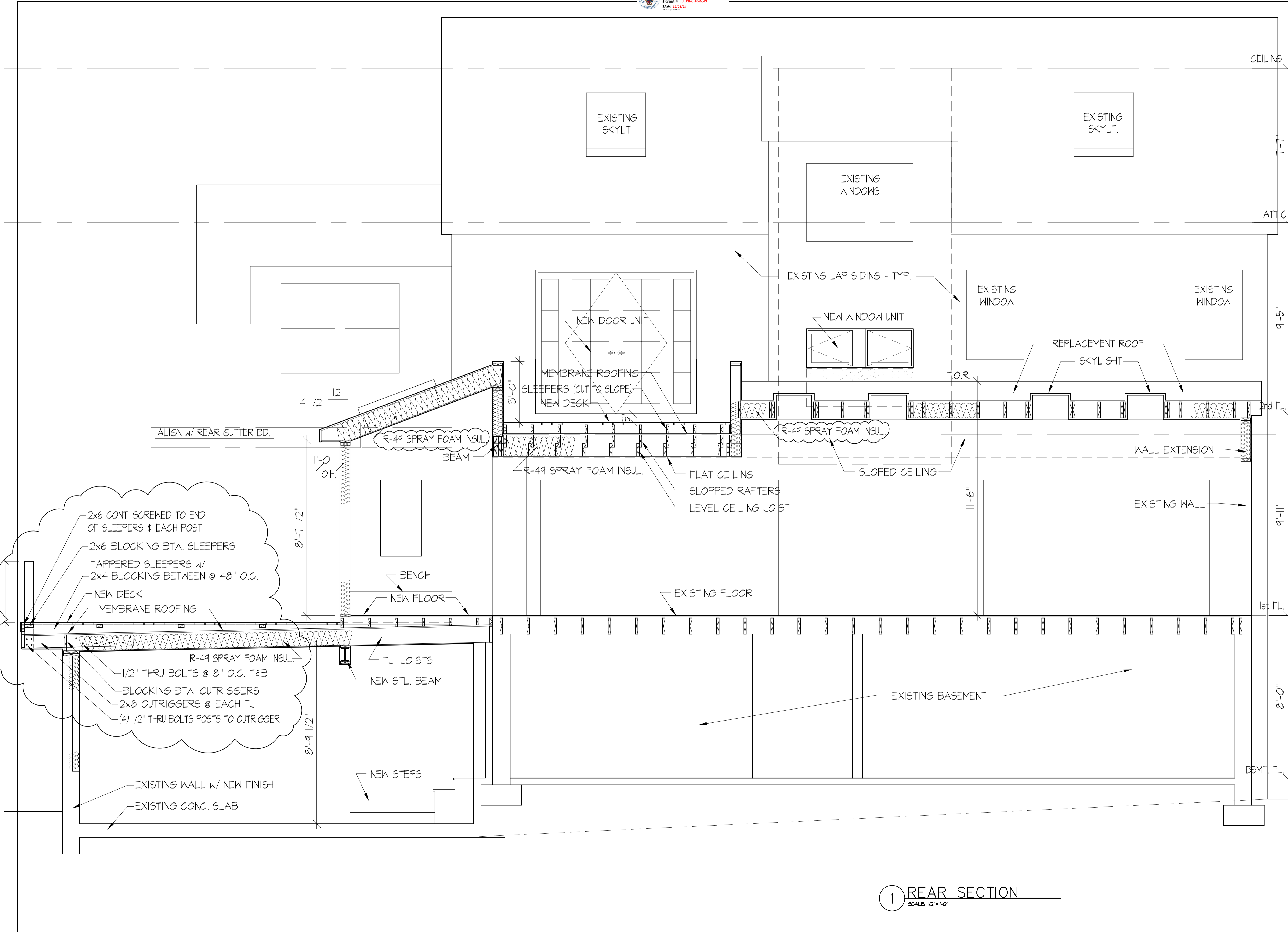
PROJECT:
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 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE:
 SECOND FLOOR PLAN

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A02
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1 REAR SECTION
 SCALE: 1/2"=1'-0"

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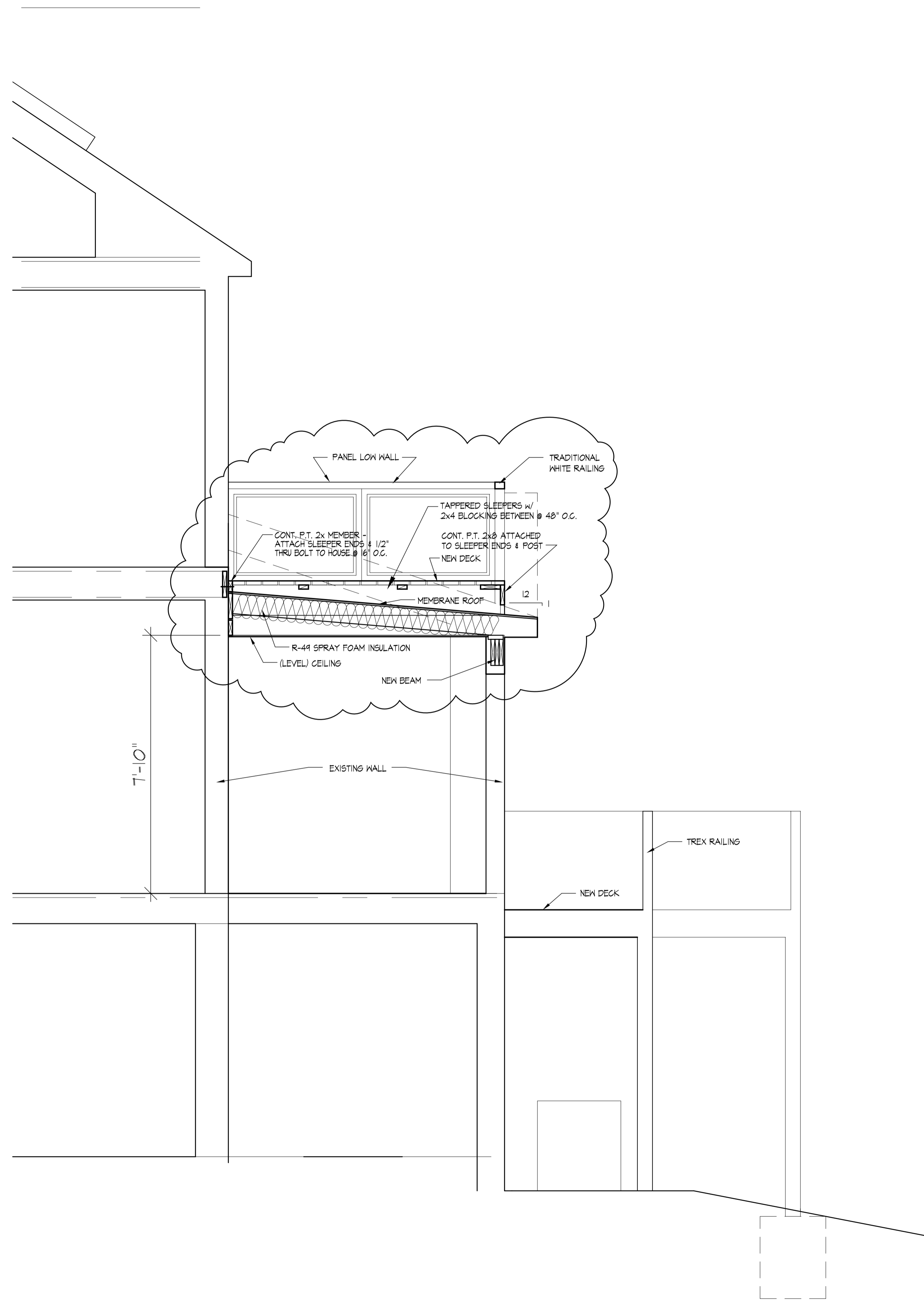
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 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE:
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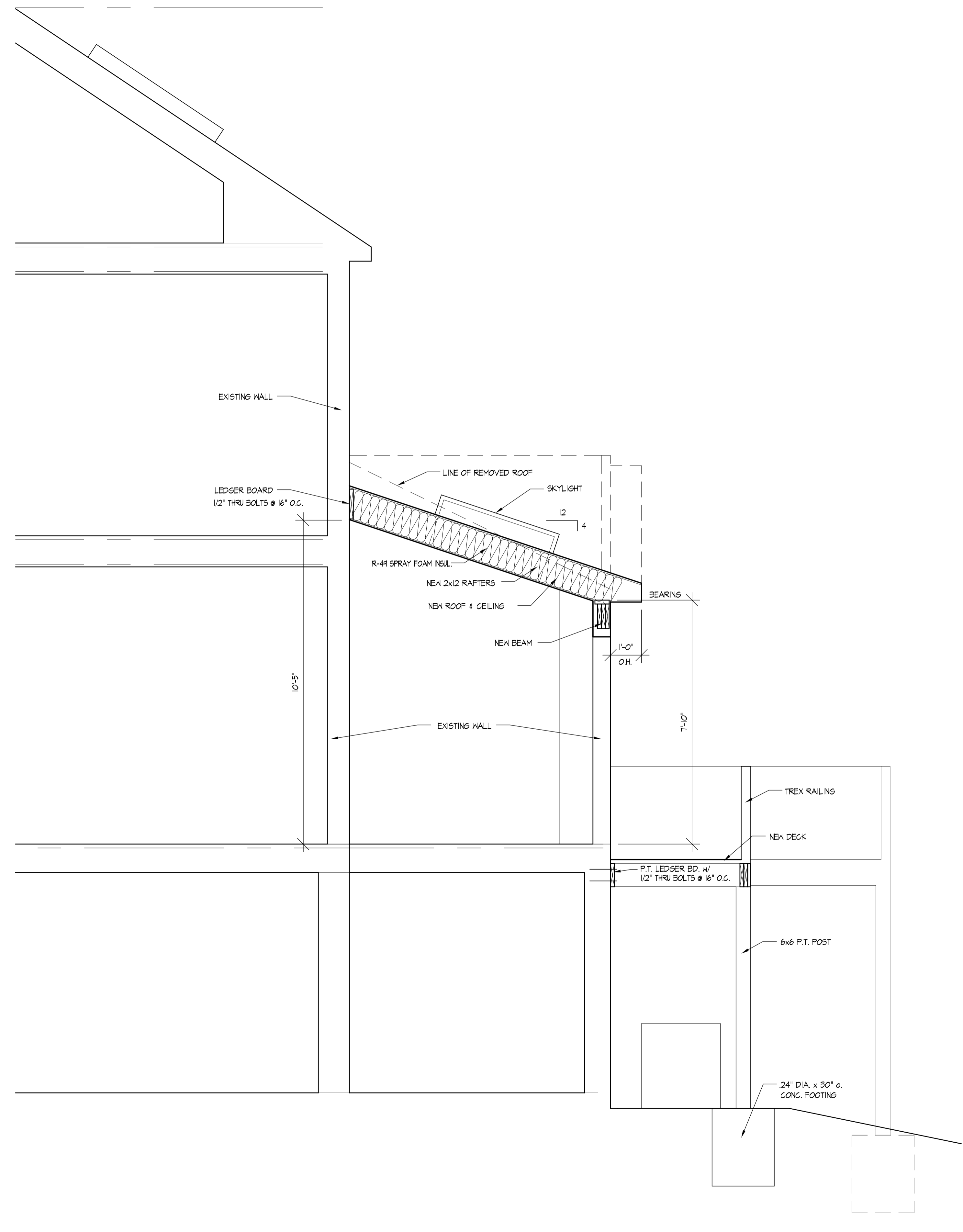
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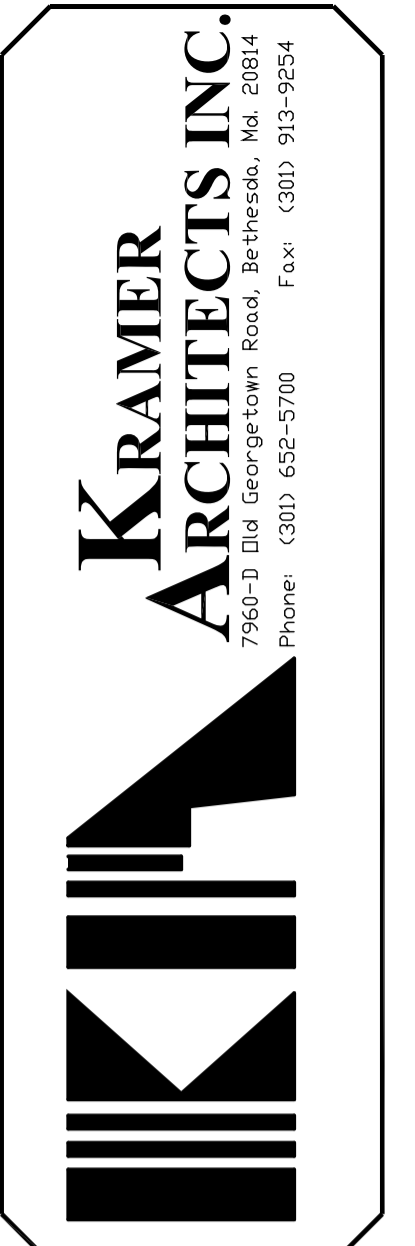
A05
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2 UPPER DECK SECTION
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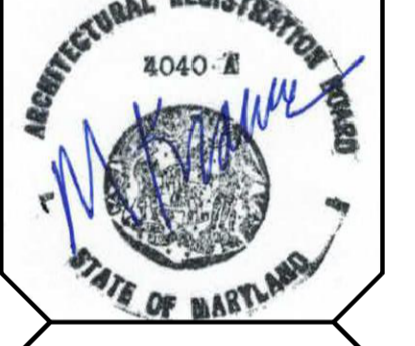


1 NEW ROOF SECTION
 SCALE: 1/2"=1'-0"



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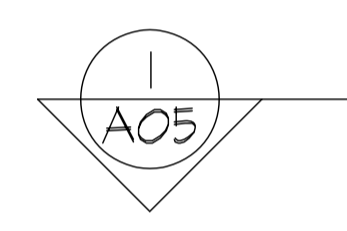
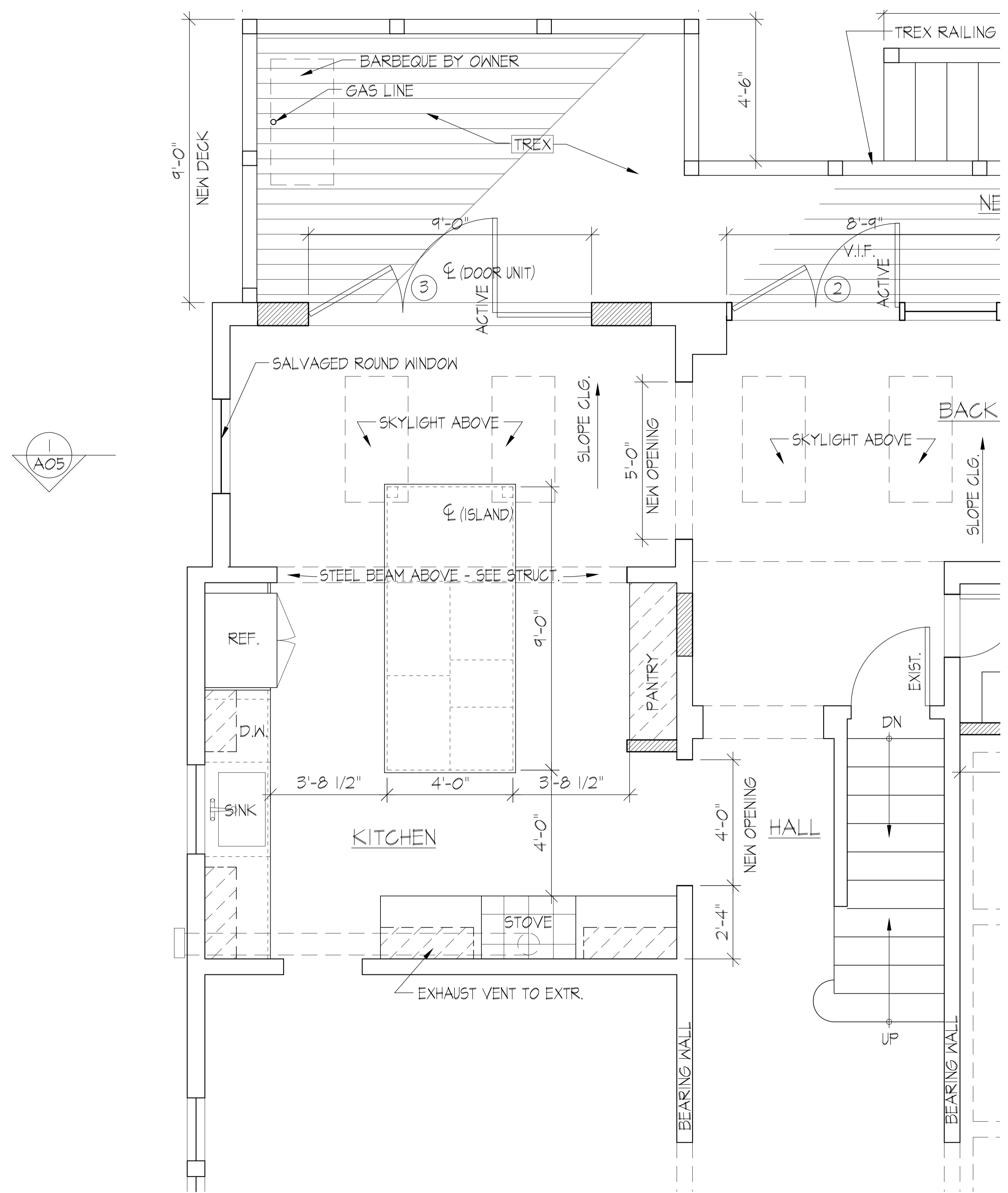
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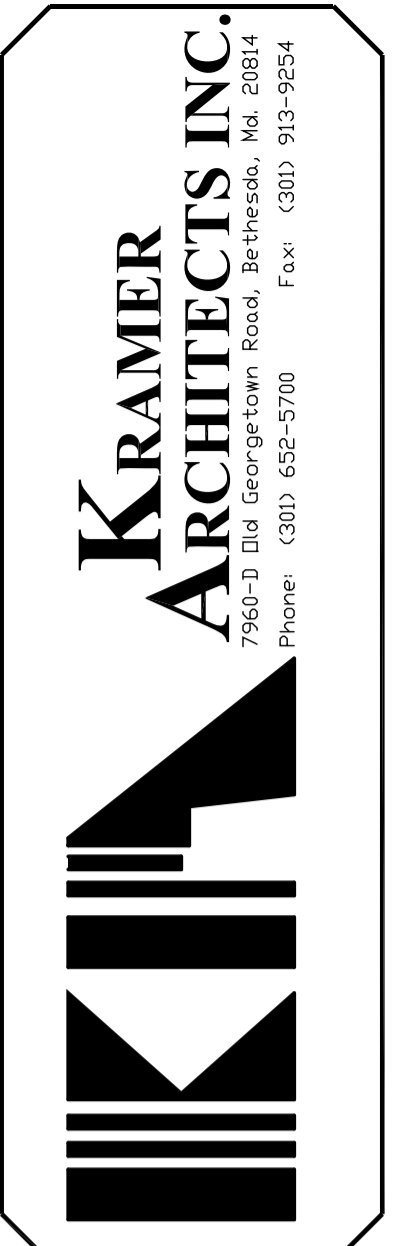
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A06
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1 NEW WORK - FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



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SHEET TITLE:
 ENLARGED KITCHEN

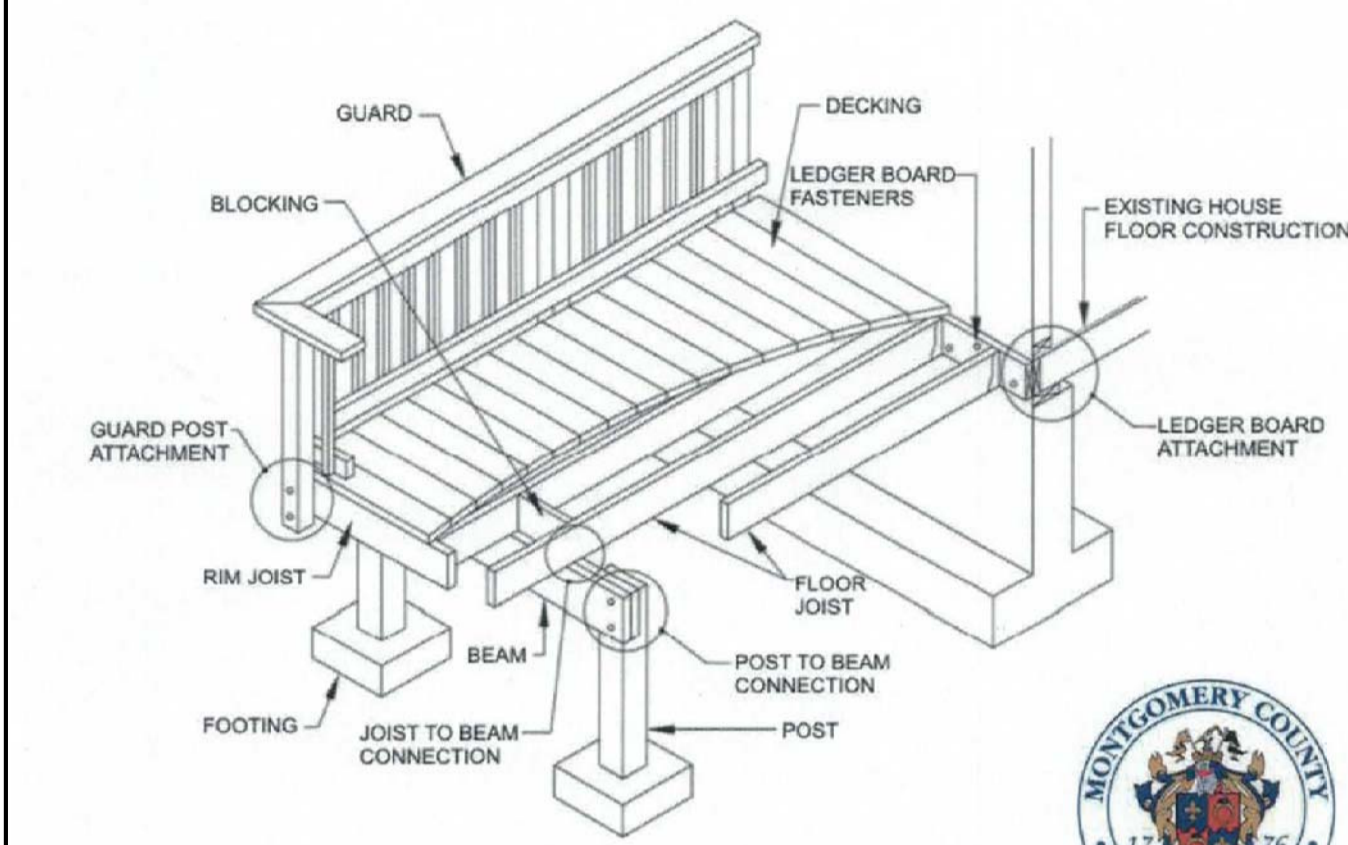
REVISIONS

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Project Number
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A07
 OF

MONTGOMERY COUNTY RESIDENTIAL TYPICAL DECK DETAILS
Based on the 2018 International Residential Code



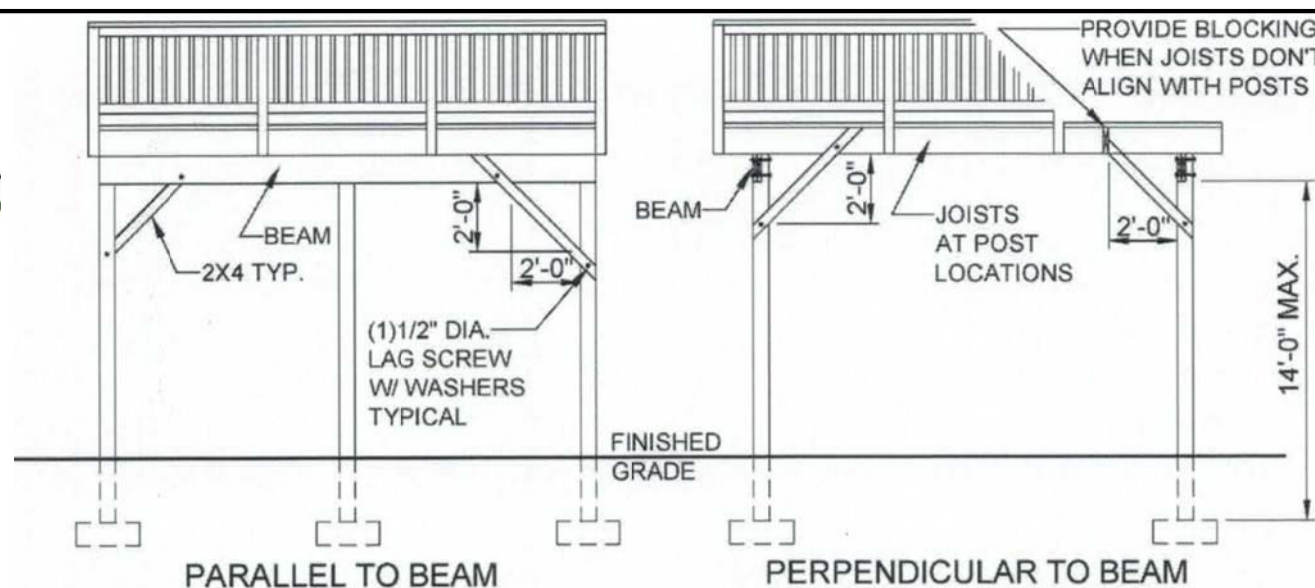
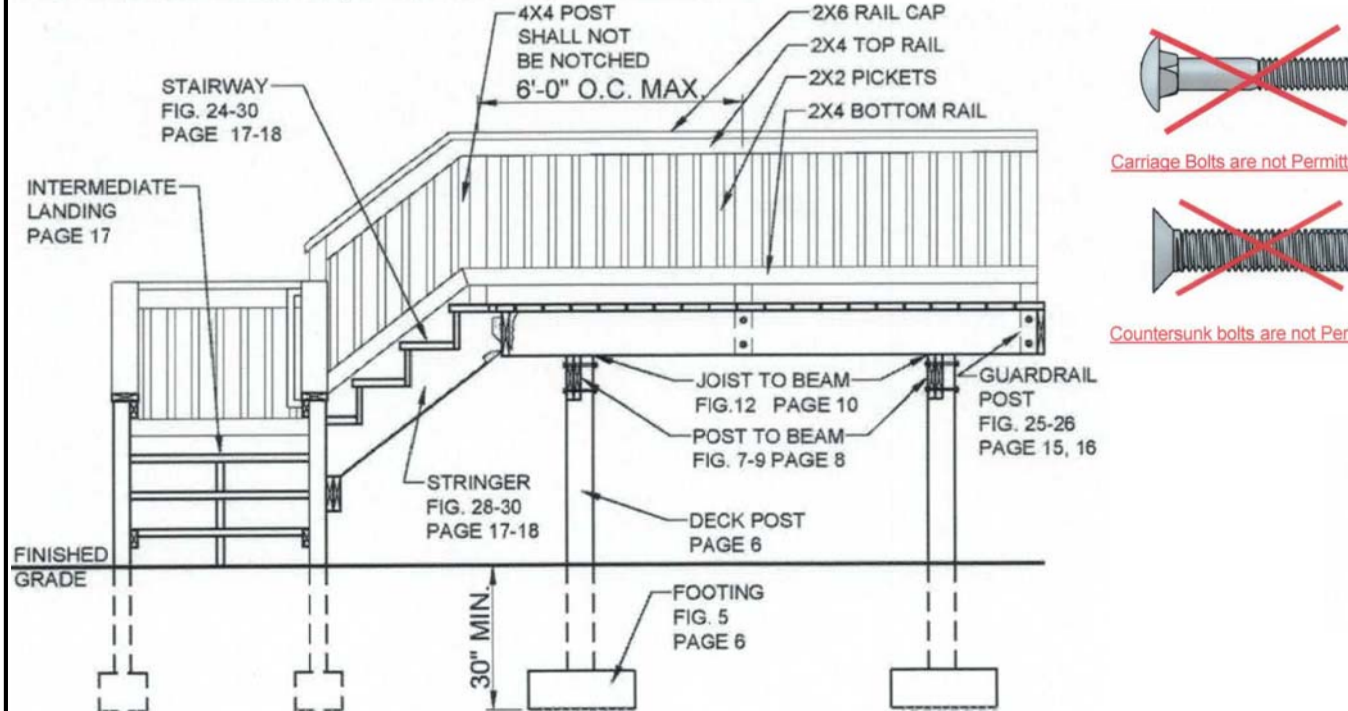
1. GENERAL REQUIREMENTS

- This document can be used in lieu of construction plans and it applies to single level – single span rectangular decks only. The overall deck length shall be equal to or less than the overall deck width. (Figures 1 or 2, page 4)
- Band joists supporting attached decks shall be capable of supporting the new deck. If the condition can't be verified a free-standing deck or full plan submission will be required.
- A copy of this document is required to be on the jobsite and available for inspection.
- Deck joists shall be parallel to the house joists. When house joists are perpendicular to the deck joists a free-standing deck or full plan submission will be required.
- Decks constructed according to these guidelines are not approved for future hot tub installations.
- Decks shall not be attached to house overhangs, bay windows, or chimneys.
- Deck shall not be loaded with more than 50 psf (pounds per square foot) total load. Soil bearing capacity shall be minimum 2000 psf and the minimum compressive strength of concrete shall be 3000 psi (pounds per square inch).
- All deck lumber shall be #2 Southern Pine or better. All lumber shall be pressure-treated – with an approved process and preservative in accordance with the American Wood Protection Association standard. All lumber in contact with the ground shall be approved preservative treated wood suitable for ground contact.
- Deck post size and maximum post height shall be in accordance with Table 1, page 5.
- All screws, bolts, washers, nuts and nails shall be hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. Hot-dipped galvanized fasteners shall meet the requirements of ASTM A 153. Class D for fasteners 3/8" diameter and smaller or Class C for fasteners with diameters over 3/8". Stainless steel driven fasteners shall be in accordance with the material requirements of ASTM F 1667. Fasteners other than nails and timber rivets shall be permitted to be of mechanically deposited zinc-coated steel with coatings and weights in accordance with ASTM B695, Class 55, minimum.
- All connectors (joist hangers, cast-in-place post anchors, etc.) shall be galvanized or shall be stainless steel. Hardware to be hot-dipped galvanized prior to fabrication shall meet ASTM A653, G-185 coating. Hardware to be hot-dipped galvanized after fabrication shall meet ASTM A123.
- Screws, spirally grooved and ring shanked nails shall be used for the deck surface and only manufacturer-specified fasteners shall be used to attach the connectors. Do not mix galvanized and stainless-steel connectors.
- Decks 30 inches or less above grade are not required to have a guardrail. Grade measurement is at any point within 36" horizontally.
- All decks that are accessible from the inside of the dwelling shall have at least one receptacle outlet accessible from the deck. (NEC 210.52(d)(3)).
- Before you dig call MISS UTILITY 1-800-257-7777 (2-day notice is required). Please note that the Maryland High Voltage Line Act prohibits any person or object from getting closer than 10 feet to high voltage power lines.

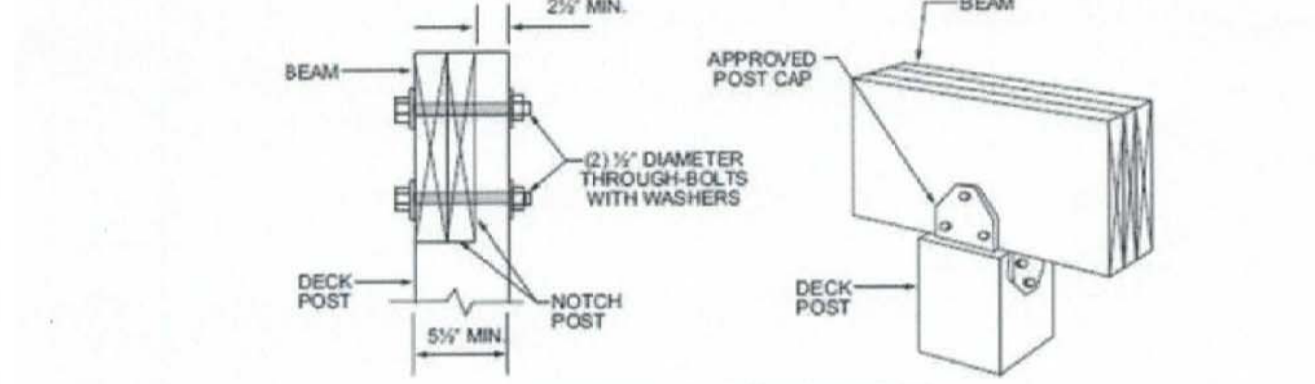
DECK TYPES

Attached Deck: a deck structure that is physically attached to and supported by the house with a ledger board.
Note: Not all decks are permitted to be attached to the house. Ledger Board attachment to brick veneer, stone or cultured stone, house cantilever, bay windows or chimneys, and web floor trusses are not permitted. Band joists supporting attached decks shall be capable of supporting the new deck. Deck joists shall be parallel to the house joists. If the condition can't be verified a free-standing deck or full plan submission will be required

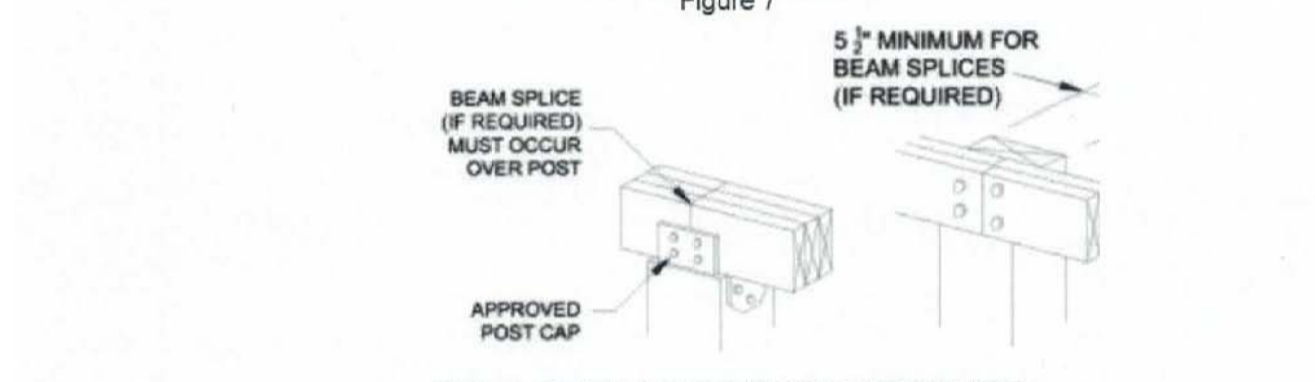
Free-Standing Deck: a self-supporting deck structure built independently from the house, requires two support beams.



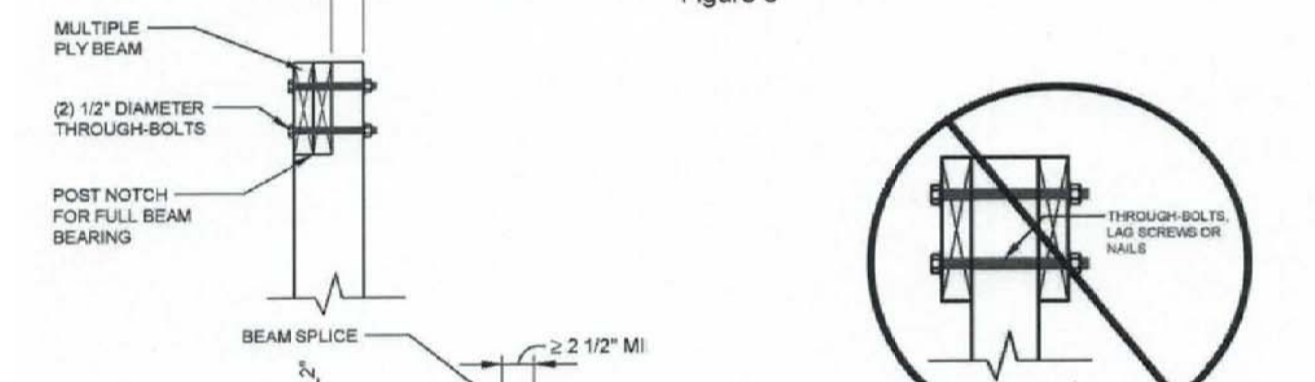
PARALLEL TO BEAM PERPENDICULAR TO BEAM
Note: Diagonal bracing prohibited on center posts



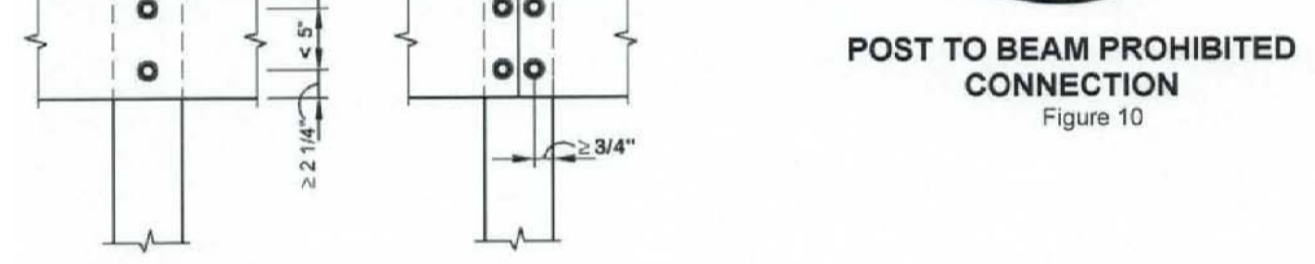
POST-BEAM CONNECTION Figure 7



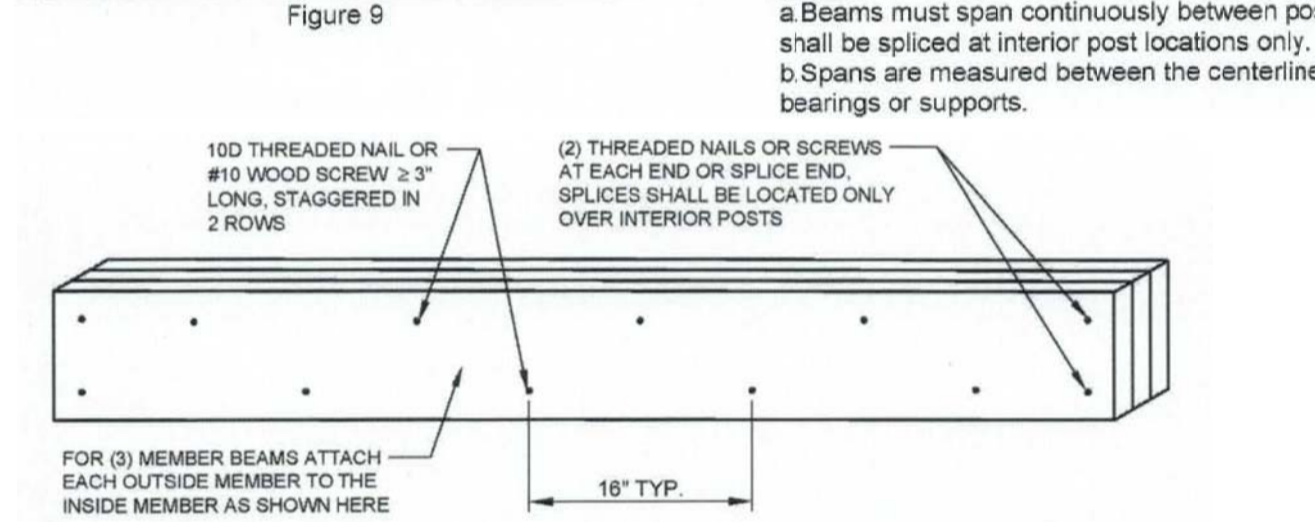
POST-BEAM CONNECTION AT SPLICE Figure 8



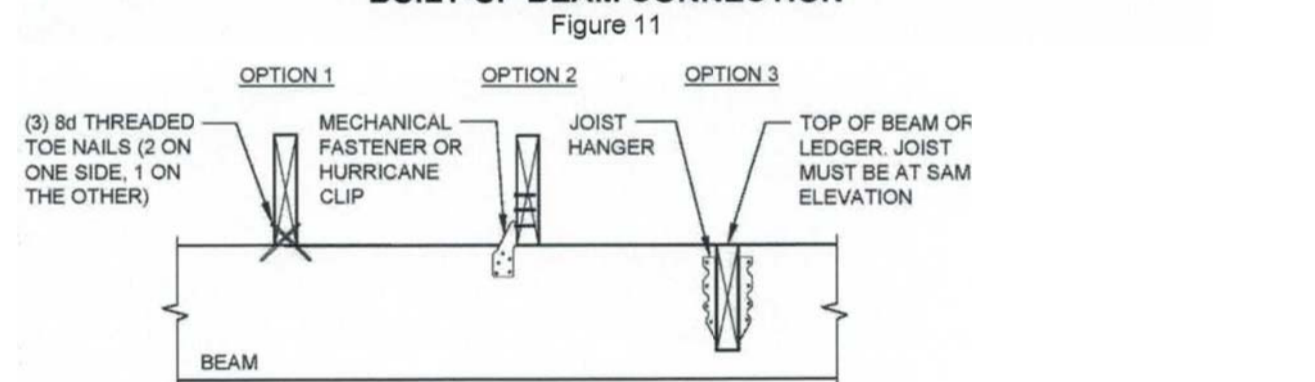
NOTCHED POST TO BEAM CONNECTION Figure 9



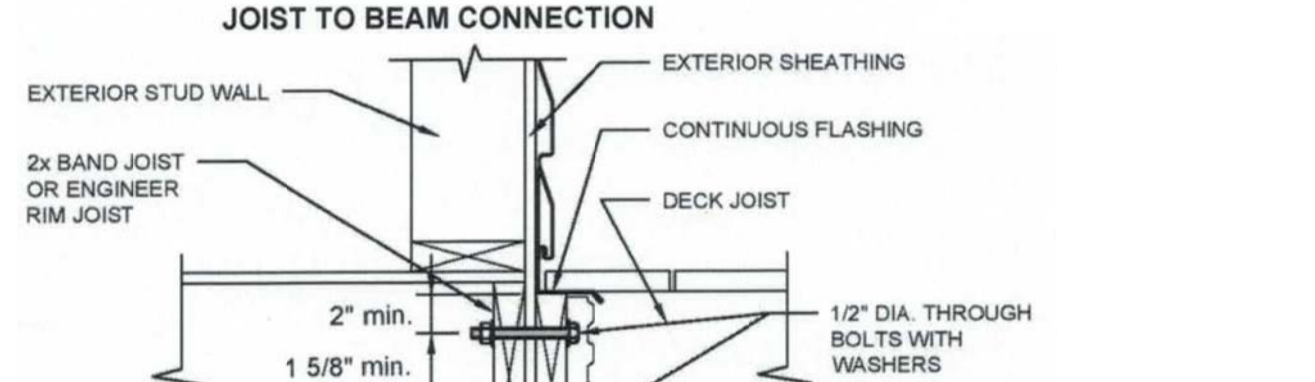
BUILT-UP BEAM CONNECTION Figure 11



JOIST TO BEAM CONNECTION

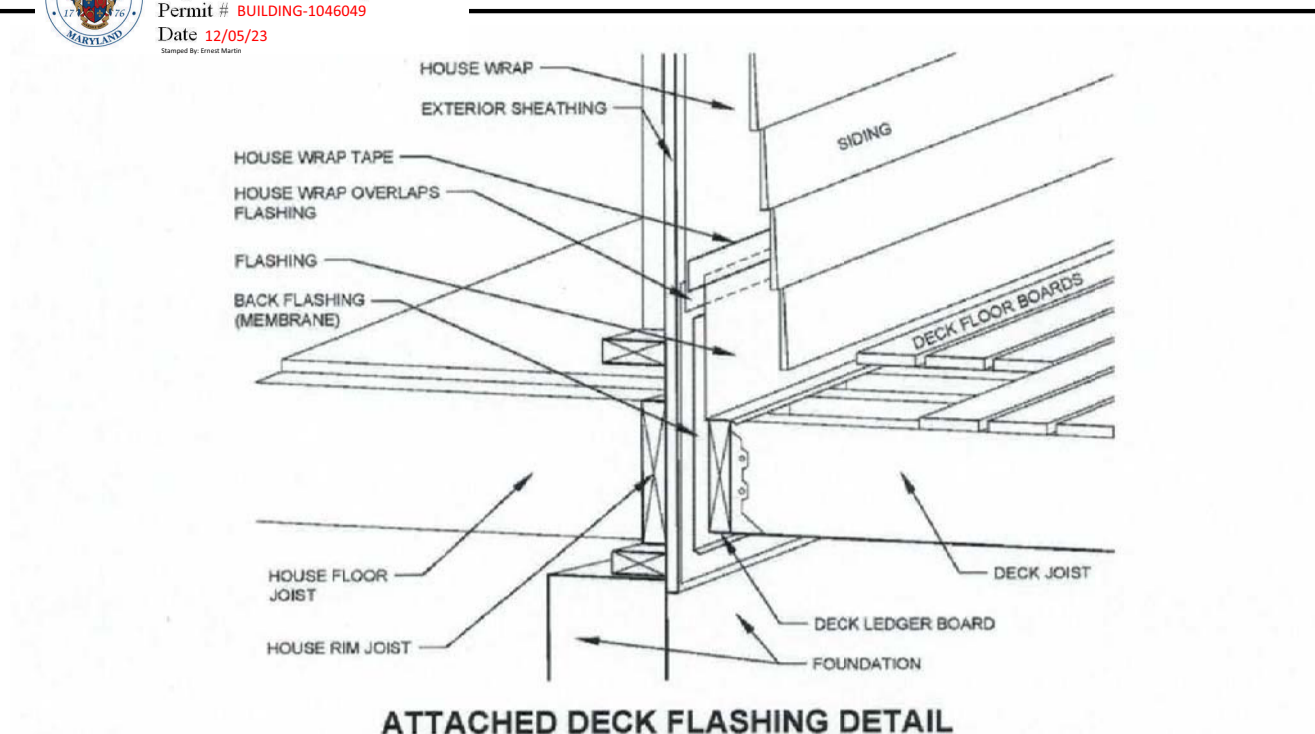


LATERAL LOAD CONNECTION DECK JOISTS PARALLEL TO HOUSE JOISTS



DECK GUARD DETAIL

Manufactured railing systems will be accepted only if they are labeled to indicate compliance with ASTM D7032 and listed by an approved code agency in a current code evaluation report. A complete current code evaluation report for the manufactured railing system to be installed must be provided to the building inspector at the time of framing inspection. Manufactured railing systems must be installed in accordance with the report and manufacturer's specifications. Wood post spacing and connections, if used for supporting manufactured rails, balusters or pickets, must follow the conditions specified by the code evaluation report.

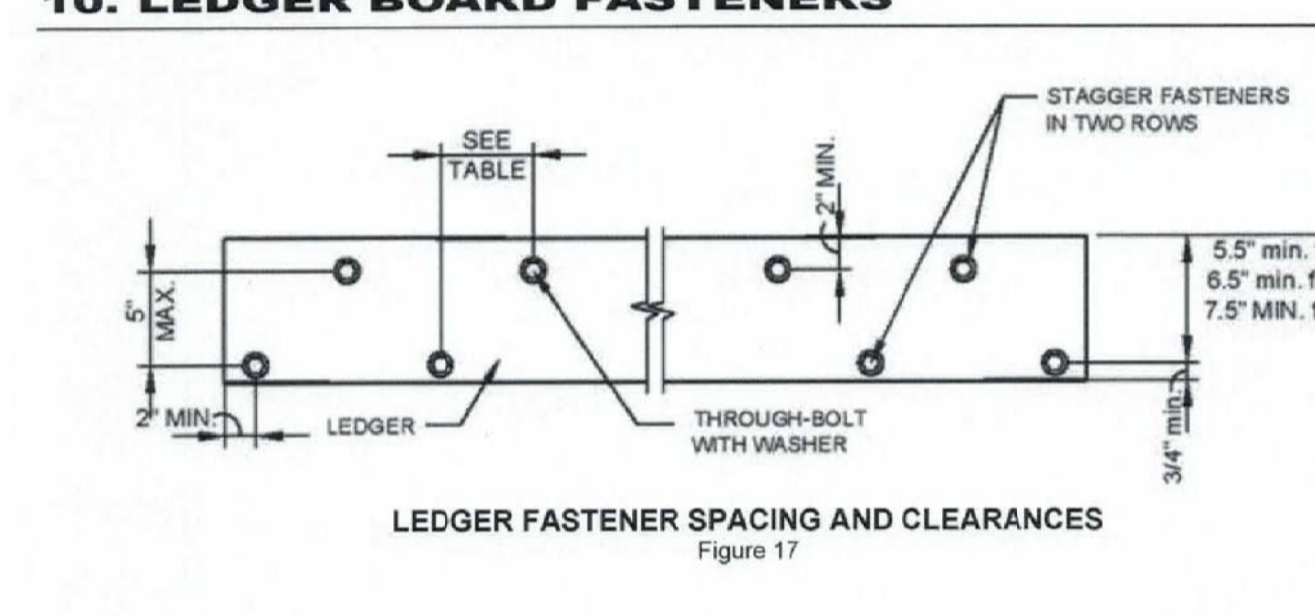


ATTACHED DECK FLASHING DETAIL



PROHIBITED LEDGER ATTACHMENTS

10. LEDGER BOARD FASTENERS



LEDGER FASTENER SPACING AND CLEARANCES Figure 17

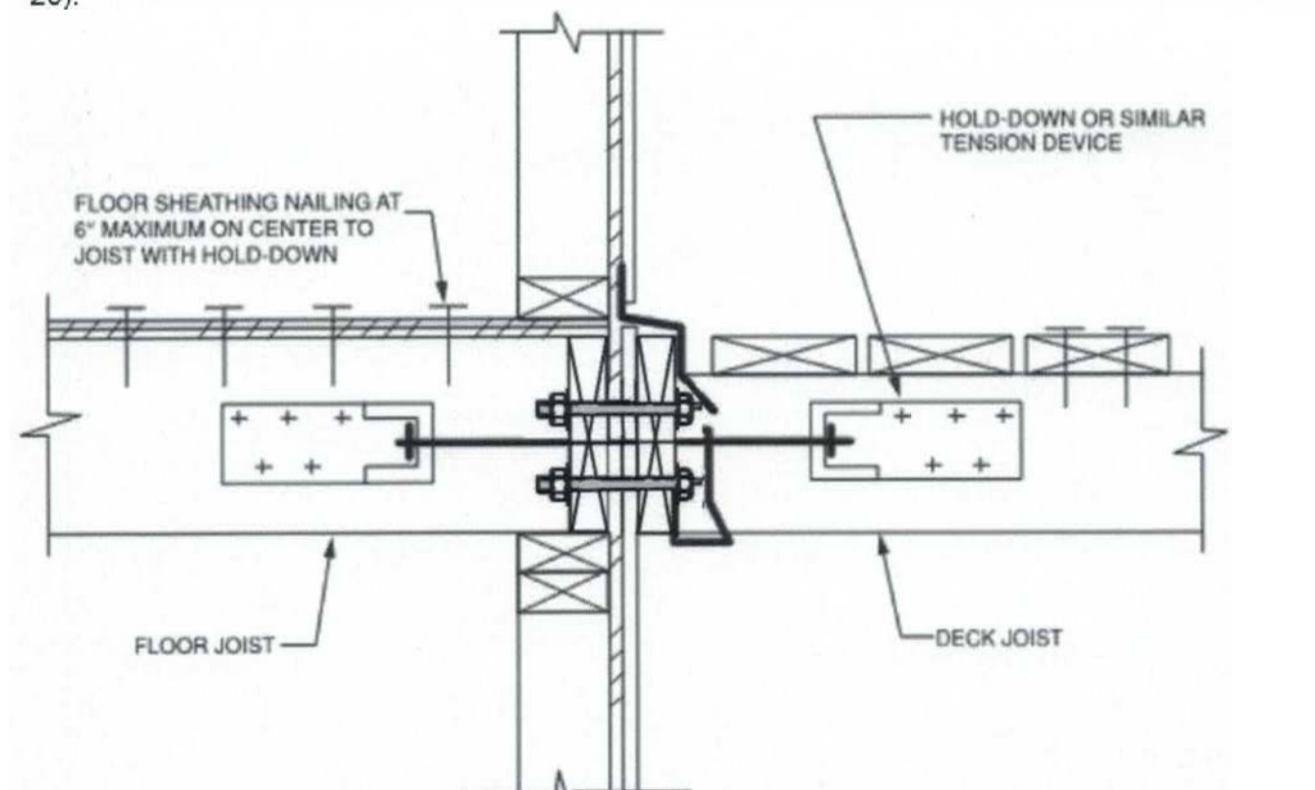
| Connection Max. Joists Span 1/2" dia. bolt | On-Center Spacing of Fasteners | | | | | |
|--|--------------------------------|-------|--------|--------|--------|--------|
| | 6'-0" | 8'-0" | 10'-0" | 12'-0" | 14'-0" | 18'-0" |
| 24" | 18" | 14" | 12" | 10" | 9" | 8" |

FASTENER SPACING Table 5

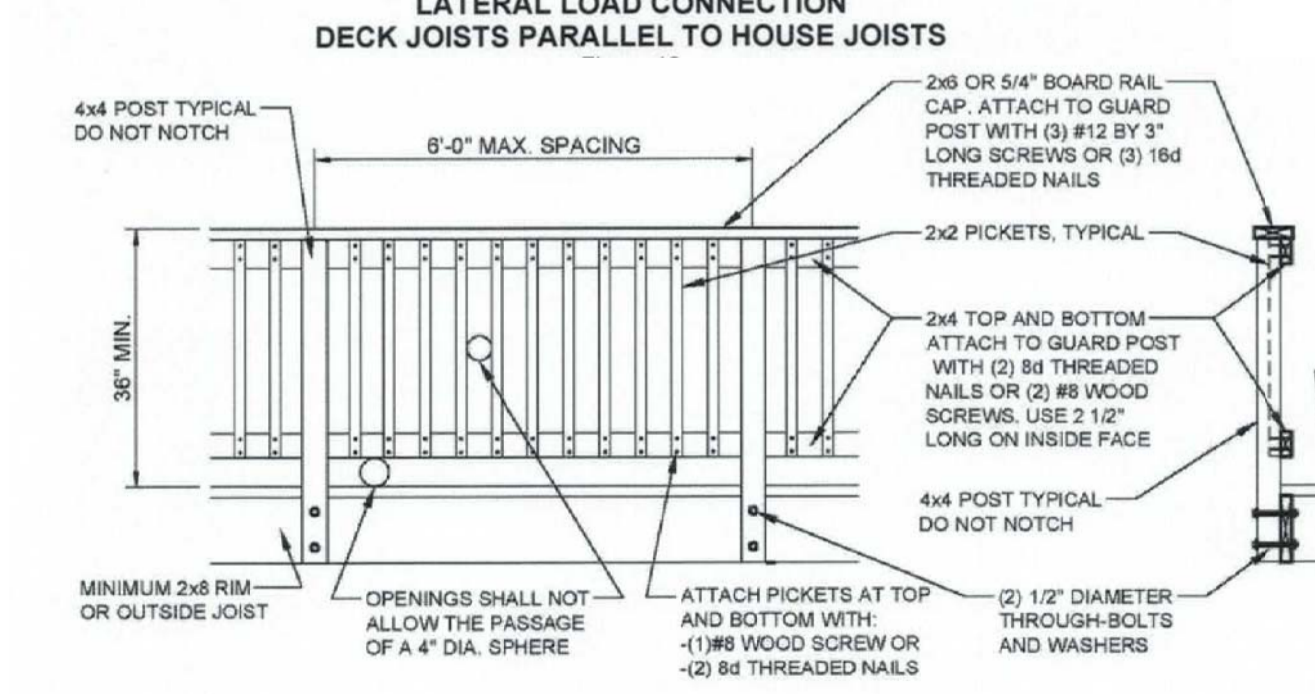
Through-Bolts
Through-Bolts shall have a diameter of 1/2". Pilot holes for through-bolts shall be 17/32" to 9/16" in diameter. Through-Bolts require washers at the bolt head and nut.

11. DECK LATERAL LOAD CONNECTION

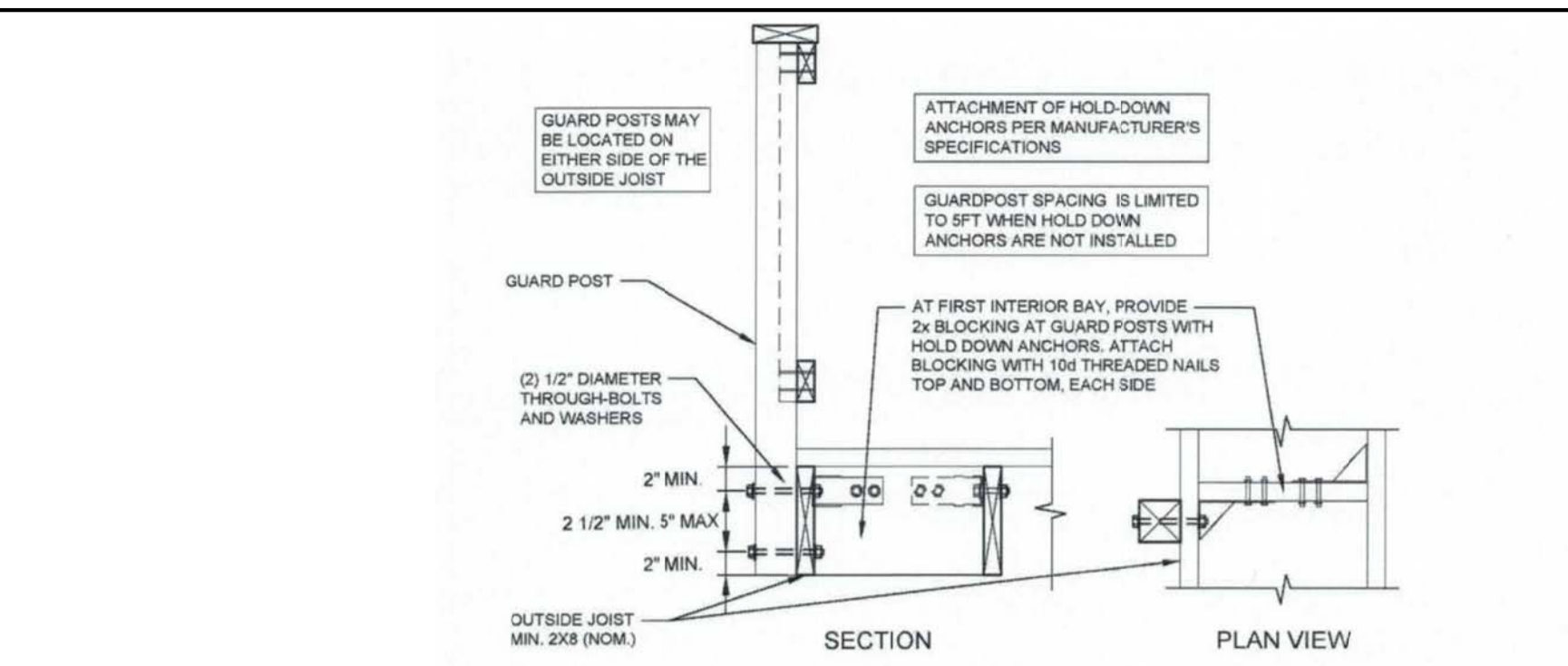
Decks shall be positively anchored to the primary structure. The lateral connection shall be permitted in accordance with Figures 19 and 20. For conditions where the house joists are parallel to the deck joists hold-down devices shall be provided not less than two locations within two feet of the edge of the deck and shall have an allowable design capacity of not less than 1,500lbs (Figure 19); or hold down devices shall be connected to the base of the deck to house structure at not less than 4 locations, evenly distributed along deck and within 2 ft of each end and shall have an allowable design capacity of not less than 750 lbs each (figure 20).



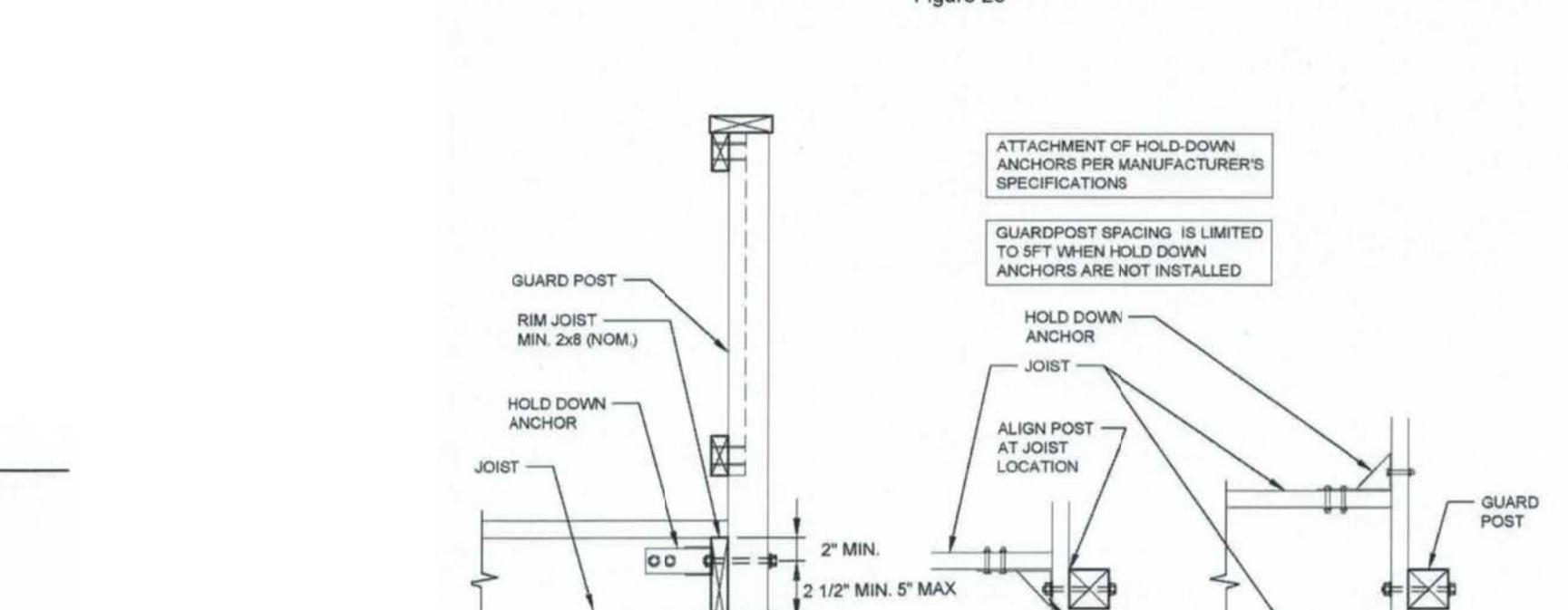
LATERAL LOAD CONNECTION



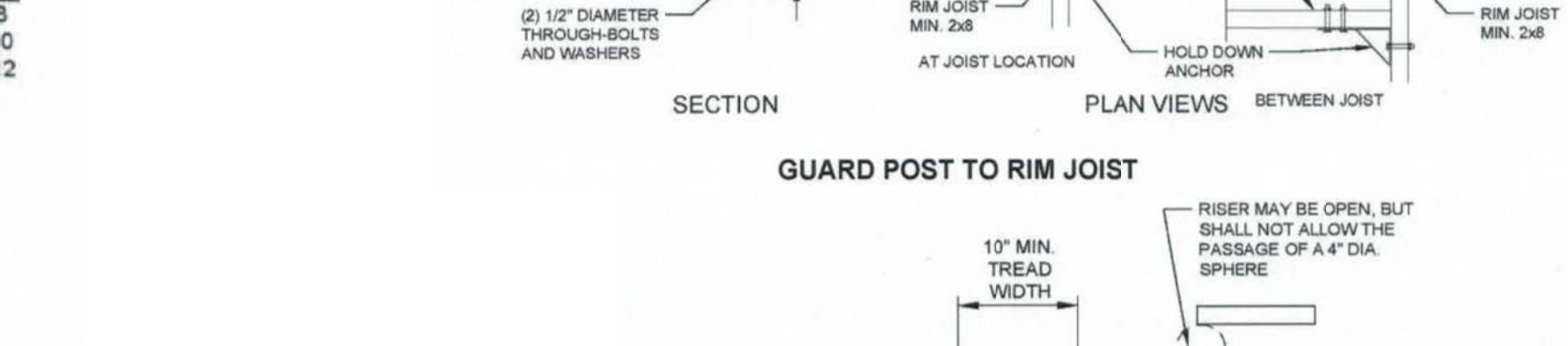
STAIR STRINGER ATTACHMENT



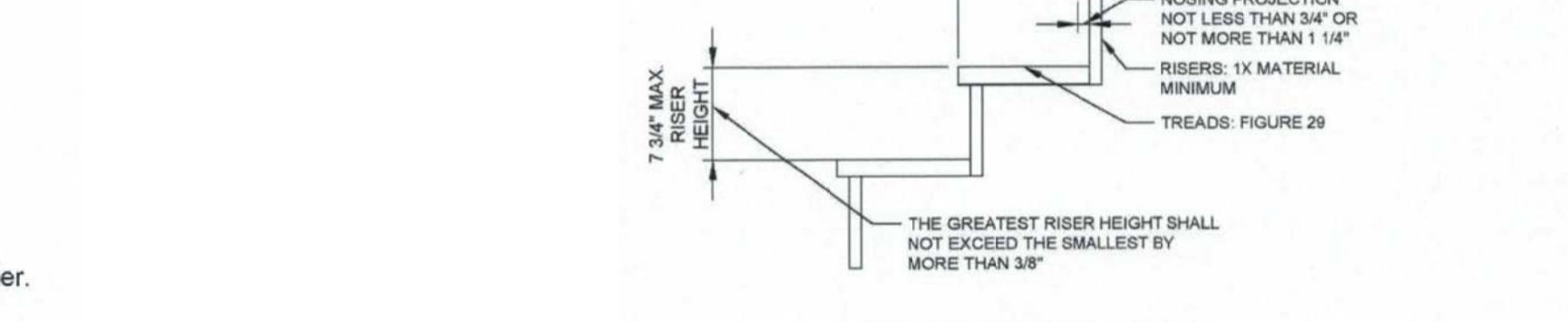
GUARD POST TO OUTSIDE JOIST Figure 25



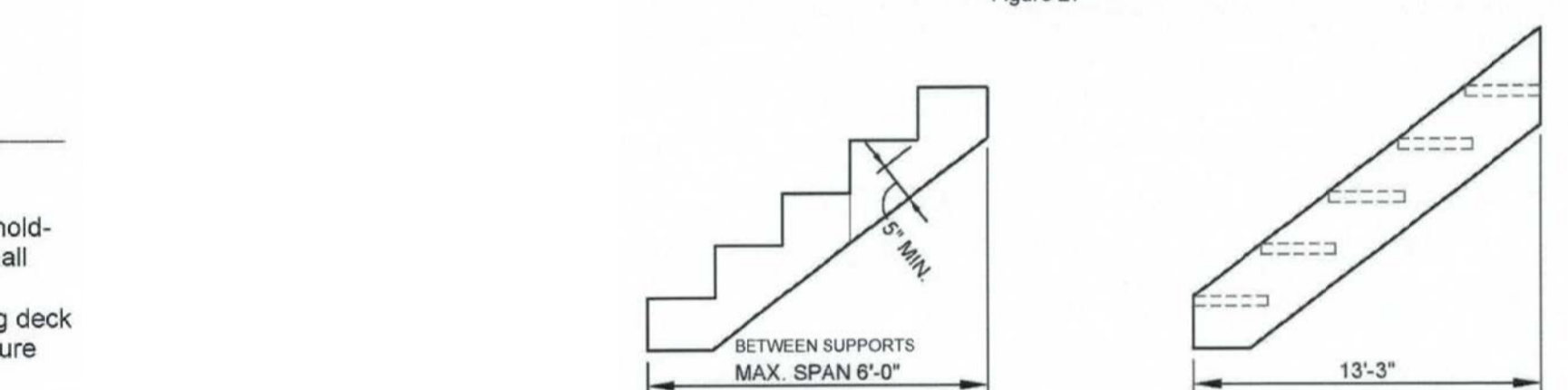
GUARD POST TO RIM JOIST



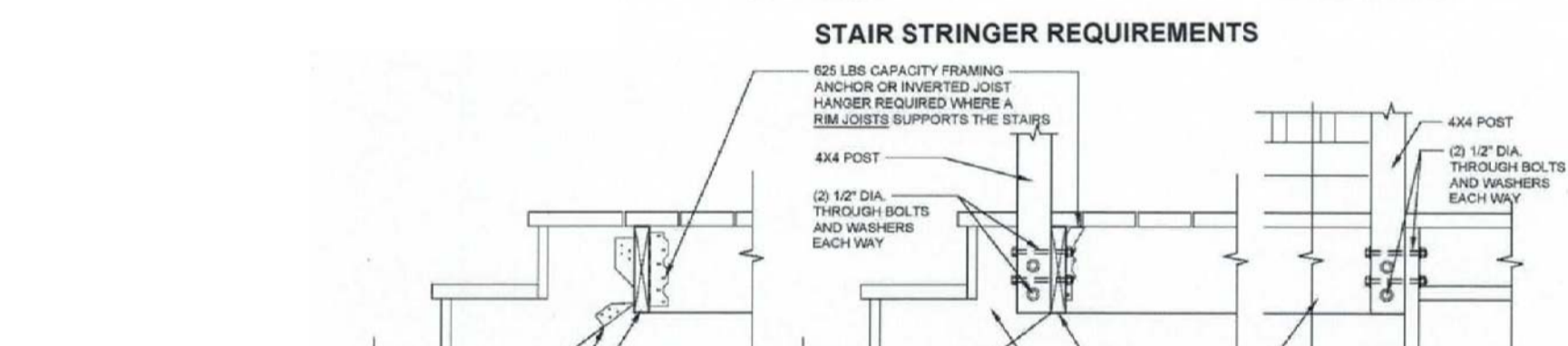
TREAD AND RISER DETAIL Figure 27



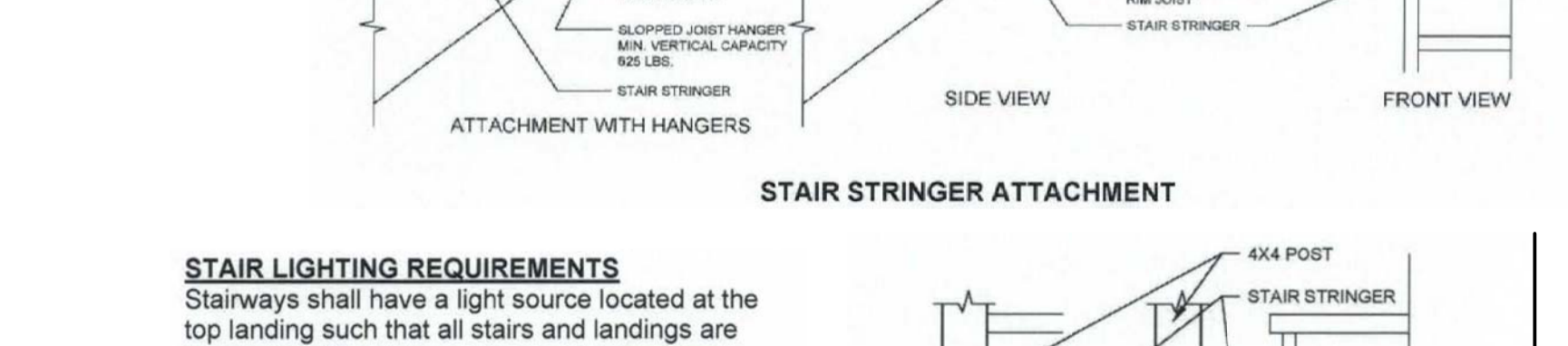
STAIR STRINGER REQUIREMENTS



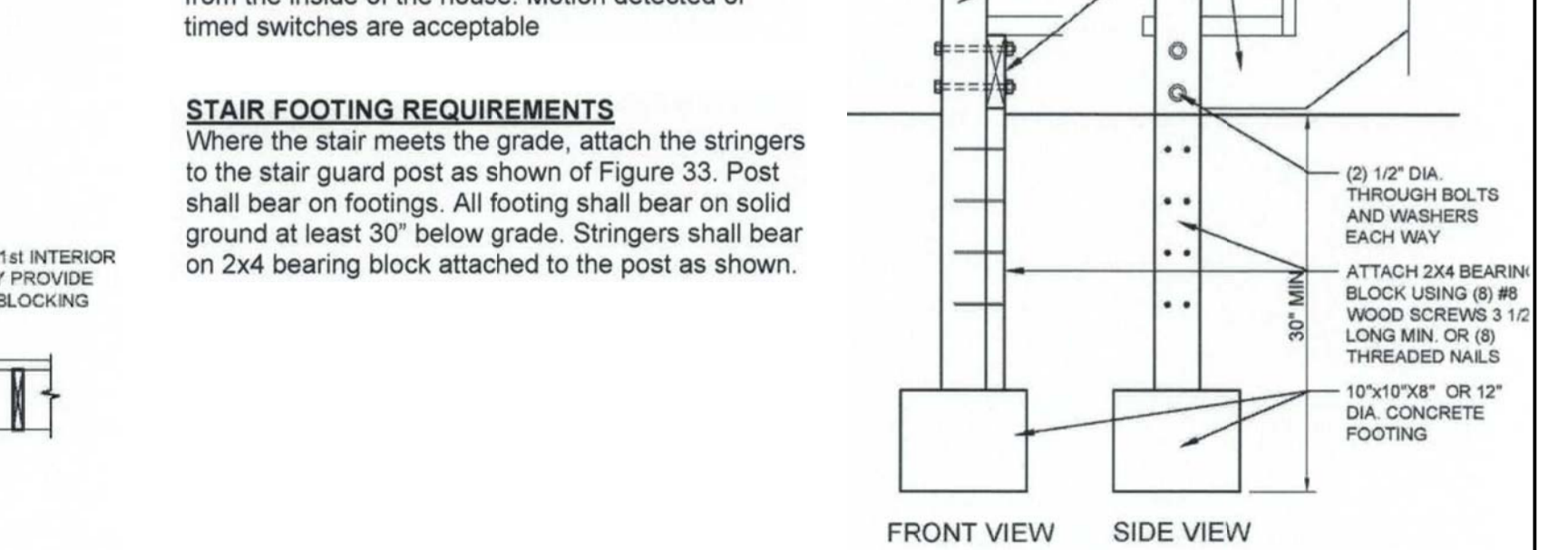
STAIR STRINGER ATTACHMENT



STAIR LIGHTING REQUIREMENTS



STAIR FOOTING REQUIREMENTS



DECK GUARD DETAIL

KRAMER ARCHITECTS INC.
7960-B Old Georgetown Road, Bethesda, Md. 20814
Phone: (301) 913-9254 Fax: (301) 652-2700

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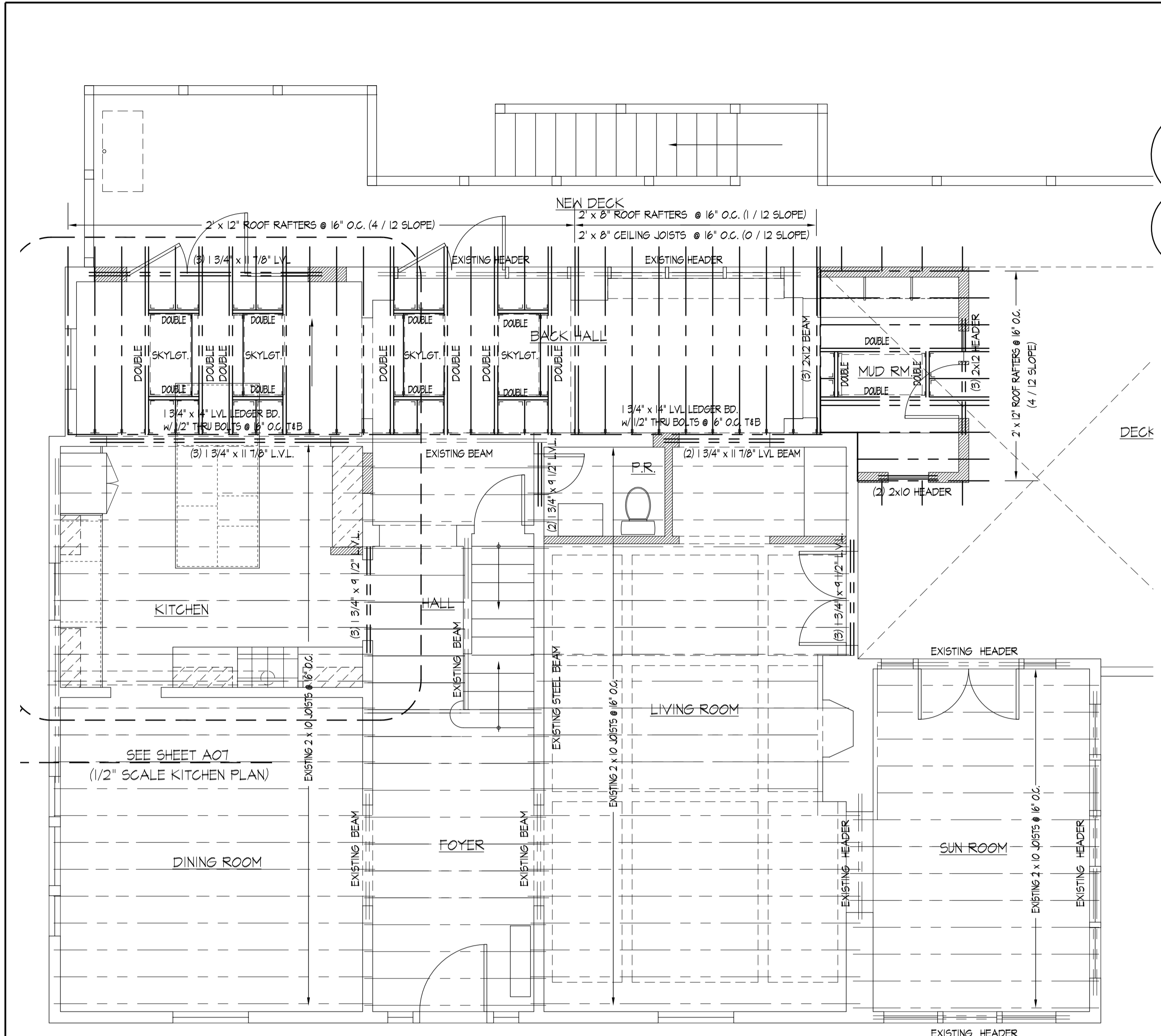
PROJECT: PEMMERL-CANTOR RESIDENCE
43 WEST LENOX STREET
CHEVY CHASE, MD 20815

SHEET TITLE: DECK DETAILS

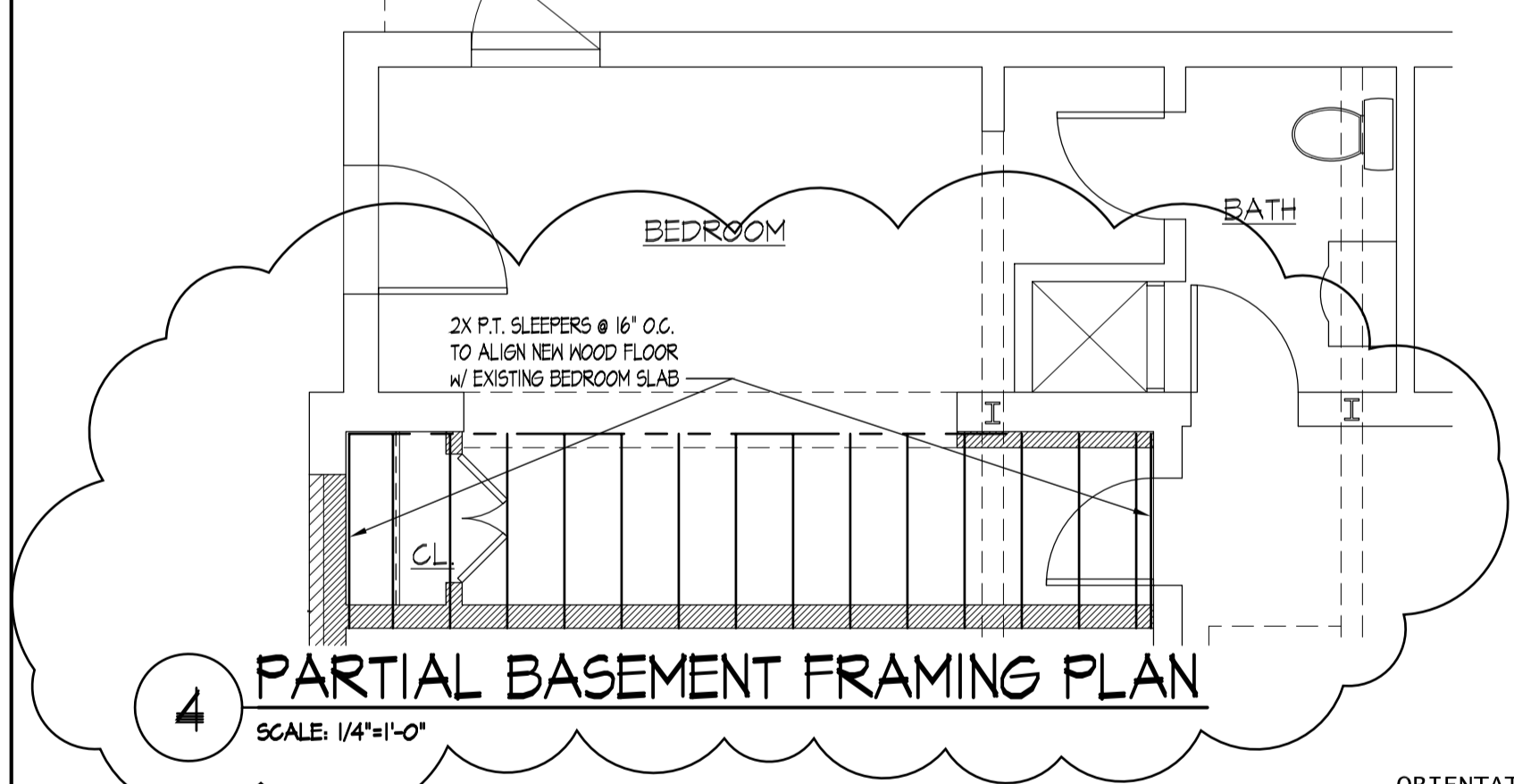
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Bids:
Scale: AS NOTED
Project Number 2309

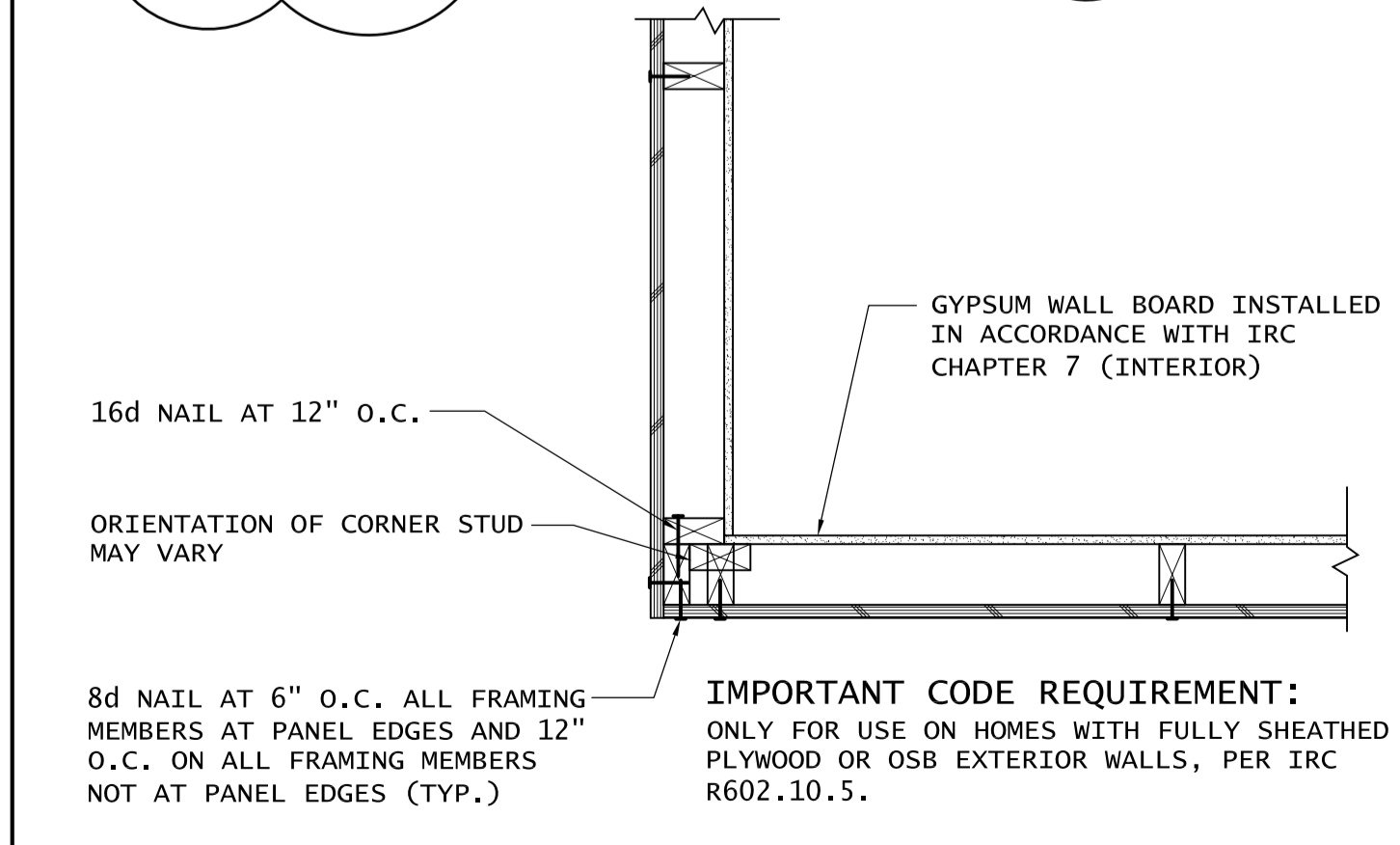
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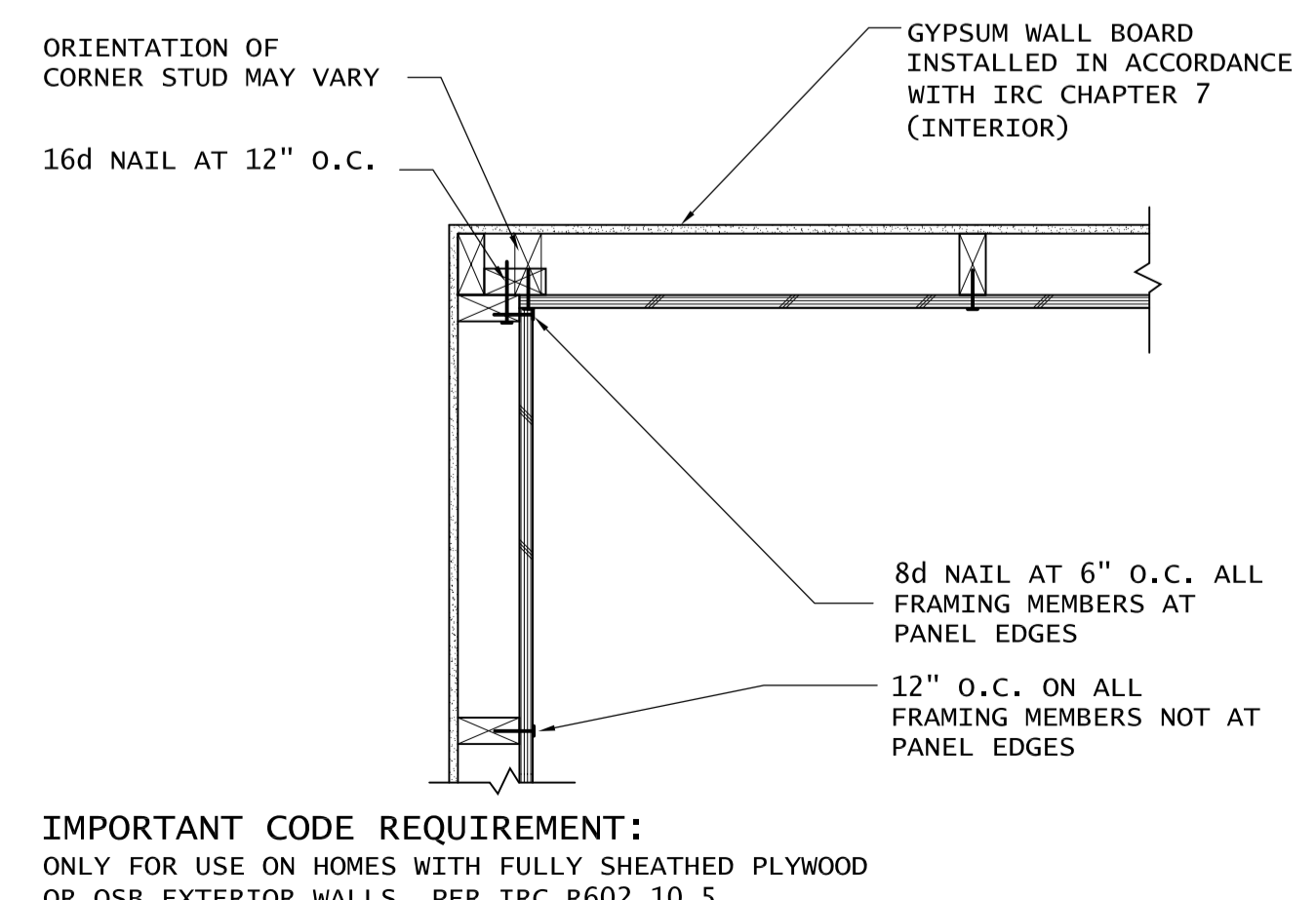
2 1st FL. ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"



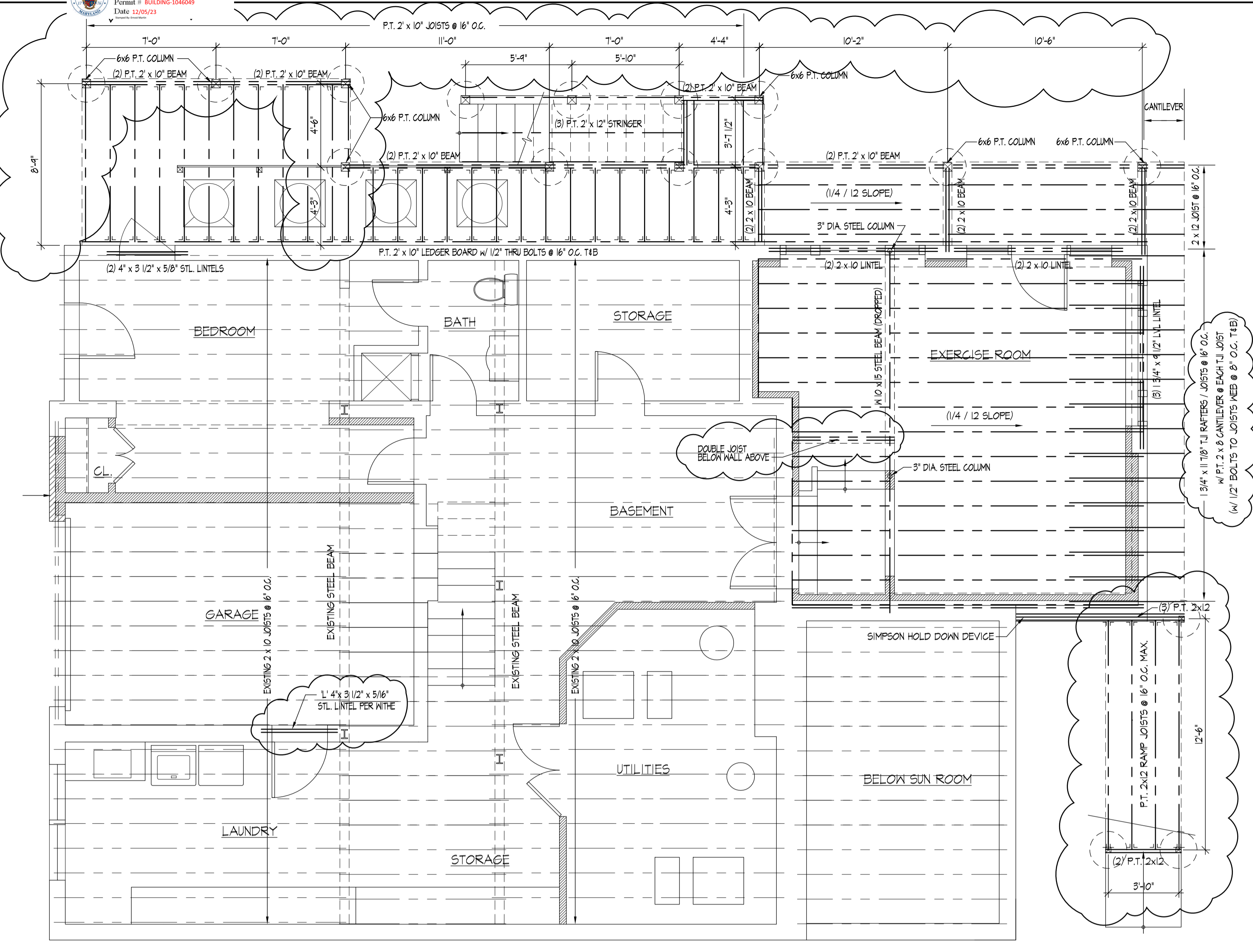
4 PARTIAL BASEMENT FRAMING PLAN
 SCALE: 1/4"=1'-0"



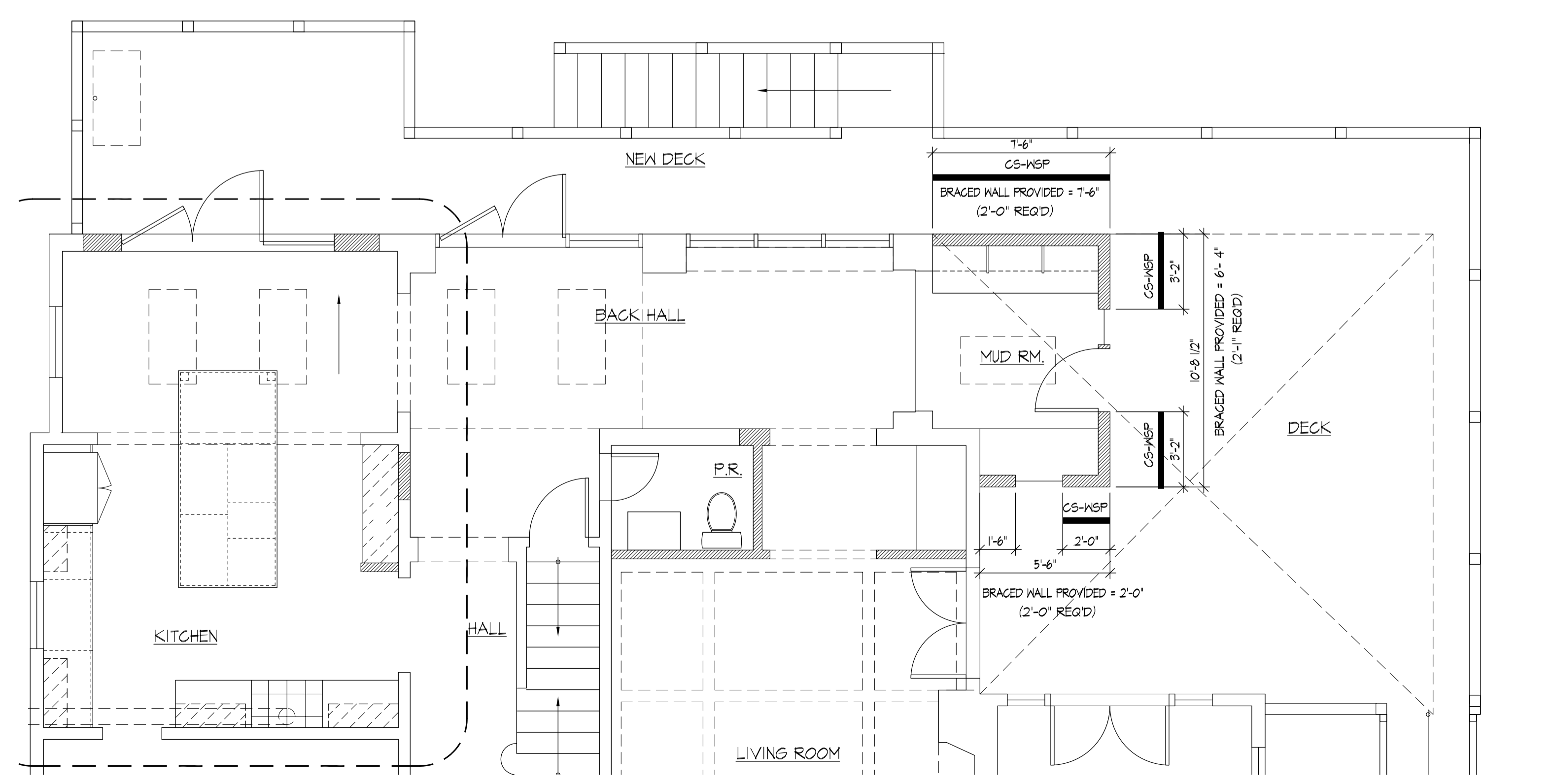
EXAMPLE OF OUTSIDE CORNER DETAIL
 PER IRC R602.10.5



EXAMPLE OF INSIDE CORNER DETAIL
 PER IRC R602.10.5



1 1st FL. FRAMING PLAN
 SCALE: 1/4"=1'-0"



3 1st FL. WIND BRACING PLAN
 SCALE: 1/4"=1'-0"

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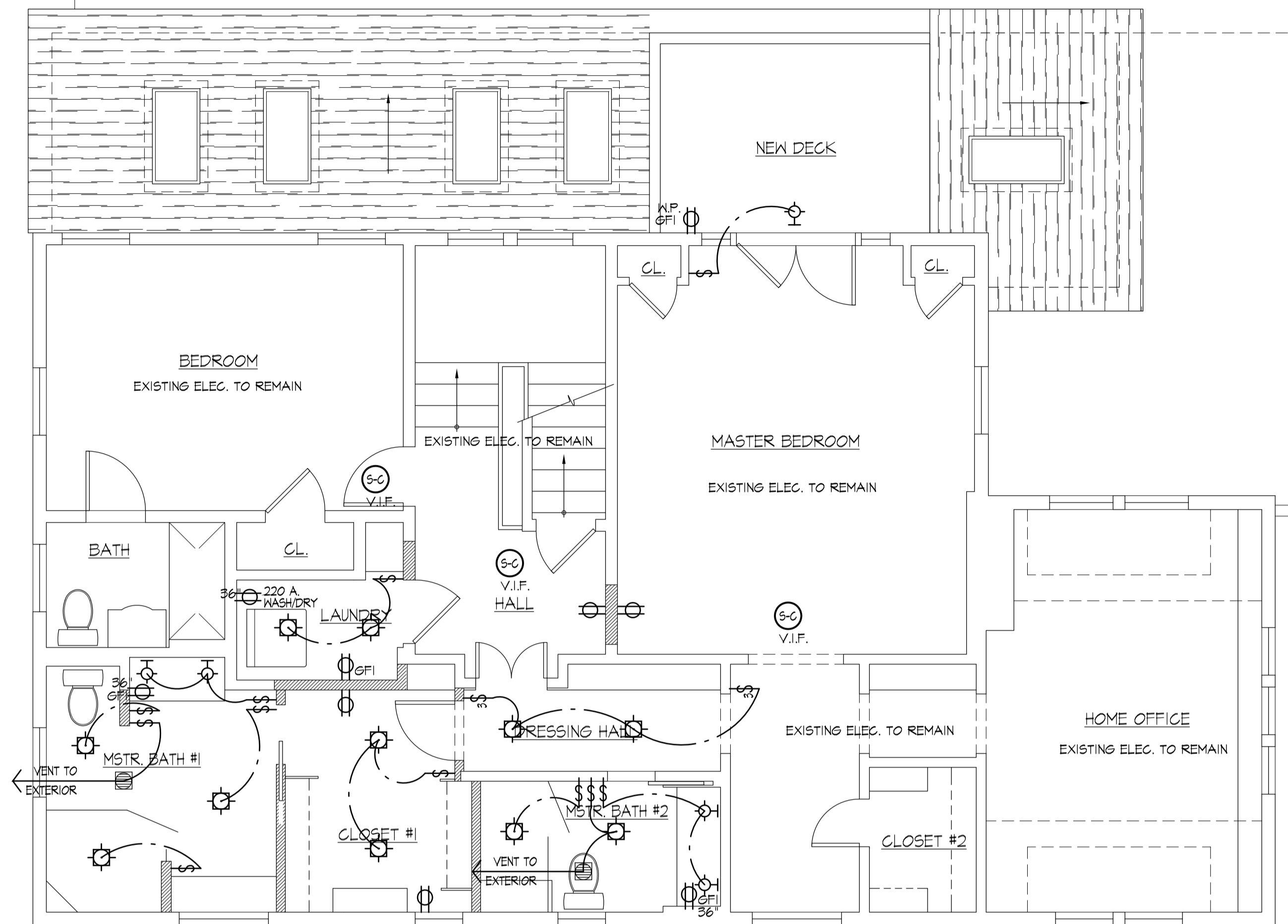
PROJECT: PEMMERL-CANTOR RESIDENCE
 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE: FRAMING & BRACING PLANS

REVISIONS: 11.03.2023

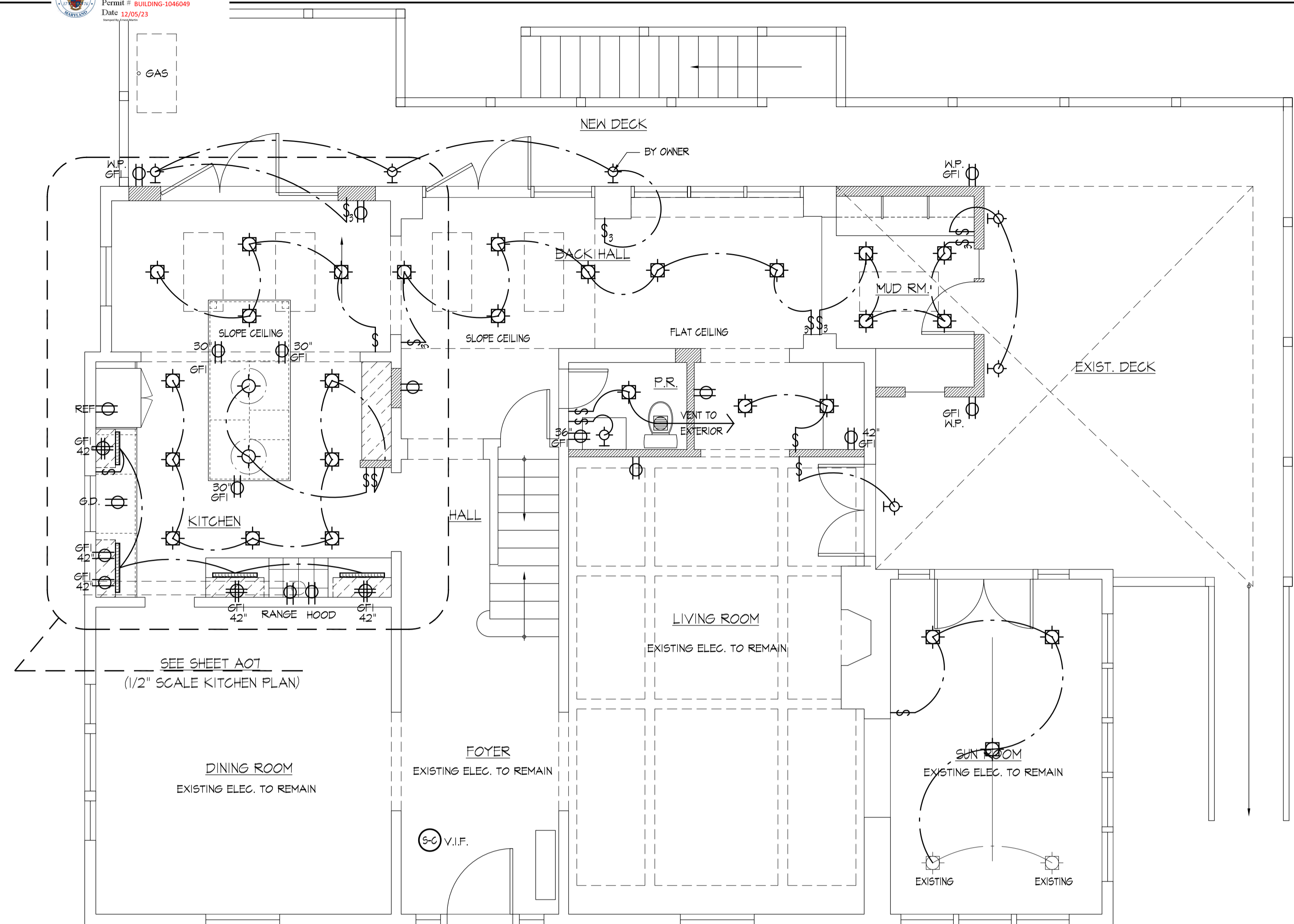
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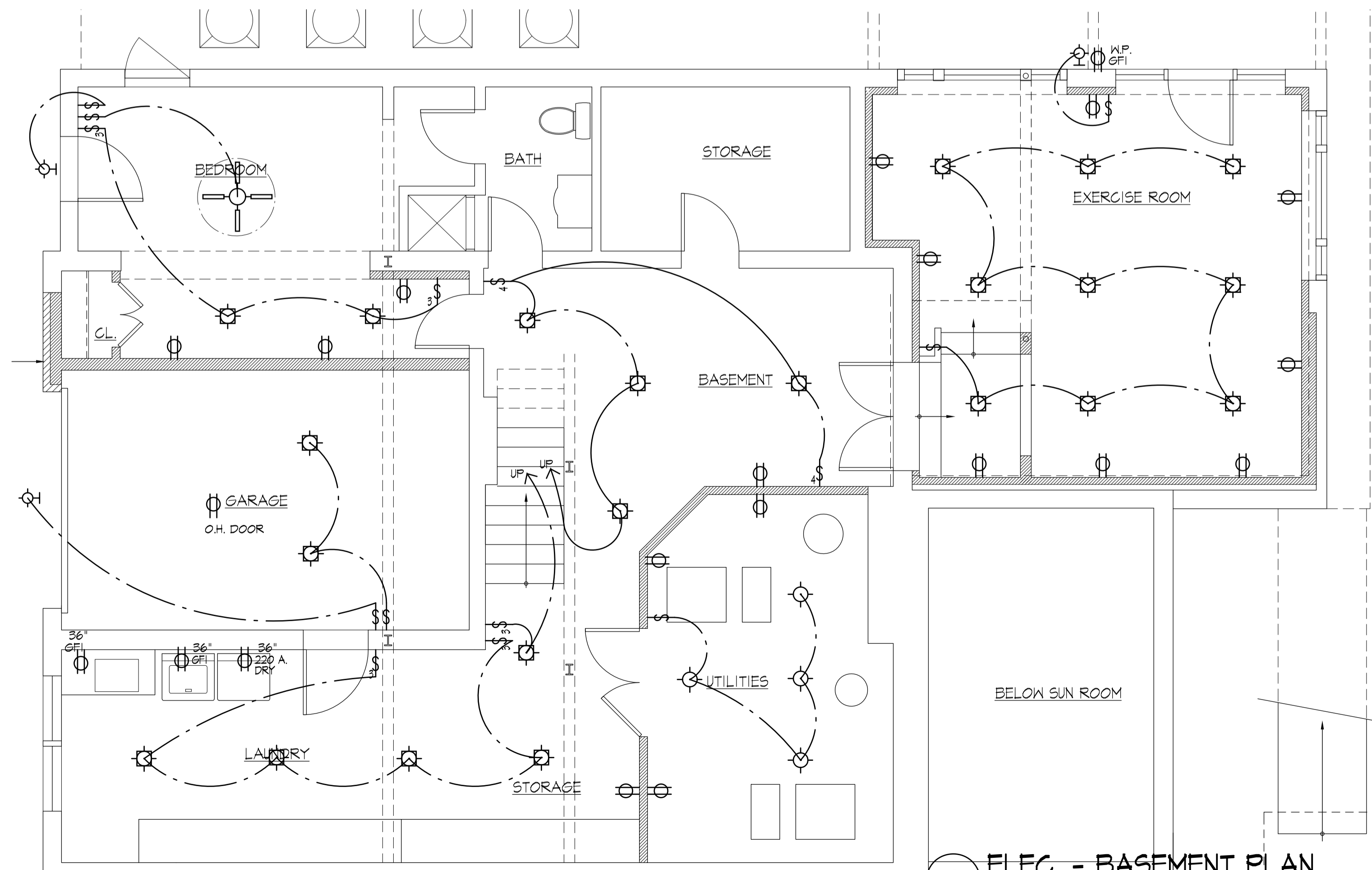
2 ELECTRICAL - 2nd FLOOR PLAN
 SCALE: 1/4"=1'-0"

NOTE: NO WORK IN ATTIC



1 ELEC. - 1st FLOOR PLAN
 SCALE: 1/4"=1'-0"

| ELECTRICAL FIXTURE SCHEDULE | |
|--|--|
| LIGHT FIXTURE - WITH HIGH EFFICIENCY (2700 K) LED LAMP | |
| | PENDANT |
| | HANGING - CEILING MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR |
| | CEILING MOUNTED (SURFACE) LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR |
| | WALL MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR |
| RECESSED LIGHT FIXTURES - WITH DIMMABLE HIGH EFFICIENCY (2700 K) LED LAMP | |
| | 3 1/2" RECESSED Lightolier Step Baffle Recessed Light #2005WH Reflector, #2002P1 Frame-in kit with LED 9 watts, 600 Lumens |
| | RECESSED WALL WASHER |
| | RECESSED DIRECTIONAL FIXTURE |
| | DUPLEX OUTLET - SET 12" AFF U.O. |
| | DUPLEX OUTLET -42" AFF |
| | DUPLEX OUTLET - 1/2 SWITCHED |
| | FLOOR OUTLET |
| | QUADRUPLEX OUTLET |
| | SWITCH, 3 - WAY, 4 - WAY SET 36" AFF U.O. |
| | SWITCH - SET @ 36" AFF U.O. |
| | DIMMER |
| | GROUND FAULT INTERRUPT (48" A.F.F. U.O.) |
| | DUPLEX @ CLG. FOR GARAGE DOOR OPENER |
| | JUNCTION BOX - SERVING ITEM INDICATED VOLTAGE AS NOTED |
| | KEY PAD |
| | SWITCH CIRCUIT |
| | THERMOSTAT HONEYWELL OR EQUAL LED DISPLAY |
| | APPLIANCE OUTLET - SEE MANUF. INSTRUCTIONS FOR ELEC. REG. |
| | DOOR BELL BUTTON |
| | SPEAKER |
| | DOOR BELL |
| | DOOR SWITCH |
| | ARC FAULT INTERRUPT |
| | GROUND FAULT INTERRUPT |
| | WATER PROOF/GROUND FAULT INTERRUPT |
| | SMOKE DETECTOR & CARBON MONOXIDE DETECTOR COMBO - CONNECTED IN SERIES W/ BATTERY BACKUP MOUNTED AT CEILING TO - MEET LOCAL BLD. CODES |
| | MISCELLANEOUS Fan/LED Light combo - exhaust to exterior sized for cubic feet of room Fan only - exhaust to exterior sized for cubic feet of room Ceiling Fan, with separate lines for light and fan operation from switch or per drawing-owner to provide and G.C to install - PROVIDE ADEQUATE SUPPORT- LED TAPE undercabinet lighting, Allow \$258.30 "Dominion" quote per unit FLOOD LIGHT W/ HOUSING LANDSCAPE LIGHT FIXTURE TRACK LIGHT / HEADS PULL CHAIN / KEYLESS LIGHT 48" X 24" FLUORESCENT FIXTURE - 4 BULB TV TELEVISION / INTERNET CABLE JACK - VERIFY LOCATION W/ OWNER ELEC. PANEL |
| NOTE: Owner shall be responsible for providing all lines for speakers, computers, and security system. Contractor must coordinate scheduling with owner's and their specialist for installation. | |
| NOTE: ALL RECESSED LIGHTS TO BE WHITE W/ WHITE BAFFLE COORDINATE W/ OWNER FOR FINAL FIXTURE SELECTION | |



3 ELEC. - BASEMENT PLAN
 SCALE: 1/4"=1'-0"

ELECTRICAL PLANS NOT REVIEWED FOR CODE COMPLIANCE

KRAMER ARCHITECTS INC.
 7960-B Old Georgetown Road, Bethesda, Md. 20814
 Phone: (301) 652-2700 Fax: (301) 913-9254

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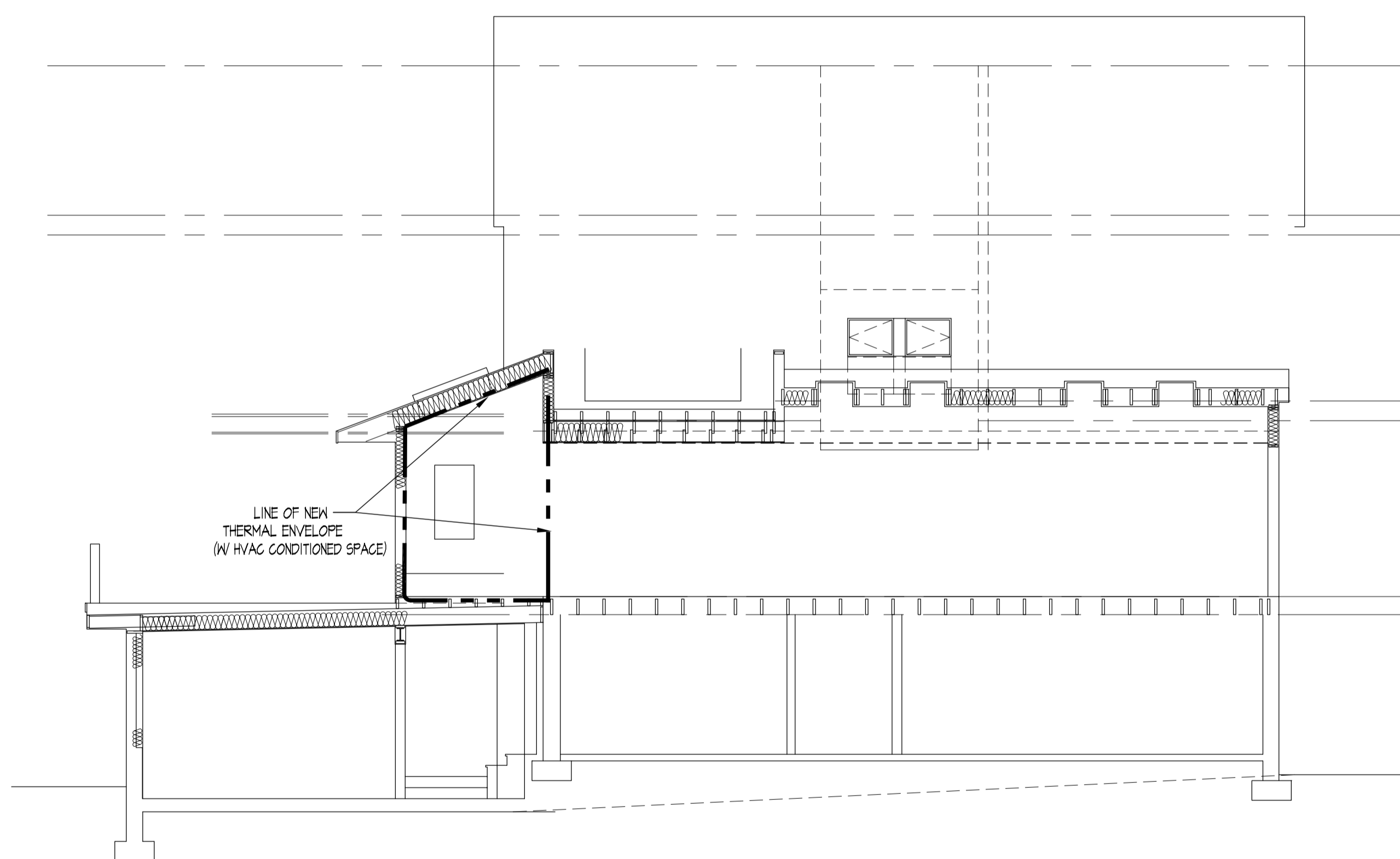
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 CHEVY CHASE, MD 20815

SHEET TITLE: ELECTRICAL PLANS

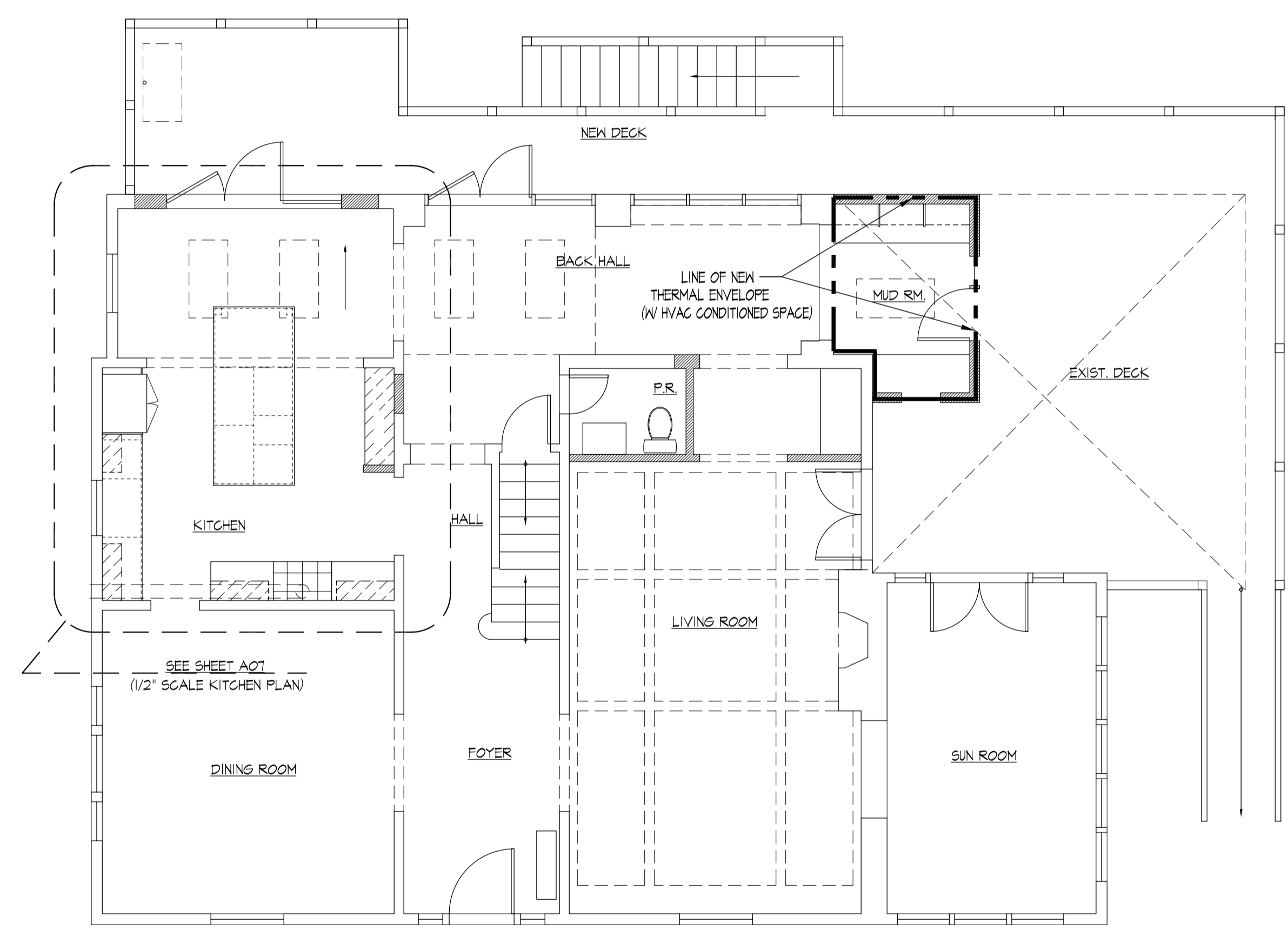
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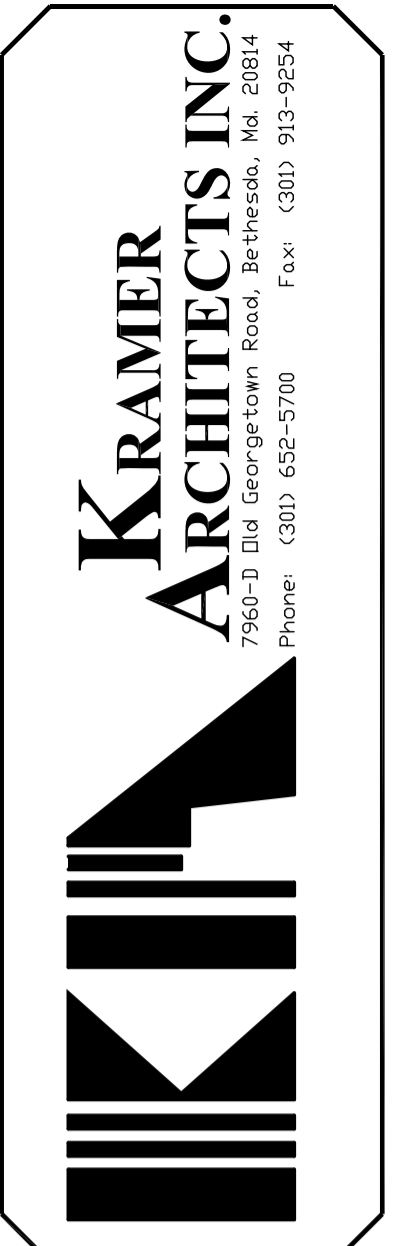
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2 THERMAL ENVELOPE - SECTION
 SCALE: 3/16"=1'-0"



1 THERMAL ENVELOPE - 1st FL. PLAN
 SCALE: 3/16"=1'-0"



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PROJECT:
 PEMMERL-CANTOR RESIDENCE
 43 WEST LENOX STREET
 CHEVY CHASE, MD 20815

SHEET TITLE:
 THERMAL ENVELOPE

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