

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	11650 Snowden Pkwy., Germantown Formerly 22022 Ridge Rd.	Meeting Date:	1/24/2024
Resource:	Master Plan Site #13/19 <i>Howes Farm</i>	Report Date:	1/17/2024
Applicant:	NECC	Public Notice:	1/10/2024
Review:	Preliminary Consultation	Staff:	Dan Bruechert
Proposal:	New Podiums and Accessory Structure Construction		

STAFF RECOMMENDATION

Staff recommends the applicant make any changes recommended by the HPC and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Master Plan Site#13/19 (*Howes Farm*)
STYLE: Vernacular
DATE: c.1884 and 1920-30s

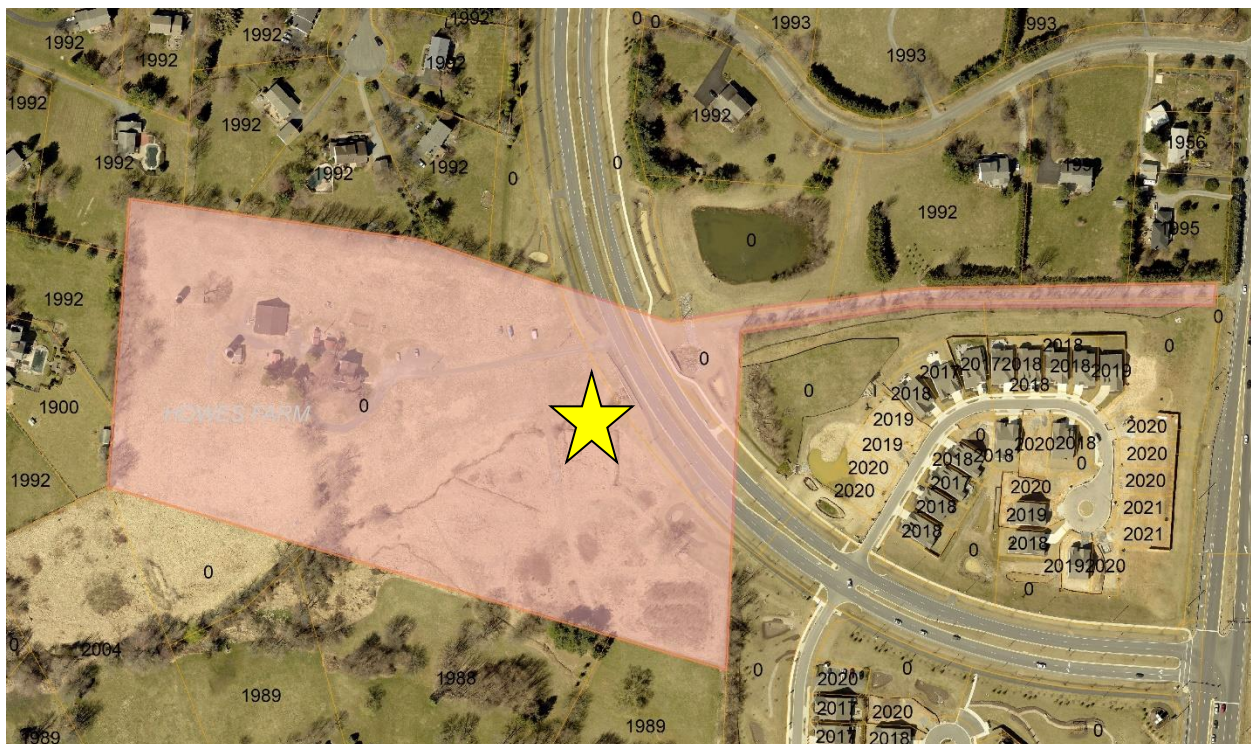


Figure 1: Designated Master Plan Site - Howes Farm.

From Places from the Past:

“The Howes House retains its late 19th-early 20th century appearance and setting, and the farm includes many of its original outbuildings. Between 1884-1892, Eliza and James Robert Howes built the ell-shaped, frame house. The traditional main block is one-room deep with a center cross gable and center-hall plan. Dominating the hallway is a striking curved wooden staircase, which Howes ordered from Philadelphia. Rough timbers for the house were sawn from trees on the farm. One of nine children of Eliza and James, Joseph G. Howes acquired the farm in 1917 and made several improvements over the next decade. In the early 1920s, Joseph enlarged the house with a wraparound porch. He installed indoor plumbing in 1919 and electricity in 1928 and covered the house in pebble-dash stucco. The farmstead has several notable outbuildings: a double corncrib with attached machine shed, concrete block milk house, pump house, combined smokehouse/workers house, 2 silos and feed room, and water tank house. A bank barn (late 1800s) and dairy barn (1930s) were destroyed by fire. The property remained in the Howes family until the early 1970s.”

Master Plan for Historic Preservation Amendment – 13/19 Howes Farm – July 1994

The Howes Farm meets the following criteria for Master Plan Designation: 1A, as an excellent example of a late 19th-early 20th-century family farm in the Clarksburg area; 1D, exemplifying the cultural, economic, and social heritage of agriculture and dairy farming in Montgomery County; 2A, embodying the distinct characteristics of a high-style Gothic Revival farmhouse with metal roof, narrow 2-over-2 shuttered windows, second-story bay window, and 20th-century rear wing, stuccoed siding, and wrap-around porch; and 2E, as an established and familiar feature in the community once dominated by family farms.

The Howes Farm was built in 1884 by James Robert Howes, who purchased the land from Sara D. Sellman. In the 1920s, the house was enlarged and stuccoed by their son, Joseph G. Howes, adding the wrap-around porch, modern utilities, and changing the drive from Brink Road to Ridge Road. The house retains its late 19th century integrity and many fine details, including the curved mahogany staircase ordered from Philadelphia.

The Howes Farm was formerly referred to in the Locational Atlas as the Elizabeth Waters Farm. However, research has not shown any connection of this property to the Waters family who lived nearby. The Howes family, long-time Clarksburg residents, were active members of the County Dairy Association, farming the 124-acre farm for over 90 years over three generations.

Several outbuildings remain from the period, including a hen house, a double corn crib and machine storage shed, a rusticated concrete block dairy building, pump house, meat house/handyman shelter, silo, and feed room. A dairy barn (1930) and bank barn (1880s) burned in the late 1970s. The environmental setting is the entire 16.75 -acre parcel, including the outbuildings and long drive from Ridge Road. [add the sentence here about the specific structures that were approved for demolition]

BACKGROUND

On July 28, 2021, the HPC held a Preliminary Consultation that evaluated the proposed overall redevelopment concept plan for the historic site including demolishing and modifying existing buildings, location and scale of new construction, and the placement of other site features.¹

In 2022, the HPC approved two HAWPs to demolish structures on the property.²

¹ The Staff Report for the July 28, 2021 Preliminary Consultation is available here: <https://montgomeryplanning.org/wp-content/uploads/2021/07/II.A-2022-Ridge-Road-Germantown.pdf>. The audio of the hearing is available here: https://mncppc.granicus.com/MediaPlayer.php?publish_id=d792670e-f08f-11eb-81b1-0050569183fa.

² On February 2, 2022, the HPC approved a HAWP to demolish a silo. The Staff Report for the silo demolition is

PROPOSAL

The applicant proposes to construct two concrete podiums for statues on the site. Additional site work will be required as part of this proposal.

APPLICABLE GUIDELINES

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the *Secretary of the Interior's Standards for Rehabilitation*.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

available here: <https://montgomeryplanning.org/wp-content/uploads/2022/01/I.F-11650-Snowden-Farm-Parkway-Germantown-979811.pdf>. On June 22, 2022, the HPC approved a HAWP to demolish three outbuildings located between the historic house and barn. The Staff Report for the approved HAWP is available here: <https://montgomeryplanning.org/wp-content/uploads/2022/06/II.D-11650-Snowden-Farm-Parkway-Germantown-979811.pdf>.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Between 1884 and 1892 Eliza and James Robert Howes built the L-shaped house. Eliza and James' son, Joseph G. Howes, modified the house in the 1910s including constructing the wrap-around porch and adding the stucco finish to the exterior. The house retains its appearance from this period of modification.

On June 28, 2021, the HPC held a Preliminary Consultation to discuss the concept of the proposed site redevelopment and demolition of several outbuildings. The HPC was uniform in finding the site could accommodate the objectives of the redevelopment including the construction of a sanctuary/multipurpose building and additional formal gardens and statues. While much of the discussion was conceptual, the HPC identified the viewshed of the historic house and outbuildings from Snowden Farm Parkway as significant; and that that view should be protected as the site redevelopment moved forward.

The applicant proposes to construct two concrete podiums for statues on site and seeks the HPC's feedback on the size, placement, and materials. Additional hardscaping will be required as part of the proposed construction, and Staff requests the HPC feedback on the placement, size, and materials of the new hardscaping. Additional reviews, including a Natural Resource Inventory/Forest Stand Delineation (NRI/FSD) may be required by other departments and agencies depending on the exact nature of the work to be undertaken. Staff requests the applicant provide details regarding the outcome of other required development reviews with future HAPW applications or subsequent Preliminary Consultations.

Statuary Podiums

Behind the farmhouse, towards the rear of the property, the applicant proposes to construct two concrete podiums that will elevate large statues. One of the proposed podiums measures 50' × 50' (fifty feet square); the other podium measures 43' 4 ½" × 43' 4 ½" (forty-three feet, four and one-half inches square). The podiums are approximately 8' (eight feet) tall and will have large statues constructed above. While the statues are still in their conceptual stages, the overall height from grade will be between 16' – 20' (sixteen to twenty feet). The podiums are to be constructed out of concrete with selected areas of face brick. Each podium will have a ramp in one corner with a simply detailed metal railing.

Podium 'A' appears to be about 50' (fifty feet) from a historic silo. Podium 'B' will be located 68' (sixty-eight feet) from the existing dairy barn and approximately 100' (one hundred feet) from the historic house.

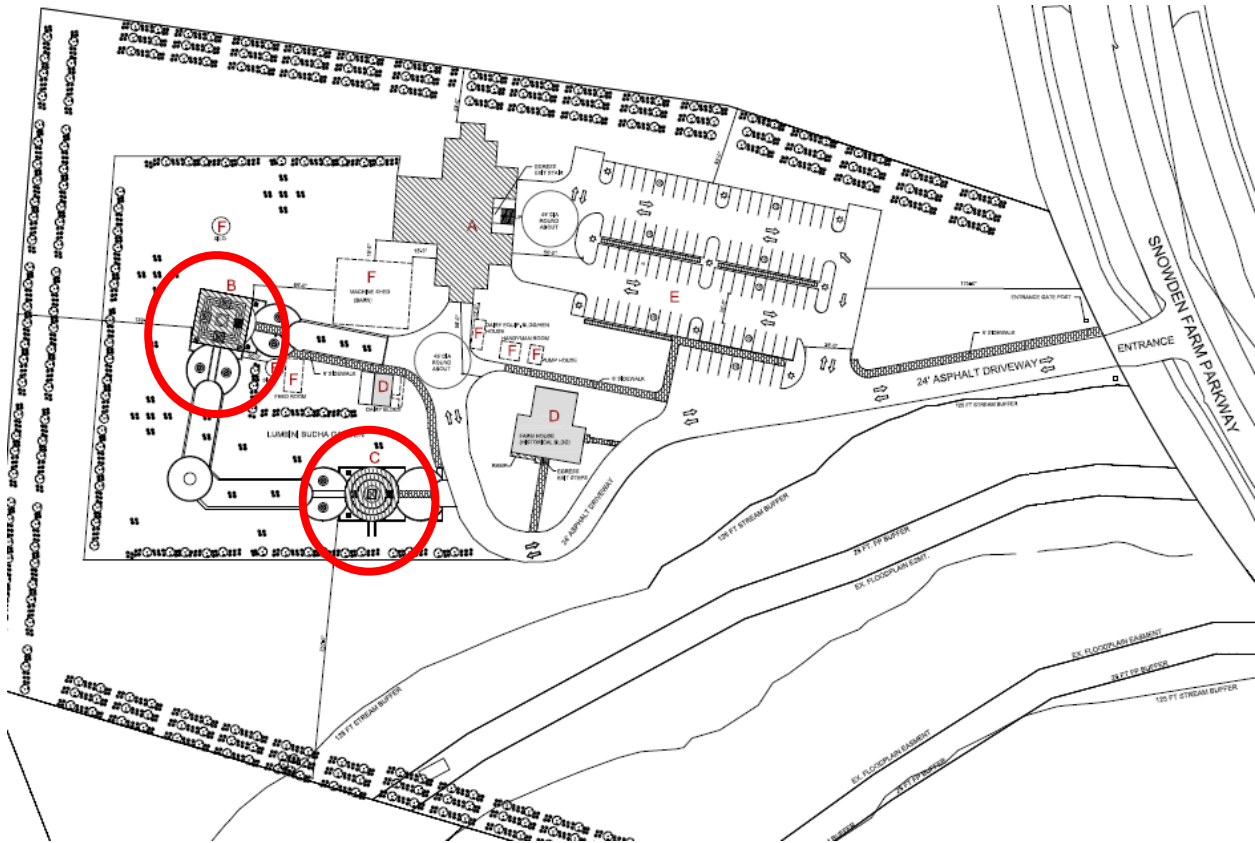


Figure 2: June 2021 concept site plan with statues labeled as 'B' and 'C.'

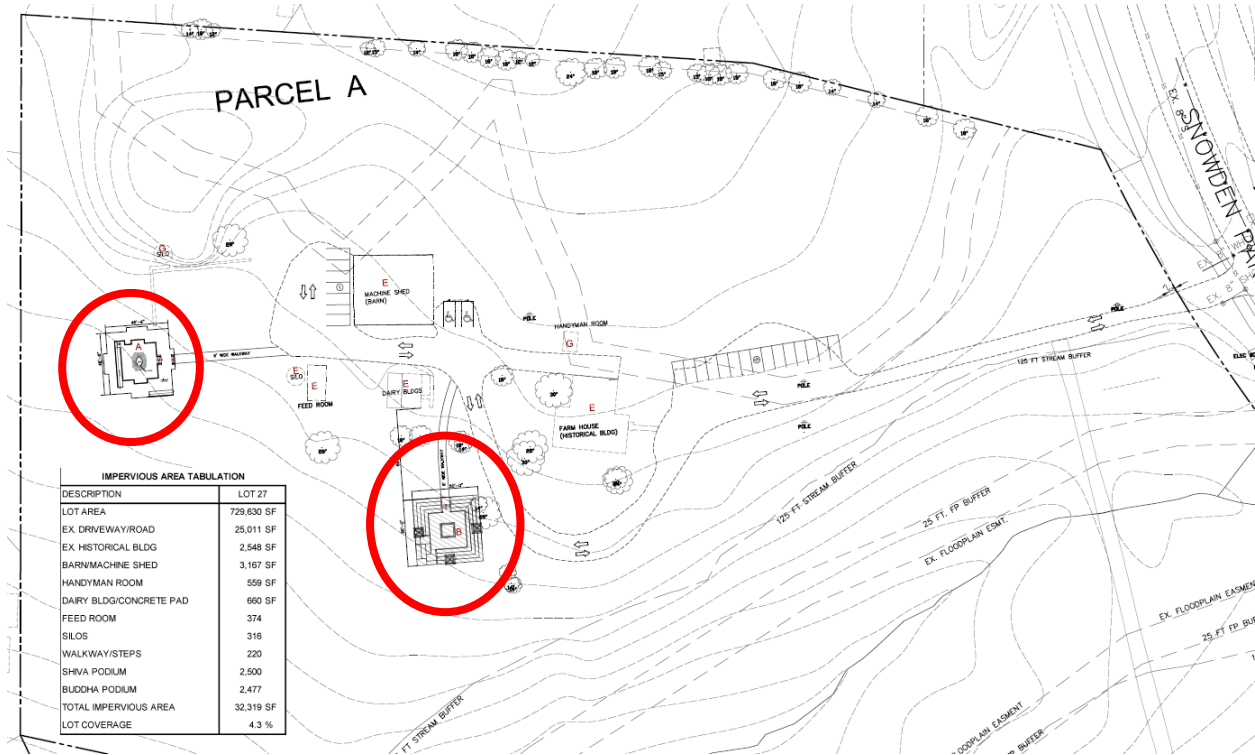


Figure 3: Current proposal showing the proposed podiums as 'A' and 'B.'

Staff finds the proposed podiums are generally consistent with the HPC's support from the June 2021 Preliminary Consultation (see *Figs. 2 and 3*, above). Staff finds the proposed placement of podium 'B' is slightly further to the south than originally proposed and, because it is not directly behind the historic house, it will be more visible from the right-of-way. Staff finds the placement of the proposed podiums to be far enough from the historic structures that it will not negatively impact their character.

Staff additionally finds the materials (concrete and brick) are compatible for landscape features at the subject property. Staff requests feedback from the HPC on the:

- Proposed podium/statue locations;
- The proposed materials; and,
- Any other recommended revisions.

Hardscaping

The proposed site plan (*Fig. 3*) also shows new hardscaping on the site including additional parking, relocating a portion of the driveway, and walkways to the proposed podiums. The application packet identifies 6' (six foot) wide walkways but does not include a material specification.

Staff finds the 6' (six foot) width of the proposed walkway is potentially out of character with the site; however, Staff additionally recognizes the desire to make the site accessible, which means a solid, impervious material is likely preferred. Staff recommends either asphalt or a tinted concrete, but requests input from the HPC for a preferred material.

Finally, the site plan shows an expanded driveway with additional parking. These elements are rendered with a dashed line, however, Staff requests feedback from the HPC on the appropriateness of the expanded parking – particularly regarding the parking in front of the historic house. While the existing driveway on site is gravel, no material was identified for the new driveway on site. Staff request feedback from the HPC on both the location of the expanded drive and parking and recommended material.

Campus Planning and Preservation Priorities

Through this project, Staff is reminded of the Spencer-Carr House,³ another Master Plan Site that has allowed significant development within the environmental setting while retaining its significant historic features. This historic house and barn were retained (though the barn was converted into a school building) and a church, associated parking, and a large solar farm have been constructed on the property. In allowing the partial demolition of a rear addition to the Spencer-Carr house, the HPC added a condition that requires the property owners to submit a yearly monitoring report. This requirement provided the HPC with an assurance that even though putting the historic house to use in the immediate future was not part of the church's master plan, any potential threats to the long-term preservation of the Spencer-Carr house could be identified and rectified.

Several commissioners expressed their concern that the historic buildings may be viewed as an impediment to redevelopment, instead of a significant part of the county's history. As the redevelopment at the Howes Farm continues, Staff recommends the HPC begin a discussion of the methods that will ensure the preservation of the historic house and agricultural buildings as the current owners continue to develop the site. Ensuring the protection of the Master Plan site is what Chapter 24A demands while also balancing the needs of the current owner. Part of the balancing test is ensuring that alterations are

³ The Maryland Inventory of Historic Places documents for the Spencer-Carr House are available here: www.mcatlas.org/hp2/hpdocs/M_%2015-055.pdf and the HAWP allowing a partial demolition of a historic rear addition is available here: <http://staging.montgomeryplanning.org/wp-content/uploads/2018/11/I.K-2420-Spencerville-Rd.-Demo-Staff-Report.pdf>.

accomplished while the historic property itself is stewarded appropriately by the current owners for the future. The HPC could appropriately request of the applicant a master planning or facility planning document that discusses the long term preservation of the site vis-à-vis the new development with appropriate preservation milestones keyed to significant development of the site.

STAFF RECOMMENDATION

Staff recommends the applicant make any changes recommended by the HPC and return for a HAWP.



FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Nepal Education and Cultural Center_(NECC)_ E-mail: necc.engteam@gmail.com_____

Address: _11650 Snowden Farm Pkwy_____ City: _Germantown__ Zip: 20876__

Daytime Phone: _240-751-6359_____ Tax Account No.: 160202898373 & 160202975153

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____

Address: _____ City: _____ Zip: _____

Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property__22022 Ridge Rd, Germantown, MD 20876__
New Address: 11650 Snowden Farm Parkway, Germantown, MD_____

Is the Property Located within an Historic District? Yes/District Name_ Northern County_____
 No/Individual Site Name_____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: |

I hereby certify that I have the authority to make the foregoing application, that the application is correct

and accurate, and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Pramod KC

12/18/2023

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTHING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>11650 Snowden Farm Parkway Germantown, MD 20876</p>	<p>Owner's Agent's mailing address</p>
Adjacent and confronting	
<p>Zhang Zhiyong Xu Jiju 20301 Mallet Hill Ct Germantown, MD 20876</p> <p>KLOCK JEFFREY M 20305 Mallet Hill Ct Germantown, MD 20876</p> <p>MITCHELL RANDOLPH E MITCHELL LATECHIA 20300 Mallet Hill Ct Germantown, MD 20876</p> <p>SIMONS EDWARD L & M A 20309 Mallet Hill Ct Germantown, MD 20876</p>	<p>CHOUIKHA MOHAMED FAOUZI 20312 Mallet Hill Ct Germantown, MD 20876</p> <p>LYNAM FRANKLIN PATRICK LYNAM DANIELLE NICHOLE 11722 Morning Star Dr Germantown, MD 20876</p> <p>ORDOS BILIG HESHIG SAIHANJULA 11714 Morning Star Dr Germantown, MD 20876</p> <p>ATWELL THOMAS M & T R 11804 Morning Star Dr Germantown, MD 20876</p>
<p>ST ANGELO JOHN & A 11808 Morning Star Dr Germantown, MD 20876</p> <p>ARUMUGAM JAYACHANDRAN MARIADOSS METILDA 11820 Morning Star Dr Germantown, MD 20876</p> <p>BROWN DAMONE R BROWN MARLEANDA L 11824 Morning Star Dr Germantown, MD 20876</p> <p>KERIAKOU LINDA M TR 21725 Brink Meadow Ln Germantown, MD 20876</p> <p>FREDERICK ROBERT M & BONNIE L 21741 Brink Meadow Ln Germantown, MD 20876</p>	<p>HANCOCK WILLIAM M TR 21721 Brink Meadow Ln Germantown, MD 20876</p> <p>BERTRAND WILLIAM C JR & BRENDA 21729 Brink Meadow Ln Germantown, MD 20876</p> <p>POND AMY TKAC 21733 Brink Meadow Ln Germantown, MD 20876</p> <p>CHEOK MICHAEL C & J M 21737 Brink Meadow Ln Germantown, MD 20876</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property is located at 11650 Snowden Farm Parkway, Germantown, MD 20876, the area of the property as listed on plat is 16.75 Acres. The property falls in Historical preservation master plan designated as Howes Farm (Elizabeth Waters Farm), which was built in 1884 by James R. Howes, several other outbuildings like hen house, a double corn crib and machine storage shed, a rusticated concrete block dairy building, pump house, meat house, Silo and feed room also remain from the period.

The property is enclosed by tree lines in all three sides and frontage is connected to Snowden Farm Parkway, the property is mostly vegetated with grass, shrubs, and trees. A stream passes through the east side of the property and part of the property lies on 100-year floodplains.

Description of Work Proposed: Please give an overview of the work to be undertaken:

As part of NECC's community center development the engineering department is working on designing and permitting processes for two new concrete base podiums. As shown on the site plan attached with this application, Lord Shiva and Lord Buddha podiums are being proposed at the locations shown. NECC is requesting HPC's approval of the site plan for the construction of these podiums.

Work Item 1: Podium Construction

Description of Current Condition:
The sites where these two podiums are proposed are bare ground at the existing condition.

Proposed Work:
NECC is requesting plan approval to construct podiums for Lord Shiva and Buddha statues. See attached site plan, elevations and podium design sheets for detail.

Work Item 2: _____

Description of Current Condition:

Proposed Work:

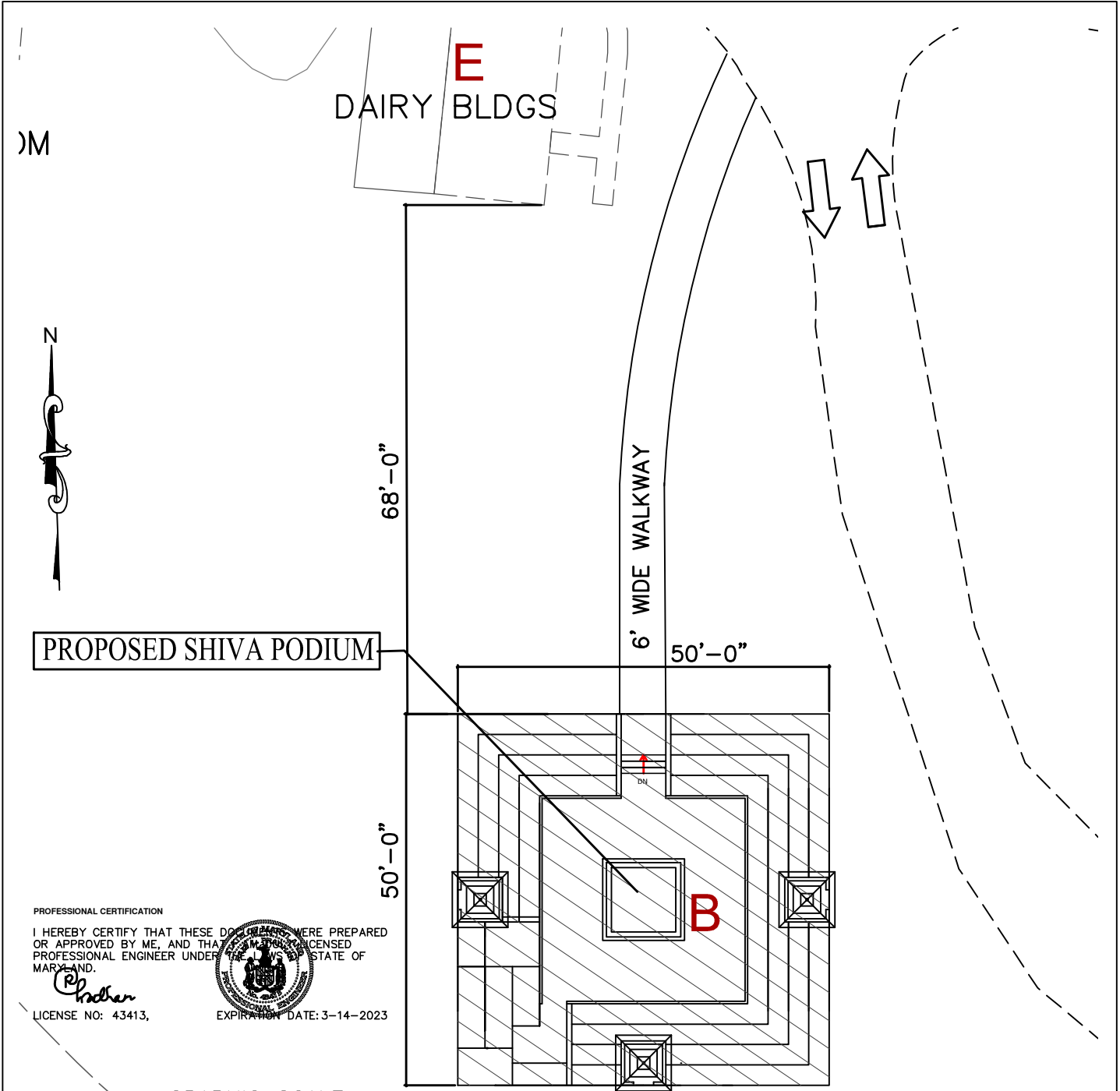
Work Item 3:

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



PROPOSED SHIVA PODIUM

E
DAIRY BLDGS

6' WIDE WALKWAY

50'-0"

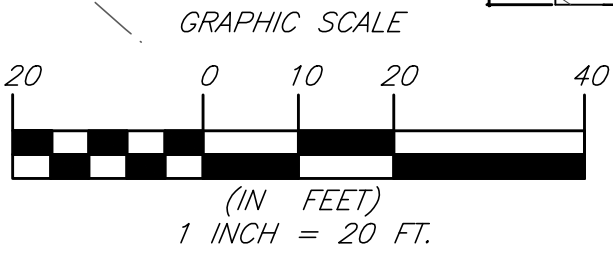
68'-0"

50'-0"

B

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
 OR APPROVED BY ME, AND THAT I AM A LICENSED
 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF
 MARYLAND.

 LICENSE NO: 43413, EXPIRATION DATE: 3-14-2023



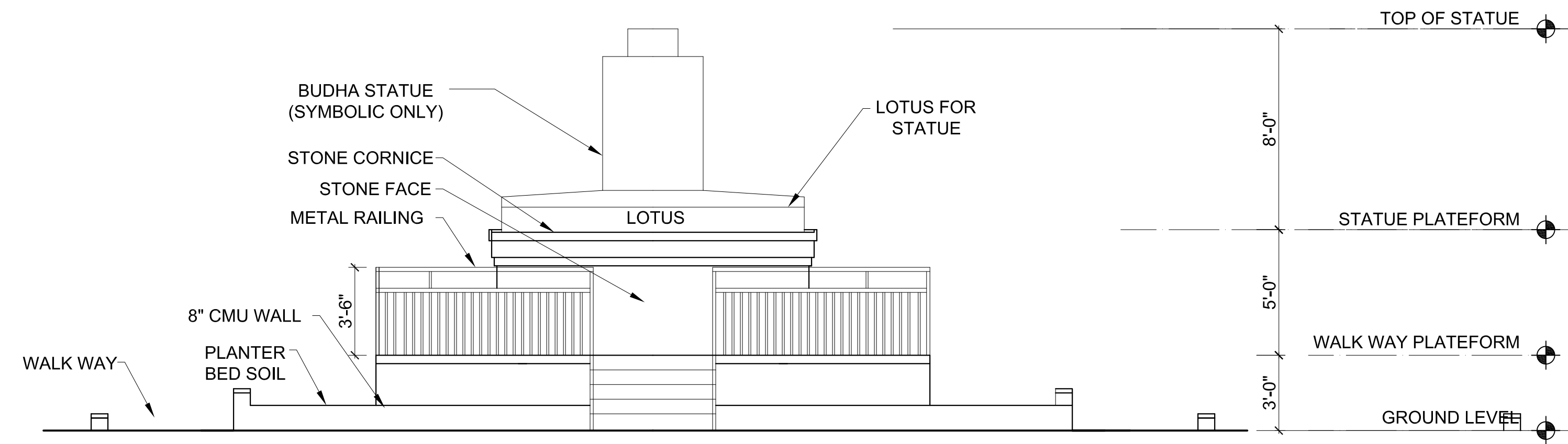
NEPAL EDUCATION & CULTURAL CENTER
 PARCEL A, BLOCK A
BRINK MEADOW
 11650 SNOWDEN FARM PARKWAY
 GERMANTOWN, MARYLAND 20876
 PLAT BOOK: S1249-97, PLAT NO.: 18056

INOVA ENGINEERING CONSULTANTS, INC.
 ENGINEERS - SURVEYORS - LAND DEVELOPMENT

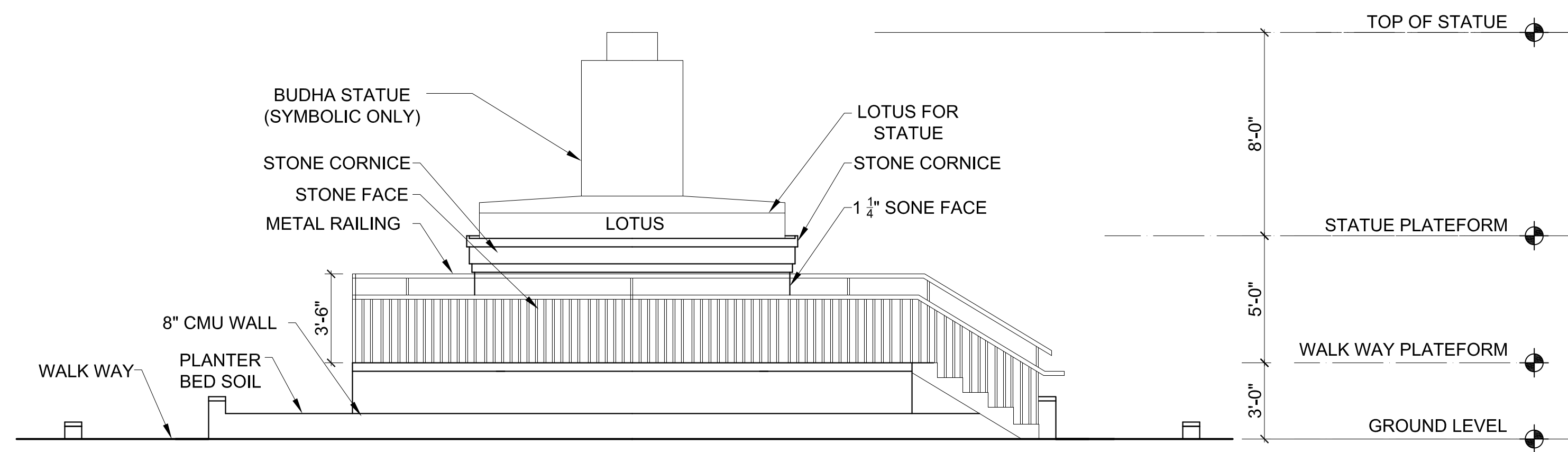
25209 LARKS TERRACE, SOUTH RIDING, VA 21052 - PHONE (703) 655-3951 - EMAIL: INOVAENGINEERS2@GMAIL.COM

DATE:	06/18/23	DRAWN BY:	RLS
FINAL DATE:	06/18/23	CHECKED BY:	RLP
RECERT DATE:		SCALE:	AS SHOWN

SITE PLAN - SP 02



1 FRONT ELEVATION
A-4 SCALE: 1/4"=1'-0"



2 SIDE ELEVATION
A-4 SCALE: 1/4"=1'-0"

REVISION SCHEDULE

NO	DESCRIPTION	DATE

SUBMISSION SCHEDULE

NO	DESCRIPTION	DATE

PROJECT:
NECC
NEPAL EDUCATION AND
CULTURAL CENTER
20520 BEALLSVILLE
MARYLAND

SHEET TITLE:
ELEVATIONS

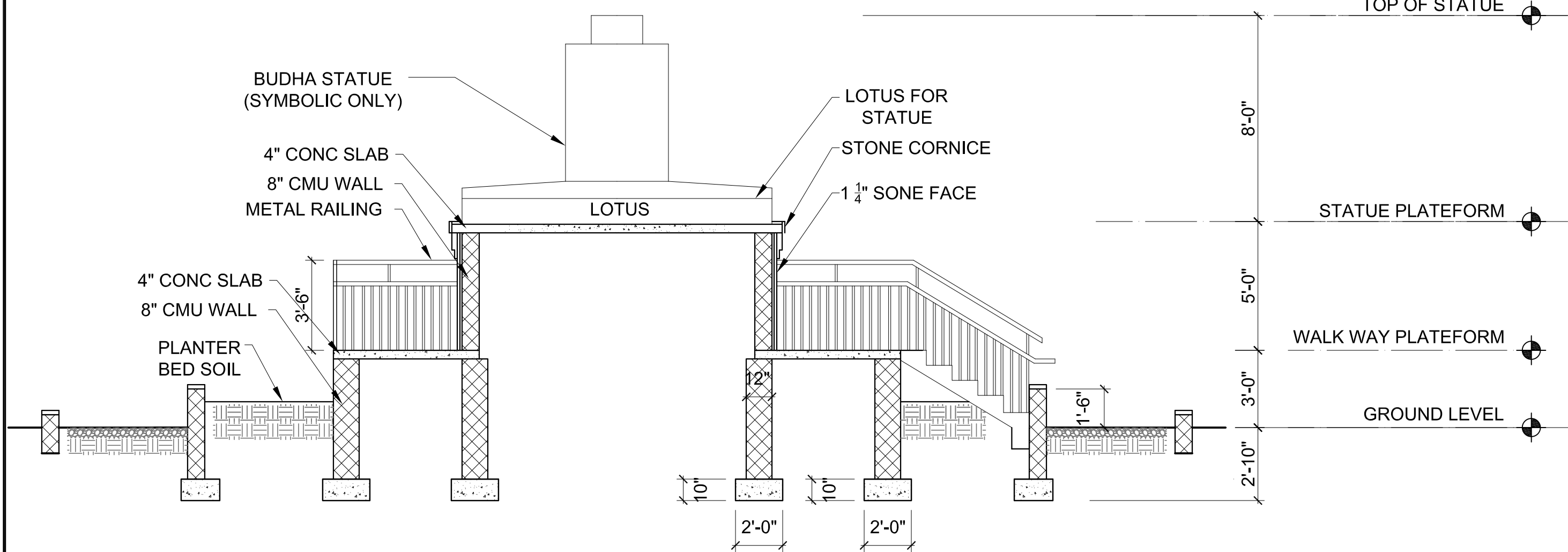
PROJECT NO:

FEB 23, 2017

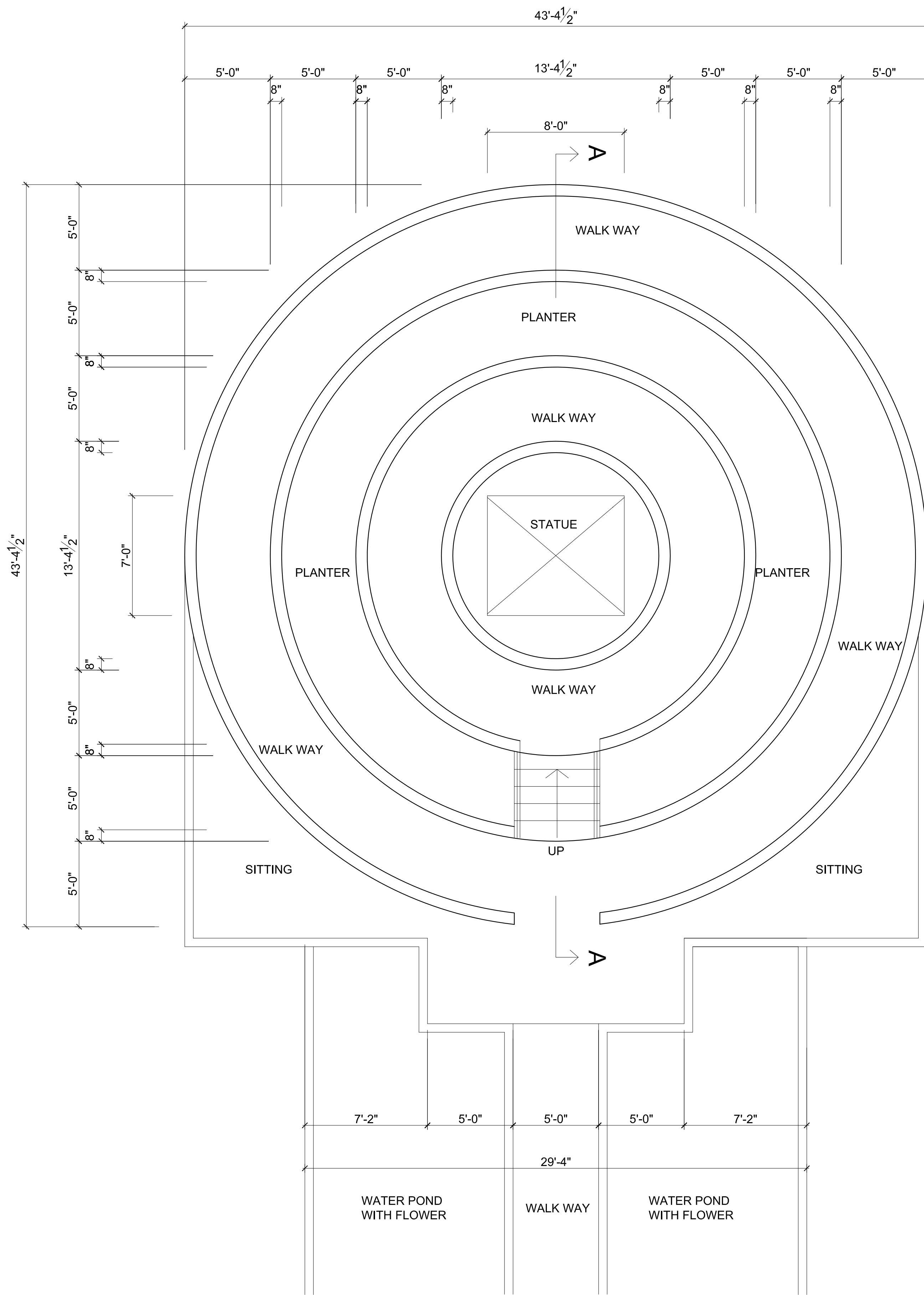
SCALE: 1/4" = 1'-0"

SHEET NO:

A-4



2 BUDHA STATUE SECTION AA
A-3 SCALE: 1/4"=1'-0"



1 BUDHA STATUE PLAN
A-3 SCALE: 1/4"=1'-0"

REVISION SCHEDULE		
NO	DESCRIPTION	DATE

SUBMISSION SCHEDULE		
NO	DESCRIPTION	DATE

PROJECT:
NECC
NEPAL EDUCATION AND
CULTURAL CENTER
20520 BEALLSVILLE
MARYLAND

SHEET TITLE:
PLAN AND SECTION

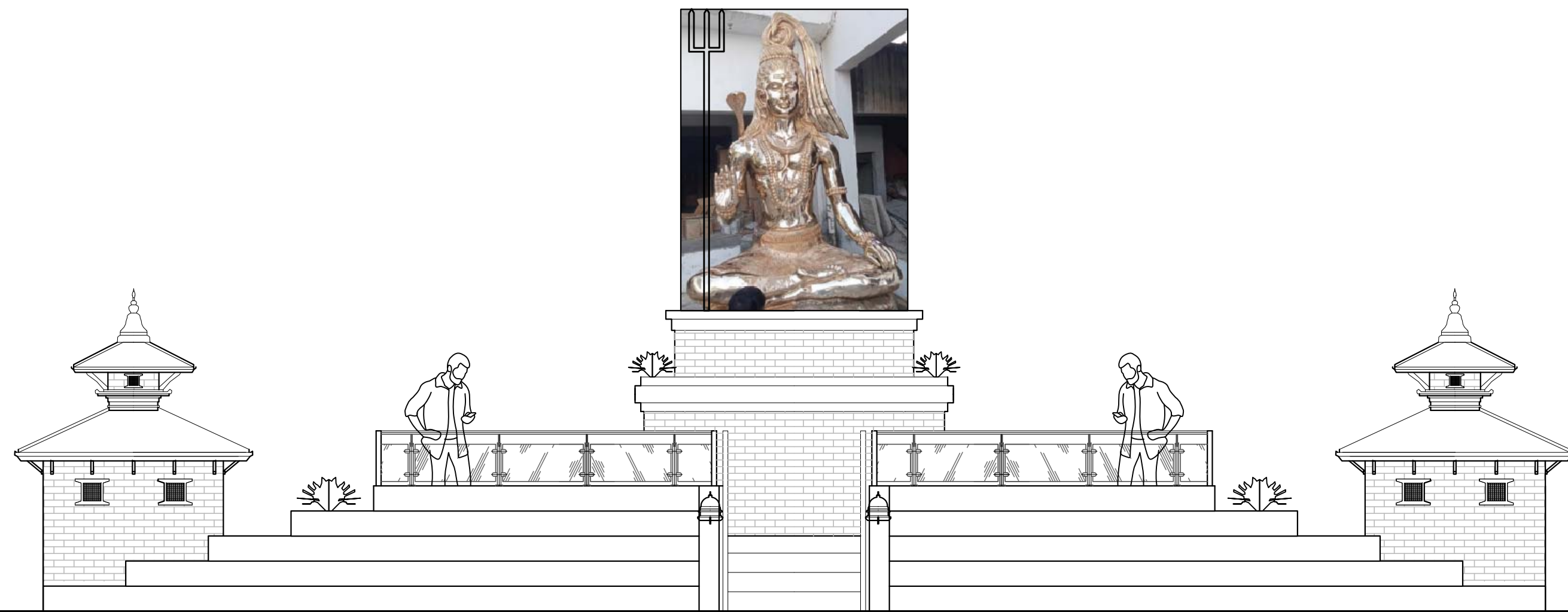
PROJECT NO:
FEB 23, 2017
SCALE: 1/4" = 1'-0"
SHEET NO:

A-3

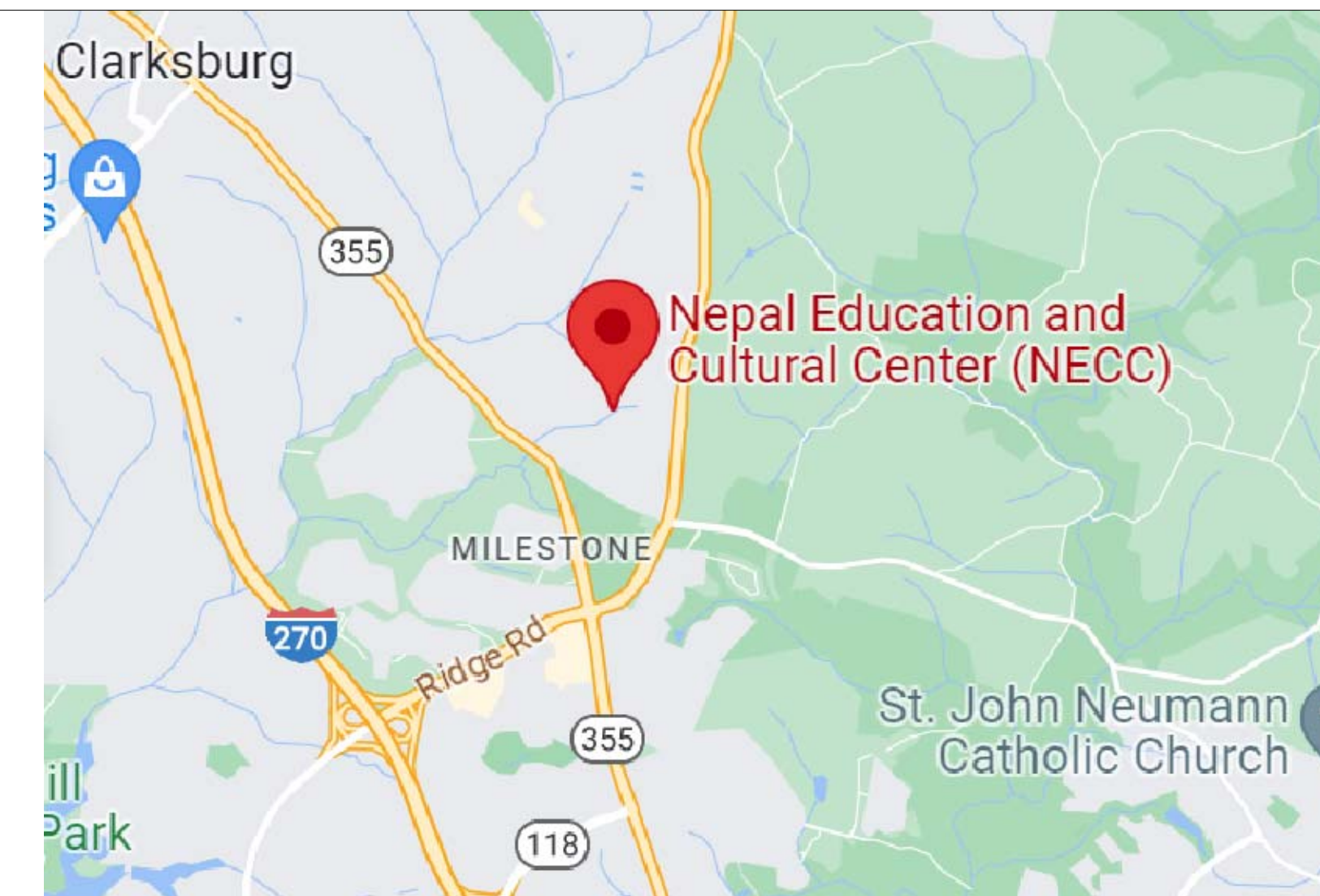
NEPAL EDUCATION AND CULTURAL CENTER (NECC)

11650 SNOWDEN FARM PWY
GERMANTOWN, MARYLAND 20876

PERMIT SET
JUNE 5, 2023



VIEW



VICINITY MAP

LIST OF DRAWINGS

ARCHITECTURAL

CS01 COVER SHEET
G001 GEN NOTE ABRV

A100 EGRESS PLAN
A101 FIRST FL PLAN

A201 ELEVATIONS
A202 ELEVATIONS
A301 BLDG SECTION
A302 BLDG SECTION
A401 RAMP DETAIL
A802 ADA DETAILS

STRUCTURAL

S100 STRCTL NOTE
S101 FDN 1ST FL PLAN
S102 1ST FLR FRM PLAN
S103 TOP PODIUM LVL FRM PLAN
S104 BLDG SECTION
S105 DETAIL
S106 RAMP DETAIL

STRUCTURAL

S100 STRCTL NOTE
S101 FDN 1ST FL PLAN
S102 1ST FLR FRM PLAN
S103 TOP PODIUM LVL FRM PLAN
S104 BLDG SECTION
S105 DETAIL
S106 RAMP DETAIL

PROJECT APPLICABLE CODE

APPLICABLE CODES:

-JURISDICTION MONTGOMERY COUNTY, MARYLAND APPLICABLE CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL BUILDING CODE
- 2018 ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRIC CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 FIRE PREVENTION CODE NFPA 1
- 2018 LIFE SAFETY CODE NFPA 101
- 2018 INTERNATIONAL FUEL GAS CODE

ACCESSIBILITY
- 2010 ADA STANDARDS FOR ACCESSIBILITY DESIGN
- COMAR 05.02.02
- ADDAG
- FHAG

PROJECT SCOPE

THIS PROJECT SCOPE INCLUDE CONSTRUCTION OF PEDESTAL DESIGN FOR STATUE, WALK AROUND PLATFORM, STEPS AND RAMP.

PROJECT CODE ANALYSIS

BASED ON 2018 IBC AND 2012 NFPA 1 & 101S-101

	PROPOSED SPACE
IBC USE GROUP CLASSIFICATION	A3 & AB
NFPA USE GROUP CLASSIFICATION	A3 & AB
CONSTRUCTION TYPE	TYPE II, B
# OF STOREYS ABOVE GRADE	ONE (1)
HIGH RISE	NO
PEDESTAL DESIGN	YES
FIRE ALARM	NO
SPRINKLERED	NO
FLOOR AREA	2500 SF
COVERED MALL	NO
TOTAL BUILDING AREA	2500 SF
OCCUPANT LOAD	-
NUMBERS OF EXITS	2
TRAVEL DISTANCE	90 FT
LAND USE	INSTITUTIONAL/COMMUNITY FACILITY

HEIGHT AND AREA CALCULATIONS PER IBC CHAPTER 5

OCCUPANCY = A2 FOOTNOTES S FOOTNOTES CONSTRUCTION TYPE = TYPE II, B
35' ALLOWED HEIGHT / ACTUAL = 10'-0"
2 STORIES ALLOWED / 1 STOREY ACTUAL

FIRE SEPERATION PER IBC CHAPTER 705.8

DISTANCE = 50'-0" UNPROTECTED / NOT SPRINKLERED

FIRE SPERATION RESISTANCE RATING PER IBC 602

DISTANCE = 50'-0" ALL CONSTRUCTION TYPES

PLUMBING FIXTURES AS REQUIRED EXCEEDS CODE REQUIREMENT

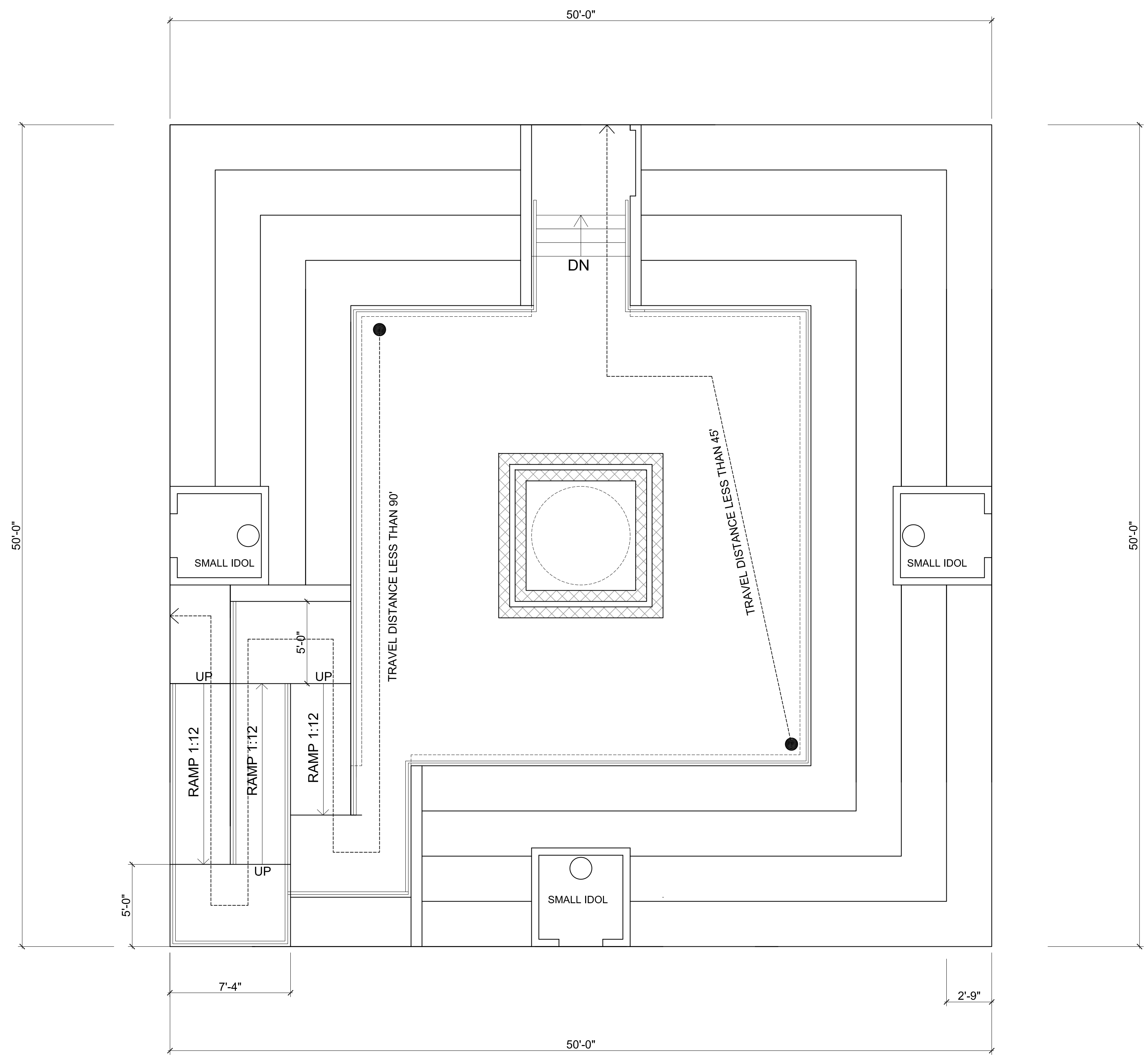
NEPAL EDUCATION & CULTURAL CENTER (NECC)

STATUE PODIUM DESIGN

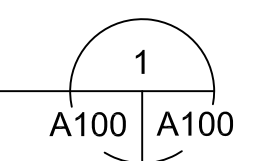
11650 SNOWDEN FARM PKWY, GERMANTOWN
MONTGOMERY COUNTY, MARYLAND 20876

COVER SHEET

CS01



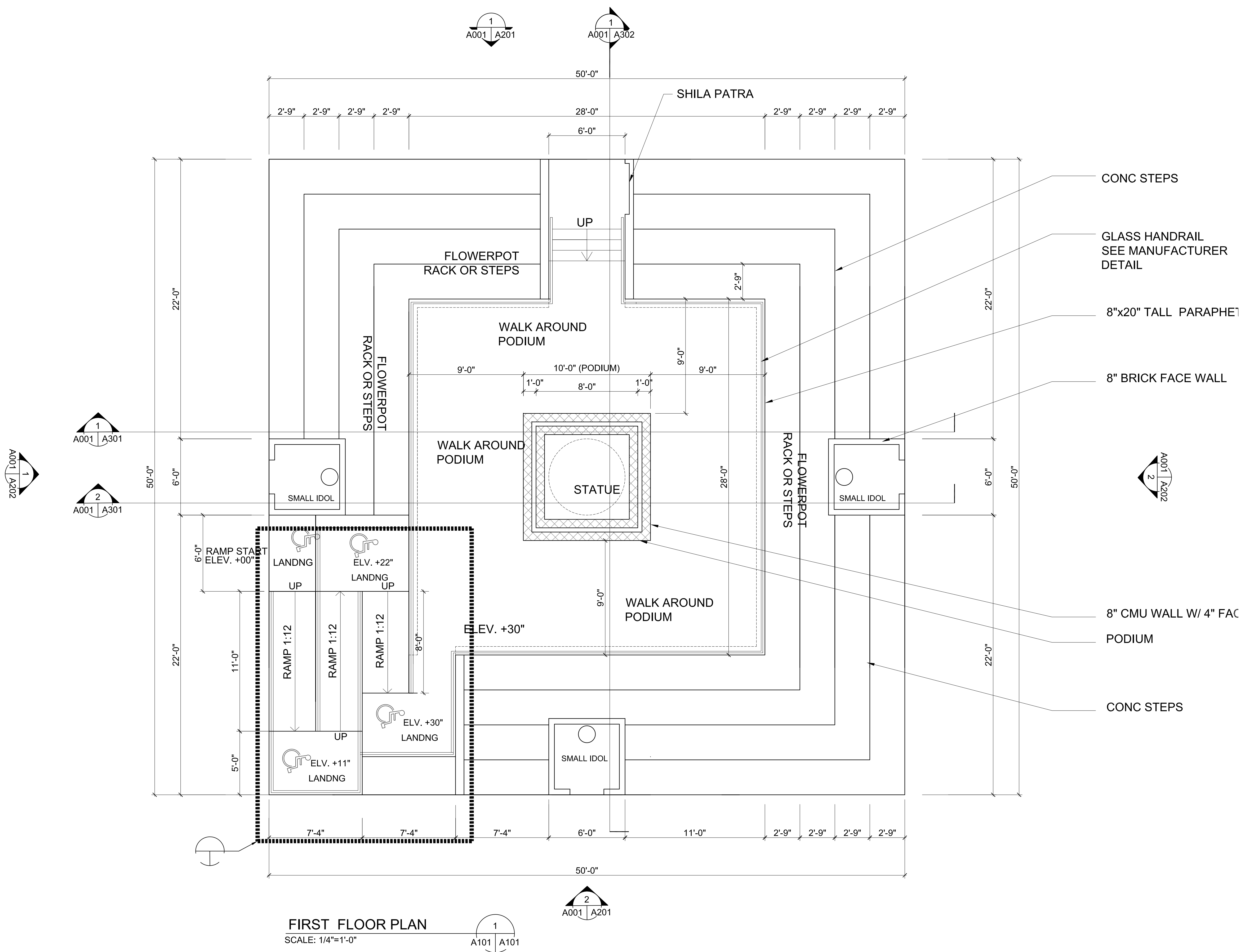
EGRESS PLAN
SCALE: 1/4"=1'-0"



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STATUE PODIUM DESIGN
 11650 SNOWDEN FARM PKWY, GERMANTOWN
 MONTGOMERY COUNTY, MARYLAND 20876

EGRESS PLAN

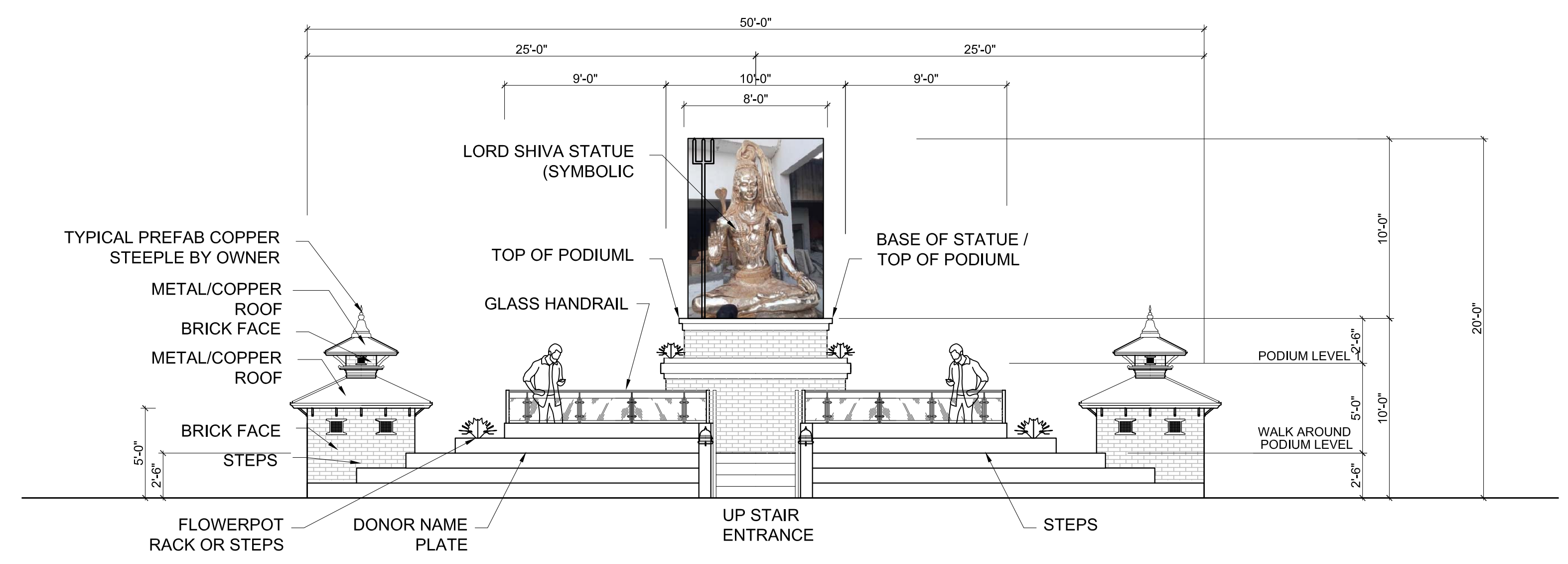
A100



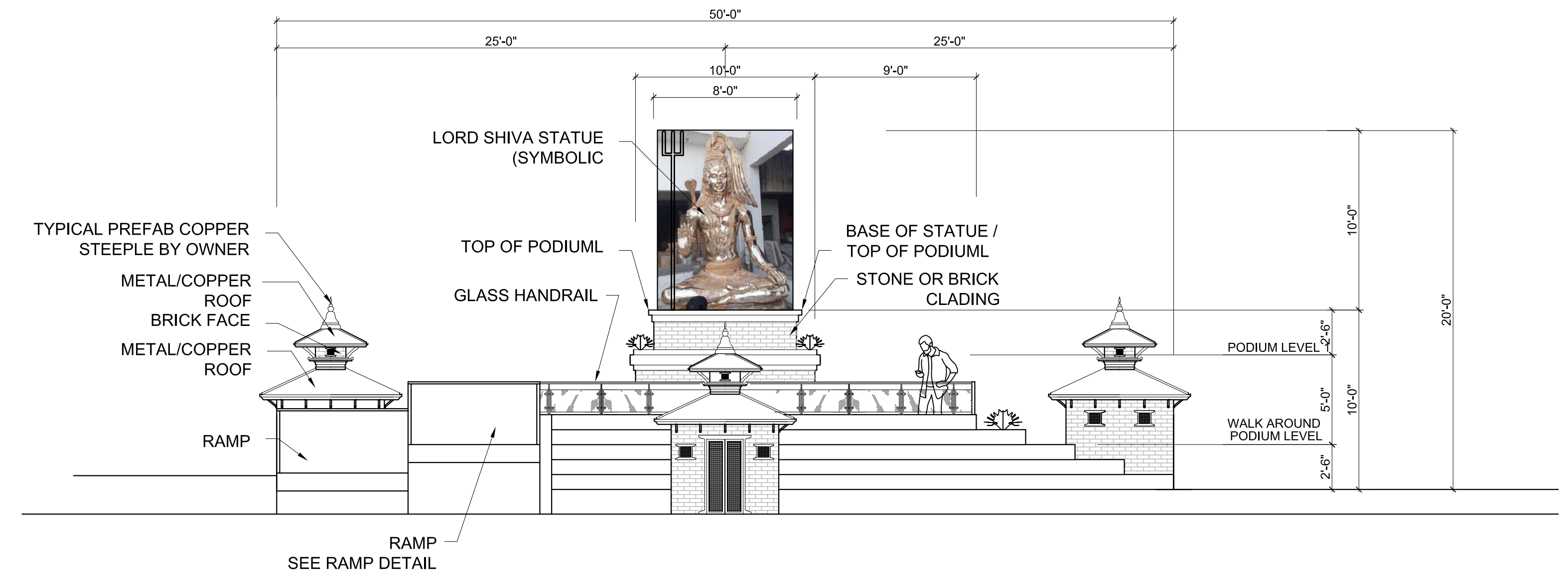
NEPAL EDUCATION & CULTURAL CENTER (NECC)
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FIRST FL
PLAN

A101



SHIVA STATUE
FRONT ELEVATION
SCALE: 1/4"=1'-0"
A101 A201

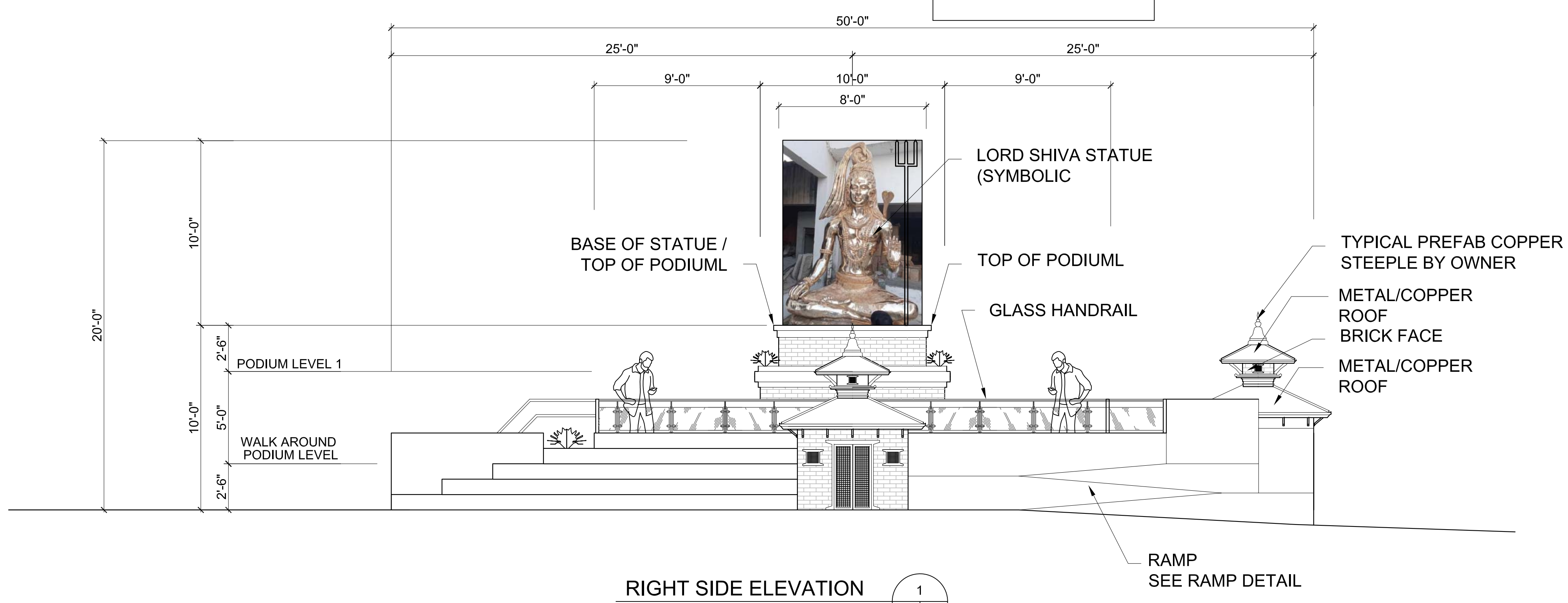


SHIVA STATUE
FRONT ELEVATION
SCALE: 1/4"=1'-0"
A101 A201

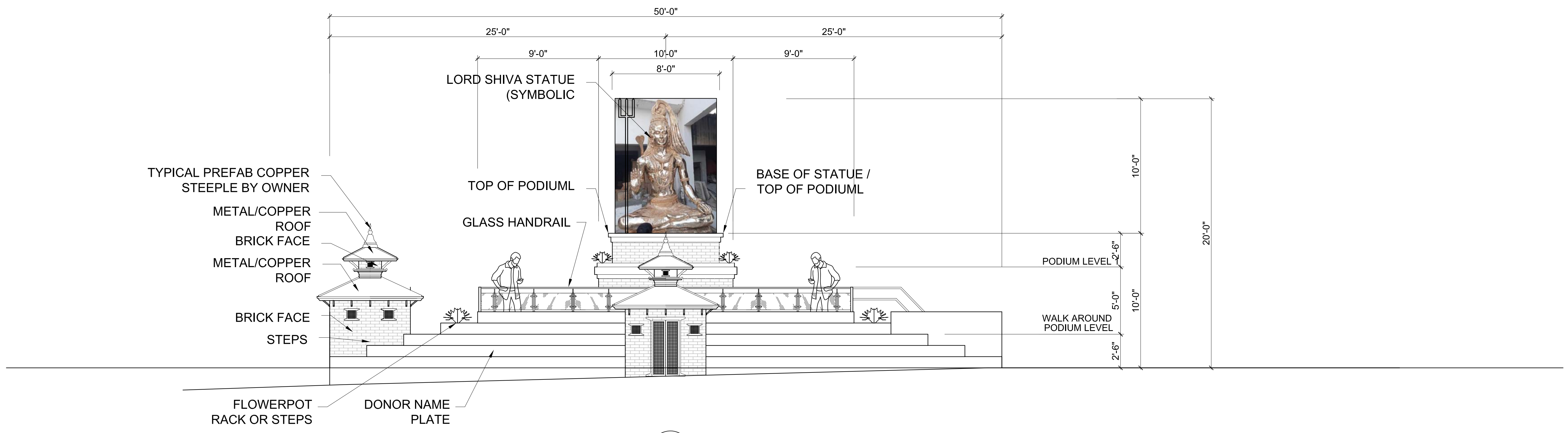
NEPAL EDUCATION & CULTURAL CENTER (NECC)
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ELEVATIONS
SHIVA PODIUM

A201



RIGHT SIDE ELEVATION
SCALE: 1/48"=1'-0"
A101 | A202

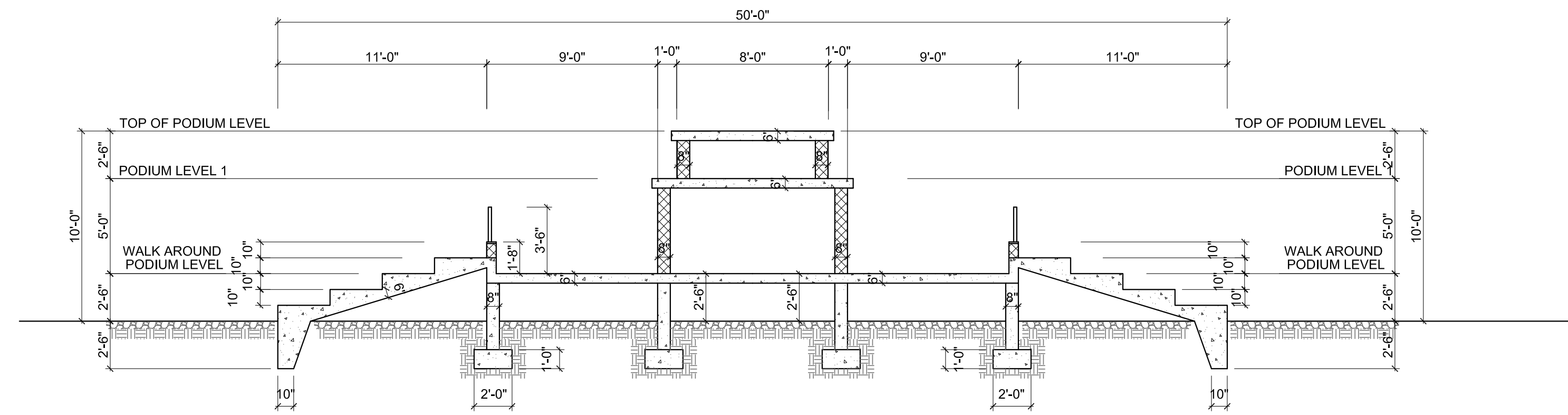


LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"
A101 | A202

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STATUE PODIUM DESIGN
11650 SNOWDEN FARM PKWY, GERMANTOWN
MONTGOMERY COUNTY, MARYLAND 20876

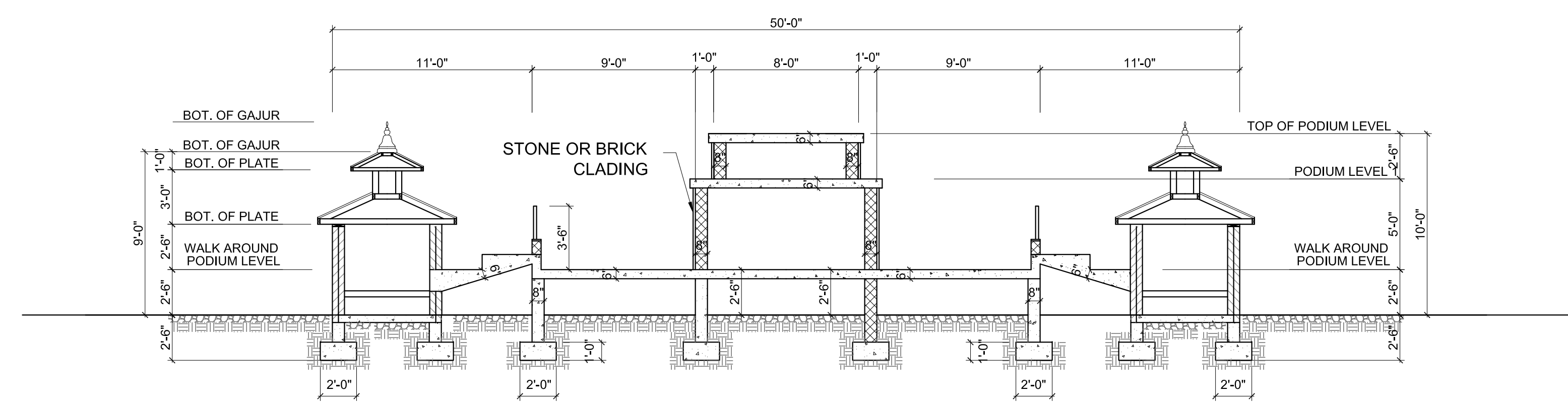
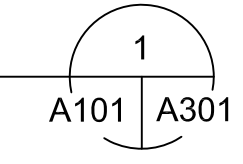
ELEVATIONS
SHIVA PODIUM

A202



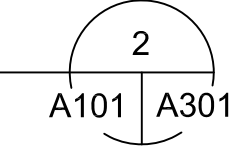
SHIVA STATUE SECTION

SCALE: 1/4"=1'-0"



SHIVA STATUE SECTION

SCALE: 1/4"=1'-0"



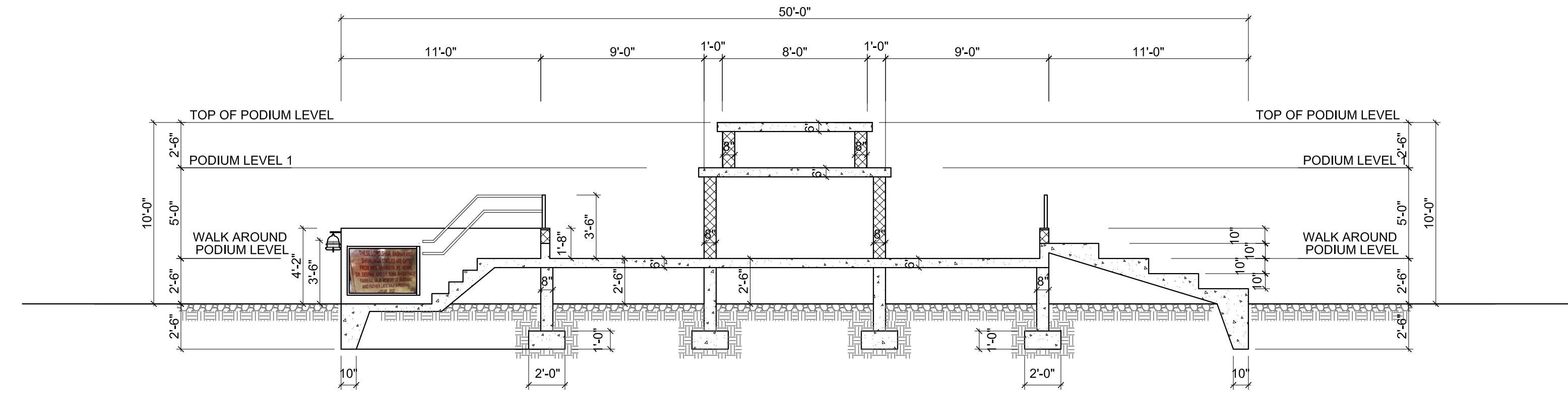
NEPAL EDUCATION & CULTURAL CENTER (NECC)

STATUE PODIUM DESIGN

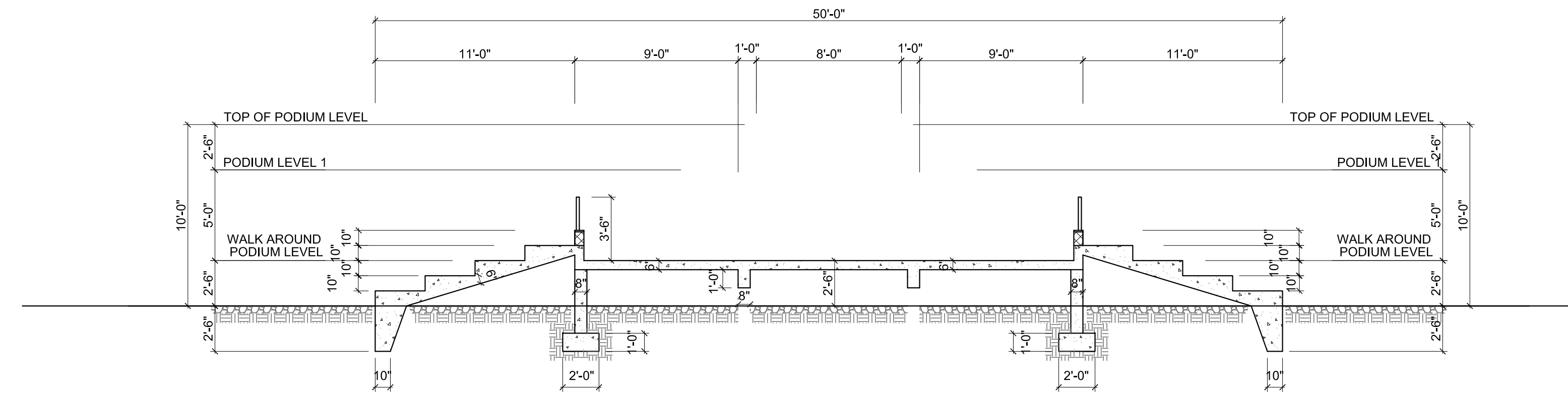
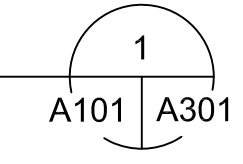
11650 SNOWDEN FARM PKWY, GERMANTOWN MONTGOMERY COUNTY, MARYLAND 20876

SECTIONS

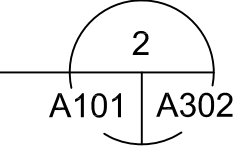
A301



SHIVA STATUE
SECTION
SCALE: 1/4"=1'-0"



SHIVA STATUE
SECTION
SCALE: 1/4"=1'-0"



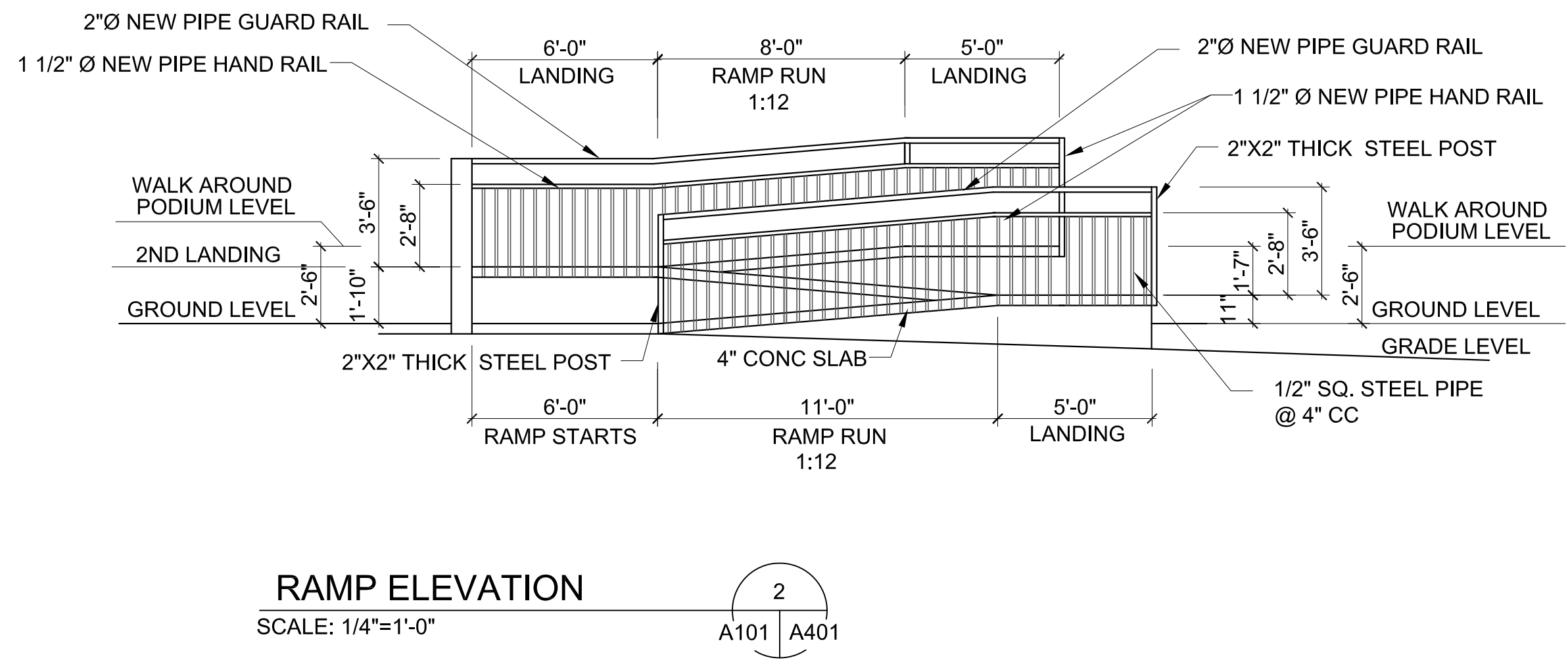
NEPAL EDUCATION & CULTURAL CENTER (NECC)

STATUE PODIUM DESIGN

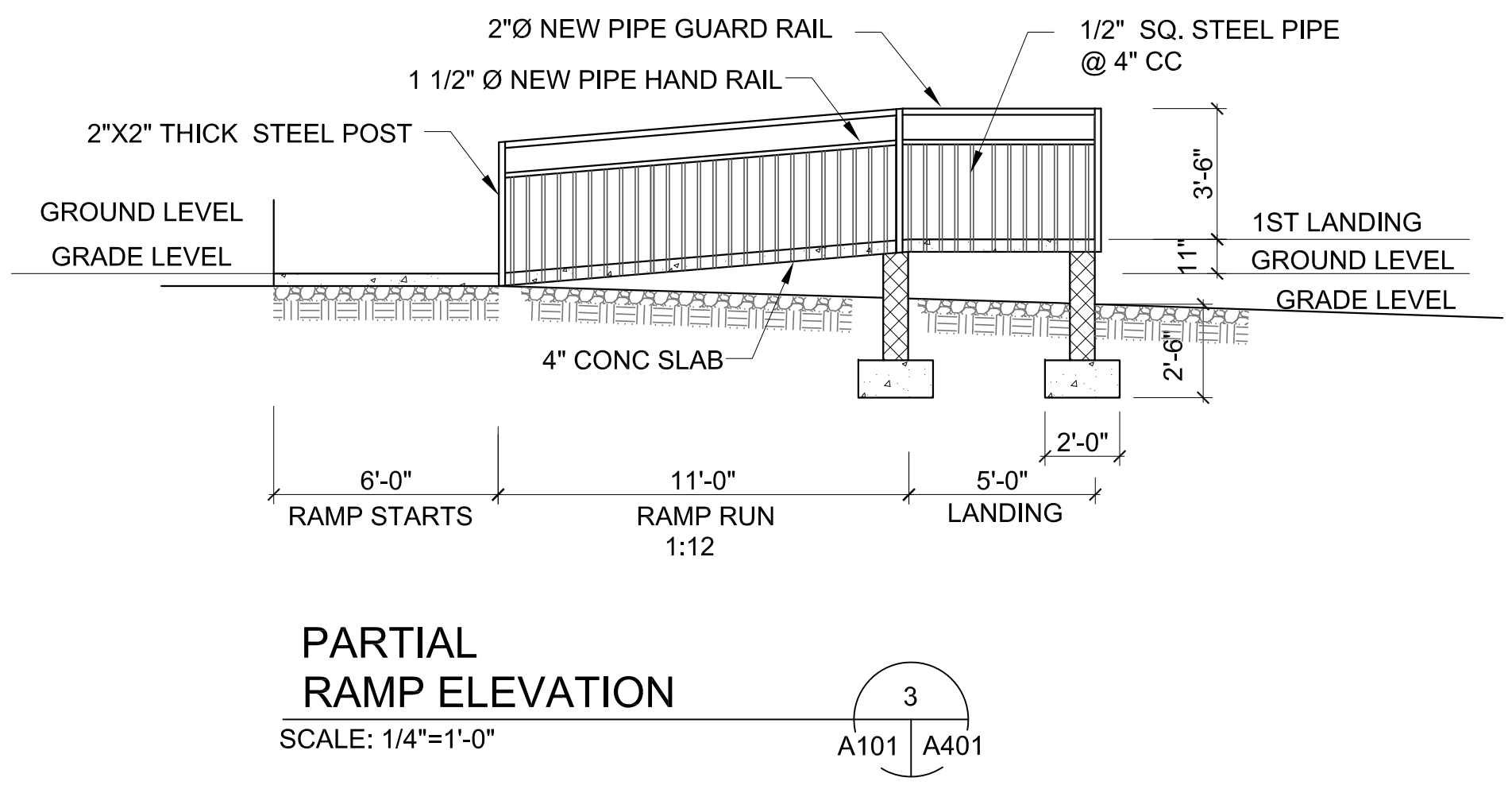
11650 SNOWDEN FARM PKWY, GERMANTOWN
MONTGOMERY COUNTY, MARYLAND 20876

SECTIONS

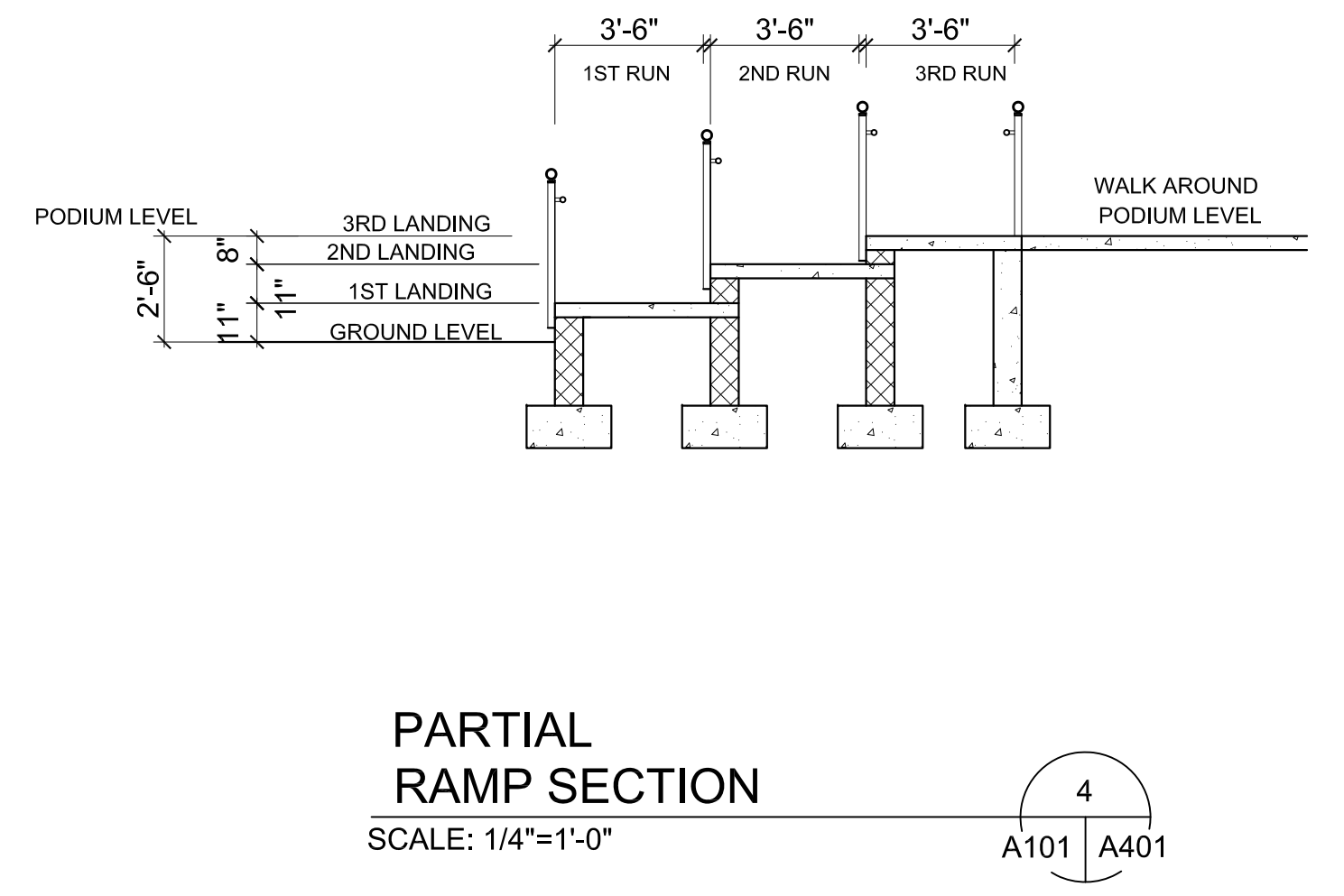
A302



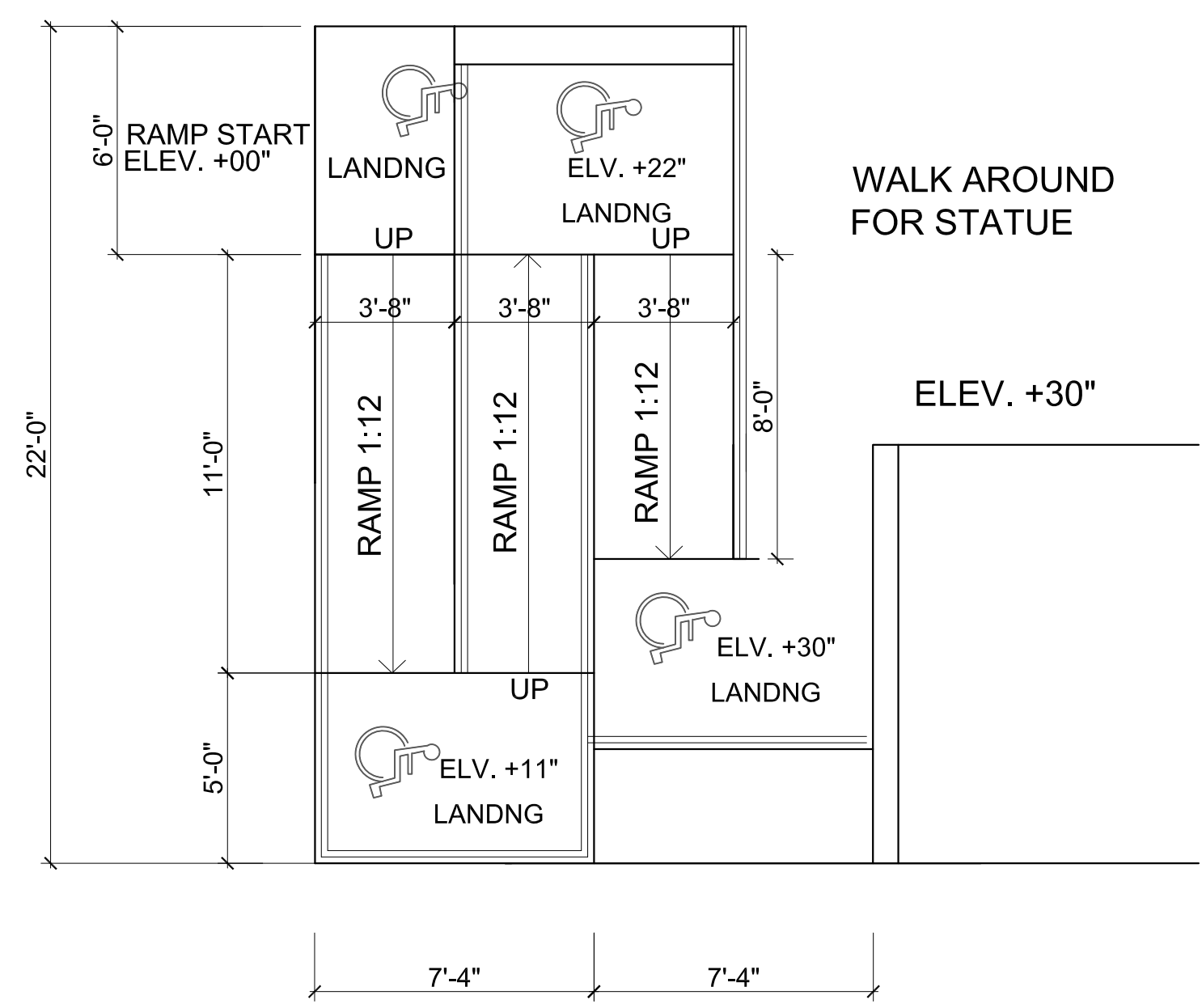
RAMP ELEVATION
SCALE: 1/4"=1'-0"
2
A101 A401



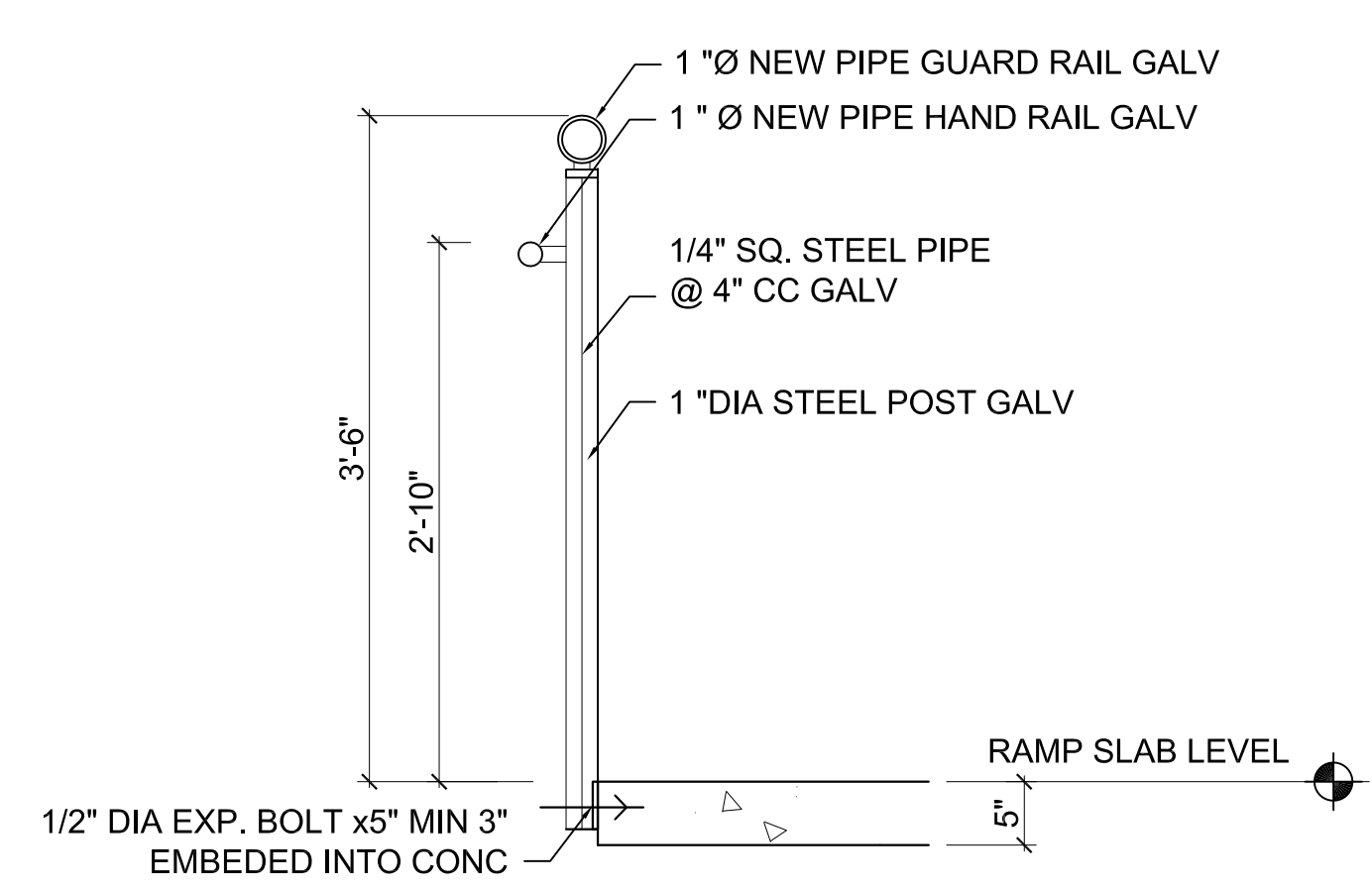
PARTIAL RAMP ELEVATION
SCALE: 1/4"=1'-0"
3
A101 A401



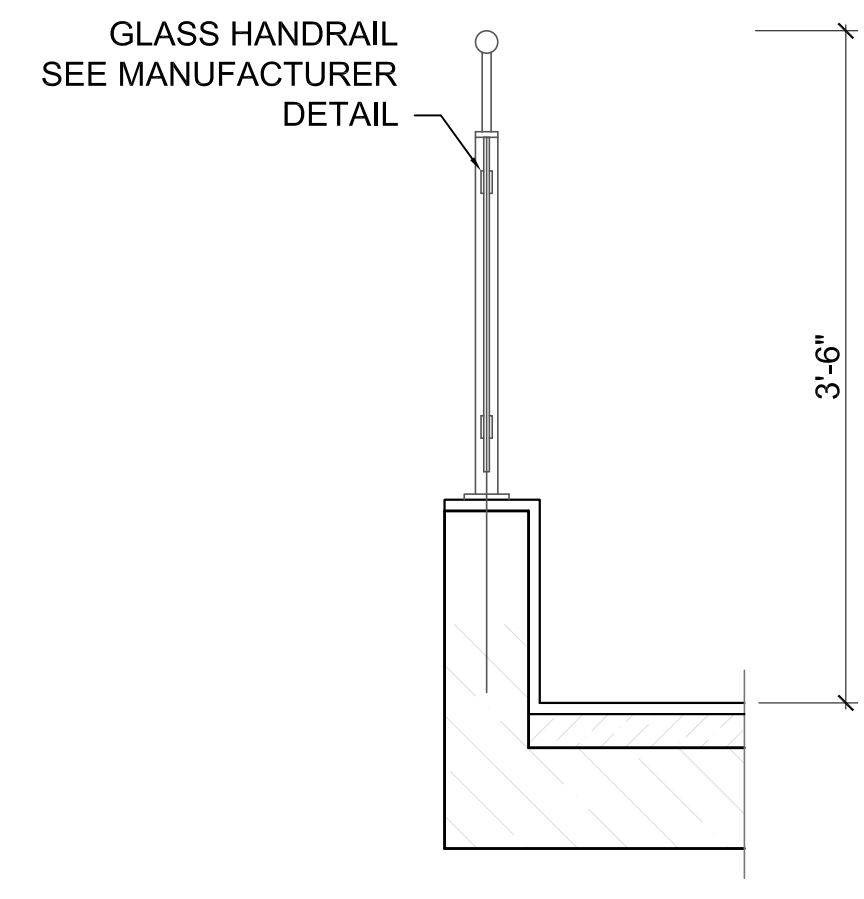
PARTIAL RAMP SECTION
SCALE: 1/4"=1'-0"
4
A101 A401



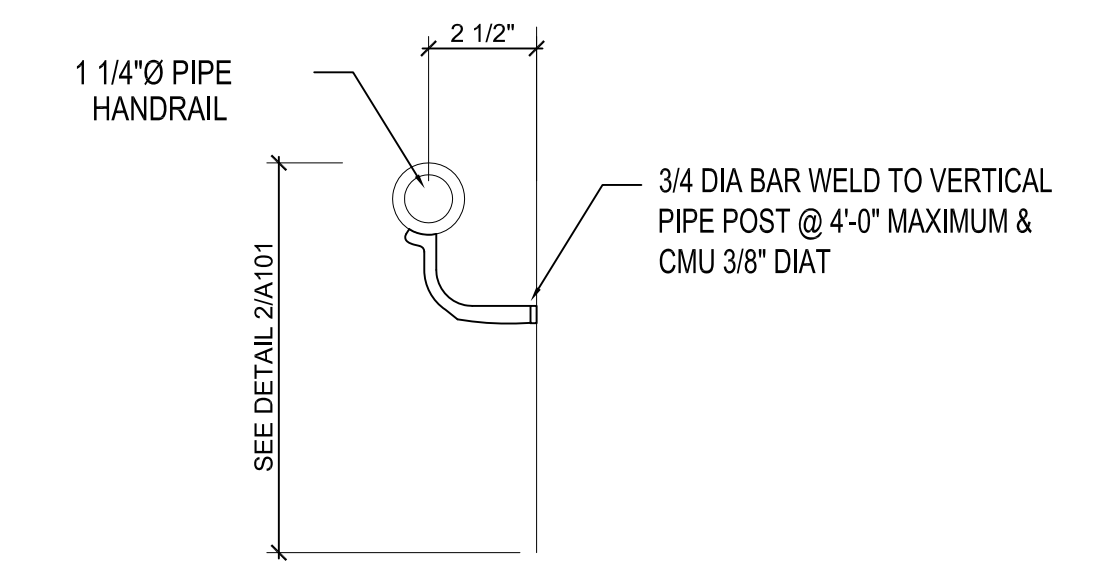
RAMP PLAN
SCALE: 1/4"=1'-0"
1
A101 A401



RAMP RAILING DETAIL
SCALE: 1"=1'-0"
5
A101 A401



RAILING DETAIL
SCALE: 1"=1'-0"
6
A101 A401



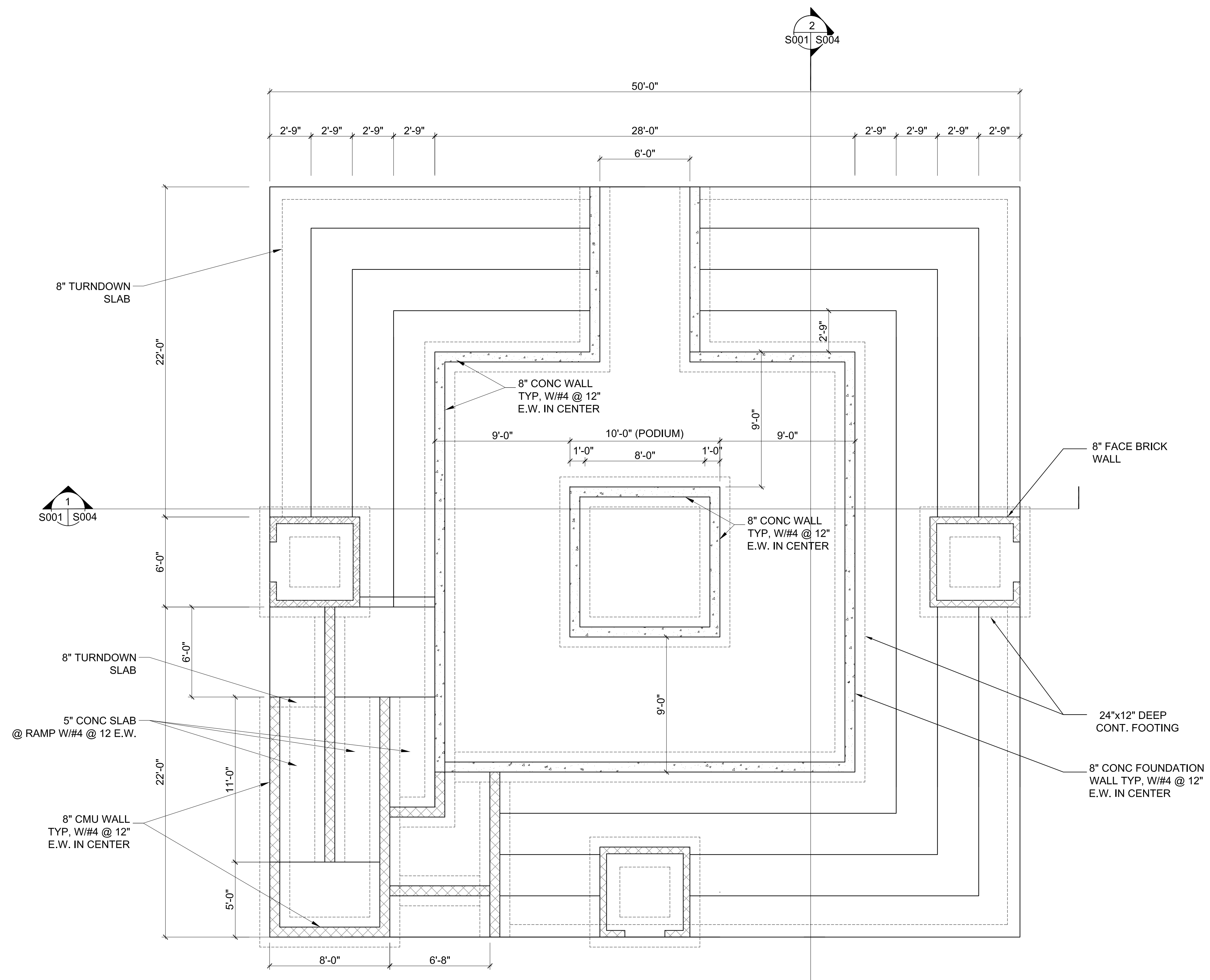
NOTE: WELD ON POSTS AT EXTERIOR LOCATIONS WHERE POSTS OCCUR.
BOLT TO WALL AT ALL OTHER INT. & EXT. LOCATIONS

DETAIL
SCALE: 3"=1'-0"
7
A401 A401

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STATUE PODIUM DESIGN
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**RAMP
DETAIL**

A401

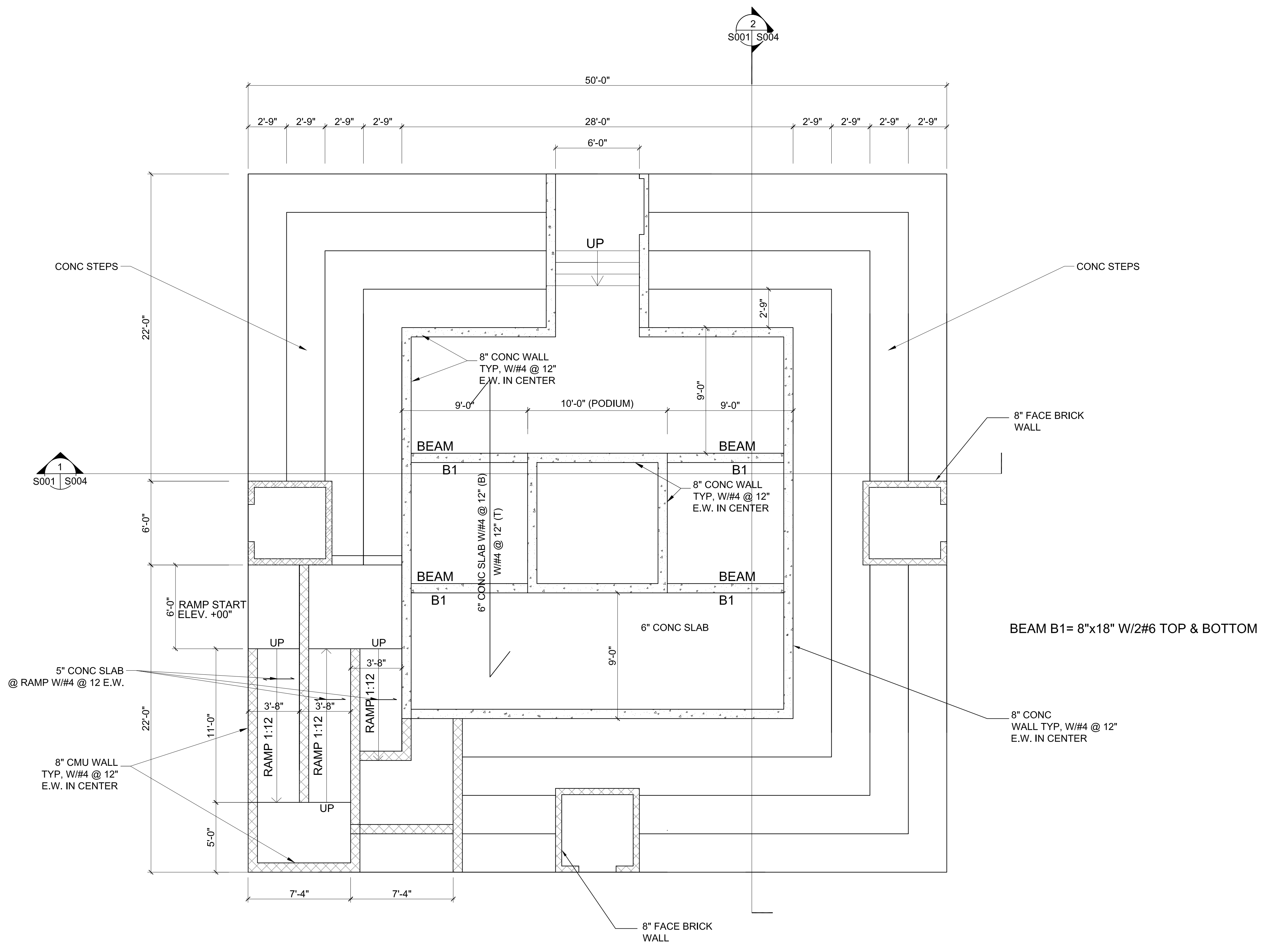


FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

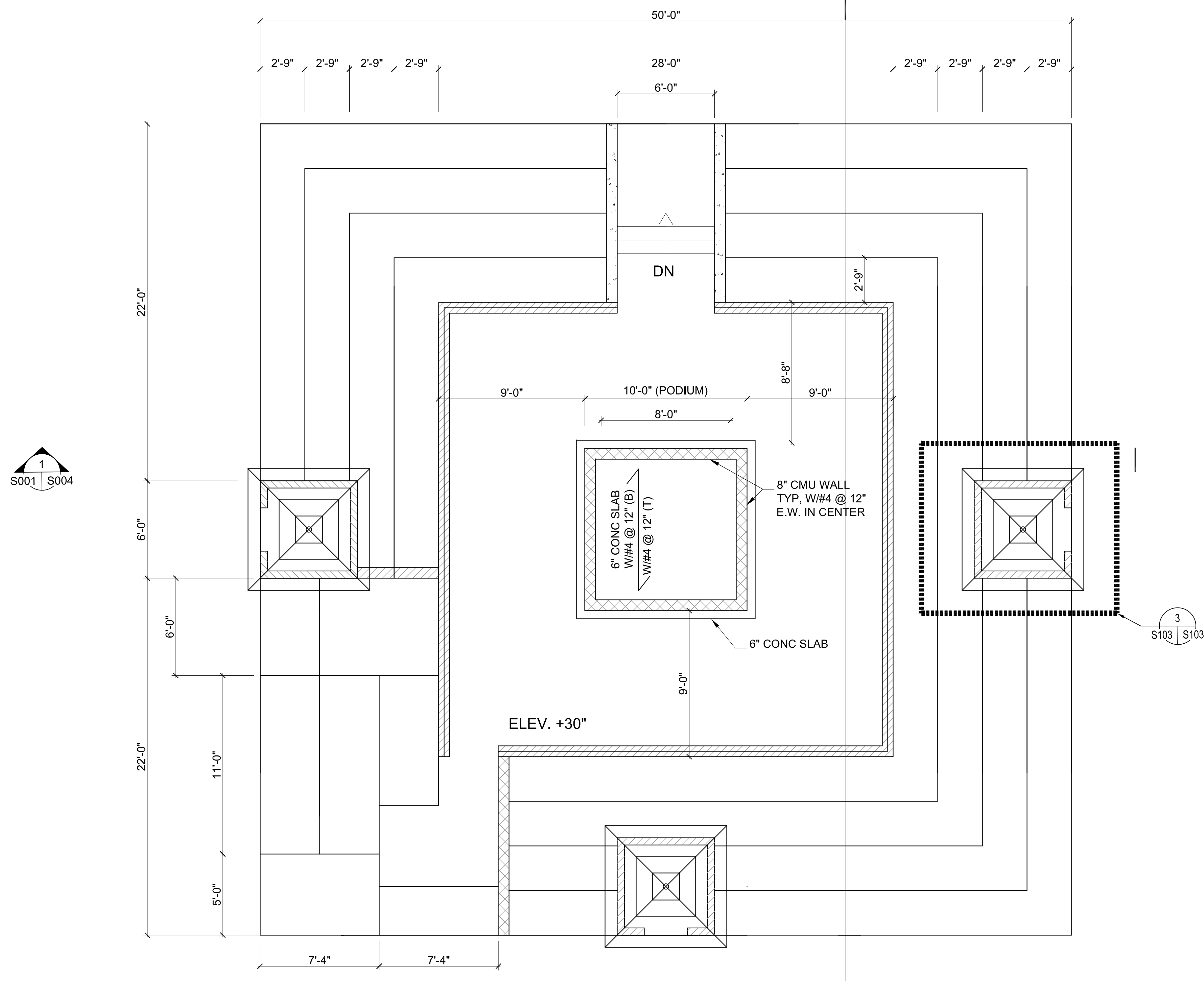
NEPAL EDUCATION & CULTURAL CENTER (NECC)
STATUE PODIUM DESIGN
 11650 SNOWDEN FARM PKWY, GERMANTOWN
 MONTGOMERY COUNTY, MARYLAND 20876

FOUNDATION PLAN

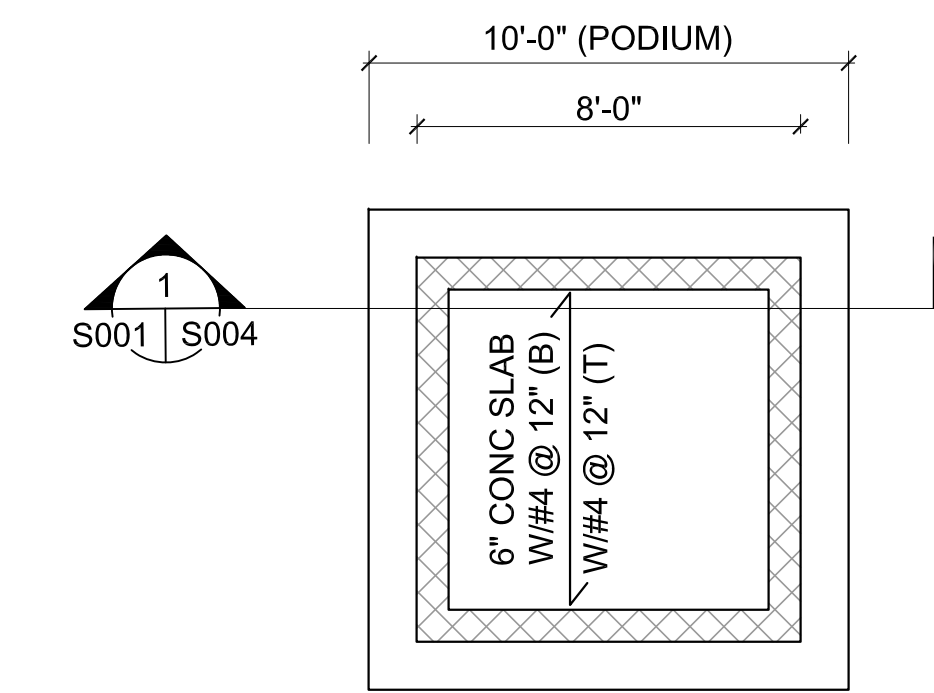
S101



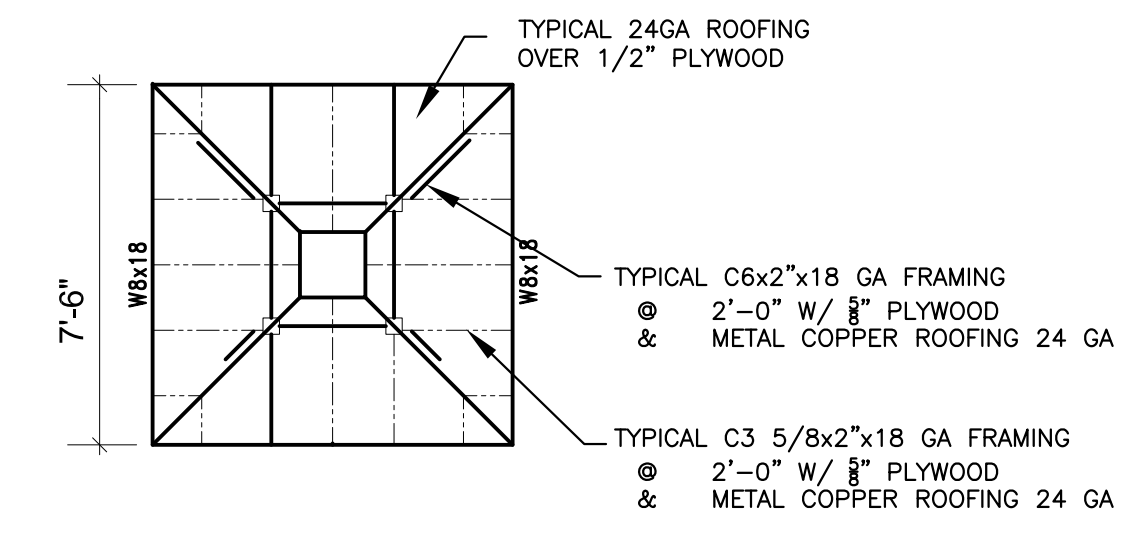
FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"
S102 S102



PODIUM LVL FRAMING PLAN
SCALE: 1/4"=1'-0" S103 S103



TOP OF PODIUM LVL
FRAMING PLAN
SCALE: 1/4"=1'-0" S103 S103

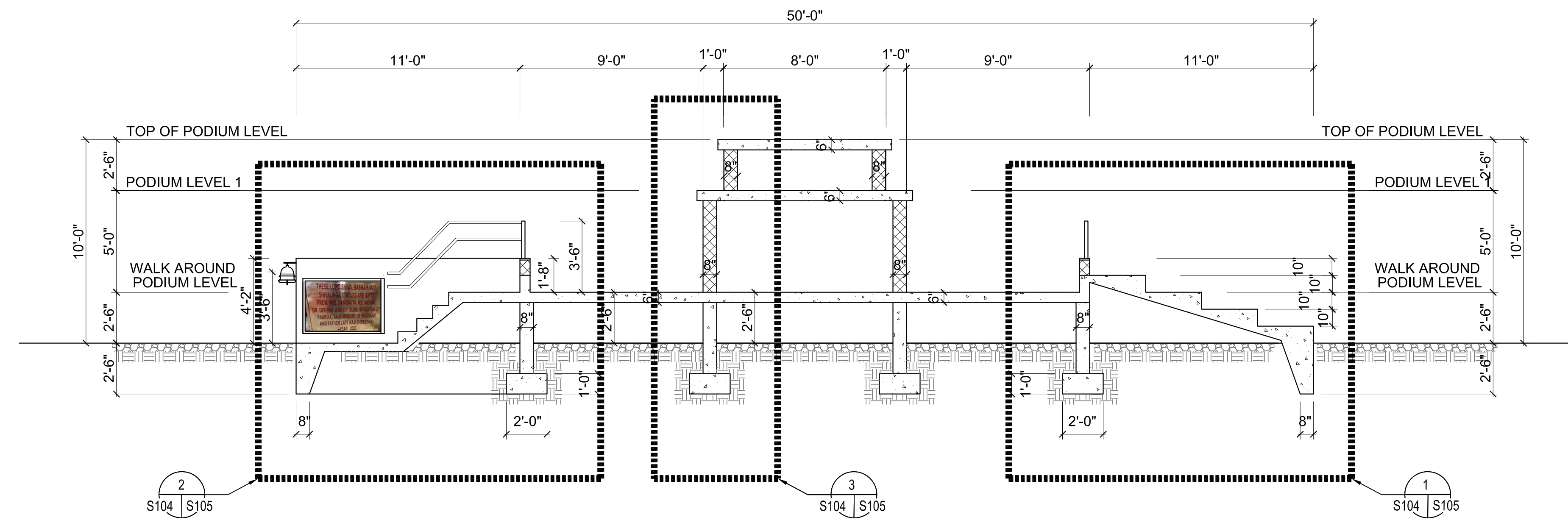


PAGODA ROOF
FRAMING PLAN
SCALE: 1/4"=1'-0" S103 S103

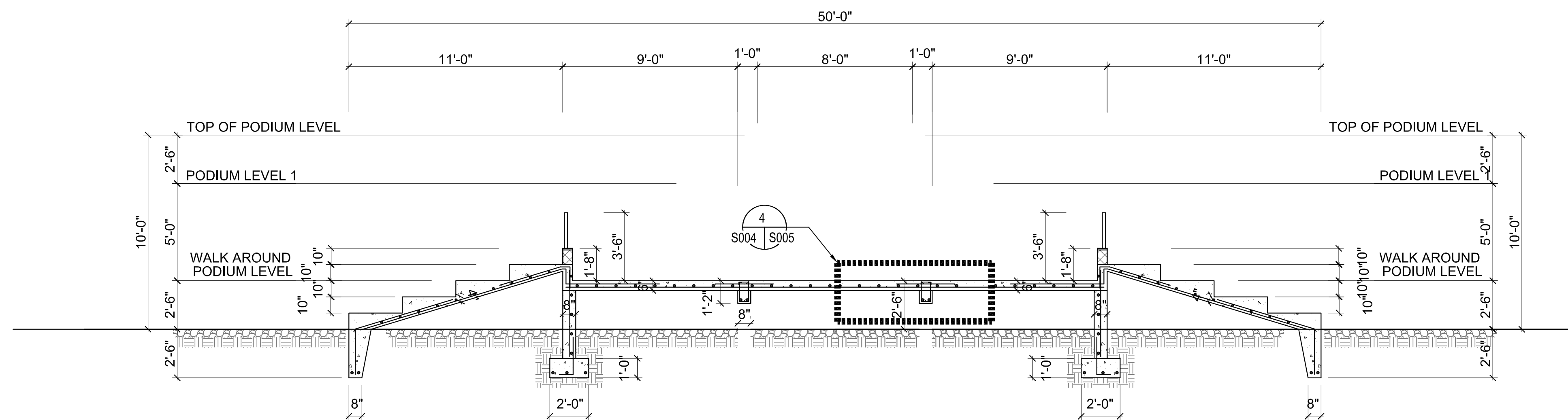
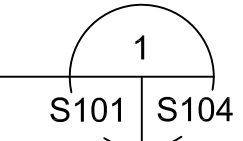
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MONTGOMERY COUNTY, MARYLAND 20876

PODIUM LVL
FRAMING
PLAN

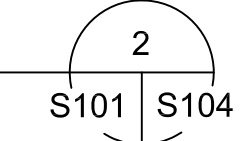
S103



SHIVA STATUE
SECTION
SCALE: 1/4"=1'-0"



SHIVA STATUE
SECTION
SCALE: 1/4"=1'-0"



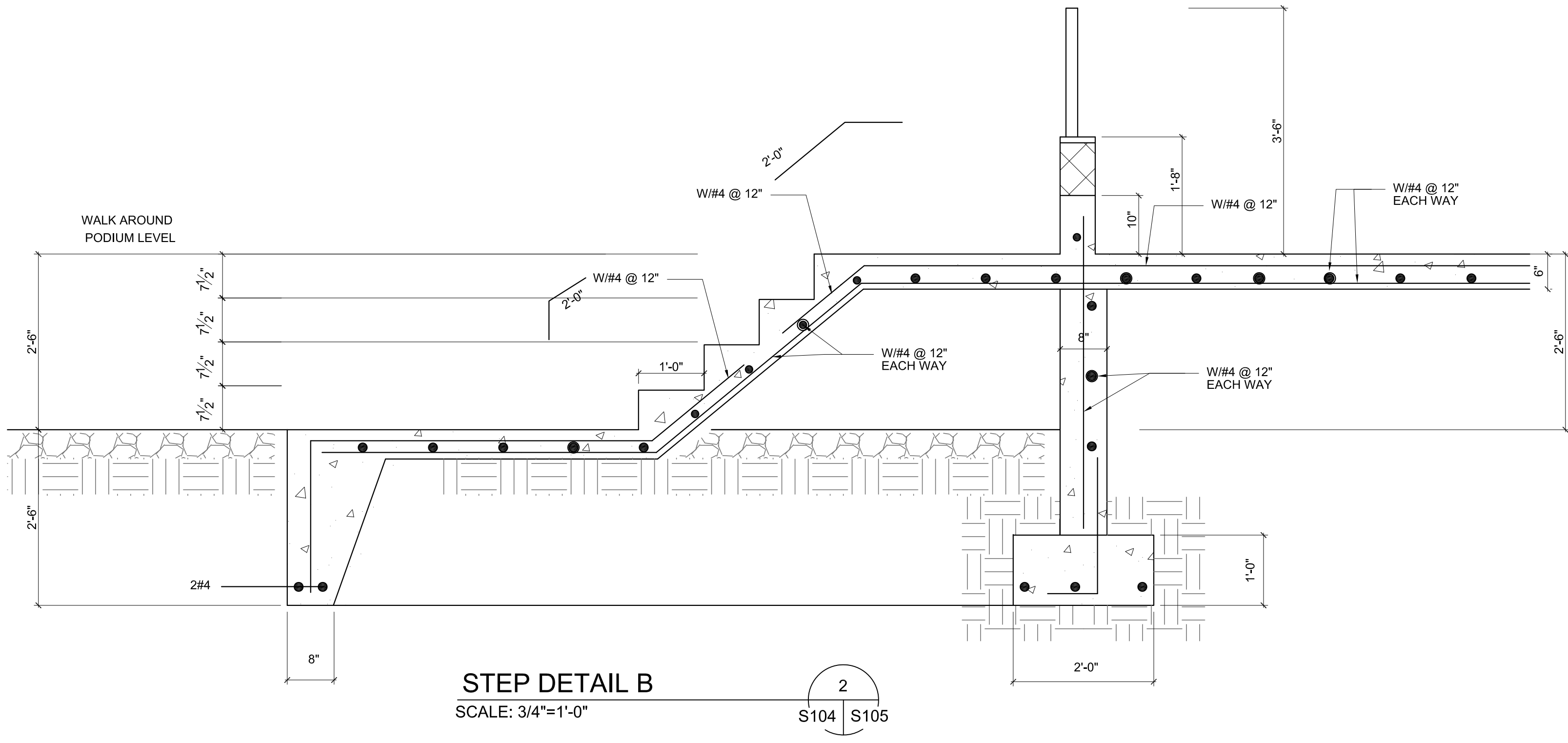
NEPAL EDUCATION & CULTURAL CENTER (NECC)

STATUE PODIUM DESIGN

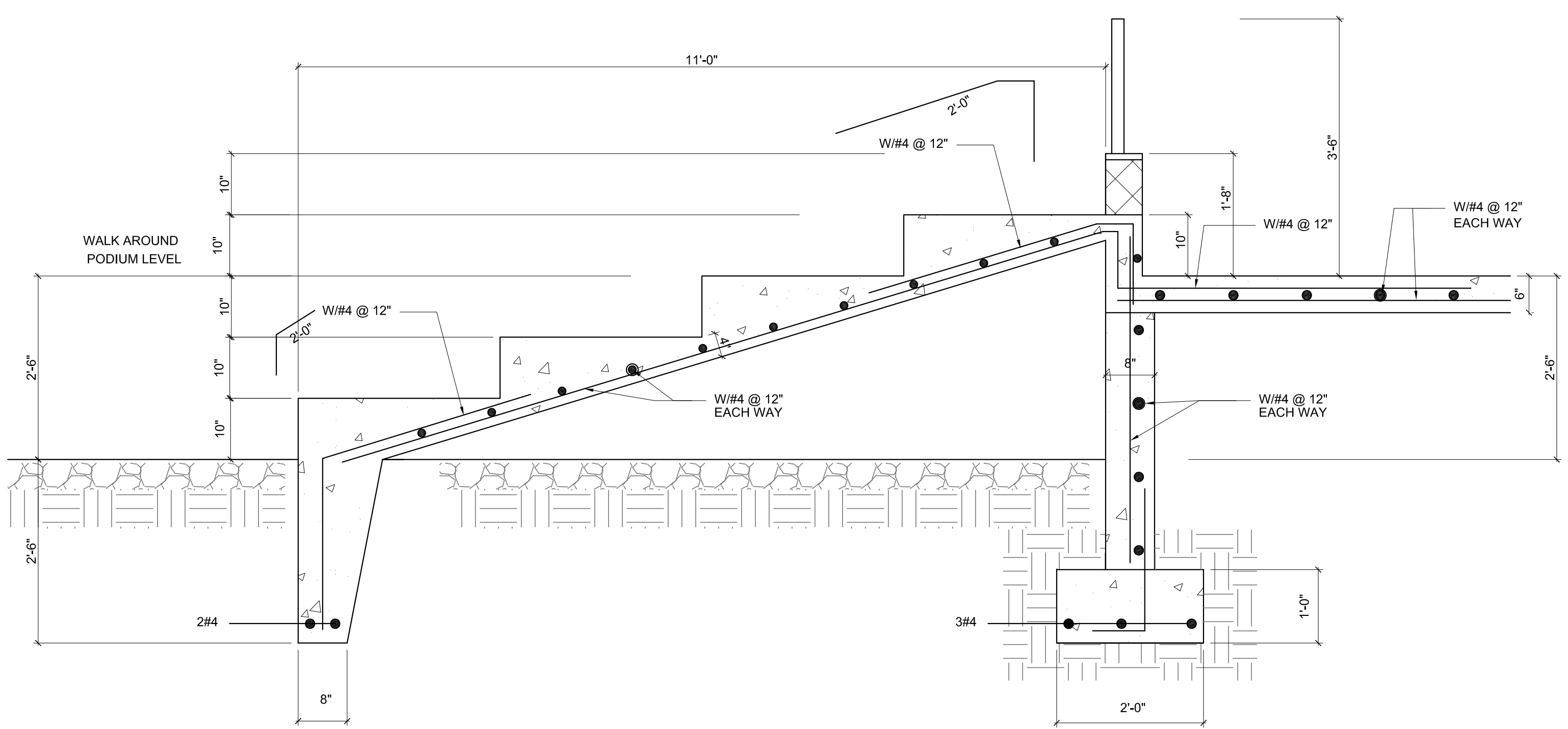
11650 SNOWDEN FARM PKWY, GERMANTOWN
MONTGOMERY COUNTY, MARYLAND 20876

SECTIONS

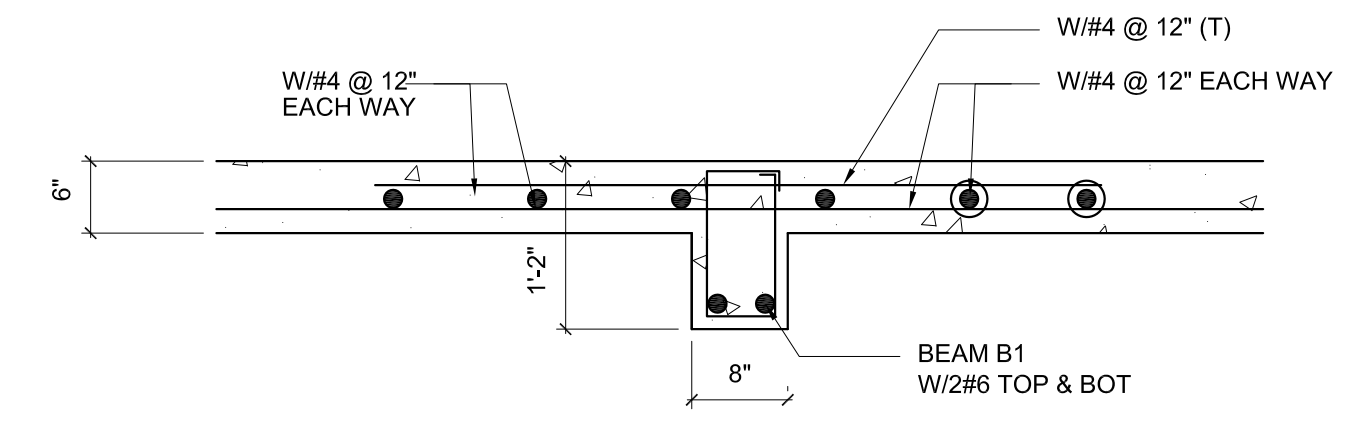
S104



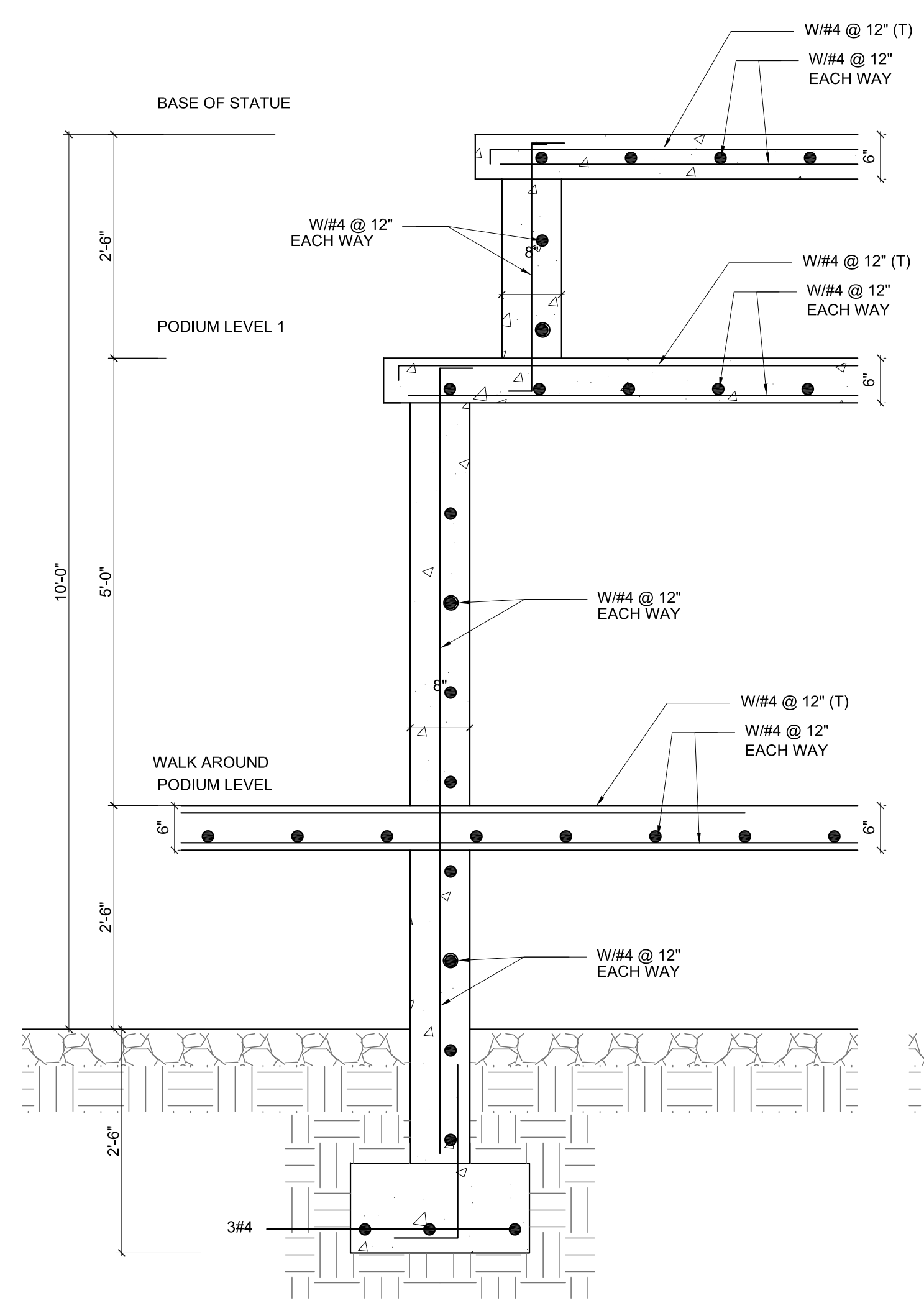
STEP DETAIL B
SCALE: 3/4"=1'-0"



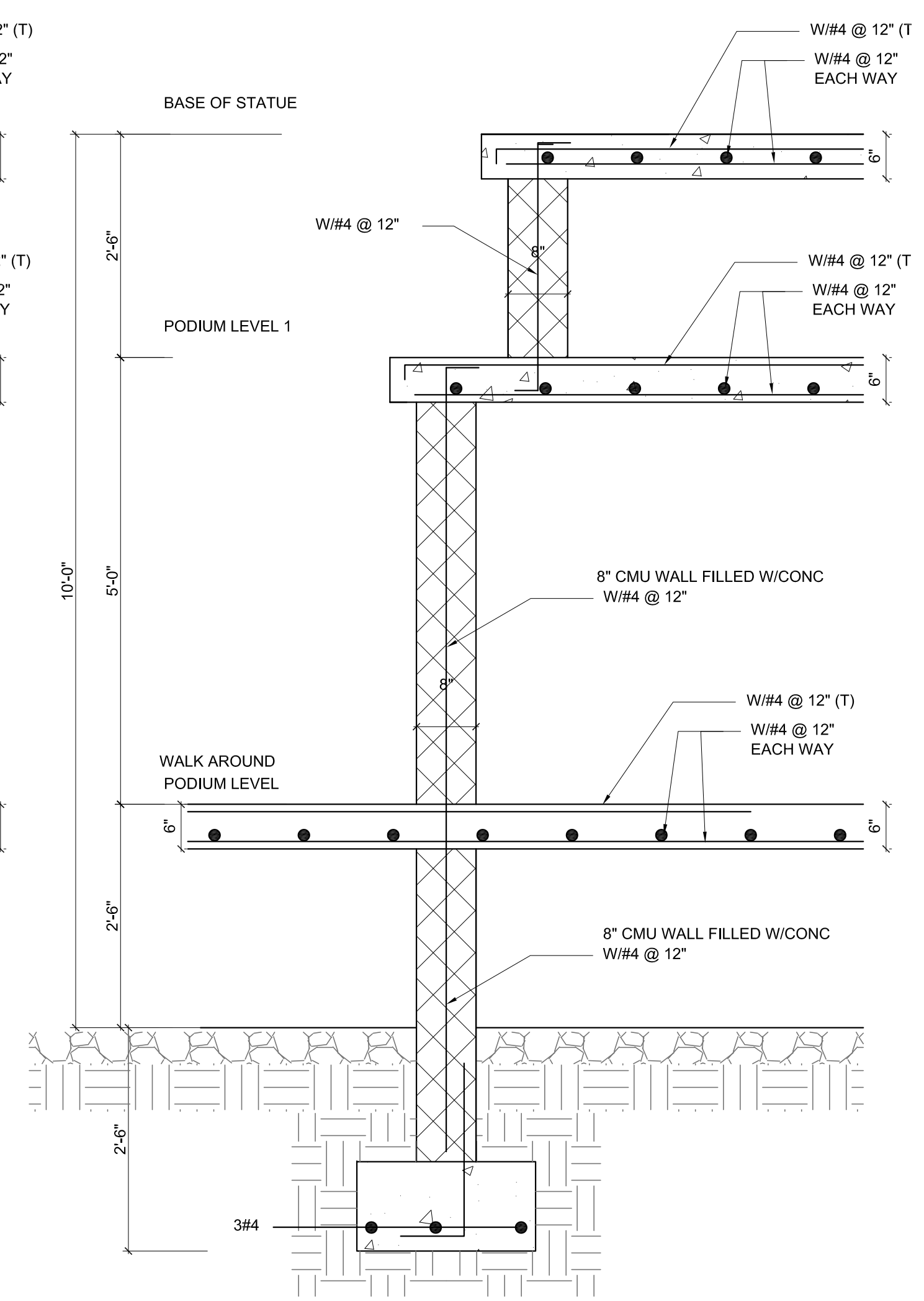
STEP DETAIL A
SCALE: 3/4"=1'-0"



DETAIL D
SCALE: 3/4"=1'-0"



DETAIL C
SCALE: 3/4"=1'-0"

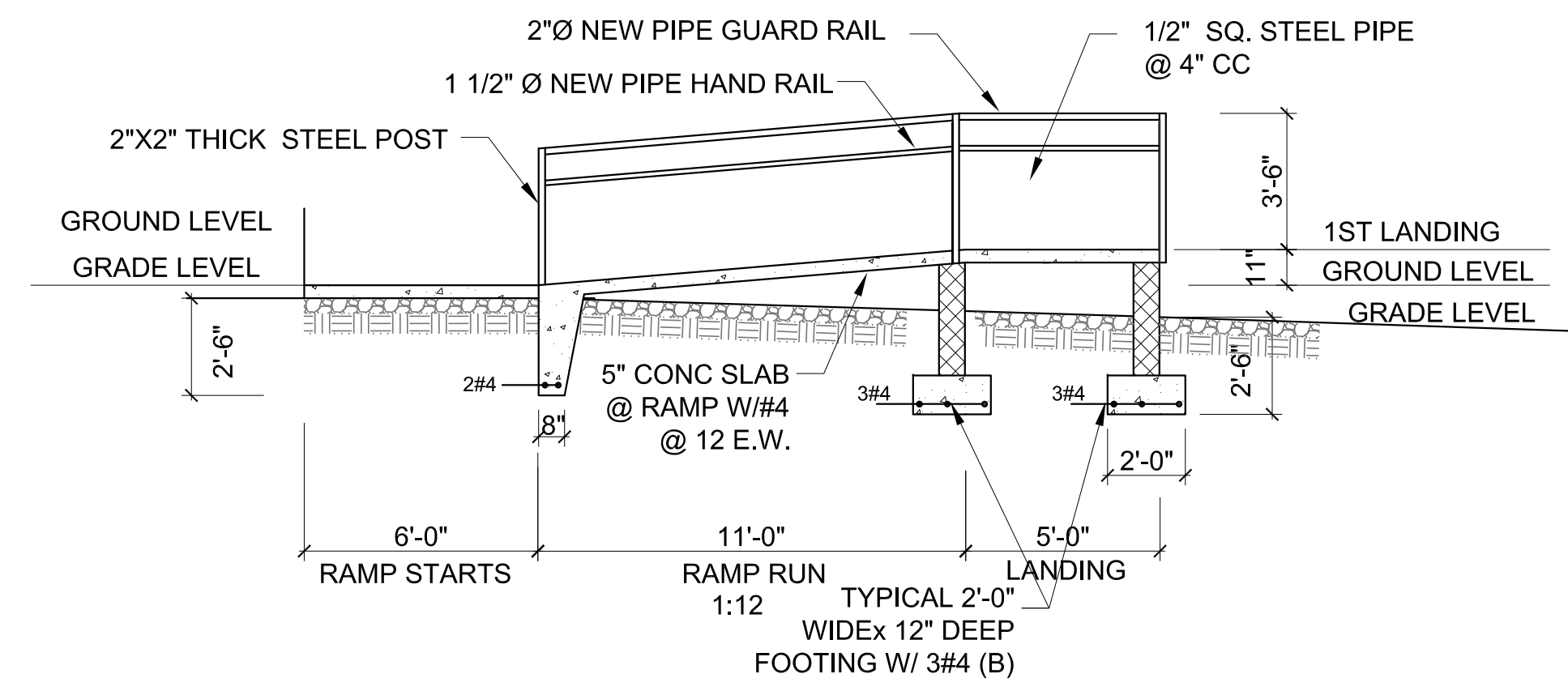


DETAIL C
SCALE: 3/4"=1'-0"

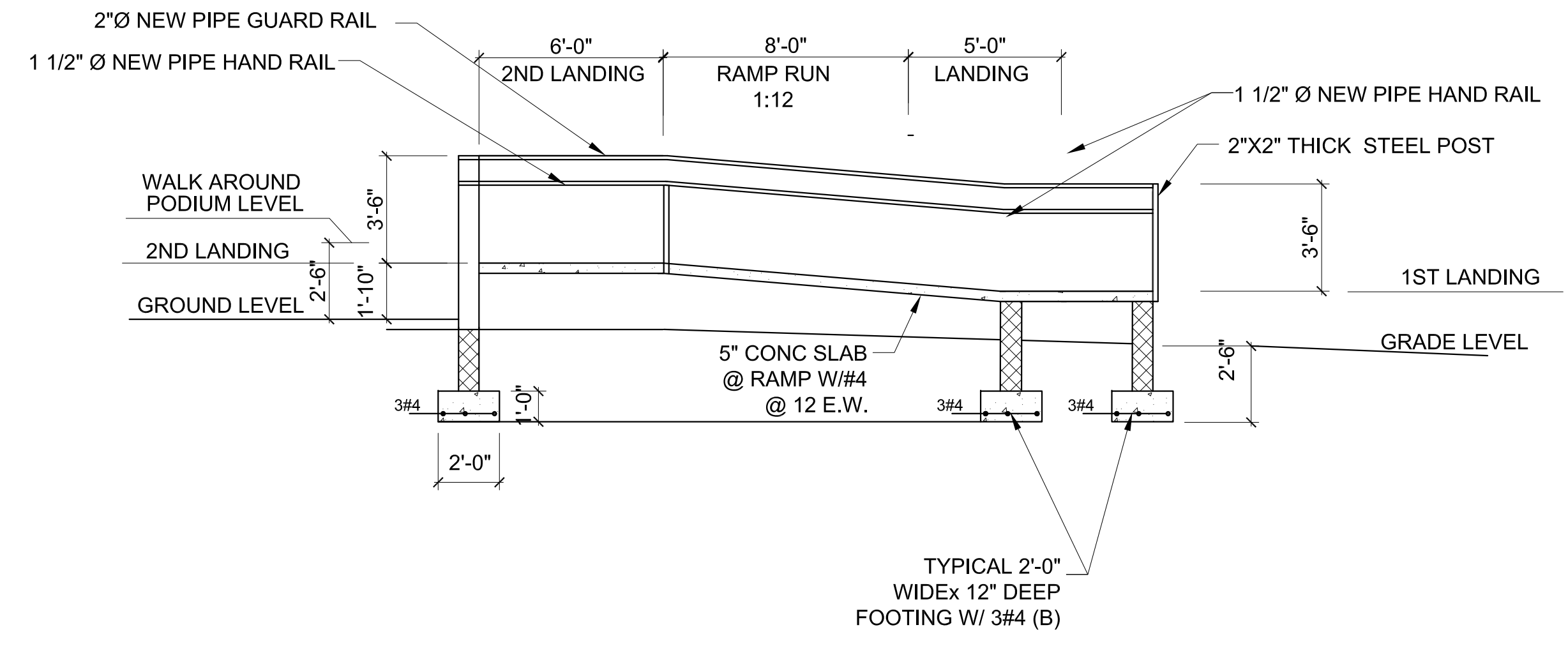
NEPAL EDUCATION & CULTURAL CENTER (NECC)
STATUE PODIUM DESIGN
11650 SNOWDEN FARM PKWY, GERMANTOWN
MONTGOMERY COUNTY, MARYLAND 20876

DETAIL

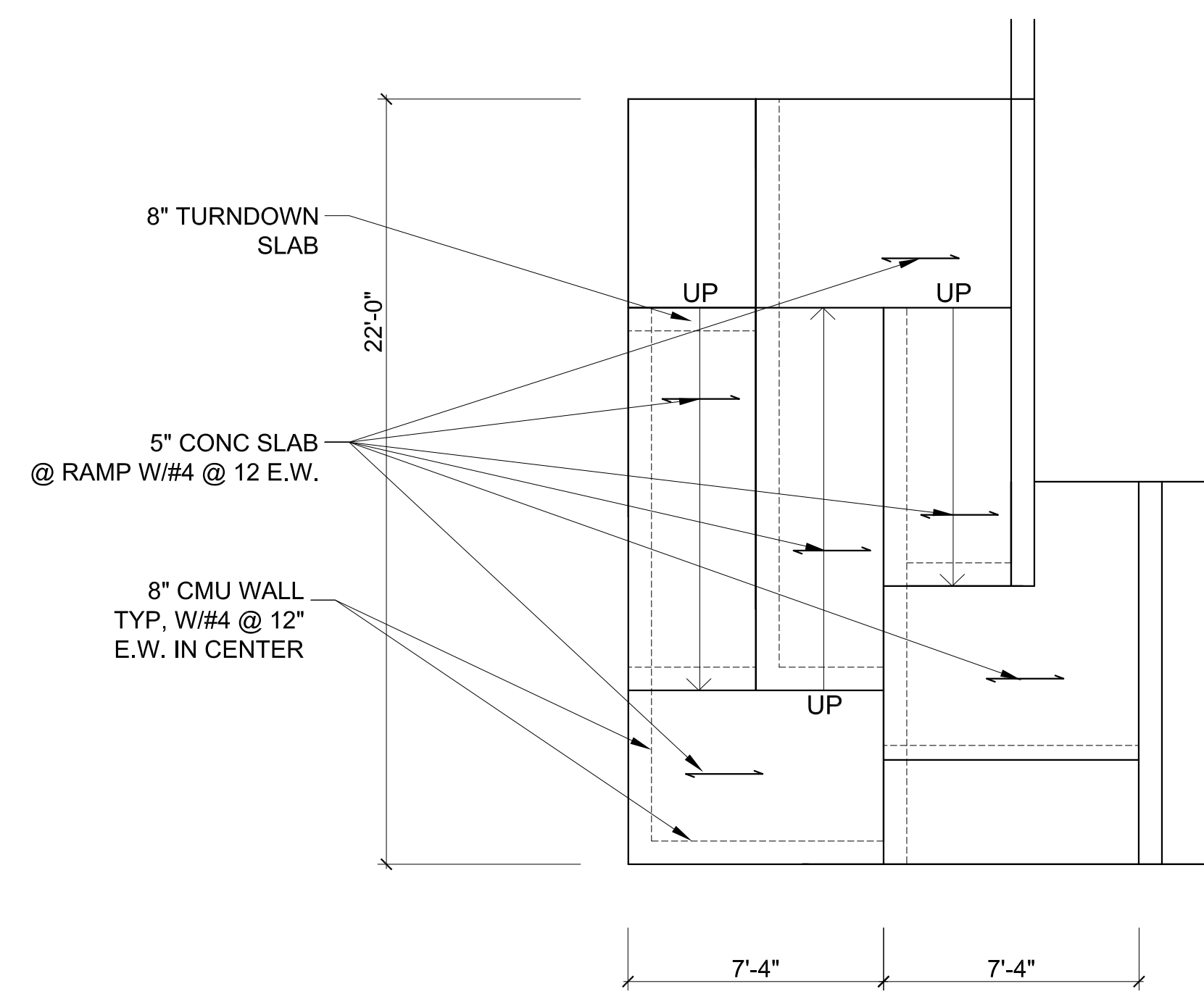
S105



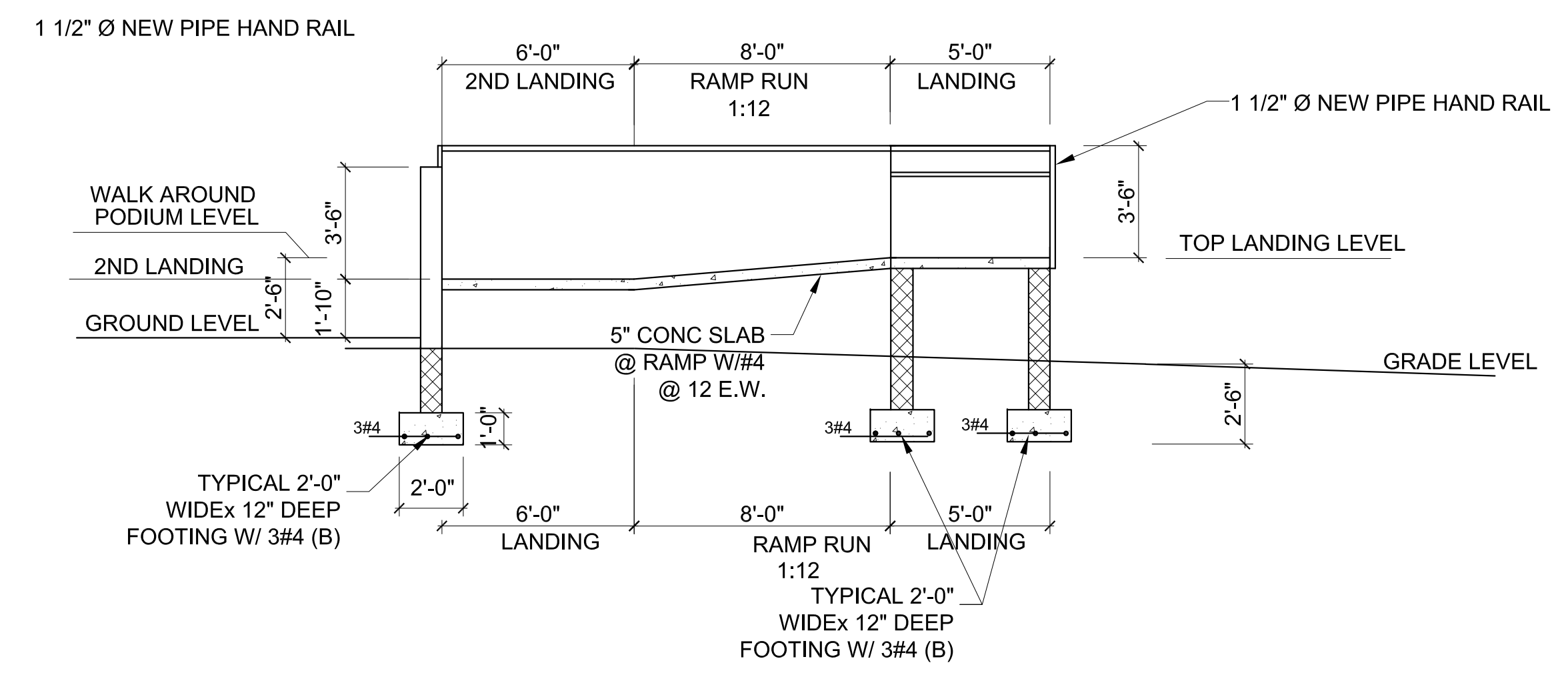
RAMP SLAB RUN 1
SCALE: 1/4"=1'-0"
S101 S106



RAMP SLAB RUN 2
SCALE: 1/4"=1'-0"
S101 S106



RAMP PLAN
SCALE: 1/4"=1'-0"
S101 S106



RAMP SLAB RUN 3
SCALE: 1/4"=1'-0"
S101 S106

NEPAL EDUCATION & CULTURAL CENTER (NECC)
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11650 SNOWDEN FARM PKWY, GERMANTOWN
MONTGOMERY COUNTY, MARYLAND 20876

RAMP
DETAIL

S106

STRUCTURAL NOTES

DESIGN LIVE LOAD :

Roof ----- 30 psf, Ground Snow 30 PSF
 Floor ----- Storage 125 psf
 Stairs----- 100 psf , Corridor - 100 psf
 Office Floor ----- 100 psf,

WIND : Per IBC 2015, latest edition, nominal ULT 115 mph Importance factor (1) - 1.0 exposure - B. See load sched on S071

CONCRETE : All concrete shall be minimum 3500 psi at 28 days except footing and wall shall be $f_c' = 3000$ psi. All exposed concrete shall be air entrained 6 percent +/- 1%. Slump 4 +/- 1 All structural concrete has been designed by the Ultimate Strength method and in accordance with the provisions of the latest ACI Code.

SOIL VALUE : Soil bearing value assumed to be 2500 psf for footings founded on firm natural soil or compacted structural fill as per the Project Geo-Technical Engineer and shall be field verified by a Professional soil Engineer. Geo-Tech report is part of construction document which shall be followed for the foundation construction of this project.

LINTELS: The contractor shall provide lintels of loose steel angles at all masonry openings for each 4 inch thickness of wall as follows, U.N.O.:
 Up to 4 feet openings --- L 3-1/2 x 3-1/2 x 5/16
 Alternate Precast or masonry lintel 4"x8" for each 4" wall w/ 1#5 T&B.
 4 feet to 6 feet openings --- L 5x3-1/2x5/16,
 6 feet to 8'-0" openings ---- L 6x3-1/2x1/2"
 8'-1" TO 10 feet openings -- W8x18 W/ 5/16" sus. plate
 All lintels shall bear minimum 6" each end.

CONCRETE PROTECTION FOR REINFORCEMENT : Reinforcing bars and mesh to have minimum concrete cover as follows:
 Concrete poured against earth - 3 inch.
 Slab in grade, cover gravel 3" from bottom
 Grade beam 2" clear ea side and top
 Concrete wall 2" exterior face 1" interior face.

STRUCTURAL STEEL : Structural steel shall conform to the requirements of the latest Edition of the AISC Manual of Steel Construction. Steel shall conform to ASTM A 572, grade 50. Unless otherwise noted, all shop connections are to be welded and all field connections to be made with A325 high-strength bolts. High strength bolts shall be tightened by the turn-of-nut method. Welding shall be in accordance with the American Welding Society code and be performed by certified welders. Welding electrodes shall conform to ASTM A233, E70 Series. No fabrication shall proceed prior to approval shop drawings. One shop coat of paint shall be applied to all structural members except those areas requiring field welding. Provide base plate 6"x1/2"x0'-6" at all steel beams bearing on concrete wall with 2-1/2" diameter X 1'-4" anchor bolts. Weld beam to plate.

REINFORCING STEEL : All reinforcing steel to conform to ASTM A-615, Grade 60, Welded wire mesh to conform to ASTM A-185. Fabricate and provide standard supporting accessories in accordance with the ACI Manual of Standard Practice for detailing and CRSI Standards.

SLAB ON GRADE: Except otherwise noted, shall be 4" thick reinforced with 6-6 W1 4 x W1.4. Placing, lap etc. to conform to ACI Standard. Provide 4" inch washed gravel and 10 mil vapor barrier system under slab compacted fill as required shall be placed under slab & thickened slab as per the Geo-technical report. Provide control joints not to exceed 25' in each direction (maximum 625 s.f.). 5" mat slab for building B & C reinforced with #4 @ 12" each way.

MASONRY: All concrete block masonry wall shall conform to the requirements and specifications of national Concrete Masonry association (NCMA) Code, latest edition. All hollow load bearing units shall conform to ASTM C 90. Mortar shall be laid in type S and as per ASTM C 270. provide horizontal masonry joint reinforcing as per ASTM A-82 and at 16 inch spacing. Shore and brace masonry wall temporarily as required until final connections with floor are made. contractor shall be responsible for the integrity of the exterior masonry wall due to lateral loading until floor is installed. fill cell at masonry, reinforcing with pea gravel concrete with minimum $f_c' = 2500$ psi.

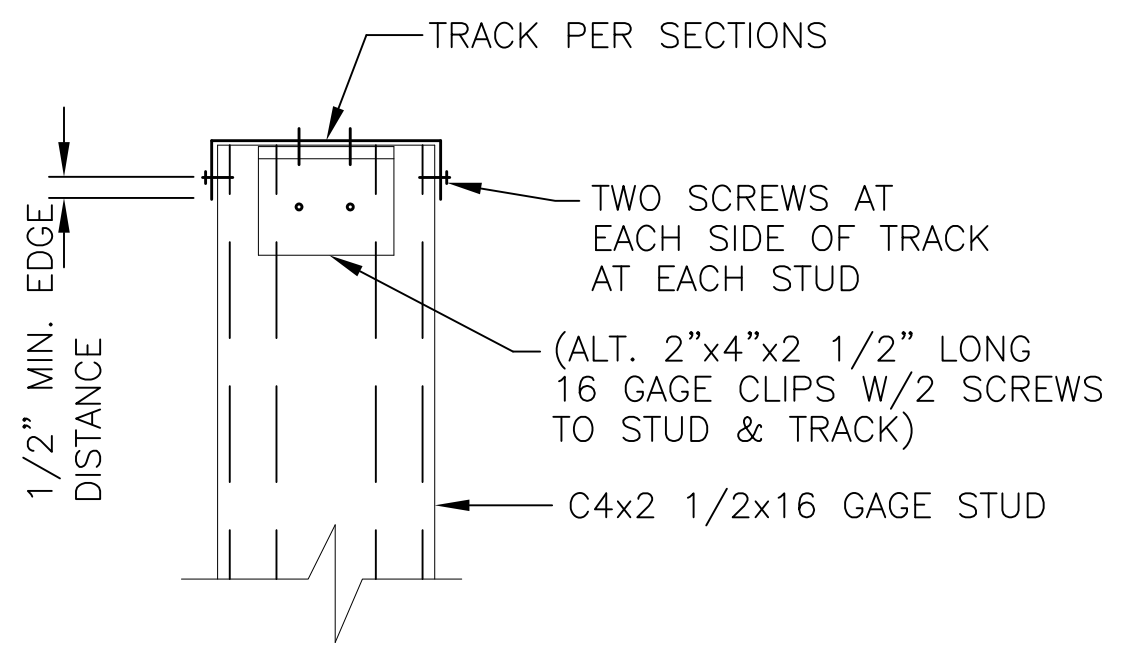
ROOF DECK: Roof metal deck for flat roof to be 28ga metal centering welded to joint to be Z purlins welded or screwed to resist 24 ga connected with concealed clip to resist 115 MPH wind per manuf. recommendations. Weld to support shall be 5/8 inch diameter puddle welds at each support so that average weld spacing does not exceed 12 inch on centers. In lieu of weld, shear screws @ 12 inch centers can be provided at support of deck to top of stud wall. Side laps are to be welded at 36 inch on center or screwed with shear screw. Deck manufacturer shall provide closure strips, cover plates and accessories as required at all edges.

LIGHT GAGE FRAMING : The light gage framing as manufactured by MBCI or equal shall conform to ASTM A446. Only equivalent size, strength, area, lx and Sx from another manufacturer can be used. All 16 gage or heavier light gage material shall have minimum yield strength of 50,000 psi. The light gage framing has been designed in accordance with 2015 IBC, ANSI/ASCE 7-10 and AISI specifications for designed of Cold-Formed steel structural members, latest edition. All connection shall be screwed or powder fastened as indicated. Do not cut or splice light gage framing members unless indicated on the drawings of approved by the Engineer. Do not bear or connect light gage members within 12 inches reinforced with minimum 18 inches long unpunched track or stud at the punched opening. The track or stud piece shall be the same size and gage as the punched member. Fasten reinforcing piece to the member with minimum 4 screws typical screws to be minimum #12x1" U.N.O., The light gage framing has been designed to support the loads indicated. Additional temporary bracing and shoring shall be provided as required to stabilize framing and to support construction loads, all construction shall be in accordance with O.S.H.A. standards. Job site safety is contractors responsibility. All interior studs can be red oxide except galvanized studs shall be used at masonry and non conditioned space and tracks at slabs. Contractor can use all galvanized studs. submit shop drawings signed and sealed by a P.E. in Maryland. Framing design is based on lateral stability for the entire structural system provided by cmu shear walls, cross bracings, internal and external shear wall panels and floor diaphragm. Submit shop drawing signed and sealed by the Registered Professional Engineer in Maryland. Interior partitions to be 9/16" 26 Ga Galvalume corrugated metal sheathing one side as per the architectural drawings screwed to studs @ 6" max. See Arch'l for exterior finish.

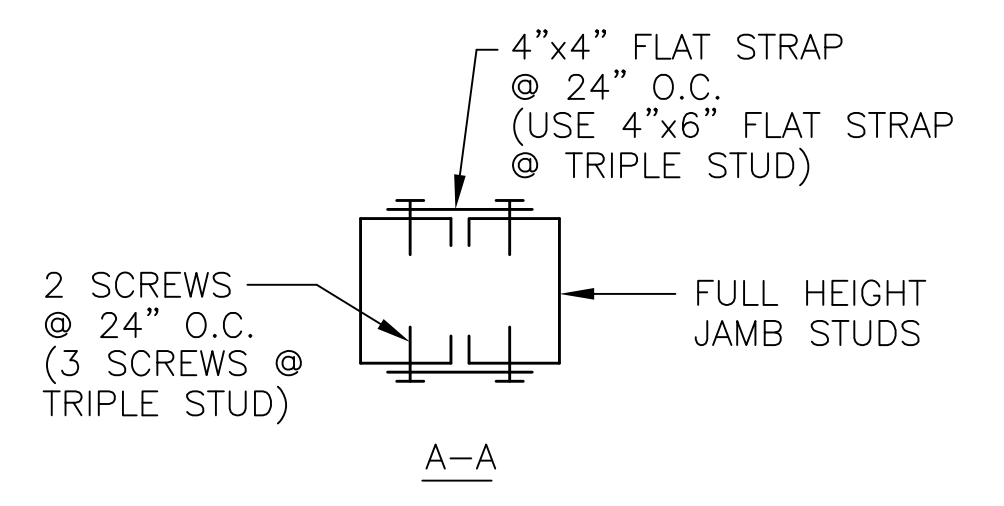
STEEL JOIST : Per SJI institute latest edition. Provide bridging per SJI specs. Steel joists to be designed for a net uplift of 20 psf.

Contractor shall check and verify all the existing conditions and dimensions prior and during construction and notify any discrepancy to the architect. Contractor shall be responsible for the correct fit of all structural members and overall job site safety.

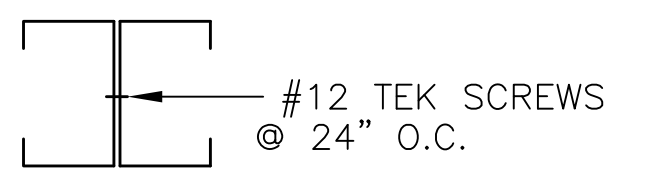
INSPECTION : All structural steel framing decking, Lt. gage structural framing and reinforced concrete construction shall be inspected and approved by a Registered Professional Engineer in Maryland. Final report shall be filed with the Architect and the Departments of inspections with the compliance of all requirements of the contract drawings.



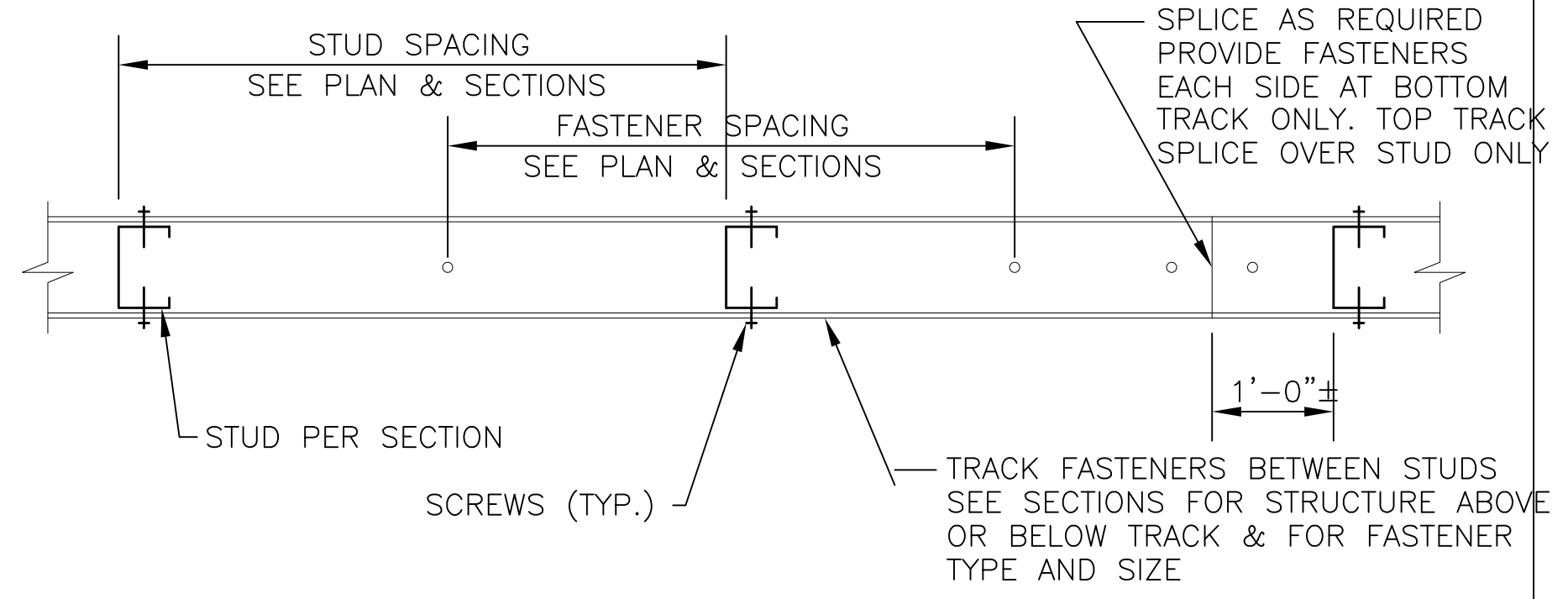
TYPICAL TRACK TO STUD CONNECTION DETAIL
NO SCALE



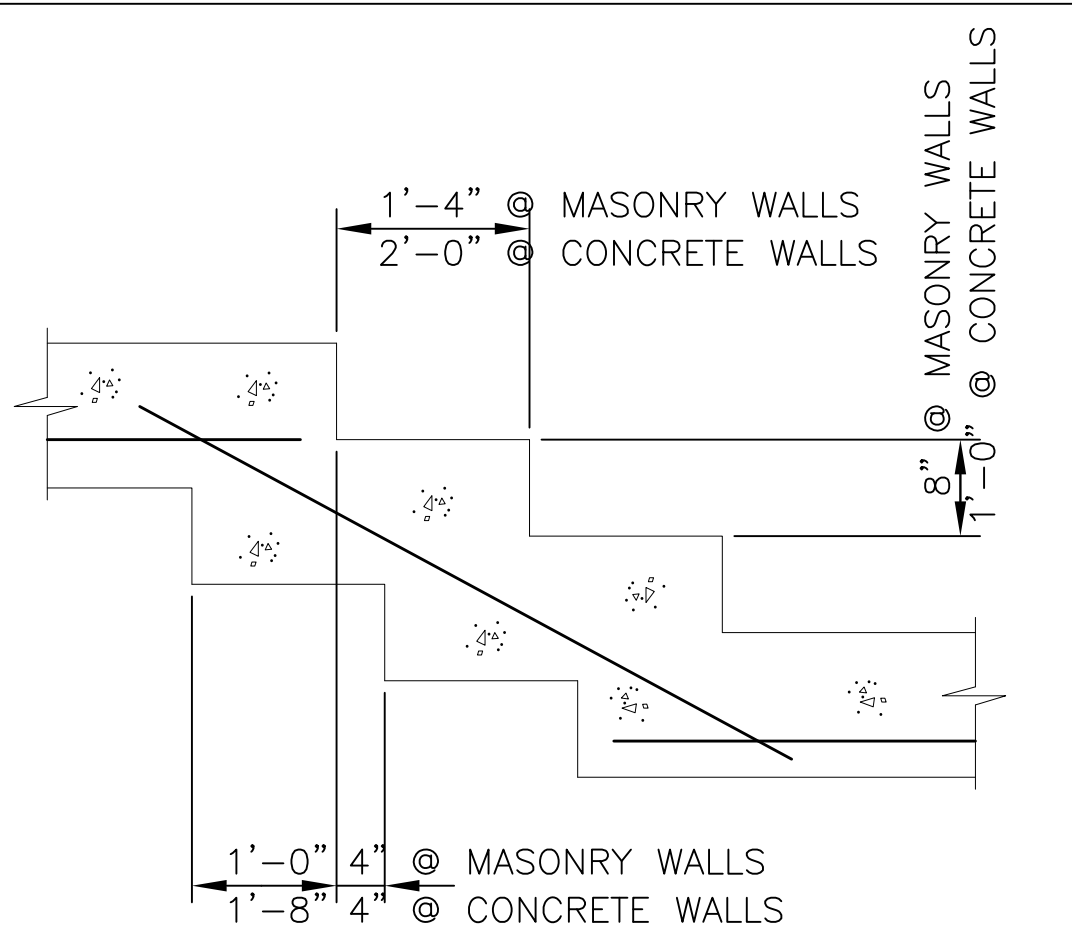
NOTE: USE FLAT STRAP CONNECTION TYPICALLY AT ALL DOUBLE & TRIPLE STUDS AT FIRST & SECOND FLOORS.



ALTERNATE DETAIL BACK TO BACK DOUBLE STUD CONNECTION AT INTERIOR STUD WALL



TYPICAL TRACK CONNECTION TO STUD DETAIL
NO SCALE



TYPICAL STEP FOOTING
SCALE: 3/4"=1'-0"

SITE NOTES:

- PROPERTY ADDRESS: 11650 SNOWDEN FARM PKWY, GERMANTOWN MD 20876
- PROPERTY TAX ID: 02898373 & 02975153
- RECORD PLAT: PLAT NO. 18056 (TOTAL AREA = 16.75 AC)
- THE SITE IS A HISTORIC PROPERTY. PREVIOUSLY SITE HAS BEEN APPROVED FOR THE CONSTRUCTION OF COUNTRY-INN (RESTAURANT).
- AREA : PARCEL A = 15.61 AC. & PARCEL P/O A = 1.24 AC. TOTAL GROSS TRACT AREA: 16.85 AC.
- WATERSHED: SENECA CREEK
- ELECTION DISTRICT: 10,
- COUNCILMAN DISTRICT: 1
- ZONE: R-200
- ADJOINING PROPERTY - R-200 (NORTH), PRC (EAST), R-200 (WEST) & RE-2 (SOUTH)
- PROPOSED USE OF THE PROPERTY: NEPALI TEMPLE (PLACE OF WORSHIP)
- MINIMUM LOT WIDTH AT FRONT BUILDING LINE AND FRONT STREET LINE. LOT WIDTH AT FRONT BUILDING LINE: 100'
- FRONT BUILDING SETBACK: 50'
- SIDE BUILDING SETBACKS: 12'/25'
- REAR BUILDING SETBACKS: 30'
- BUILDING HEIGHT : 50 FEET
- STORM WATER MANAGEMENT APPROVAL DATE:
- SEWER/WATER CATEGORIES: S-3/W-1
- TAX MAP/GRID: EV562
- 200 SHEET NO: 230 NW 12
- ENVIRONMENTAL INFORMATION
THERE IS 100 YEAR FLOOD PLAIN ON SITE.
THIS PROPERTY IS NOT WITHIN CHESAPEAKE BAY CRITICAL AREA
THERE ARE NO WETLANDS AND WATER OF THE USA ON SITE.
THERE ARE STREAMS PASSING THROUGH THE SITE.
THE SITE IS LOCATED ON CLARKSBURG MASTER PLAN.
THIS PROPERTY IS LOCATED WITHIN CLARKSBURG SPECIAL PROTECTION AREA.
- THE PROPERTY IS LOCATED ON HISTORIC SITE. AN EXISTING HISTORIC BUILDING/S EXISTS ON PROPERTY.
- THERE ARE NO CEMETERIES ON OR CONTIGUOUS TO THE PROPERTY.
- TOPOGRAPHY SOURCES: MONTGOMERY COUNTY GIS.

PROJECT DESCRIPTION:

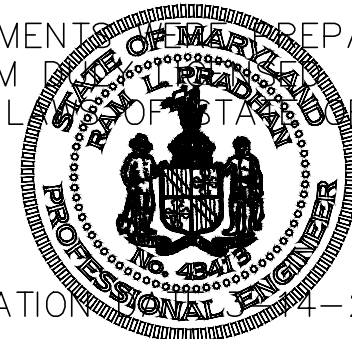
THE SITE IS KNOWN AS 11650 SNOWDEN FARM PKWY, GERMANTOWN, MARYLAND 20876. THE SITE IS COMPRISED OF TWO PARCELS, PT PARCEL A AND PT OUTLOT A BRINK MEADOW. THE TOTAL SITE IS 16.74 AC. AND ZONED R-200. THE SITE IS CONSIDERED AS A HISTORICAL SITE AND KNOWN AS THE HOWES FARM, ALSO FORMERLY REFERRED TO AS THE ELIZABETH WATERS FARM. THE SITE CONTAINS A HISTORICAL BUILDING, BARN, AND OTHER SMALL BUILDINGS, AND EXISTS ON SITE. NEPAL EDUCATIONAL & CULTURAL CENTER (NECC) RECENTLY ACQUIRED THIS HISTORICAL PROPERTY TO DEVELOP THIS SITE AS A EDUCATIONAL, RELIGIOUS AND CULTURAL CENTER. NECC HAS A FUTURE PLAN TO CONSTRUCT A COMMUNITY CENTER/MULTI PURPOSE HALL, STATUE PODIUMS, WALKING TRAIL, LANDSCAPING, PARKING AREAS AND ASSOCIATED IMPROVEMENTS TO SERVE THE COMMUNITY.

NECC IS PROPOSING TO CONSTRUCT PODIUM PLATFORMS FOR LORD SHIVA AND BUDDHA FOR COMMUNITY.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF MARYLAND.

Chadler



LICENSE NO: 43413,

EXPIRATION DATE: 4-2025

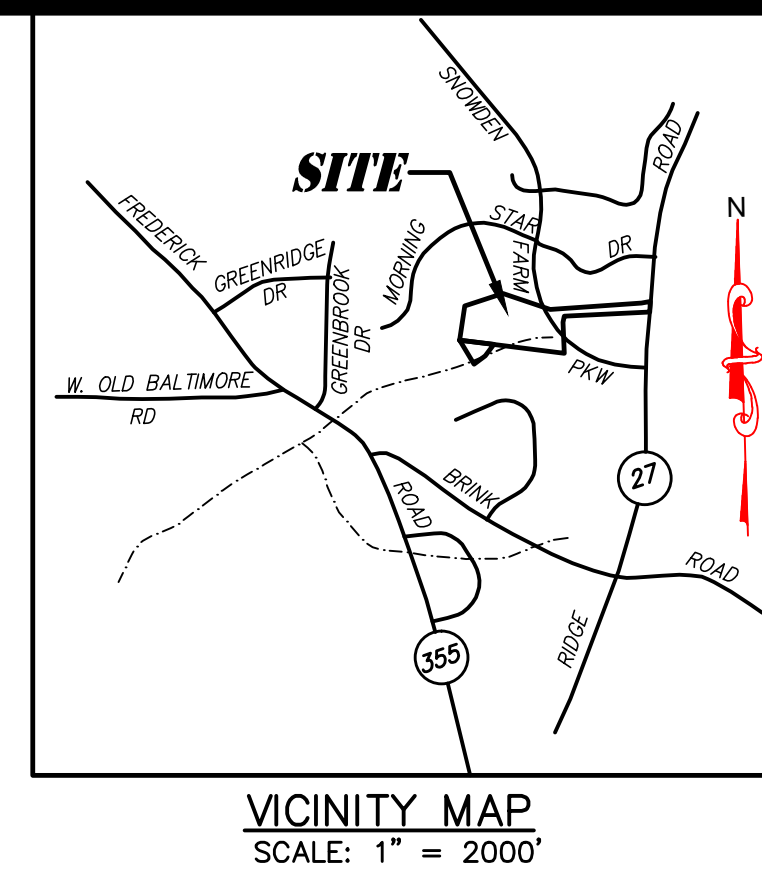
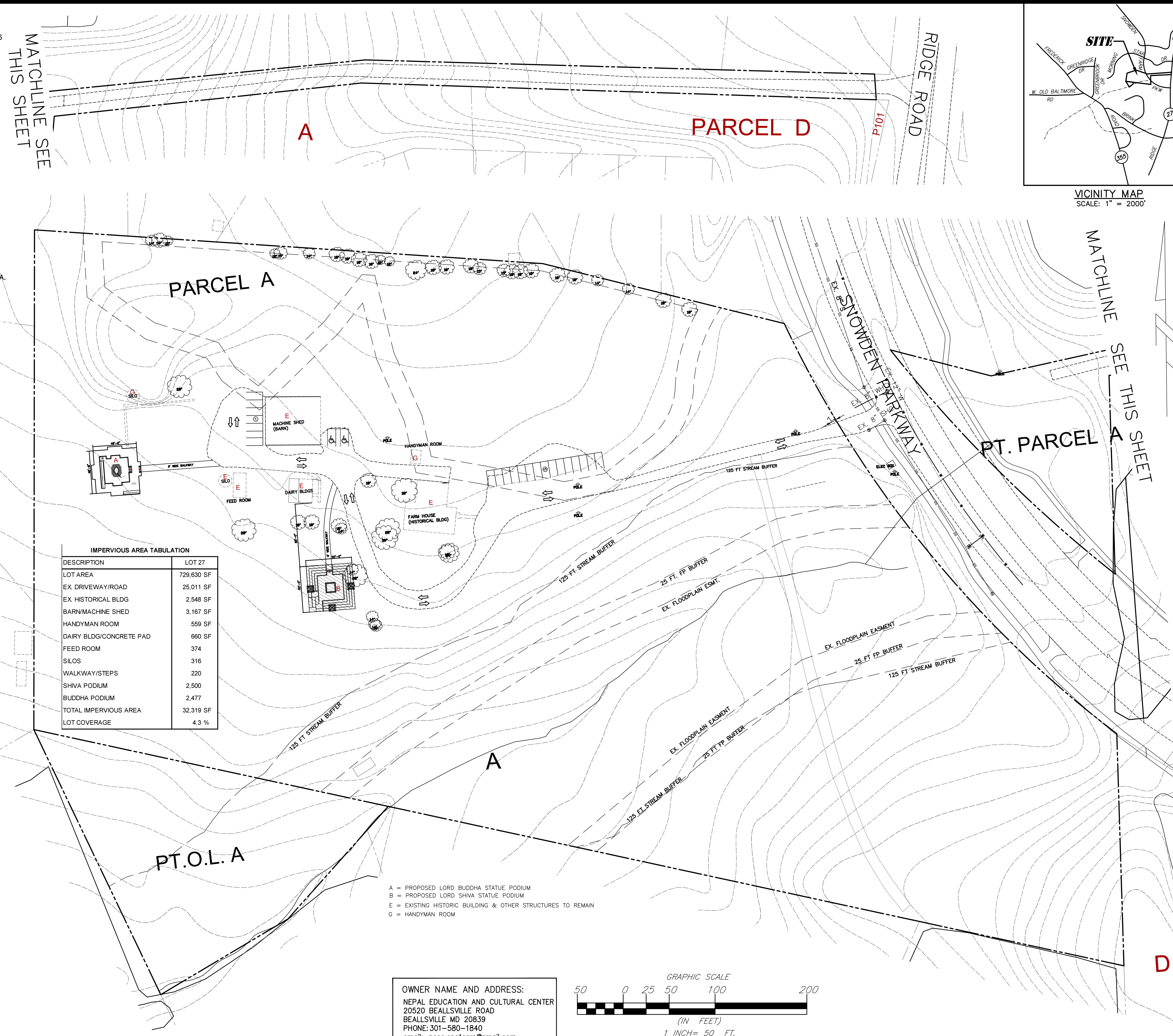
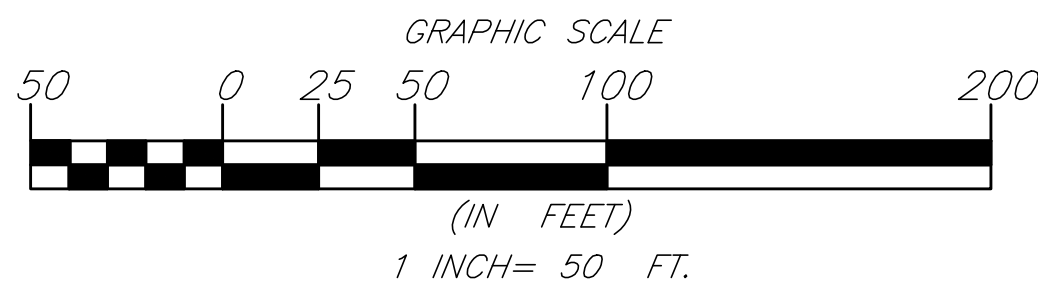
LEGEND:

- ⊙ SEWER MANHOLE
- ⊙ SCO SEWER CLEANOUT
- ⊙ STORM DRAIN MANHOLE
- ⊙ WATER MANHOLE
- ⊙ CLEANOUT
- ⊙ WM WATER METER
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WHC WATER HOUSE CONNECTION
- ⊙ TEST VALVE
- ⊙ SPIGOT
- ⊙ FOUNTAIN
- ⊙ FAUCET
- ⊙ MONITORING WELL
- ⊙ ELECTRICAL MANHOLE
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRICAL BOX
- ⊙ LAMP POST
- ⊙ GROUND LIGHT
- ⊙ CIRCUIT BREAKER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE BOX
- ⊙ GAS MANHOLE
- ⊙ GAS METER
- ⊙ GATE VALVE
- ⊙ UNDEFINED MANHOLE
- ⊙ GATE / POST
- ⊙ BOLLARD
- ⊙ SIGNBOARD
- ⊙ MAIL BOX
- ⊙ TRAVERSE / FLY
- ⊙ BENCHMARK
- BUILDING LINE
- CONCRETE CURB
- EDGE OF PAVEMENT
- CENTERLINE OF PAVEMENT
- FACE OF SIDEWALK
- BACK OF SIDEWALK
- △ HANDICAP RAMP
- STORM PIPE
- FENCE
- WOOD FENCE
- TREE LINE
- GPS GLOBAL POSITIONING SYSTEM
- SDMH STORM DRAIN MANHOLE
- SMH SEWER MANHOLE
- CONC CONCRETE
- HER HANDICAP RAMP
- RET RETAINING
- C/CURB CONCRETE CURB
- C/WALKWAY CONCRETE WALK WAY
- C/SIDEWALK CONCRETE SIDE WALK
- 20 PROPOSED CONTOUR
- 20 EXISTING CONTOUR
- 20 INTERIM CONTOUR
- BUILDING
- LIMIT OF DISTURBANCE
- TREES TO BE REMOVED
- EXISTING ASPHALT ROAD
- FULL DEPTH PAVEMENT
- PROPERTY LINE
- ⊙ EX. WELL
- ⊙ EX. TREE
- ⊙ FIRE SIGN
- EX. ASPHALT & GRAVEL

IMPERVIOUS AREA TABULATION	
DESCRIPTION	LOT 27
LOT AREA	729,630 SF
EX DRIVEWAY/ROAD	25,011 SF
EX HISTORICAL BLDG	2,548 SF
BARN/MACHINE SHED	3,167 SF
HANDYMAN ROOM	559 SF
DAIRY BLDG/CONCRETE PAD	660 SF
FEED ROOM	374
SILOS	316
WALKWAY/STEPS	220
SHIVA PODIUM	2,500
BUDDHA PODIUM	2,477
TOTAL IMPERVIOUS AREA	32,319 SF
LOT COVERAGE	4.3 %

- A = PROPOSED LORD BUDDHA STATUE PODIUM
- B = PROPOSED LORD SHIVA STATUE PODIUM
- E = EXISTING HISTORIC BUILDING & OTHER STRUCTURES TO REMAIN
- G = HANDYMAN ROOM

OWNER NAME AND ADDRESS:
NEPAL EDUCATION AND CULTURAL CENTER
20520 BEALLSVILLE ROAD
BEALLSVILLE MD 20839
PHONE: 301-580-1840
email: necc.engteam@gmail.com



MATCHLINE SEE THIS SHEET

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Inova Engineering Consultants, Inc
Engineers, Surveyors, Land Development
25209 Larks Terrace
South Riding, Virginia 20152
Phone : (703) 655-3951
E-mail : inovaengineers@yahoo.com

SITE PLAN
SHIVA & BUDDHA PODIUM
PARCEL 247, WOODSTOCK
11650 SNOWDEN FARM PKWY, GERMANTOWN
DISTRICT: ELEVEN MONTGOMERY COUNTY, MARYLAND 20839

NO.	DATE	REVISION	REVISION BLOCK	BY	RLS

ACC NO: 02898373, 02975153

DESIGN BY: RLS
DRAWN BY: DD
CHECKED BY: RLP
DATE: 10-01-2023
SCALE: 1" = 50'
SHEET : 1 OF 1