

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7006 Carroll Avenue, Takoma Park	<b>Meeting Date:</b>	1/10/2024
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	1/3/2024
<b>Applicant:</b>	Kathleen & John Stone	<b>Public Notice:</b>	12/27/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Permit Number:</b>	1052543	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Comprehensive façade alterations including lighting and awning signage		

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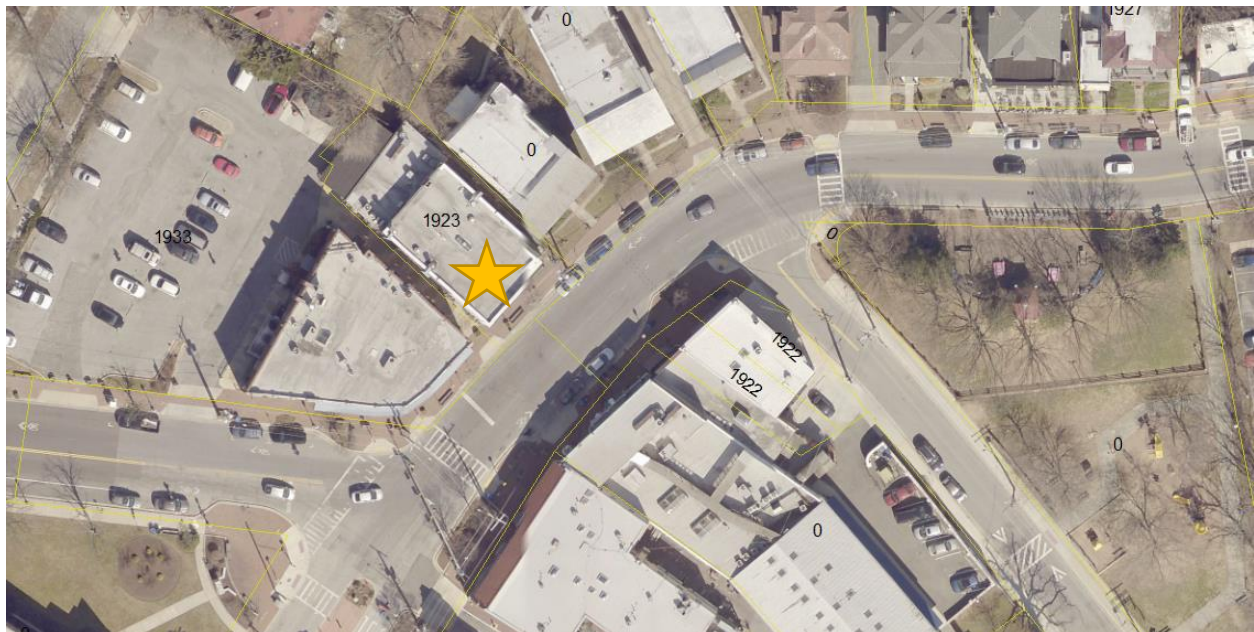
**STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application with **one (1) condition**:

1. A specification for the proposed gooseneck lights was not included in the application materials. Specification for the proposed light fixtures shall be submitted to Staff before the issuance of permit documents. Final approval authority to ensure the light fixtures are compatible with the character of the building and surrounding district is delegated to Staff.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Commercial  
**DATE:** c.1923



*Figure 1: The subject property is located in the "Old Town" commercial area in the Takoma Park Historic District.*

**PROPOSAL**

The applicant proposes to replace the non-historic commercial storefronts at the subject property.

**APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*). Additionally, as a building located within the Takoma Old Town and Commercial Revitalization Area, Ordinance No. 2592 applies.

***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

**6. SHOPFRONTS**

(a) A shopfront as a part of the building facade shall be defined to include: the building face, porches, the entrance area leading to the door, side-lights, transoms, display platforms, devices including lighting and

signing designed to be viewed from the public right-of-way and/or the areas visible to the public prior to entering the interior portion of the structure.

(b) General Provisions.

- (1) Shopfronts, entrances, signs, lighting, sun protection, porches, security grilles, etc., shall be compatible, harmonious, and consistent with the original scale and character of the structure.
- (2) All extraneous and unused hardware, signing, and equipment shall be removed.
- (3) All broken, rotten, or damaged elements shall be removed and replaced with elements that are harmonious with the design of the building and with the neighborhood.
- (4) Textured or colored glass and ribbed or patterned metal are not permitted as acceptable replacement materials for shopfront windows.
- (5) At such time as sign panels covering or replacing shop cornices are removed or deemed to need replacement, they shall be taken down and the cornice restored.
- (6) Grates, bars, and grilles shall be designed so as to be as inconspicuous as possible. They shall be kept painted and free of rust. In all cases, they shall be kept open during the normal daylight business hours of the community. Non-metal grilles and screens shall be prohibited. Enclosures and housings for security grilles and screens shall be as inconspicuous as possible and shall be compatible with the design of the shopfront.
- (7) Solid or permanently enclosed or covered shopfront windows shall not be permitted. Where the window treatment of the first floor is to be modified, such that the window openings will be made smaller, these new openings will not be smaller in size than the openings of the second or third-floor windows of the subject structure.

## 8. LIGHTING

(a) Exterior lighting shall be limited to lighting fixtures designed to be in harmony with the character of the buildings and the Takoma Old Town streetscape design theme. Such fixtures shall be mounted in the entrance ways and on the front facade of the building. Flood lighting concealed above a storefront roofing may be used to light the facades of buildings. Lighting of the shops will be encouraged during the evening hours. Lighting of the facades of the buildings may be accomplished with projecting fixtures at the roofline or at the storefront cornice line. Such fixtures shall be inconspicuous, harmonious with the design of the building, and project no more than twenty-four (24) inches from the face of the building.

(b) The following lighting methods are permitted:

- (1) Fully recessed downlights or wallwashers in projecting metal box. Box must run full length of the sign area.
- (2) Shielded fluorescent lamps with diffusers in projecting metal box. Box must run full length of the sign area.
- (3) "Gooseneck incandescent," porcelain enamel reflector on bent metal tube arm. Housing to prevent glare at pedestrian eyeline.
- (4) Individually lit letters, either internally or back-lit.

### ***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic

or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior’s Standards for Rehabilitation***

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a two-story brick commercial building constructed c.1923. The ground floor has two heavily modified storefronts, with a centrally located door, providing access to the second floor. The applicant proposes to remove the existing storefronts and install new storefronts in the existing openings. Additionally, the applicant proposes to remove the existing vinyl soffit above the storefronts to install recessed lighting with a new fiber cement soffit. Gooseneck lights are also proposed for the exterior. Staff finds the proposed work will not have a significant impact on the character of the building and surrounding district and recommends the HPC approve the HAWP.

**Storefront Replacements**

The existing storefronts both appear to have been heavily modified from their original construction. The left storefront includes an aluminum frame over a stone bulkhead, which does not match the brickwork on the building’s façade. Additionally, the transom panel was covered with a vinyl overhang obscured by the existing awning signage. The right storefront display window projects into the right-of-way at an angle and has c.1960 aluminum trim. The bulkhead area below the storefront window on the right side also does not match the building’s brickwork. Staff finds both storefronts have lost their material and design integrity and may be removed under the *Design Guidelines*, 24A-(b)(2) and (d), and Standard 2.

The applicant proposes to install new aluminum-framed storefront systems while retaining the door placement. Staff finds the proposed storefront is consistent with the replacement storefront approved by the HPC at 6927 and 6929 Laurel Ave.<sup>1</sup> Below the display windows, the applicant proposes to cover the masonry bulkhead with painted wood panels. Staff finds the proposed storefront design and materials are consistent with the character of the building and surrounding district. Because of the building’s age, the original storefront was either wood or steel, and Staff finds aluminum is an appropriate contemporary replacement that has been approved in this section of the historic district. Staff additionally finds covering the masonry bulkhead with wood paneling will not detract from its current, non-historic appearance.

**Soffit Modification**

Largely obscured by the existing awning signs, there is a vinyl-wrapped soffit with some lighting. The applicant proposes to remove the existing lighting and vinyl soffit and install new lighting with fiber cement panels in place of the vinyl.

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<sup>1</sup> The HPC approved replacement storefronts at 6927 and 6929 Laurel Ave., Takoma Park at the August 16, 2023 HPC meeting by consent. The Staff Report and application materials are available here: <https://montgomeryplanning.org/wp-content/uploads/2023/08/I.F-6927-6929-Laurel-Avenue-Takoma-Park-1037342.pdf>.

Staff finds the proposed work is a minor modification of a non-historic feature that will not have a significant impact on the character of the building. Staff finds the proposed lights and new soffit material are compatible with the character of the site and district and recommends the HPC approve the modification under the *Design Guidelines*, 24A-8(b)(2) and (d), and Standard 2.

### **Exterior Lighting**

Above the existing awnings, the applicant proposes to install four gooseneck lights (two over each storefront). A specification for the proposed lights was not included with the application materials. Staff notes that gooseneck lights are specifically identified in Ordinance No. 2592 as a type of light that is in keeping with the character of the Old Town section of the district. Because this type of light is specifically called out, Staff recommends the HPC approve the installation of the lighting, but delegates final approval authority for the exterior lighting to the Staff to ensure the proposed lights are compatible with the building.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP **with one (1) condition**:

1. A specification for the proposed gooseneck lights was not included in the application materials. Specification for the proposed light fixtures shall be submitted to Staff before the issuance of permit documents. Final approval authority to ensure the light fixtures are compatible with the character of the building and surrounding district is delegated to Staff; under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines* and Ordinance No. 2592, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# 1052543  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Kathleen Stone E-mail: Summitup9@gmail.com  
Address: 10511 Summit Ave City: Kensington Zip: 20895  
Daytime Phone: 301-252-9238 Tax Account No.: 01076505

**AGENT/CONTACT (if applicable):**

Name: Kathleen or John Stone E-mail: Summitup9@gmail.com  
Address: 10511 Summit Ave City: Kensington Zip: 20895  
Daytime Phone: 301-252-9238 Contractor Registration No.: owner

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property 37-3

Is the Property Located within an Historic District?  Yes/District Name Takoma Park Historic District  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7006 Street: Carroll Avenue  
Town/City: Takoma Park Nearest Cross Street: westmoreland  
Lot: 31 Block: 6 Subdivision: 25 Parcel: -

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure               |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar   |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                         |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input checked="" type="checkbox"/> Window/Door                        |
|   |  | <input checked="" type="checkbox"/> Other: <u>Lighting - wood trim</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

John Stone Signature of owner or authorized agent Date 6

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
**[Owner, Owner's Agent, Adjacent and Confronting Property Owners]**

<b>Owner's mailing address</b> K.C. Associates 10511 Summit Ave. Kensington MD 20895	<b>Owner's Agent's mailing address</b> _____ _____ _____
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**Adjacent and confronting Property Owners mailing addresses**

7012 Carroll Avenue, Takoma Park MD 20912	
7000 Carroll Avenue, Takoma Park MD 20912	
7117 Willow Avenue, Takoma Park MD 20912	
7001 Carroll Avenue, Takoma Park MD 20912	
7005 Carroll Avenue, Takoma Park MD 20912	
6905 Laurel Avenue, Takoma Park MD 20912	

TYPE OF WORK PROPOSED - See the checklist on page 4 for a list of all existing forms for proposed work are submitted with this application. Incomplete applications will not be accepted for review. Check all that apply: <input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Fence <input type="checkbox"/> Deck/Porch <input type="checkbox"/> Other	Lot: _____ Block: _____ Subdivision: _____ Town/City: _____ Street: _____ Nearest Cross Street: _____
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I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and that I hereby acknowledge and accept full responsibility for the issuance of this permit.

\_\_\_\_\_  
 Signature of owner or authorized agent

\_\_\_\_\_  
 Date



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Brick Commercial Building with two Restaurants at the Lower Level and 7 offices in the upper level in the Shopping district of Historic old Town Takoma Park. The Building was Built in the Late 1800s and has undergone significant modifications in the years since including, Rear addition, store front modifications and window and Door Brick infills, Canopy additions and Front sidewalk changes to brick pavers

Description of Work Proposed: Please give an overview of the work to be undertaken:

repaint entire facade, Remove Demised storefronts with display window and Replace with New Aluminum Framed Storefronts and Door. With insulated Glass, install New barn style Lights above Existing Canopys ~~Replace~~ canopy soffit with new cementitious Board + Lights Replace, install new wood Panels under Both New storefront windows



Work Item 1: Storefronts

Description of Current Condition:

Demised /uninsulated

Proposed Work:

Replace with Aluminum E-Track  
Frames and 1" insulated glass

Work Item 2: Lighting

Description of Current Condition:

none

Proposed Work:

Add Bars style Lighting  
aimed to shine on Restaurant  
Signage Above Canopy's  
4 total

Work Item 3: wood Panels

Description of Current Condition:

none / Existing Brick Infill

Proposed Work:

cover Existing Brick infill  
under storefront windows  
with wood Panels and new sills  
Trimed to match typical Early  
1900s style



EXISTING



7006 CARROLL  
TAKOMA PARK

\*PROPOSED



**7006 CARROLL AVENUE, TAKOMA PARK**

**Proposed changes;**

**Left side:**

- Replace existing vinyl soffit on overhang with 3/8" hardy plank
- Replace to existing soffit lights on overhang with \*recessed LED lights
- Replace existing demised wood storefront sill with 5/4 inch bullnose primed pine wood sill
- Add primed pine wood panel below storefront sills (see typical drawing)

**Right side:**

- Remove bow window display case
- Install \*storefront window in existing opening (similar to existing left side-from same glass co-see cut sheet attached)
- Replace to existing soffit lights on overhang with \*recessed LED lights,
- Add primed pine wood bullnose sill, jam, casing & wood panel below storefront glass (see typical drawing)

**Building:**

Add 4 \*gooseneck barn lights on top of existing overhangs to illuminate existing canvas signage (see proposed drawing)

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**Detail:**

LED recessed lights: XXXX

Gooseneck barn lights: XXXXX

Glass storefront - see cut sheet attached



# PROPOSED STOREFRONT

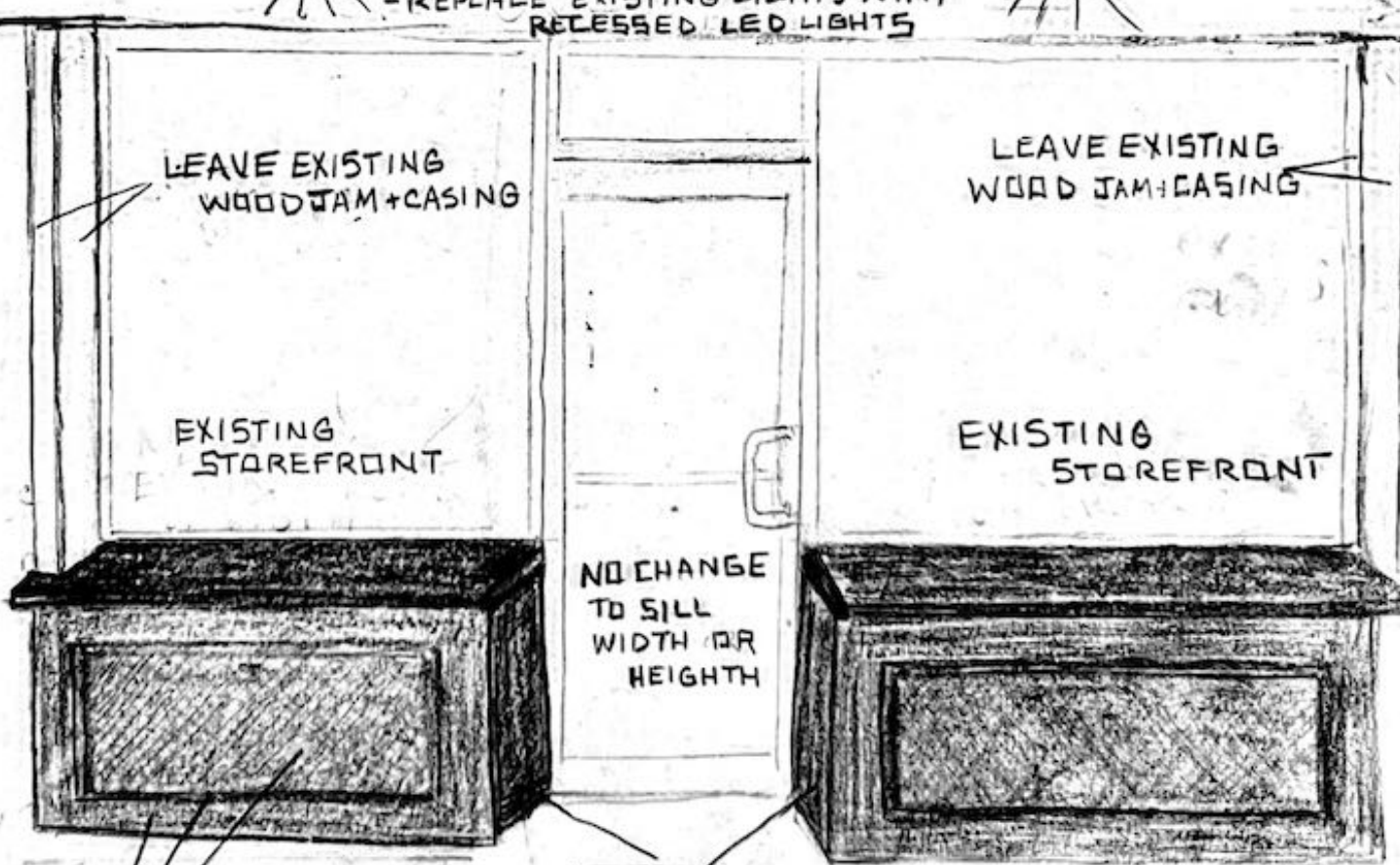
LEAVE EXISTING OVERHANG + SIGNAGE

Formerly

## MARKS KITCHEN



- REPLACE EXISTING VINYL SOFFIT MATERIAL  
- REPLACE EXISTING LIGHTS WITH  
RECESSED LED LIGHTS



LEAVE EXISTING  
WOOD JAM + CASING

LEAVE EXISTING  
WOOD JAM + CASING

EXISTING  
STOREFRONT

EXISTING  
STOREFRONT

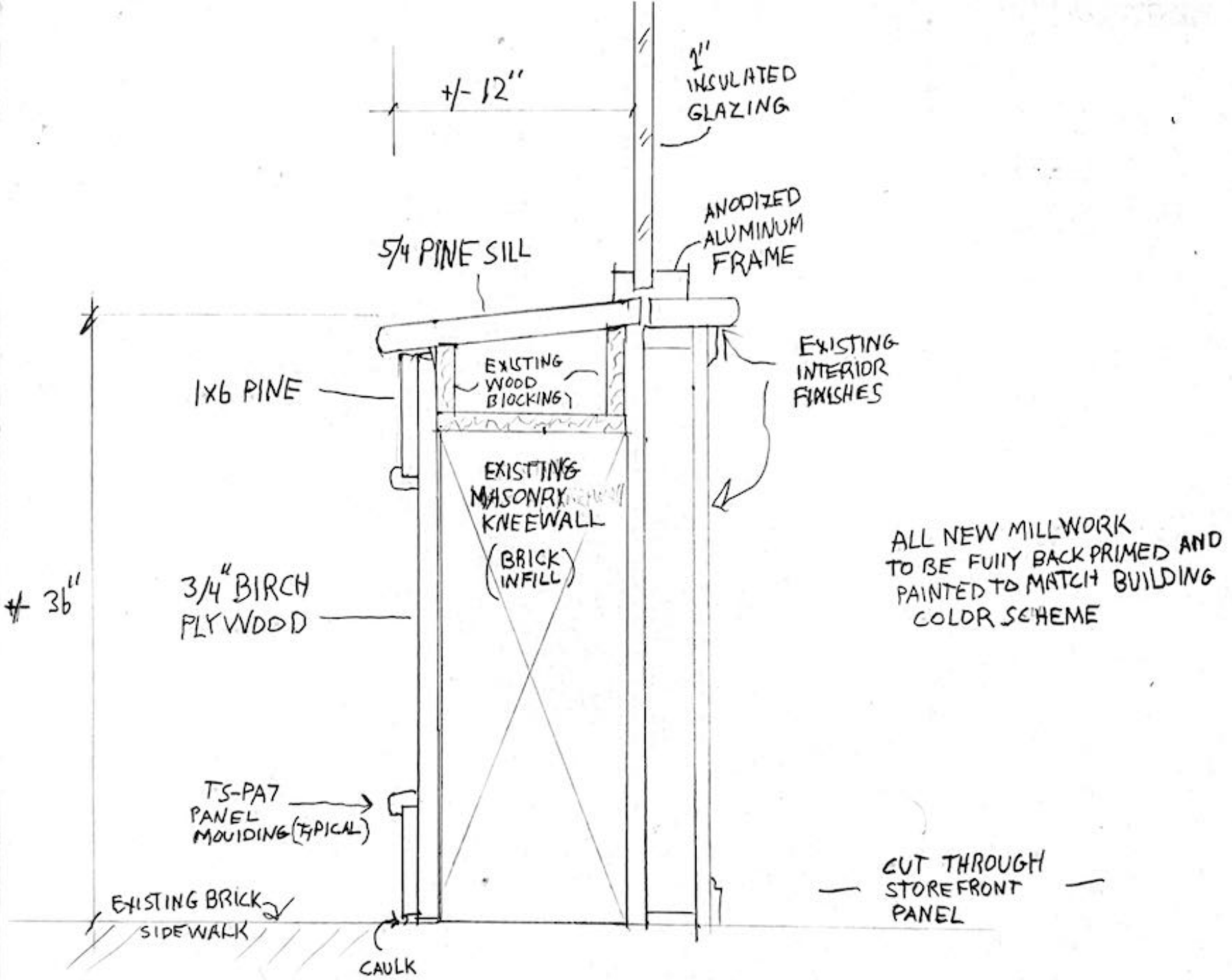
NO CHANGE  
TO SILL  
WIDTH OR  
HEIGHT

3/4" FLAT PRIMED PINE PANEL  
TO COVER FILL BRICK

BOTH SIDES

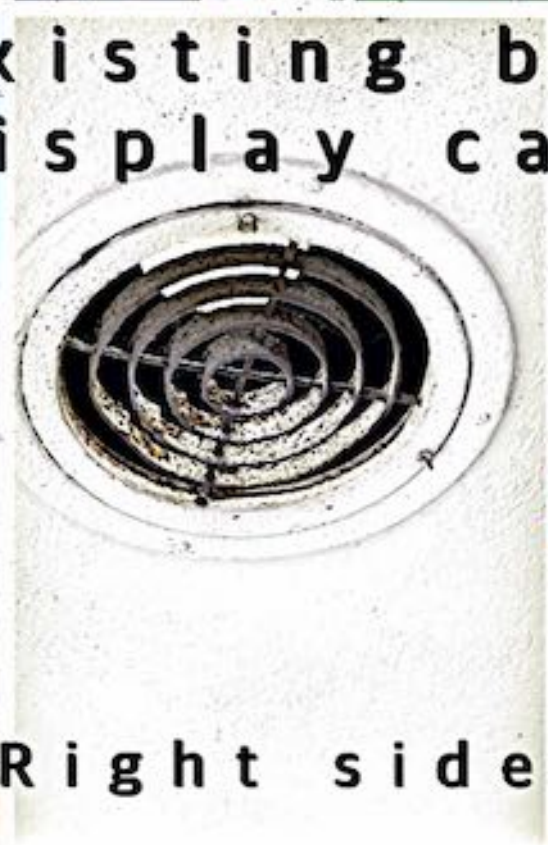
3 PIECE WOOD PANEL - PRIMED PINE FLAT STOCK

3/4" FLAT WOOD PANEL  
TOPPED WITH 5/2" BAND OF 3/4" WOOD  
FINISHED WITH BAND OF COVE MOLD  
AS SHOWN



7006 CARROLL AVE  
STOREFRONT





Right side