

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7617 Takoma Avenue, Takoma Park	<b>Meeting Date:</b>	2/21/2024
<b>Resource:</b>	Non-Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	2/14/2024
<b>Applicant:</b>	Richard D. Weil	<b>Public Notice:</b>	2/7/24
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Permit Number:</b>	1027485	<b>Staff:</b>	Chris Berger

**PROPOSAL:** Partial demolition and construction of a screened-in porch

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**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with one condition** the HAWP application with final approval delegated to staff:

1. The applicant shall provide staff the final measurements of the porch and associated features.



*Figure 1: The subject property at 7617 Takoma Ave. is starred. It is at the southeast corner of Takoma and New York Avenues in the Takoma Park Historic District. The district boundaries are outlined in black.*

## **ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District  
 STYLE: Colonial Revival  
 DATE: Circa 1937

## **PROPOSAL**

The applicant proposes to convert a section of the deck in the rear yard into a screened porch. The area is currently an elevated section of deck with balustrade that is covered by a trellis. The porch will measure approximately 81 square feet. The screens and frames will measure approximately 8 feet tall and will be installed inside of the existing balustrade. The shed roof will be covered with three-tab shingles and will have a pair of 21-by-45.75-inch fixed vinyl and aluminum skylights. The ends of the roof will be filled with lap siding to match what is present on the house. A Phantom screen door will be located at the stairs that leads to the deck. A K-style aluminum gutter will be installed along the roof edge and will connect to an aluminum downspout.

## **APPLICABLE GUIDELINES**

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A* (Chapter 24A), and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

### ***Takoma Park Historic District Guidelines***

There are two broad planning and design concepts that apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The subject property falls under the category of Non-Contributing/Out-of-Period Resources, defined as either having little or no architectural and historical significance to the historic district or was constructed outside of the district's primary periods of historical importance. The design guidelines state that these types of resources should receive the most lenient level of design review and should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing that affect the surrounding streetscape and/or landscape and could impair the character of the historic district.

### ***Montgomery County Code, Chapter 24A-8***

The following guidance that pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### ***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

Staff supports the proposed screened porch and recommends approval. As a Non-Contributing Resource in the Takoma Park Historic District, the building is to receive the most lenient level of design review. The HPC considers alterations to the scale and massing of Non-Contributing Resources in terms of their impact on the overall streetscape and environmental setting of the historic district, but other changes to a Non-Contributing resource should be approved as a matter of course. Similarly, Chapter 24A-8(d) states that “the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district”.

The proposed replacement screened porch is appropriate and will not adversely impact the historic district. At approximately 81 square feet, it will be minimal in size. It will be constructed on top of an

existing deck with trellis that was added after the construction of the rear addition in 1989. In accordance with Chapter 24A-8(b)(1), it will not alter the exterior features of an historic resource within an historic district. Further, in accordance with Chapter 24A-8(b)(2), it will be compatible in character and nature with the historic district where screened porches are common. The screened porch will also meet Standards # 2, 9, and 10 because the historic character of the property will be retained; the new addition will not destroy the historic materials that characterize the property; and the form and integrity of the property will be unimpaired if the porch is removed in the future.

There is conflict between the narrative provided by the applicant and the plans in regard to the measurements for the porch square footage, skylights, and screen panels, so staff seeks a condition that the applicant confirm the final measurements.

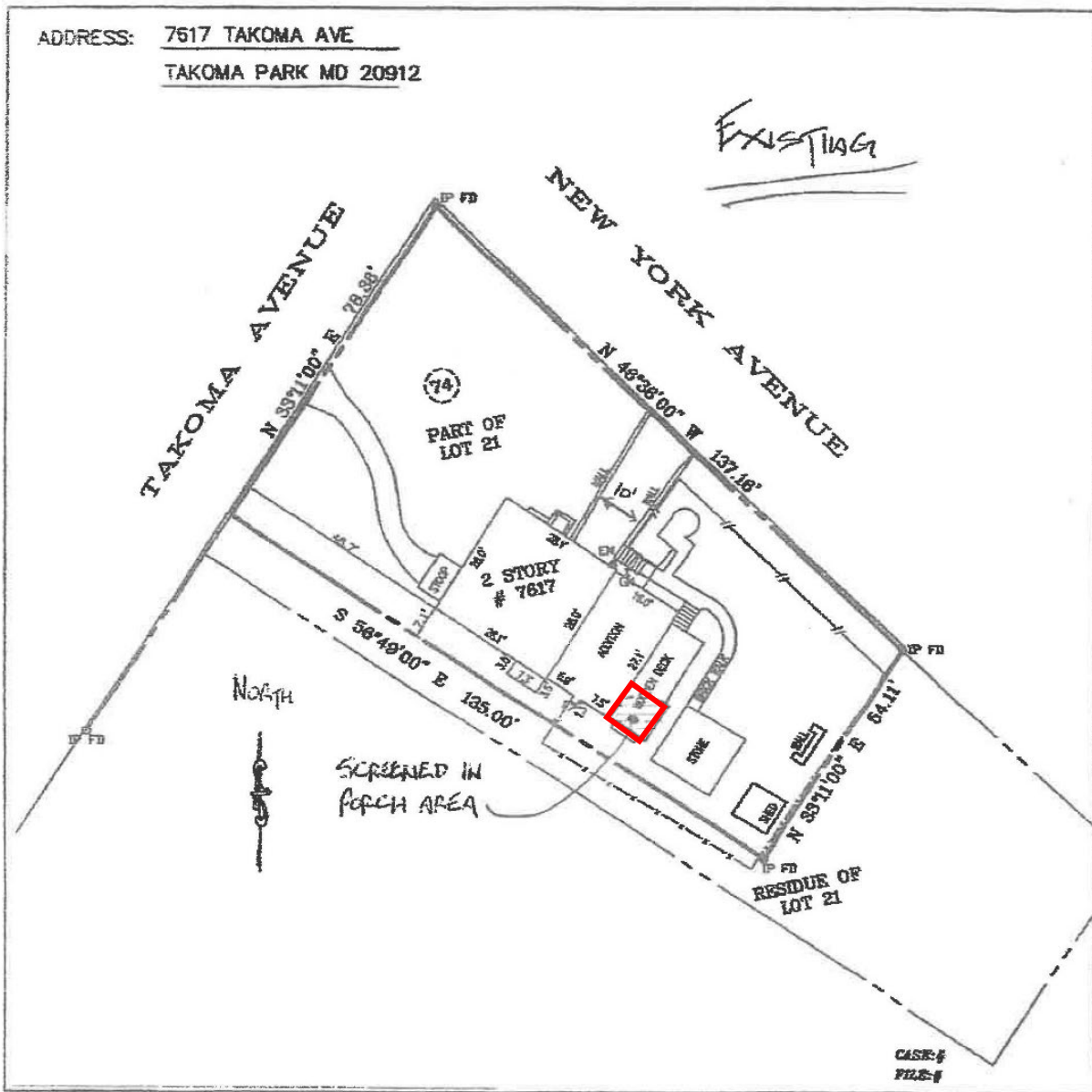


Figure 2: The site plan shows the location of the screened porch in the rear yard outlined in red.

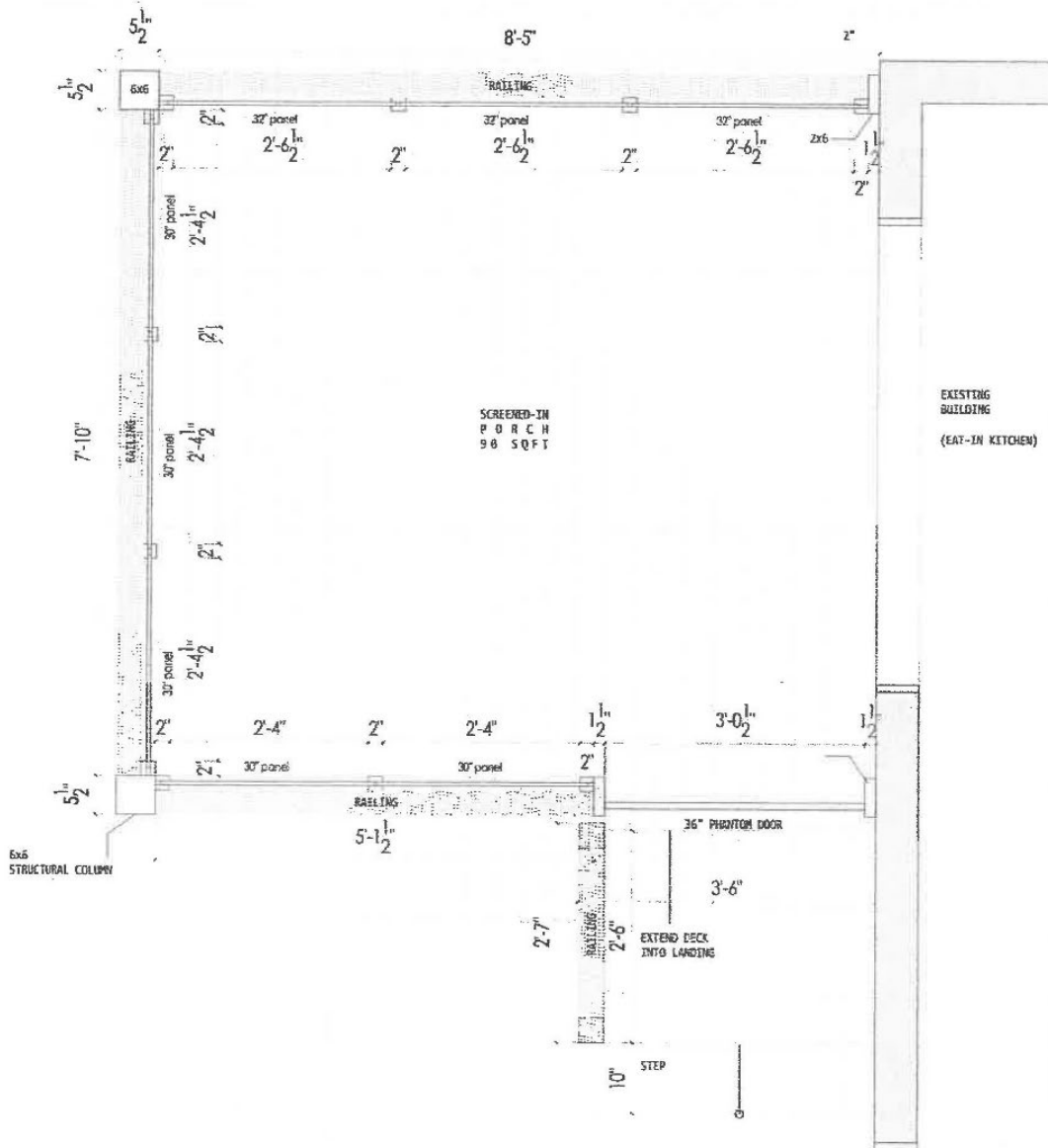


Figure 3. The screened porch floor plan.



*Figure 4: The trellis will be replaced with a shed roof, and the area will be screened.*



*Figure 5: The porch will be built on the elevated portion of the existing deck with trellis. The trellis will be demolished as part of the project.*

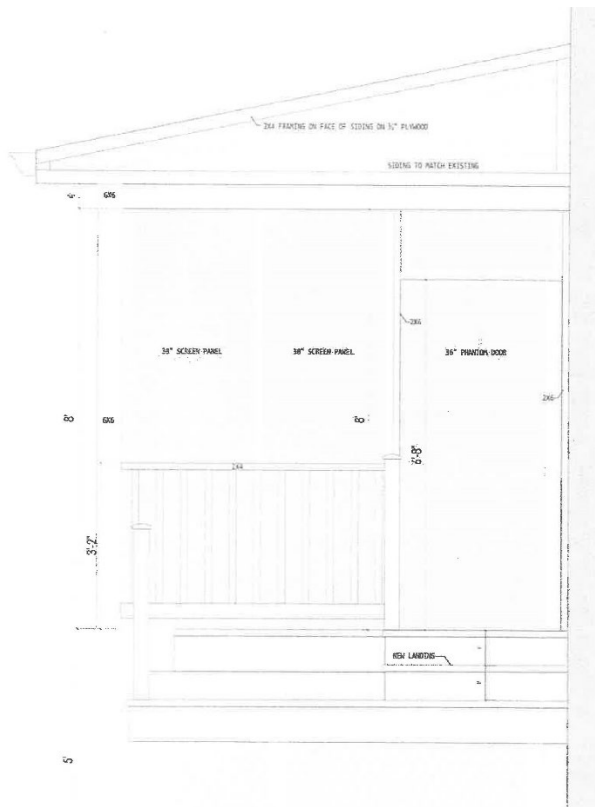


Figure 6. The left-side elevation of the porch.

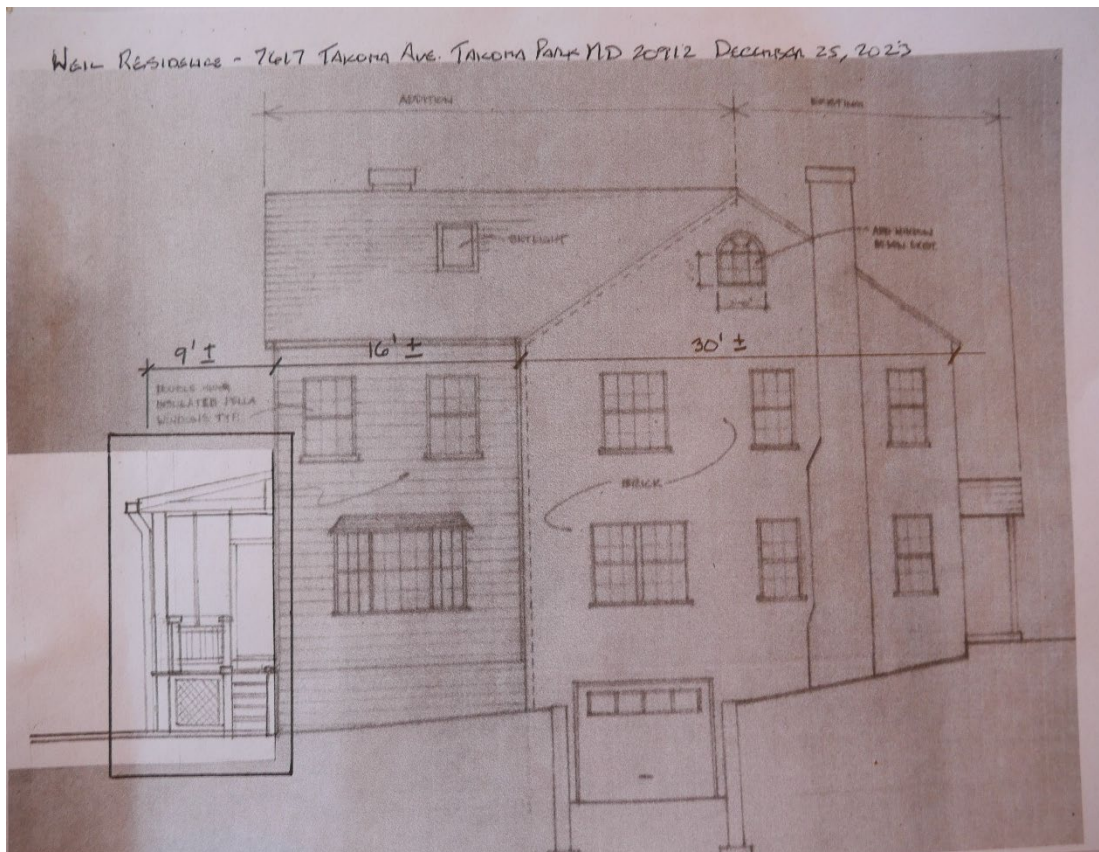


Figure 7: The left-side elevation of the residence as it will appear on the broader elevation.

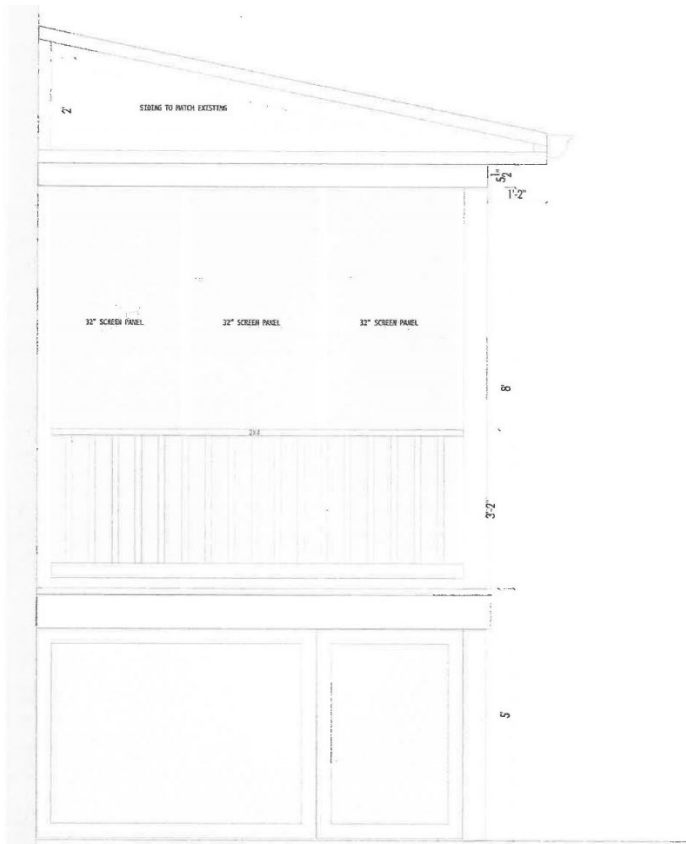


Figure 8: The right-side elevation of the porch.

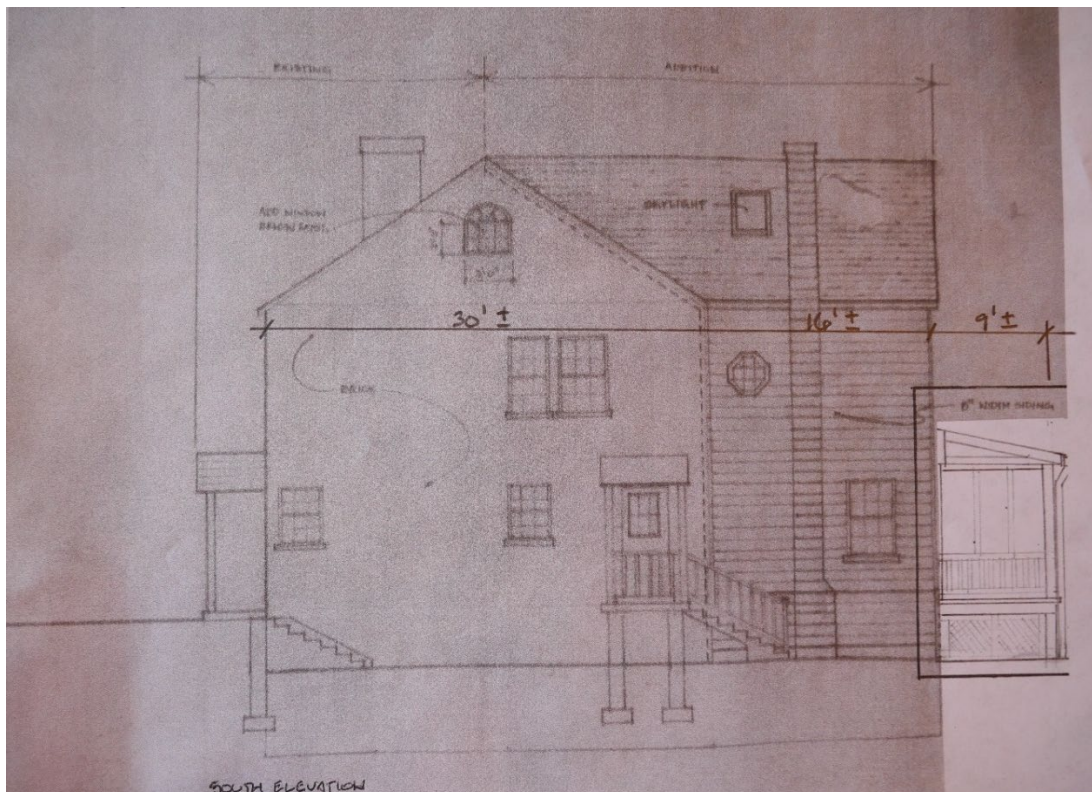


Figure 9: The right-side elevation of the residence as it will appear on the broader elevation.



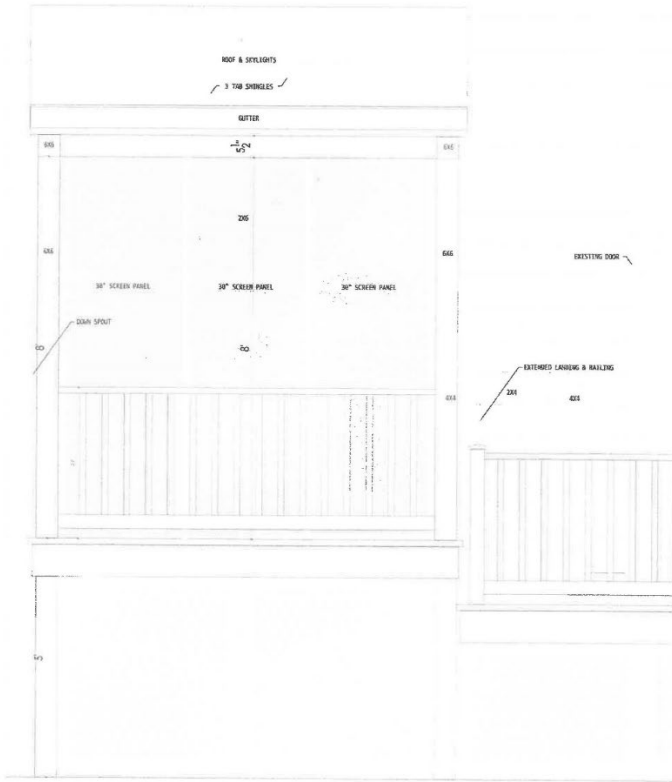


Figure 10. The rear elevation of the porch.

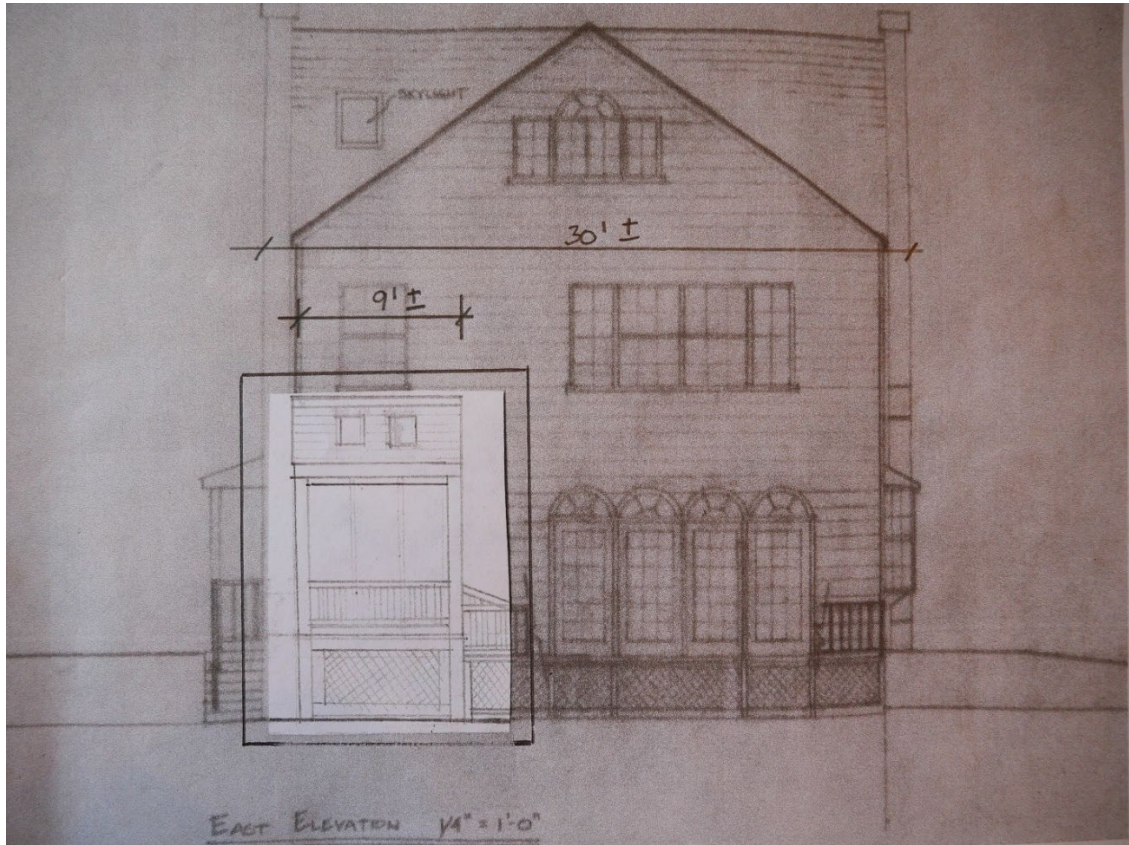
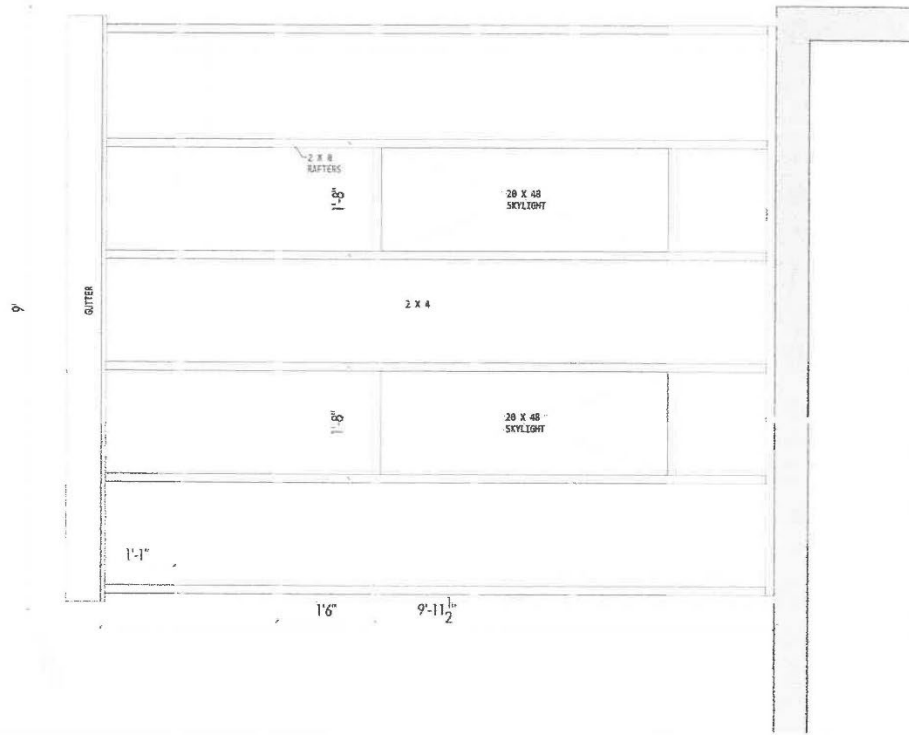


Figure 11: The rear elevation of the residence as it will appear on the broader elevation.

WEIL RESIDENCE SCREENED-IN PORCH / ROOF PLAN



WEIL RESIDENCE SCREENED-IN PORCH / ROOF SECTION / NORTH ELEVATION

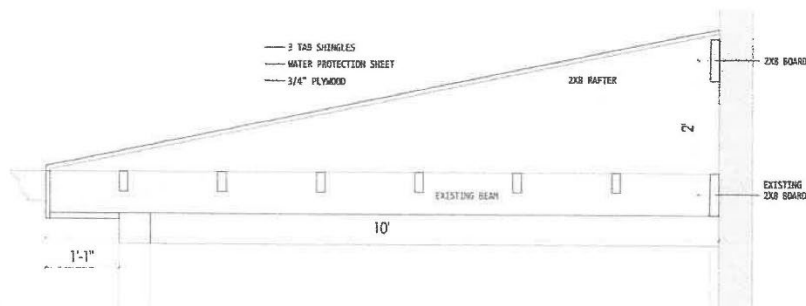


Figure 12: The proposed roof plan will include skylights, top, and a shed roof covered with 3-tab shingles.

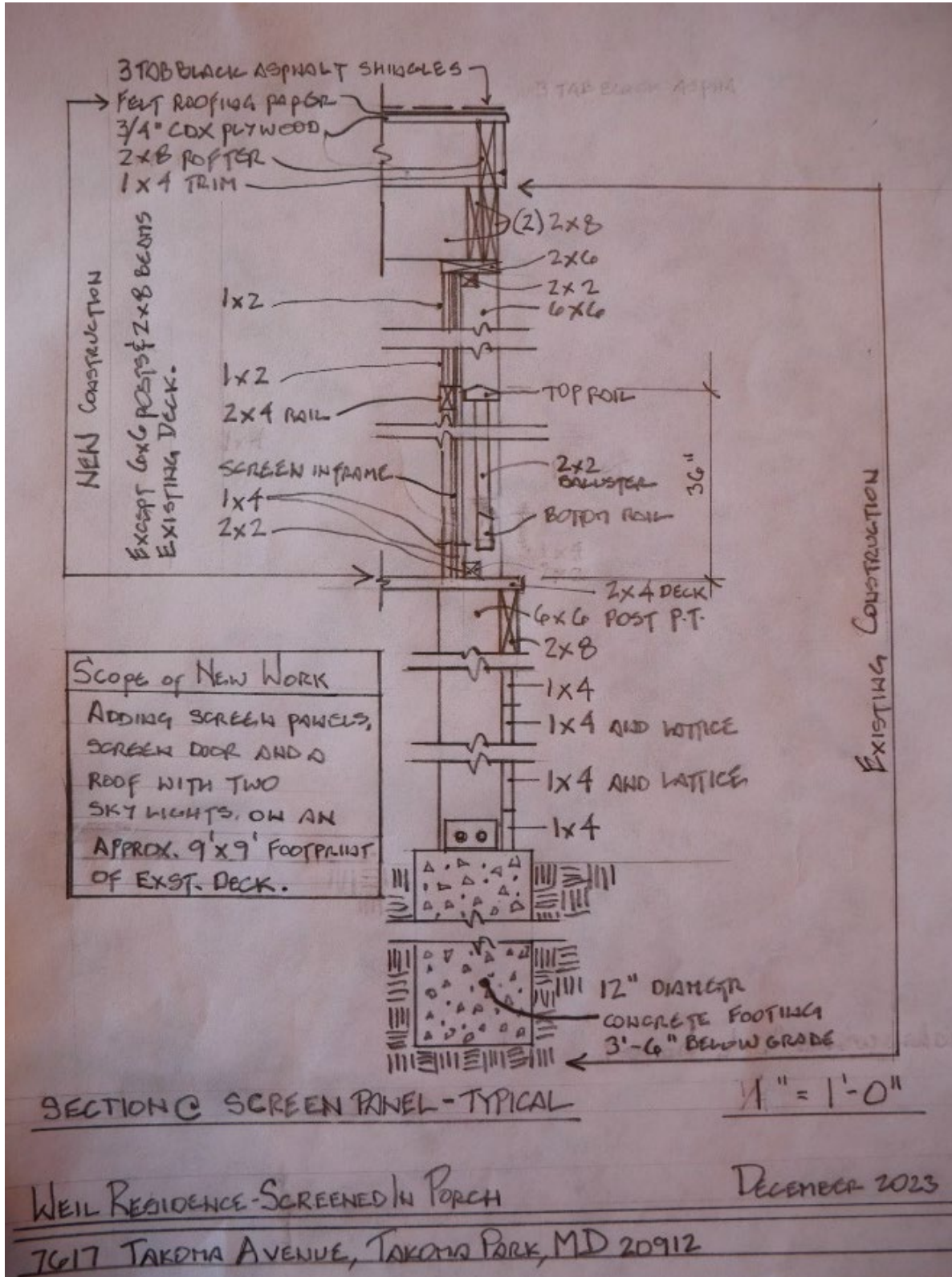


Figure 13: The screened panel section detail. The screens will be placed inside of the existing balustrade.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with one condition** the HAWP application;

1. The applicant shall provide staff the final measurements of the porch and associated features.

under the Criteria for Issuance in Chapter 24A-8(b) (1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation # 2, 9, and 10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to HPC staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the HPC as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the HPC staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [chris.berger@montgomeryplanning.org](mailto:chris.berger@montgomeryplanning.org) to schedule a follow-up site visit.



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# 1027485  
DATE ASSIGNED 12/13/2023

**APPLICANT:**

Name: Richard D. Weil E-mail: weil88@verizon.net  
Address: 7617 TAKOMA AVENUE City: TAKOMA PARK Zip: 20912  
Daytime Phone: 301.717.1698 Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: SAME AS ABOVE - OWNER E-mail: SAME AS ABOVE - OWNER  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name \_\_\_\_\_  
\_\_\_\_\_ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7617 Street: TAKOMA AVENUE  
Town/City: TAKOMA PARK Nearest Cross Street: NEW YORK AVENUE  
Lot: 21 Block: 74 Subdivision: NORTH TAKOMA Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence                 | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape   | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof       | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  RICHARD D. WEIL                  7617 TAKOMA AVENUE                  TAKOMA PARK, MD. 20912</p>	<p><b>Owner's Agent's mailing address</b>                  SAME</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Ms. SUSAN ALEXANDER                  7613 TAKOMA AVENUE                  TAKOMA PARK, MD. 20912</p>	<p>MR and MRS. RIEMER                  7701 TAKOMA AVENUE                  TAKOMA PARK, MD. 20912</p>
<p>Mr. Max Tropus                  516 NEW YORK AVE.                  TAKOMA PARK, MD. 20912</p>	<p>MONTGOMERY COLLEGE                  7600 TAKOMA AVENUE                  TAKOMA PARK, MD 20912</p>
<p>523 New York Avenue, Takoma Park 20912</p>	

# WEIL RESIDENCE

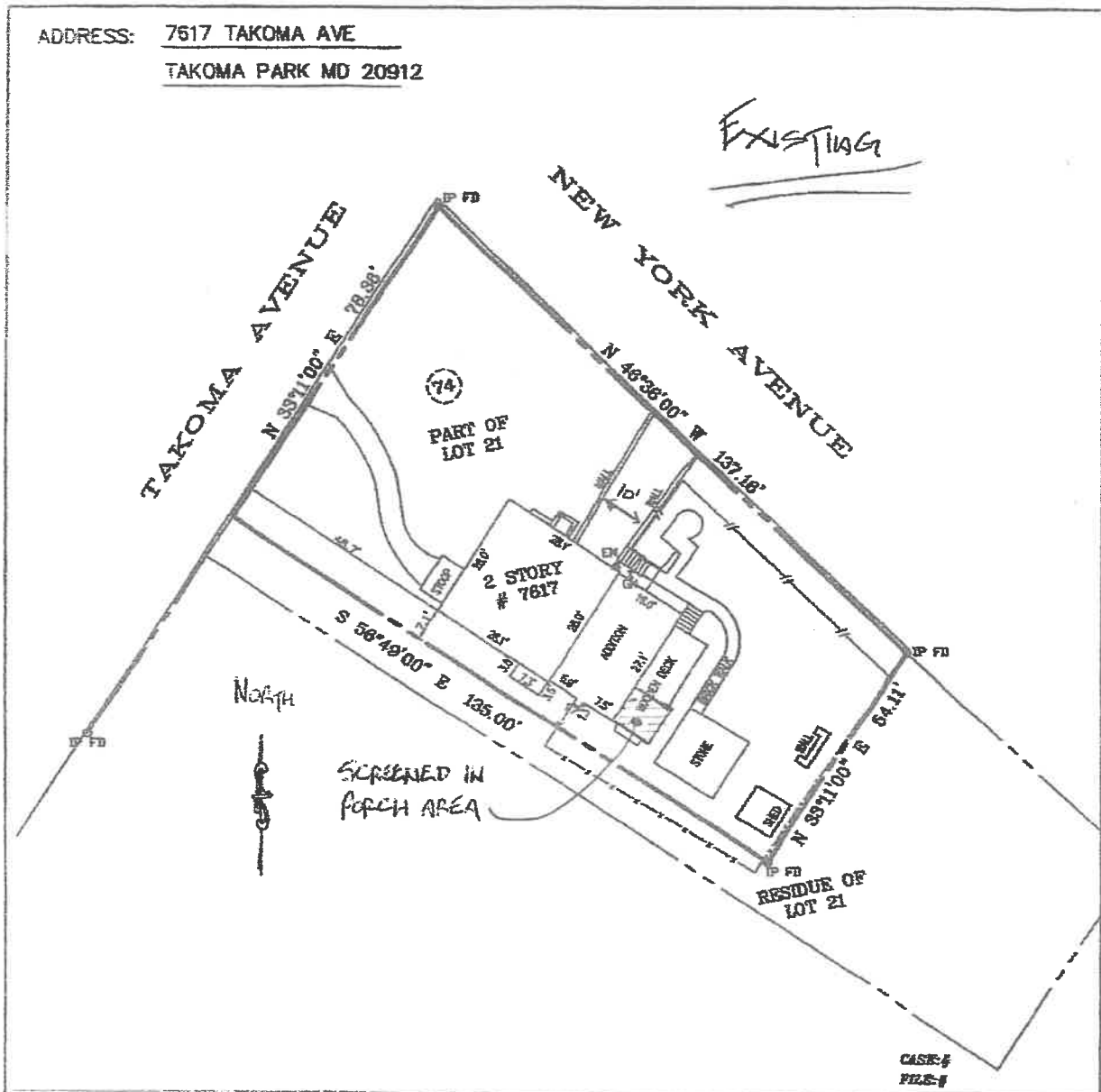
## SCREENED-IN PORCH

7617 TAKOMA AVENUE, TAKOMA PARK, MD, 20912  
SHERRI WEIL, RICHARD WEIL

- A-1 SITE PLAN
- A-2 FLOOR PLAN & LANDING SECTION
- A-3 ROOF PLAN
- A-4 NORTH ELEVATION
- A-5 EAST ELEVATION
- A-6 SOUTH ELEVATION
- EXISTING CONDITION - PHOTOGRAPHS

WEIL RESIDENCE SCREENED-IN PORCH / SITE PLAN

ADDRESS: 7617 TAKOMA AVE  
TAKOMA PARK MD 20912



**Surveyor's Certificate**

I hereby certify to the best of my knowledge and belief that the information shown hereon is based on field measurements and that there are no encroachments across the property, unless shown.

*[Signature]*  
 ANTHONY G. CURRIE  
 SURVEYOR



**CURRIE AND ASSOCIATES**  
**CONSULTING**  
**ENGINEERS, SURVEYORS AND PLANNERS**

3231 TOLEDO TERRACE, SUITE 105, HYATTSVILLE MD 20782  
 TEL: (301) 663-0100 FAX: (301) 663-1700  
 EMAIL: TCURRIE@AOL.COM

**BOUNDARY AND LOCATION SURVEY**  
**PART OF LOT 21 BLOCK 74**  
**NORTH TAKOMA**  
**PLAT No. 103**  
**MONTGOMERY COUNTY, MARYLAND**

SCALE: 1" = 30'

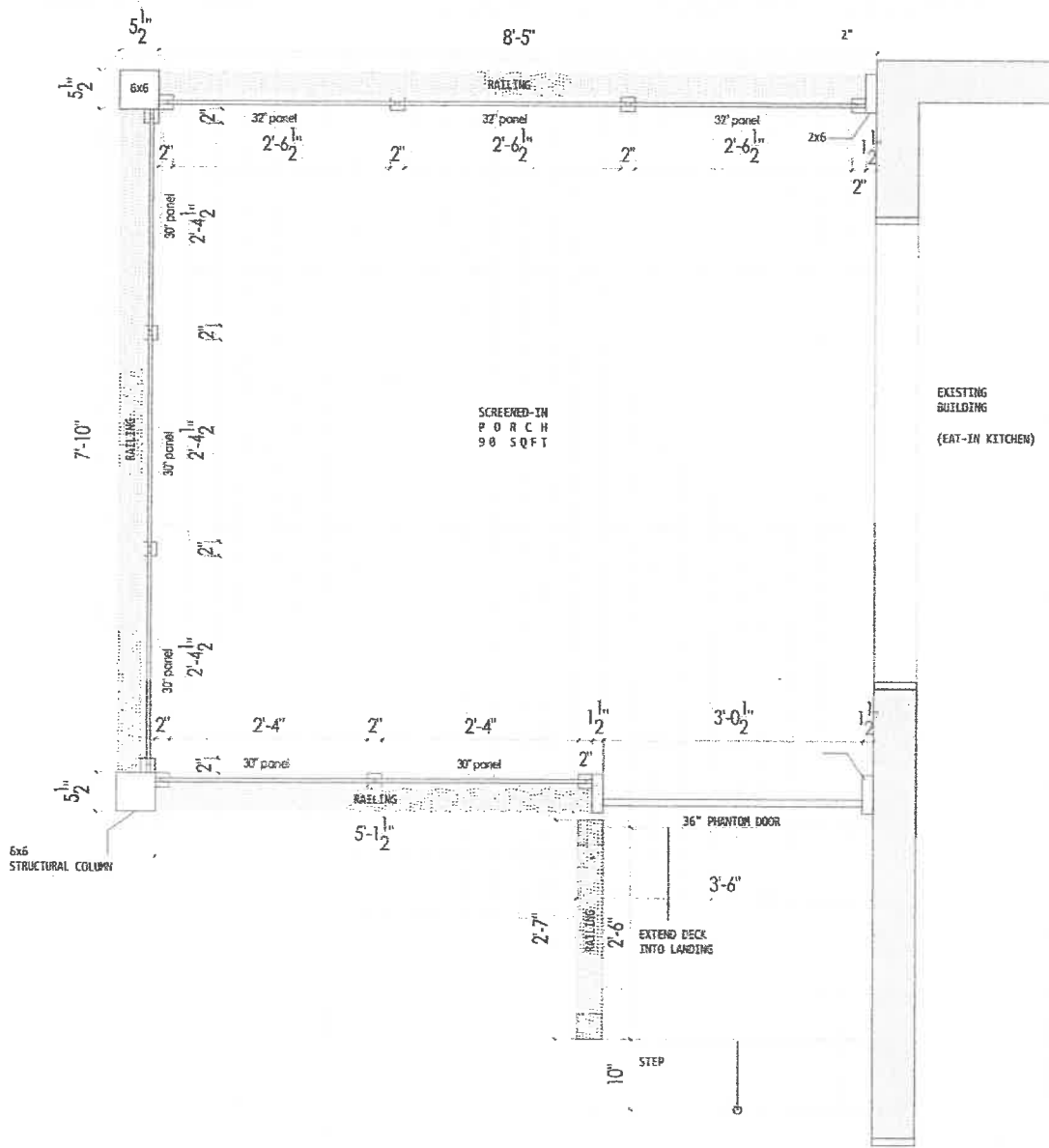
DATE: 4/10/2018

DRAWING NO:  
 A-1

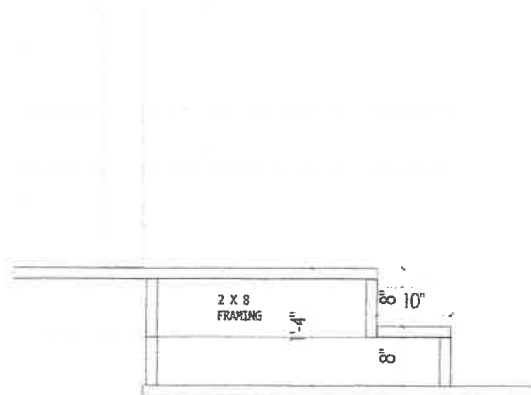
SITE: 7617 TAKOMA AVENUE, TAKOMA PARK, MD, 20912  
 SHERRI WEIL, RICHARD WEIL  
 CONTACT: RICHARD WEIL (301)7176841



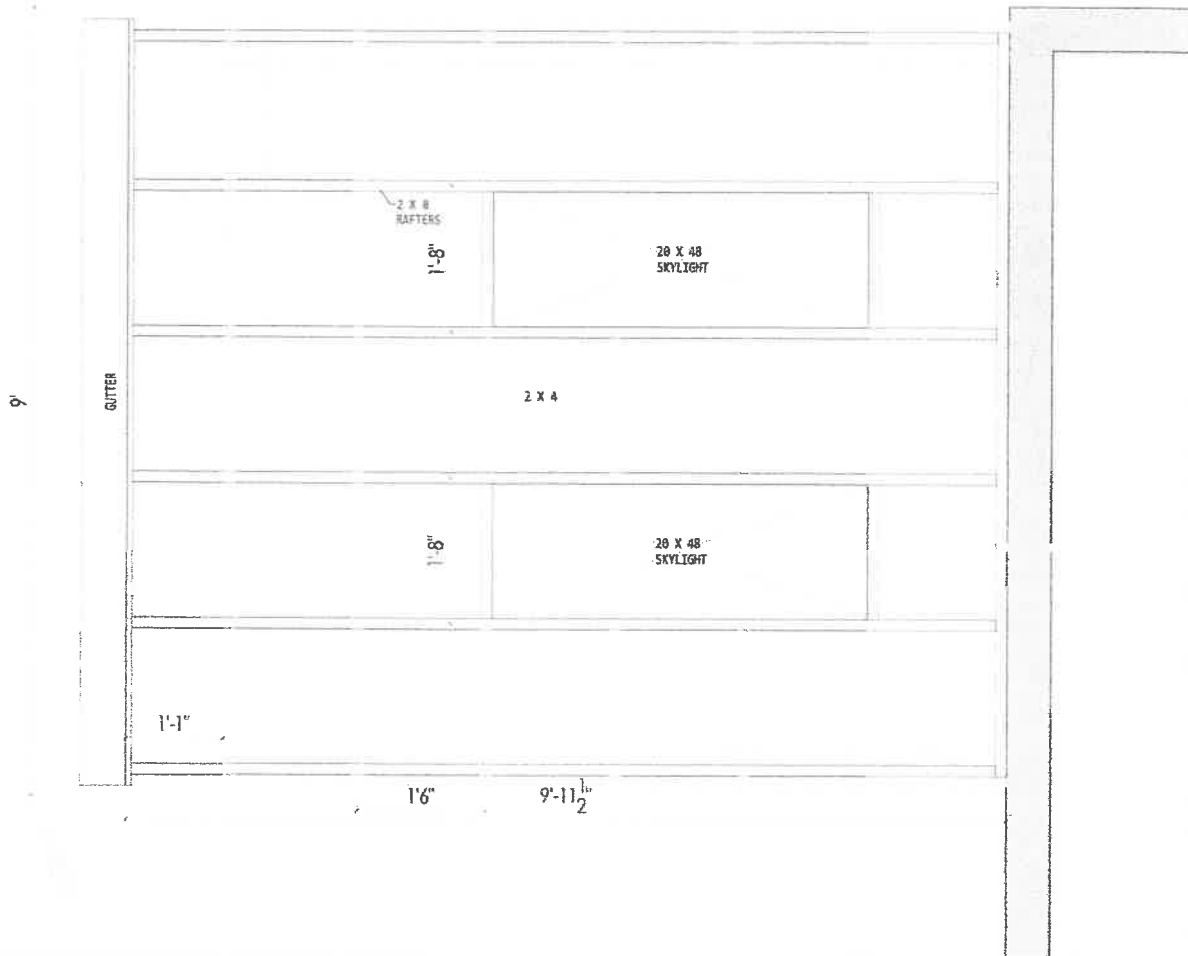
WEIL RESIDENCE SCREENED-IN PORCH / FLOOR PLAN



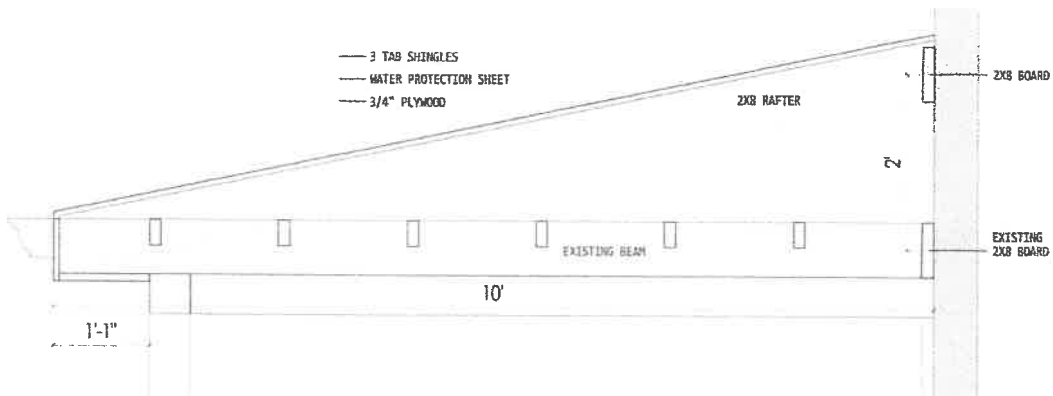
WEIL RESIDENCE SCREENED-IN PORCH / LANDING SECTION / EAST ELEVATION



WEIL RESIDENCE SCREENED-IN PORCH / ROOF PLAN



WEIL RESIDENCE SCREENED-IN PORCH / ROOF SECTION / NORTH ELEVATION

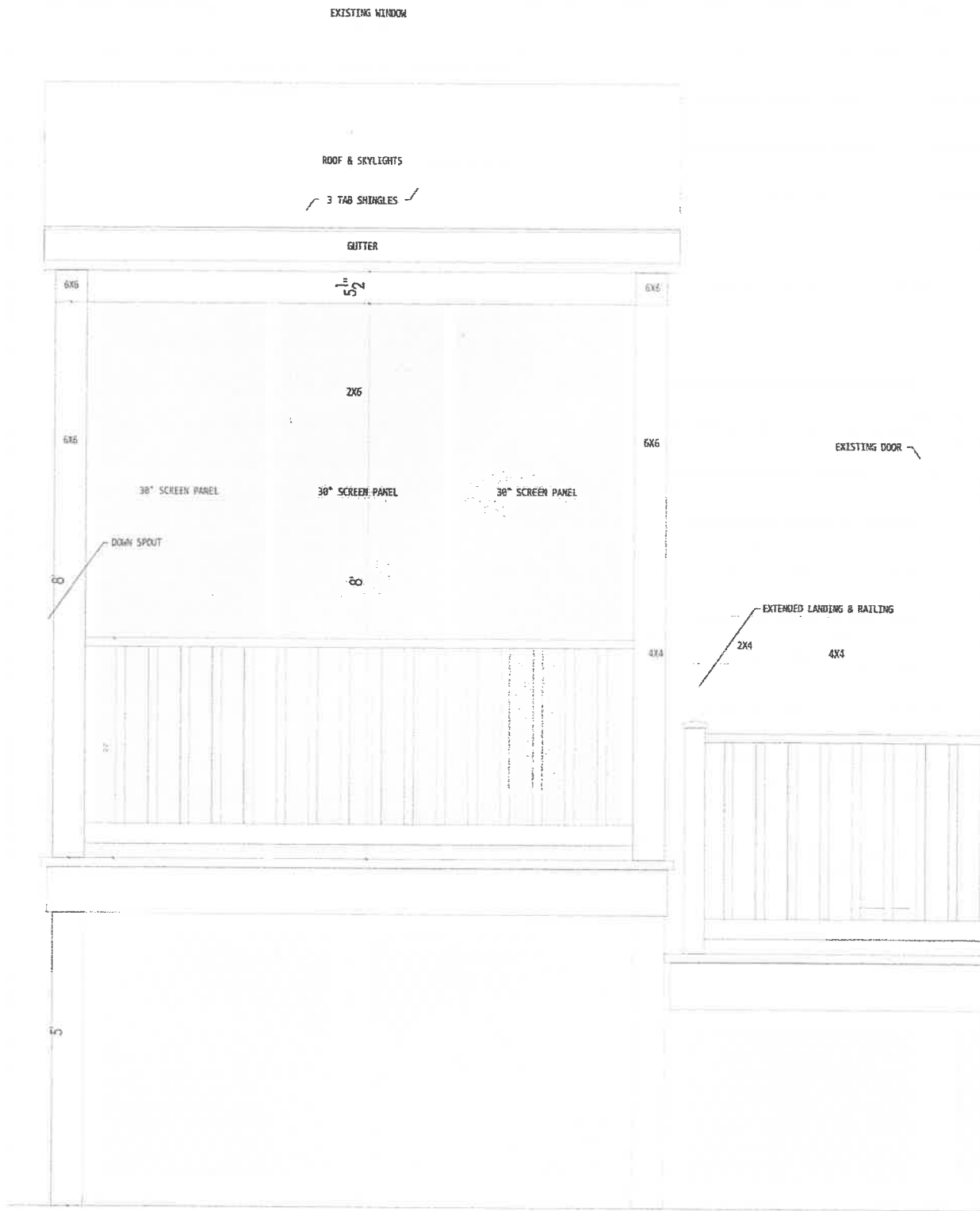


DRAWING NO: A-3	SITE: 7617 TAKOMA AVENUE, TAKOMA PARK, MD, 20912 SHERRI WEIL, RICHARD WEIL
CONTACT: RICHARD WEIL / 3011717484	

WEIL RESIDENCE SCREENED-IN PORCH / NORTH ELEVATION

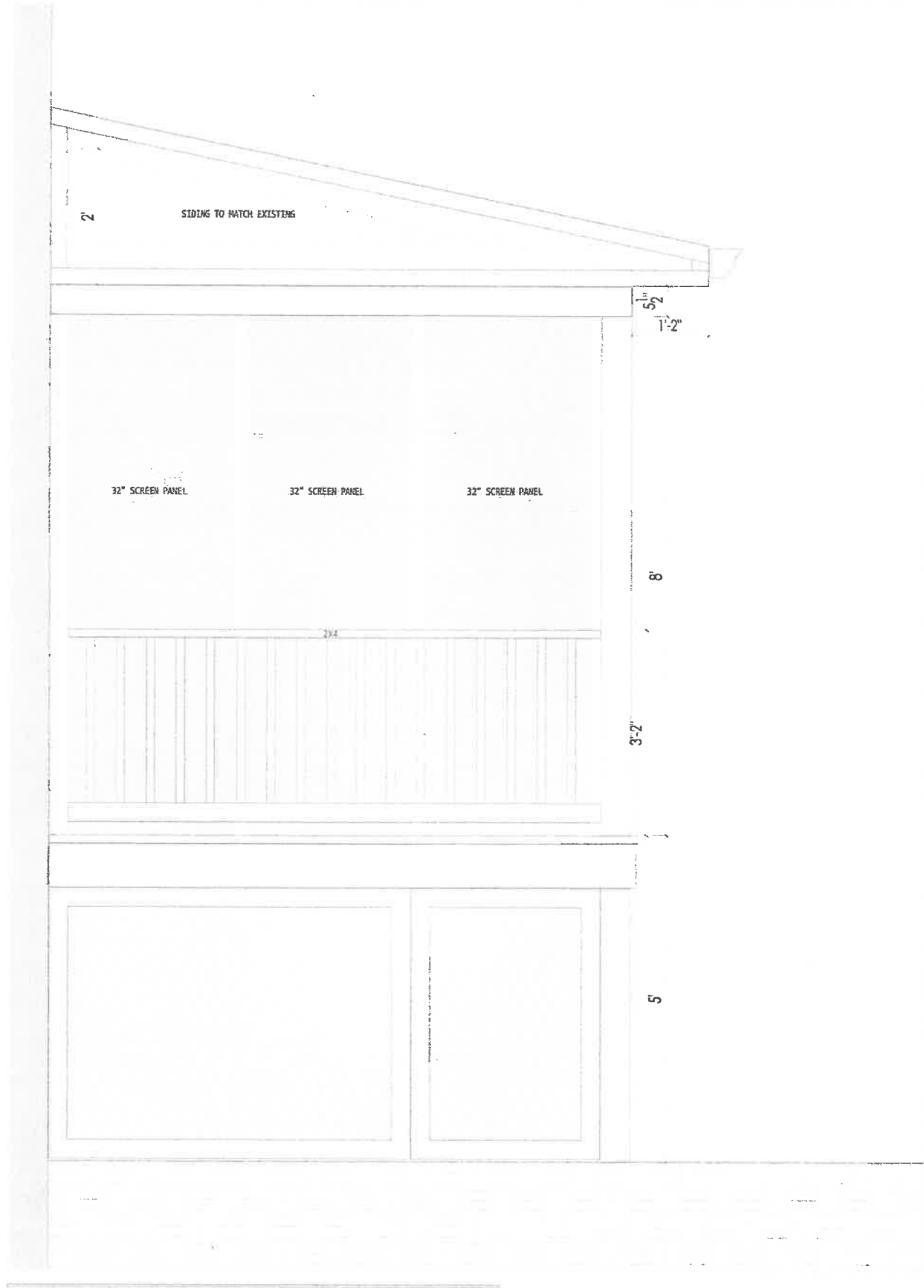


# WEIL RESIDENCE SCREENED-IN PORCH / EAST ELEVATION

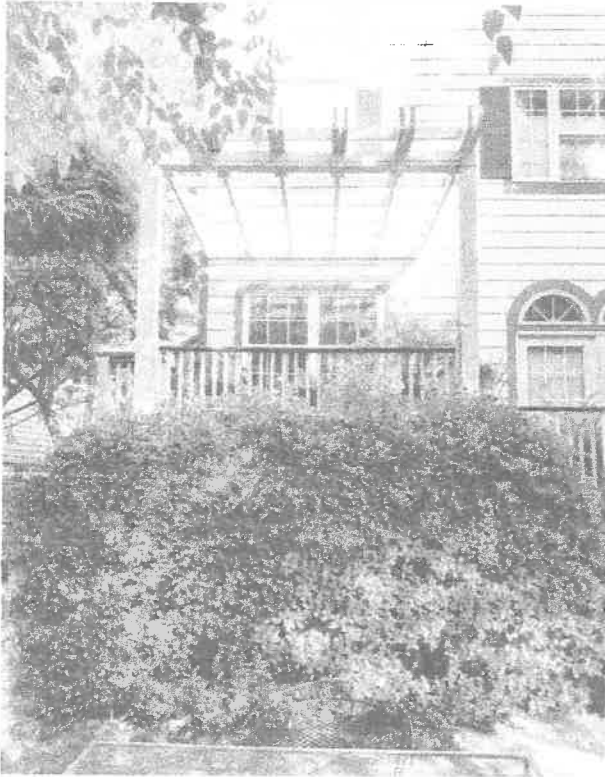


DRAWING NO: A-5	SITE: 7617 TAKOMA AVENUE, TAKOMA PARK, MD, 20912 SHERRI WEIL, RICHARD WEIL
CONTACT: RICHARD WEIL (301)7176841	

WEIL RESIDENCE SCREENED-IN PORCH / SOUTH ELEVATION



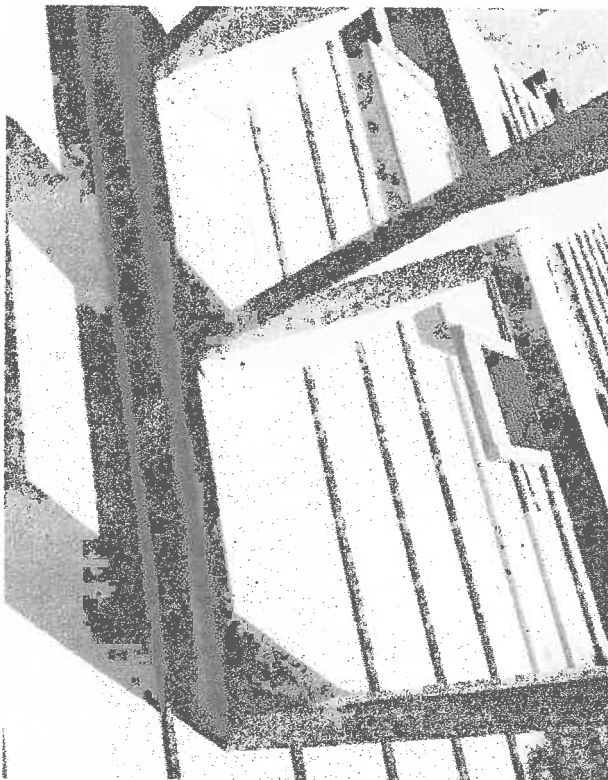
WEIL RESIDENCE SCREENED-IN PORCH / PHOTOS



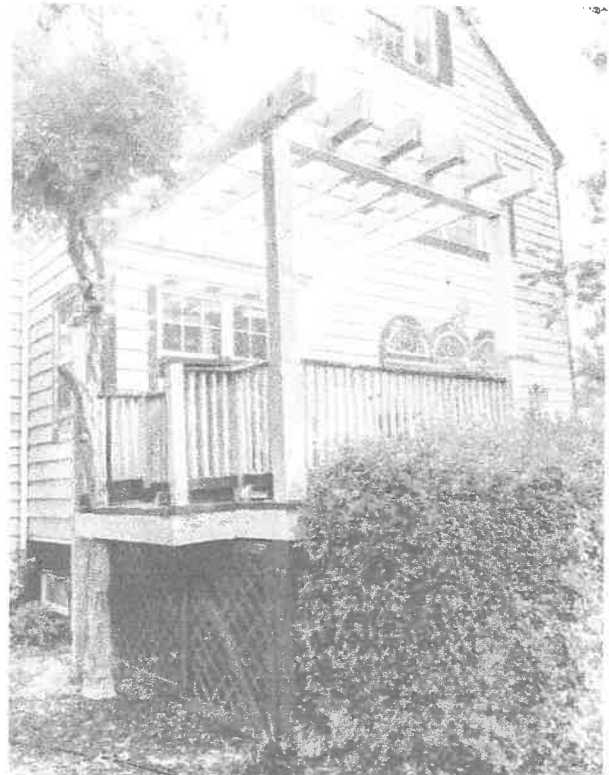
EAST ELEVATION



NORTH ELEVATION

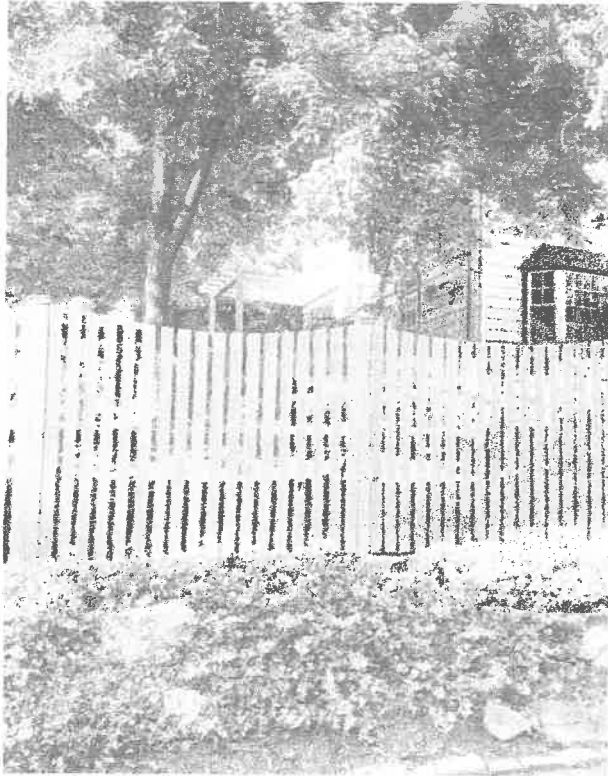


ROOF FRAMING DETAIL



SOUTH EAST ELEVATION

WEIL RESIDENCE SCREENED-IN PORCH / PHOTOS



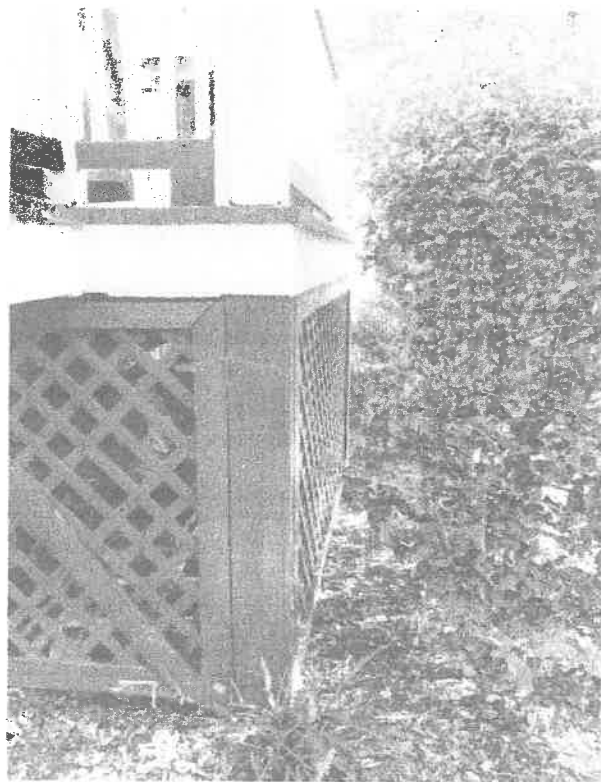
NORTH ELEVATION FROM STREET



INSIDE YARD



EAST ELEVATION



SOUTH ELEVATION DETAIL

SITE: 7617 TAKOMA AVENUE, TAKOMA PARK, MD, 20912  
SHERRI WEIL, RICHARD WEIL  
CONTACT: RICHARD WEIL (301)7176841

WEN RESIDENCE  
7617 TAKOMA AVE. TAKOMA PARK, MD. 20912



NORTH ELEVATION OF DECK - Dec. 2023



WEN RESIDENCE  
7617 TAKOMA AVE TAKOMA PARK, MD 20912



NORTH ELEVATION OF PROPOSED SCREENED  
IN POREA AREA. DEC. 2023

WEN RESIDENCE  
7617 TAKOMA AVE. TAKOMA PARK, MD. 20912



East Elevation of Deck - Dec. 2023

WELL RESIDENCE  
2617 TAKOMO AVE TAKOMO PARK MD. 20912



SOUTH ELEVATION OF DECK - DEC. 2023

ORIGINAL



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
County Executive

Rabbiah Sabbakhan  
Director

**HISTORIC AREA WORK PERMIT APPLICATION**

Application Date: 4/11/2023

Application No: 1027485  
AP Type: HISTORIC  
Customer No: 1462063

**Comments**

Screen panels to be located inside existing railings, so honoring the existing Historic District previously approved porch plans with railings visible from outside the deck. Thank you.

**Affidavit Acknowledgement**

The Homeowner is the Primary applicant  
This application does not violate any covenants and deed restrictions

**Primary Applicant Information**

Location 7617 Takoma AVE Takoma, MD 20912  
Homeowner Weil (Primary)

**Historic Area Work Permit Details**

Work Type ADD  
Scope of Work Furnish and install 3-tab shingle roof with two 14"x30" skylights over existing pergola and enclose approximately 10'x10' deck/railing with screen panels and screen door.

Street No\* Pre-Dir Street Name\* Street Type\* Post-Dir Apt./Suite

None ▾  STREET ▾ None ▾  Search

Clear

### Applicant Information

Contact information fields should *only* be manually entered for individuals or entities that have not previously conducted DPS business. The system can retrieve existing customer information to facilitate data entry. Doing so will allow customers access to all their permitting activity via the ePermits program. Please enter the customer# and click the **Validate and Retrieve** button. Then, set the appropriate Role (Property Owner, Contractor or Other) before adding to the applicant list. If you do not know the customer number, you may contact DPS at [dps.eservices@montgomerycountymd.gov](mailto:dps.eservices@montgomerycountymd.gov). You will be contacted within one business day of your request. 🌐

Customer # 1462063

Validate and Retrieve

Load My Info

Primary (Only ONE primary applicant is allowed.)

Role \*

Last Name \* Weil

(or Company Name)

First Name \* Richard

(or Company Branch)

M.I. D

Street \* 7617 Takoma Avenue

(continue)

City \* Takoma Park

State \* Maryland ▾

Zip Code \* 20912 -

Phone \* 301 - 717 - 6841 ext.

E-mail \* weil88@verizon.net

Clear

Add

Update

Remove

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*		*
Demolition	*	*			*		*
Deck/Porch	*	*	*	*	*		*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Major Landscaping/Grading	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

PLEASE SEE INSTRUCTIONS ON DPS' HAWP APPLICATION FOR FURTHER DETAILS REGARDING APPLICATION REQUIREMENTS.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs. All replacement materials must match the original exactly and be of the same dimensions.

**ALL HAWPS MUST BE FILED AT DPS:  
255 ROCKVILLE PIKE,  
ROCKVILLE, MARYLAND, 20850.**

**RE: 7617 Takoma Ave, Takoma Park (1027485)**

**From:** Berger, Chris (chris.berger@montgomeryplanning.org)

**To:** weil88@verizon.net

**Date:** Monday, January 8, 2024 at 09:03 AM EST

Hello,

We will need digital submissions of the revised plans, so please email me a PDF of the revised plans. The Department of Permitting Services on the 7<sup>th</sup> floor may be able to assist you with scanning the pages if you would like assistance.

**Chris Berger, AICP**

**Cultural Resources Planner III**

Montgomery County Planning Department

2425 Reedie Drive, 13<sup>th</sup> Floor, Wheaton, MD 20902

[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)

Office: 301-495-4571

**From:** Richard Weil <weil88@verizon.net>

**Sent:** Saturday, January 6, 2024 8:28 PM

**To:** Berger, Chris <Chris.Berger@montgomeryplanning.org>

**Subject:** 7617 Takoma Ave, Takoma Park (1027485)

**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Dear Mr. Berger,

On Monday, January 8th., I plan to drop off additional submission materials at your office for the above referenced project address, regarding a screened in porch with roof, to be built on an approximately 9' by 9' footprint of an existing permit approved deck at the rear of the residence.

Thank you,

Richard Weil

Owner

Mobile: 301.717.6841

## Weil Residence – 7617 Takoma Avenue, Takoma Park, MD 20912

### Screened in Rear Porch Project - December 2023

#### PROJECT DESCRIPTION

Construction of a roof and screened in porch section, located on an approximately 9' by 9' footprint, 81 sq. ft., of an existing rear porch deck, which is approximately 9' by 28' total/252 sq. ft.. Existing deck flooring is 2x4 pressure treated wood, painted, on 2 x 8 joists. Residence is a 1936 non-conforming red brick Colonial. No change to the original approximately 30 foot by 30 foot Colonial or 16 foot by 28 foot addition. Only proposed change is to approx. 81 sq. ft. of the existing, permit approved, approximately 252 sq. ft. deck.

Construction of a sloping roof, consisting of 2x8 pressure treated rafters,  $\frac{3}{4}$ " plywood roof, new waterproof membrane, flashing and 3 tab black asphalt roof shingles to match existing roof shingles, (over previously approved permitted 2x8 pressure treated joists). Roof to have two 21" by 45  $\frac{3}{4}$ ", low height skylights. Two existing 6x6 pressure treated columns, painted to match the porch finishes, at the low end of the roof, support the existing deck, existing joists and proposed roof rafter/construction structure. White aluminum gutter and downspout to match existing.

**Existing 36" high railings with balusters, less than 4" clearance between faces, per previously approved building permit, to remain on all three sides of the proposed screened in porch, located outside of proposed screen panels.**

South elevation- 3 approx. 30"x 8'-3" aluminum framed (1/4") screens, framed by 1x2 pressure treated wood, finish to match existing porch finish. 1x4 base boards.

East elevation- 3 approx. 30"x 8'-3" aluminum framed, (1/4") screens, framed by 1x2 pressure treated wood, finish to match existing porch finish. 1x4 base boards.

North elevation- 2 approx. 30" by 8'-3" aluminum framed, (1/4") screens, framed by 1x2 pressure treated wood, finish to match existing porch finish. 1x4 base boards. One door opening, framed in 2x6 pressure treated wood, for 32" by 6'-8" retractable screen door that is in (plan) line with the other screens, same screen finish, and rolls up/retracts, to the right as you enter the porch from the North side. Screened in transom above door. See attached description of retractable



screen door. Sides of roof to be framed in 1x 6 pressure treated framing with painted wood siding to match existing adjacent home addition siding, also framed in 1x6.

North, East and South elevations of proposed screened in porch construction are indicated on full house elevation drawings, attached.

Photographs of existing house elevations, including existing deck where the proposed 9' by 9' screened in porch area is to be built, are attached.

Material information, including piece cost, to be used in the proposed construction is attached.

Proposed material budget for the screened in porch is estimated at \$5,000. Owner to provide all material and labor for the project.

Two previous house addition plans were approved for all permits with no exceptions, at a budget of over \$80,000. All work was accomplished by Owner and licensed electrical, plumbing, HVAC and other licensed subcontractors.

Present screened in porch proposed project, approximately 81 sq. ft., requires only the Owner purchasing the materials and building the project. No electrical, plumbing, HVAC or any other subcontractors are required.

Our home has been on the Takoma Park House & Garden Tour several times and I've been a docent for the Tour many years. Realizing official notice of the project is part of the permit process, all adjacent neighbors are already in favor of this project. Thank you in advance for your consideration of this project.

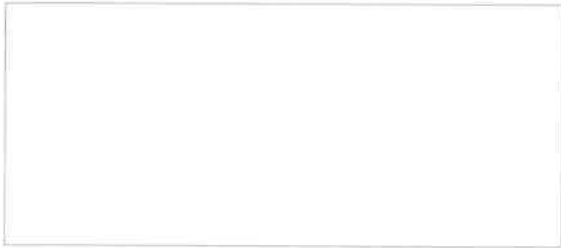
Richard Weil and Sherri Weil

Owners

Mobile: 301.717.6841

# 7617 Takoma Ave, Takoma Park, MD 20912

Location: 38.983659, -77.01983

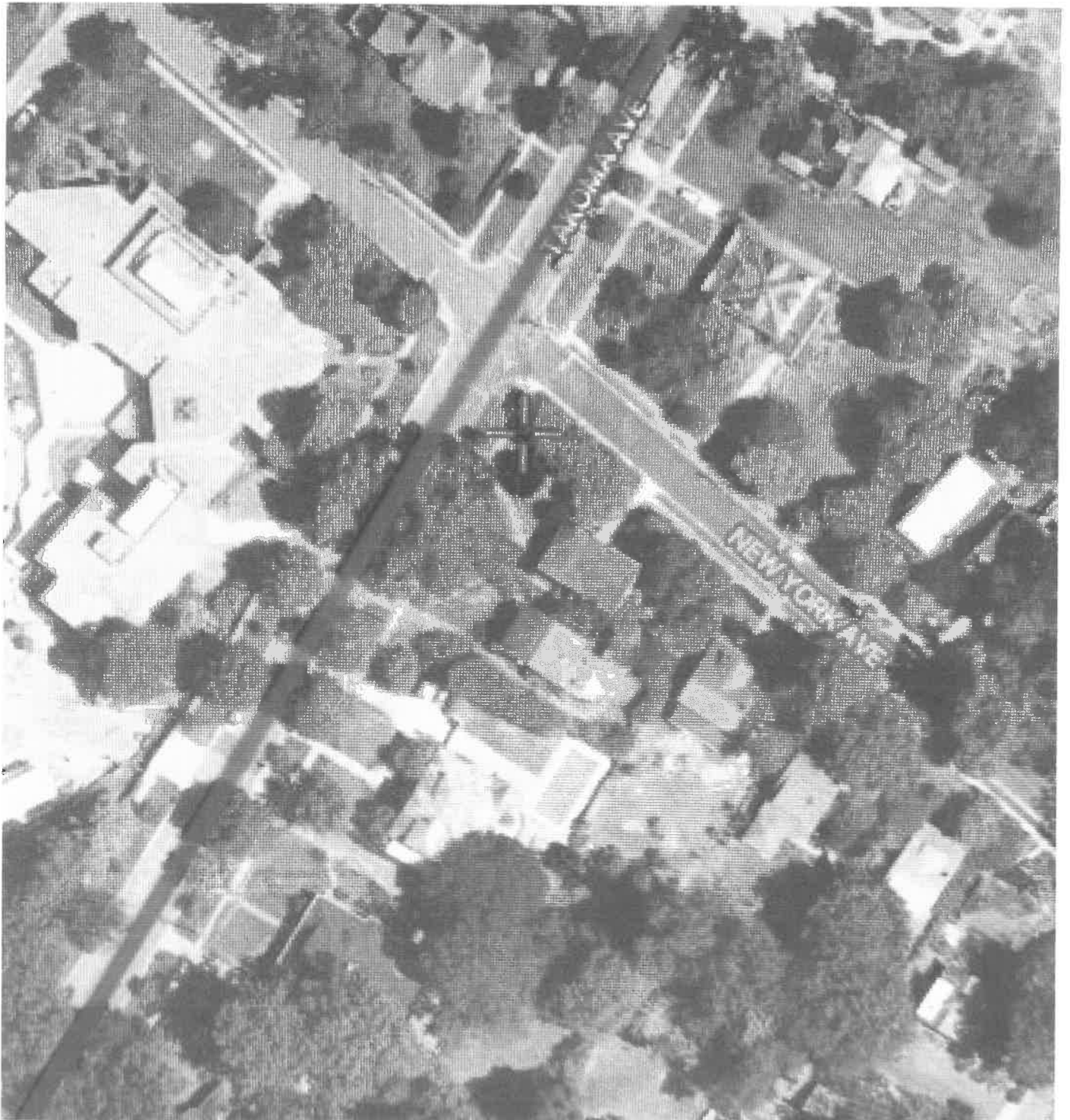


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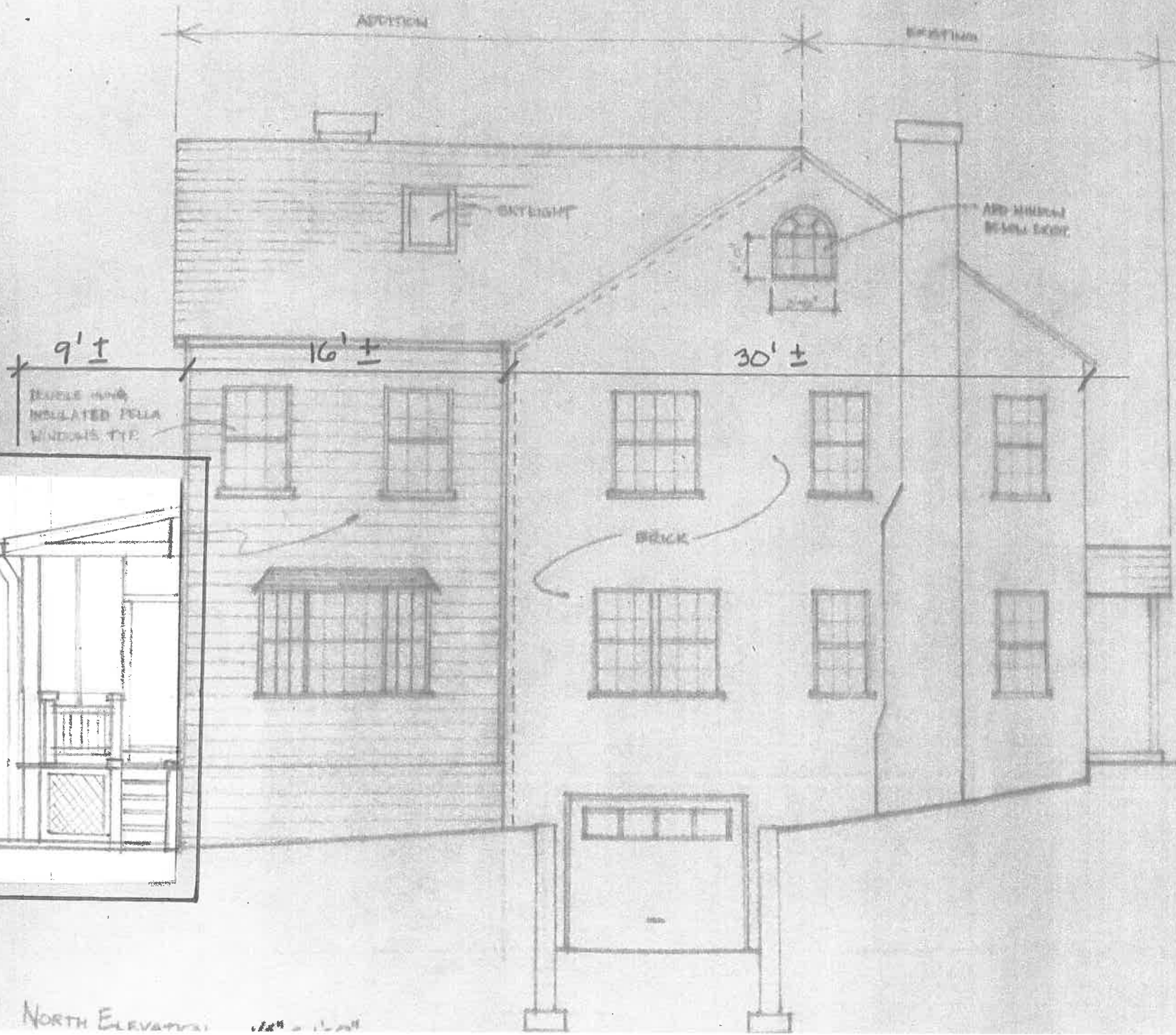
From: Richard Weil (weil88@verizon.net)

To: weil88@verizon.net

Date: Sunday, December 24, 2023 at 11:47 AM EST



WELL RESIDENCE - 7667 TAKOMA AVE. TAKOMA PARK MD 20912 DECEMBER 25, 2023



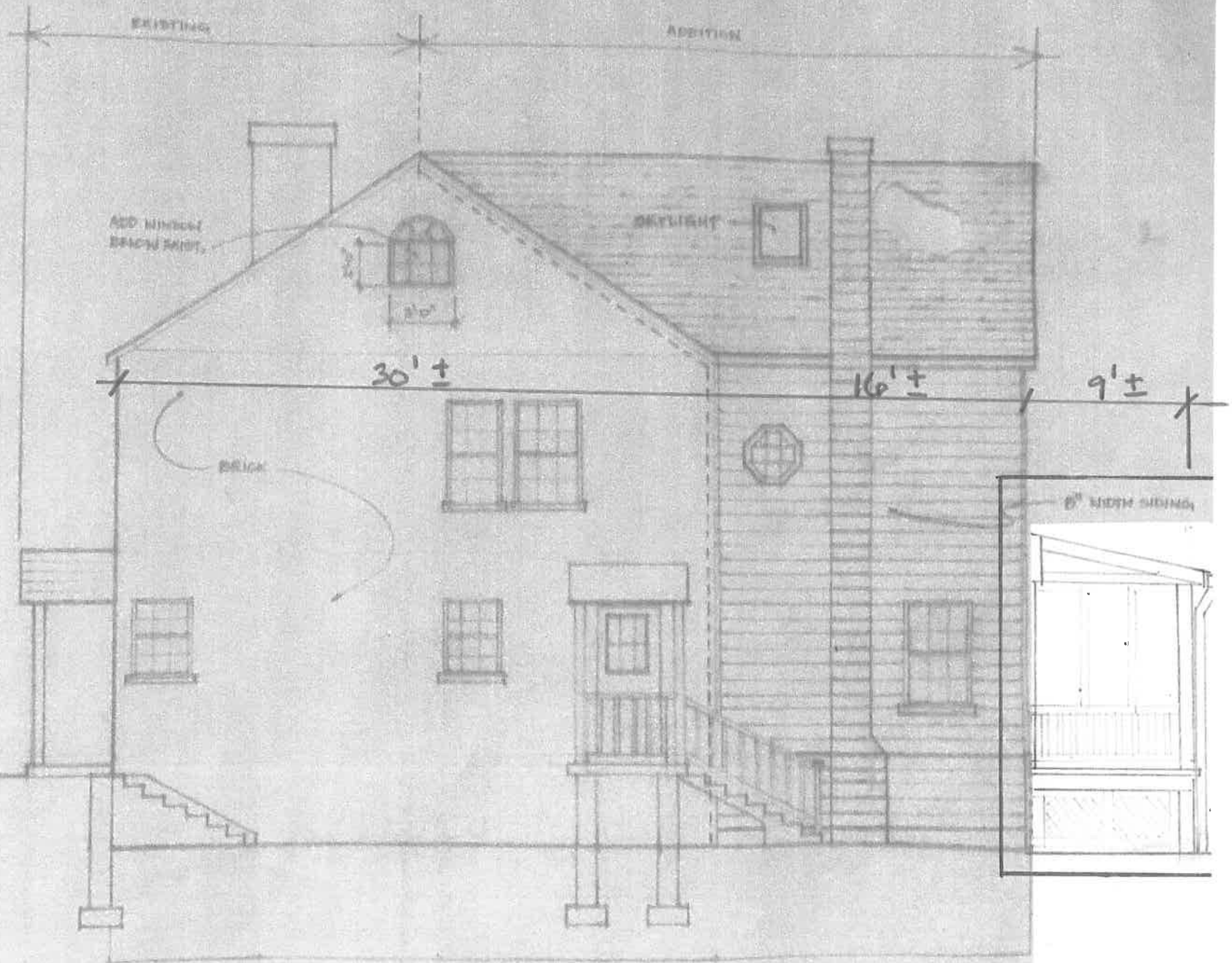
NORTH ELEVATION 1/2" = 1'-0"

WELL RESIDENCE - 7617 TAKOMA AVE. TAKOMA PARK, MD 20912 DECEMBER 25, 2023

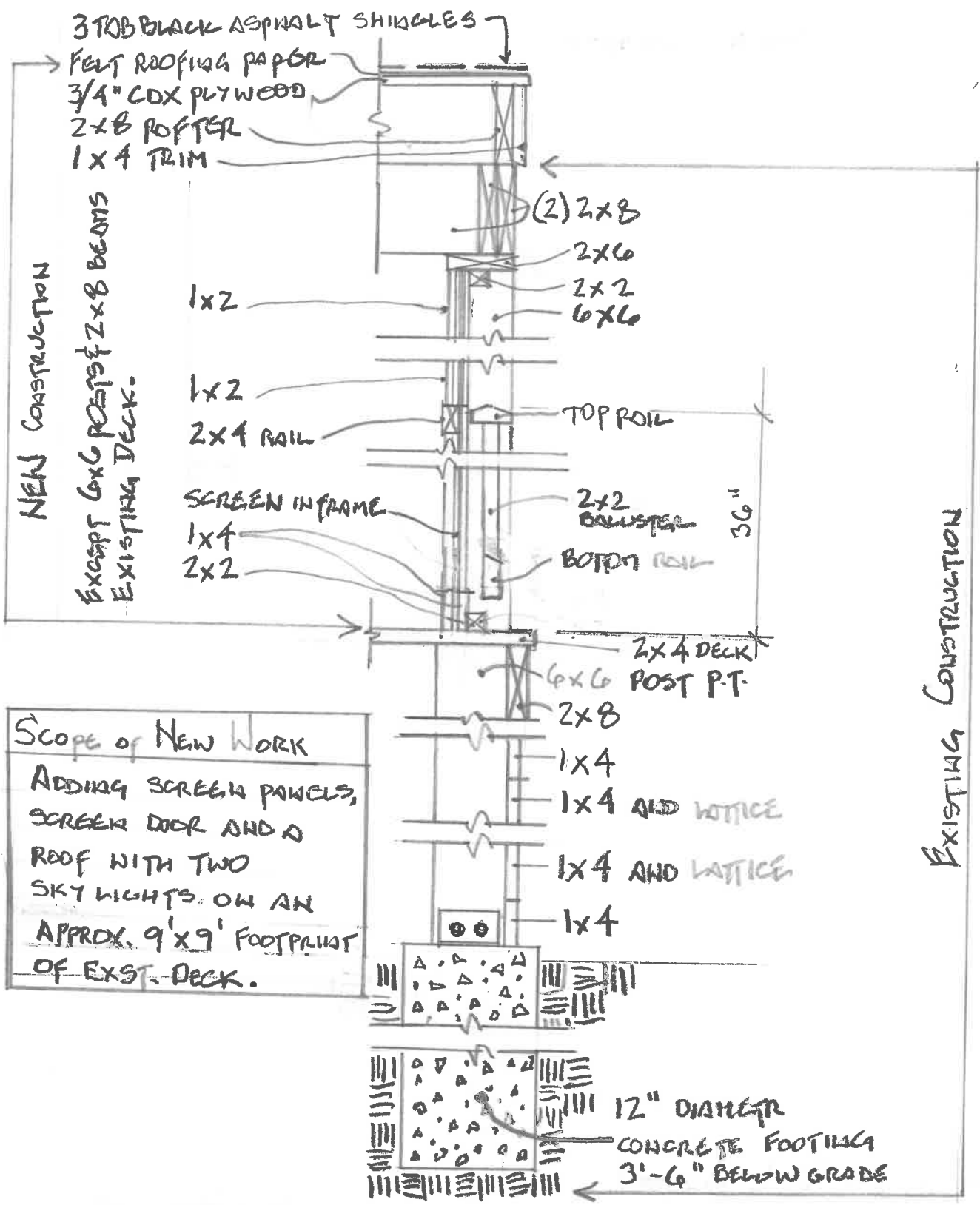


EAST ELEVATION  $\frac{1}{4}'' = 1'-0''$

WELL RESIDENCE - 7617 TAKOMA AVE. TAKOMA PARK MD 20912 DECEMBER 25, 2023



SOUTH ELEVATION



**SCOPE OF NEW WORK**  
 ADDING SCREEN PANELS,  
 SCREEN DOOR AND A  
 ROOF WITH TWO  
 SKY LIGHTS. ON AN  
 APPROX. 9' X 9' FOOTPRINT  
 OF EXST. DECK.

SECTION C SCREEN PANEL - TYPICAL

1/4" = 1'-0"

WEIL RESIDENCE - SCREENED IN PORCH

DECEMBER 2023

7617 TAKOMA AVENUE, TAKOMA PARK, MD 20912



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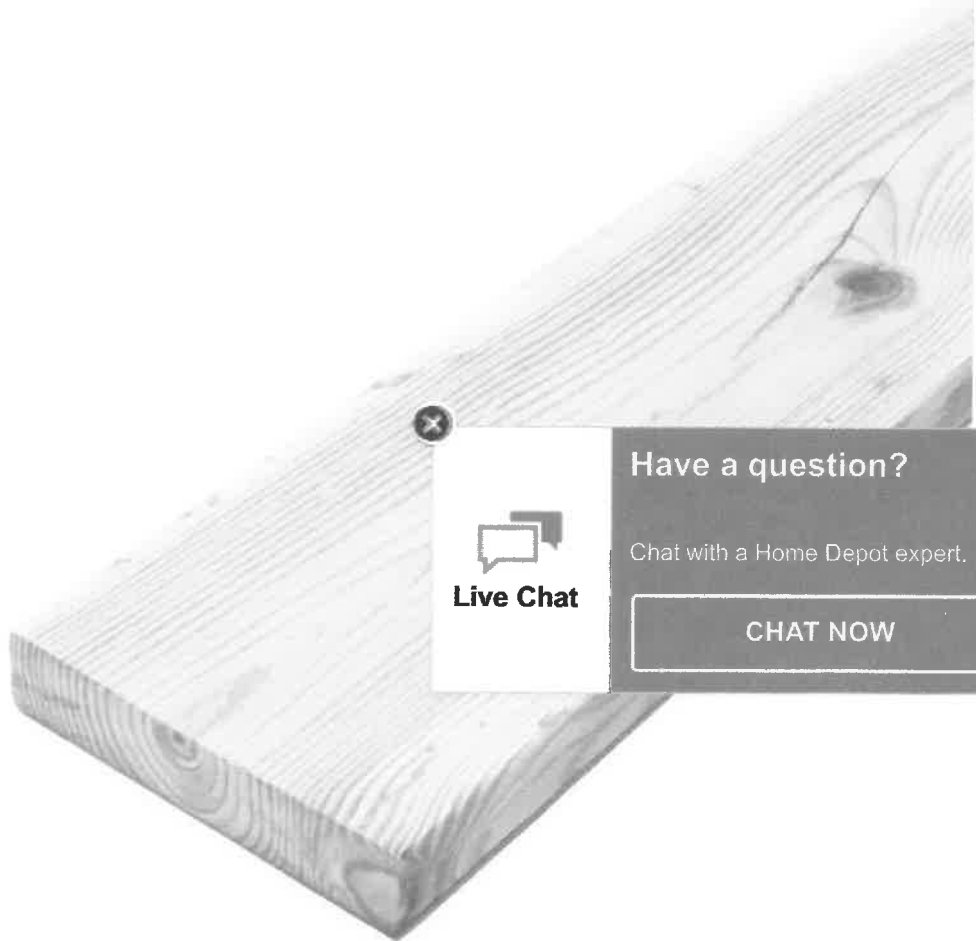
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★★★★★ (1274) Questions & Answers (71)



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**\$748**

**Silver Spring Store**

✓ 85 in stock **Aisle 17, Bay 012**

Nominal Product Length (ft.): **8 ft**

- 8 ft**
- 10 ft
- 12 ft
- 14 ft
- 16 ft

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2x4x8 pressure treated



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1x2x8 pressure treated



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WeatherShield

### 1 in. x 2 in. x 8 ft. Pressure-Treated Southern Pine Lumber

★★★★☆ (317) Questions & Answers (88)



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## Brisa Single Retractable Screen Door, Black, Fits 80-in Tall x 32-in to 36-in Wide Doors

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290 ratings

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Or \$22.48 /mo (12 mo). Select from 2 plans

Get a \$12 bonus when you reload \$100 or more to your gift card balance (Restrictions apply).

Size: 80" to 81" Opening Height

78" to 79" Opening Height

**80" to 81" Opening Height**

96" to 97" Opening Height

Color: **Black**



VIDEO:

Brand	Larson
Color	Black
Material	Aluminum
Style	Modern
Item Weight	22 Pounds

### About this item

- For 80" tall in-swing or out-swing entry doors with a width range of 32" to 36" wide or narrower with modification
- Innovative EZ-glide system provides a smooth and steady experience, each and every time
- Simple 1-hand operation with ergonomic handle and secure latch helps you trust the retractable screen door will stay closed
- Easy 30-minute installation, no metal cutting only requires one power driver tool to install 5 components
- Quick-snap track installs easily and adjusts to widths between 32" to 36" without cutting, note: if door is less than 32" wide, two simple cuts are required
- Outer face-mount installation creates a full opening for fresh air, clear views and full pass-through space without the intrusive housing or track associated with in-jamb installation
- Retractable screen doors are designed to harmonize with either brick or wood molding in home's architecture

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### Additional Details



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This product is from a small business brand. Support small. Learn more

\$269<sup>72</sup>

FREE delivery January 17 - 19.

Details

Deliver to Richard - Takoma Park  
20912.

Usually ships within 9 to 10 days

Qty: 1

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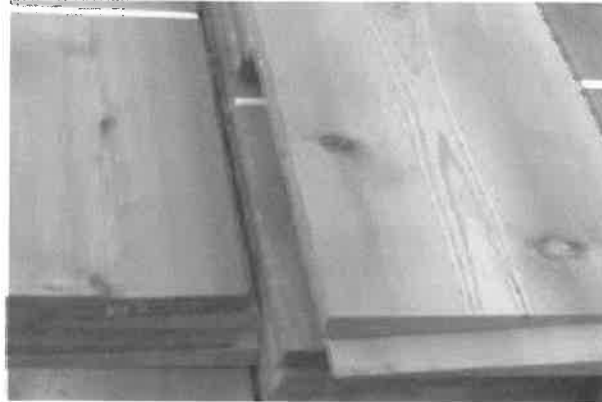
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1" X 8" - 12' PRIMED REDWOOD BEVEL SIDING RS1F

---



## 1" x 8" - 12' Primed Redwood Bevel Siding RS1F

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- Pre-primed and ready for use
- Variety of applications
- Finger jointed redwood

**\$79.96/ PC**

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Quantity Available:

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3/4" cdx plywood



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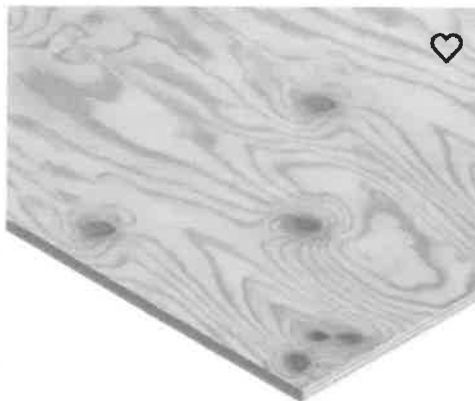
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Sheathing Plywood

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Buy 46 or more \$37.90  
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★★★★★ (528)

Model# 439614

23/32 in. x 4 ft. x 8 ft. Fir Sheathing Plywood (Actual: 0.688 in. x 48 in.)

**\$65.65**

Limit 90 per order

★★★★★ (1189)

Model# 454559

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18mm - Sande Plywood (3/4 in. Category x 4 ft. x 8 ft.; Actual: 0.750 in. x 48 in. x 96 in.)

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More Options Available

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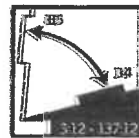
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HOME // SKYLIGHTS // FIXED SKYLIGHTS // VELUX 21 IN. X 45-3/4 IN. FIXED SKYLIGHT FS C06

FS C06 Image 2



VELUX

## VELUX 21 in. x 45-3/4 in. Fixed Skylight FS C06

★★★★☆ 84 Reviews 2 Questions \ 2 Answers

**SKU:** FS C06

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\$20<sup>43</sup>

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Model# 2600200192

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★★★★★ (46)

Model# 4DP3WB

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Existing Porch



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Existing Porch

