

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	23329 Frederick Road, Clarksburg	Meeting Date:	2/7/24
Resource:	Contributing Resource (Clarksburg Historic District)	Report Date:	1/31/24
Applicant:	Aries Investment Group (Clarksburg), LLC	Public Notice:	1/24/24
Review:	HAWP	Tax Credit:	N/A
Case Number:	1055272	Staff:	Chris Berger
PROPOSAL:	Door installation		

STAFF RECOMMENDATION:

Staff recommends that the Historic Preservation Commission (HPC) **approve with two (2) conditions** the HAWP application with final review and approval of all details delegated to staff:

1. The applicants must provide an elevation before the plans are stamped that shows the new location of the security equipment and the proposed door location with measurements of the door from the grade, wall edge, and roof eave.
2. The applicants must provide staff with plans for stairs and railings, if they are necessary to meet building code, before the plans are stamped.



Figure 1: The subject property located at 23359 Frederick Road in the Clarksburg Historic District is indicated with a gold star.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Clarksburg Historic District
 STYLE: Vernacular, front-gable
 DATE: ca. 1923

The building, traditionally known as the Clarksburg Grocery and now known as the Clarksburg Market, is described as follows in the *Final Draft Amendment to the Master Plan for Historic Preservation: Clarksburg Historic District*:

Built of rock-faced concrete block, this one-story, early-20th century store is a gable-front structure with a simple three-bay front porch. The building is augmented by a shed-roofed side addition. The store was probably built in 1923 for Sarah E. Purdum, who sold the property the same year to E. Lillian and Elwood E. Barr.

The original core of the building is 1.5 stories tall and has a front-oriented gable roof. It has at least four expansions: a one-story porch on the front elevation with a shed roof; a one-story addition that extends the length of the right-side elevation and is covered with a shed roof; a brick appendage at the rear left side elevation covered with a shed roof; and a one-story gable roof addition clad with wood siding that extend two-thirds the length of the rear addition. The doorway is proposed for the rear addition.

The building is now on the same parcel as the ca. 1800 Horace Willson House, now known as Clarksburg Beer and Wine, which was moved in recent year to accommodate the connection of Clarksburg Square Road with Frederick Road (State Road 355).

PROPOSAL

The applicants propose to install a steel door on the right-side elevation.

APPLICABLE GUIDELINES

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The subject property is a Vernacular style commercial building constructed circa 1923 and is contributing to the Clarksburg Historic District. The main section of the building houses the Clarksburg Market, and the rear addition, where the doorway will be installed, contains Carmen’s Italian Ice.

The applicants propose to install a steel door on the addition and paint the door brown to match the wood siding. Flagstone pavers will connect to the adjacent patio. As is shown in *Figure 2*, the doorway will be minimally visible from the right of way. A doorway exists on the same elevation about 10 feet closer to Frederick Road; however, that doorway has been sealed for many years and an electric meter has been installed on it.

It appears the door installation will require the relocation of the existing security equipment, so staff seeks a condition that the applicants provide an elevation that shows either the removal of the equipment or its new location. Staff also seeks the measurements of the door from the grade; wall edge closest to the rear of the building; and roof eave.

According to the applicants, a stair is not necessary; however, staff believes the floor height is higher than anticipated and seeks a condition that, if necessary, the applicants provide staff with plans for stairs and railings before the plans are stamped.

Staff is supportive of the proposed door. It will be installed on a side elevation of a rear addition about 60 feet from the right of way, so it will be minimally visible. It will not substantially alter the exterior and its simple design is compatible with the character of the elevation. Therefore, the proposal meets Chapter

24A(b)(1) and (2) of the *Montgomery County Code* and the *Secretary of the Interior's Standards for Rehabilitation* Numbers 2 and 9.



Figure 2: The front and right-side elevations of the Clarksburg Market as viewed from the right of way. The proposed door location is indicated with a red arrow.

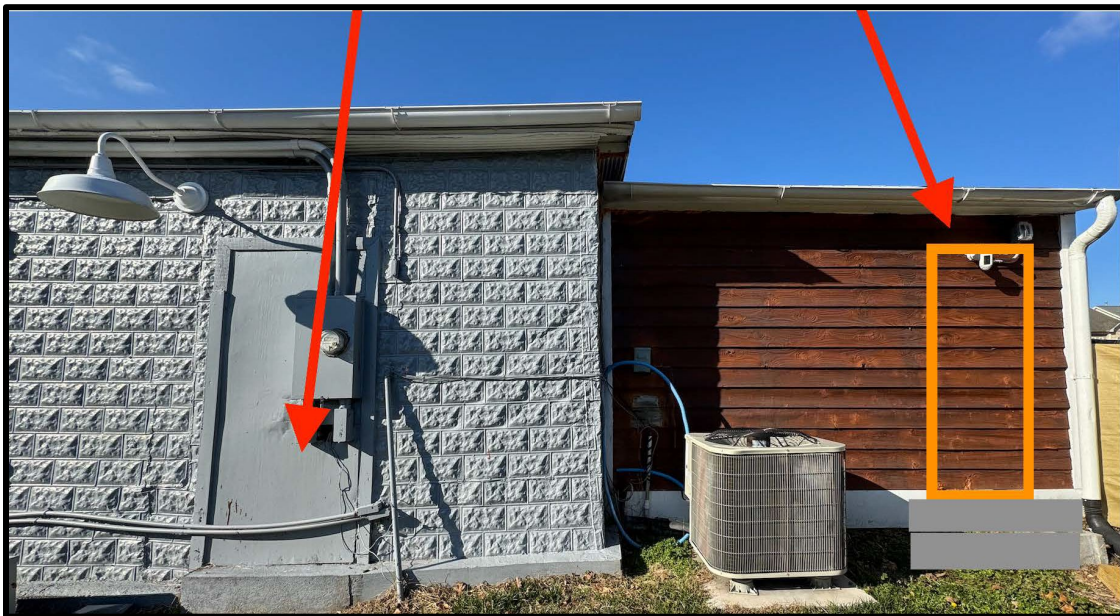


Figure 3: The applicants provided this diagram to show the existing doorway opening on the right elevation, left, and the proposed location for the new doorway. Stone pavers will be placed at the base of the new doorway. The existing doorway has long been enclosed and an electric meter has been installed on it.

Spec for Door

1x (36"x80" service opening)



Figure 4: The proposed steel door will measure 36-by-80 inches.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with two (2) conditions** the HAWP application with final review and approval of all details delegated to staff:

1. The applicants must provide an elevation before the plans are stamped that shows the new location of the security equipment and the proposed door location with measurements of the door from the grade, wall edge, and roof eave.
2. The applicants must provide staff with plans for stairs and railings before the plans are stamped if they are necessary.

and under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and 9;

and with the general condition that the applicants shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP

application at staff's discretion;

and with the general condition that the applicants shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicants will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: Aries Investment Group (Clarksburg), LLC
E-mail: RASPLTD@GMAILCOM
Address: 23329 Frederick Road
City: Clarksburg Zip: 20871
Daytime Phone: 240-626-1114
Tax Account No.: Text

AGENT/CONTACT (if applicable):

Name:
E-mail:
Address:
City: Zip:
Daytime Phone:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property CLARKSBURG STORE

Is the Property Located within an Historic District? Yes/District Name Clarksburg
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 23329 Street: Frederick Road
Town/City: Clarksburg Nearest Cross Street: Frederick Road & Clarksburg Square Road
Lot: Block: HH Subdivision: 0044 Parcel: N176

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

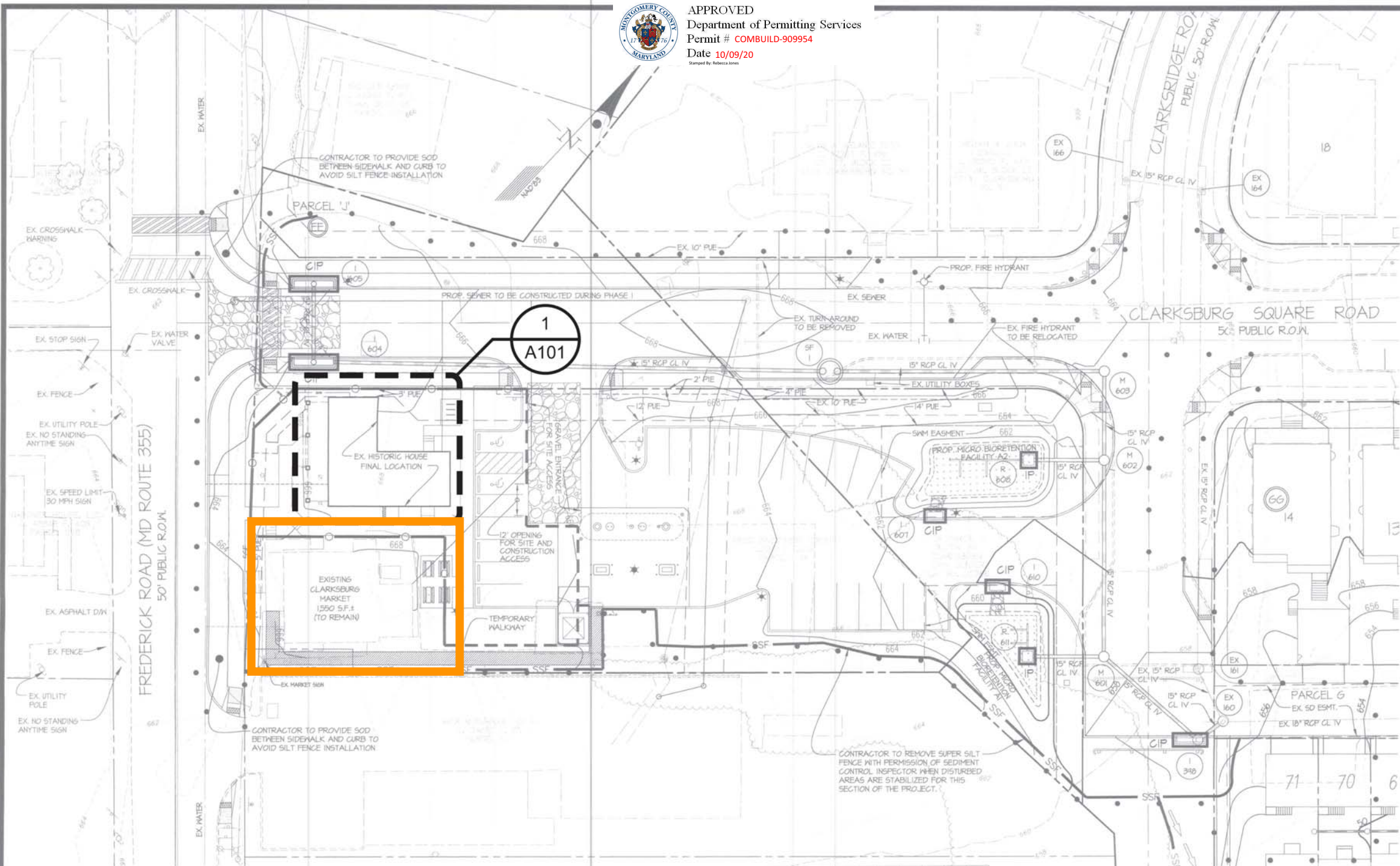
- Checkboxes for: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

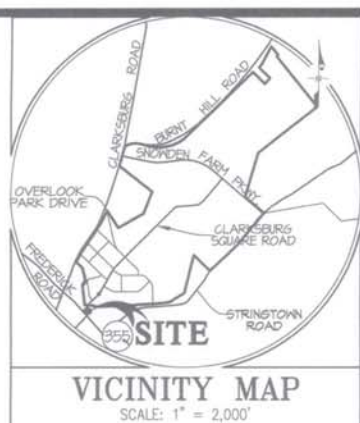
Signature of owner or authorized agent (with signature) Date 1/8/2024



APPROVED
 Department of Permitting Services
 Permit # COMBUILD-909954
 Date 10/09/20
 Stamped By: Rebecca Jones



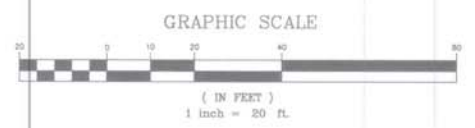
48 Hours
 Before You Dig
 Call
 "MISS UTILITY"
 Service Protection Center
 MEMBER
 ONE CALL SYSTEMS INTERNATIONAL
 CALL TOLL FREE
 1-800-257-7777



LEGEND

- EXISTING TREE LINE
- PROPOSED TREE LINE
- FLOODPLAIN
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING CURB
- EXISTING EDGE OF PAVING
- PROPOSED CURB
- EXISTING WATER
- EXISTING SEWER
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- LIMIT OF DISTURBANCE
- EXISTING STREAM
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED SUPER SILT FENCE (SSF)
- PROPOSED INLET PROTECTION (CIP, IP)
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED JERSEY WALL BARRIERS
- PROPOSED CHAIN LINK CONSTRUCTION FENCE

INLET PROTECTION NOTE:
 INLET PROTECTION AT STRUCTURES 1-398, 1-604, 1-605, 1-607, R-608, 1-610 AND R-611 MAY BE REMOVED (WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR) ONCE THESE AREAS HAVE BASE PAVEMENT INSTALLED AND STABILIZATION IS ACHIEVED IN LANDSCAPED AREAS IMMEDIATELY ADJACENT TO THESE STRUCTURES.



MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.
Stormwater Management: ONSITE	Sediment Control Technical Requirements: Thomas Wadon 3/22/16	Administrative Requirements: Thomas Wadon 3/22/16
Reviewed Date: Thomas Wadon 3/22/16	Reviewed Date: [Signature] 7/27/2016	Reviewed Date: [Signature] 11/10/17
Approved Date: [Signature] 258336 SM FILE #	Approved Date: [Signature]	Approved Date: [Signature]
MCDPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT BEEN STARTED.		

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28114, EXPIRATION DATE: JANUARY 20, 2018.

PREPARED FOR:
 THIRD TRY, L.C.
 c/o ELM STREET DEVELOPMENT
 1355 BEVERLY ROAD, SUITE 240
 McLEAN, VIRGINIA 22101
 ATTN: KATHRYN L. KUBIT
 TEL: 703-734-9730

SCALE: 1" = 20'
 ZONING: C-1, R-200, RMX-2
 DATE: DEC., 2015
 TAX MAP - GRD
 EW - 42

SEDIMENT AND EROSION CONTROL PLAN - PHASE 2
CLARKSBURG TOWN CENTER
CLARKSBURG SQUARE ROAD EXTENSION
 STA. 0+00 TO STA. 3+75.26
 G. L. W. FILE NO. 13042
 SC/SIM SHEET 4 OF 14
 CLARKSBURG ELECTION DISTRICT No. 02
 MONTGOMERY COUNTY, MARYLAND

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Aries Investment Group, LLC 23329 Frederick Rd. Clarksburg, MD 20871	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
13139 Clarksburg Square Rd. Gregg & Teresa Zolkiewicz 13139 Clarksburg Square Rd. Clarksburg, MD 20871	13130 Clarksburg Square Rd. Laurenti & Crystal Ngutter 13130 Clarksburg Square Rd. Clarksburg, MD 20871
13137 Clarksburg Square Rd. Meisam & Julia Izadjoo 13137 Clarksburg Square Rd. Clarksburg, MD 20871	23341 Frederick Rd.
23330 Frederick Rd. Gardner House LLC 1862 Brothers Rd. Vienna VA, 22182	23321 Frederick Rd. Amir H Et Al Modjarrad 22222 Creekview Dr. Gaithersburg, MD 20882

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The original portion of the existing rectangular structure consists of a wood frame general store building with one of exterior covered with metal/tin siding.

The adjacent building (Dr. Horace Wilson House is moved to a new location the site to accommodate the connection of Clarksburg Square Road to Frederick Road and it operates as Beer-wine as retail building.

Description of Work Proposed: Please give an overview of the work to be undertaken:

**1. Replace/move existing door on south east side of building with exterior metal door. . **
Photo on page XX**

Work Item 1: East Elevation

Description of Current Condition:
Metal Tin stamped siding is deteriorated and rusted (facing parking lot of animal hospital)

Proposed Work:
Install metal door in grey color to match existing metal siding color

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Work Item 1 - current conditions

Move existing door opening to rear portion of building



Spec for Door

1x (36"x80" service opening)



From: [Rasp Ltd](#)
To: [Berger, Chris](#)
Subject: Re: 23329 Frederick Road, Clarksburg - HAWP #1055272
Date: Tuesday, January 23, 2024 5:44:53 PM
Attachments: [steps-.pdf](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Thanks for your email.

- What do you plan to do with the doorway on the gray metal portion of the building? Will it be filled in, or will it remain as is with the meter on the door?

>> Will remain as is.

- You wrote on the application under proposed work that you will, "Install metal door in gray color to match existing metal siding color," but the door is proposed for the brown wood siding portion of the building. Please confirm the new door's proposed location and color.

>> We'd paint to match brown wood siding

- Do you plan to add steps or a walkway to the new doorway? As proposed, it appears to open to grass. If so, provide a site plan and plans for the proposed steps and walkway by Thursday, January 25.

>> We'd have few flagstone steps leading to the patio as shown on the attached.

Sincerely,
Ajay

On Tue, Jan 23, 2024 at 3:53 PM Berger, Chris <Chris.Berger@montgomeryplanning.org> wrote:

Hello,

I have some follow up questions on your project:

- What do you plan to do with the doorway on the gray metal portion of the building? Will it be filled in, or will it remain as is with the meter on the door?
- You wrote on the application under proposed work that you will, "Install metal door in gray color to match existing metal siding color," but the door is proposed for the brown wood siding portion of the building. Please confirm the new door's proposed location and color.
- Do you plan to add steps or a walkway to the new doorway? As proposed, it appears to open to grass. If so, provide a site plan and plans for the proposed steps and walkway by Thursday, January 25.

EXISTING
CLARKSBURG
MARKET
1,550 S.F.±
(TO REMAIN)

This architectural floor plan shows a rectangular building with a curved wall on the right side. The building is labeled 'EXISTING CLARKSBURG MARKET' with a total area of '1,550 S.F.± (TO REMAIN)'. The number '668' is located near the top center. The plan includes several windows, a door, and a utility area. A dashed line indicates a 'TEMPORARY WALKWAY' along the bottom edge. Two red squares are placed on the bottom wall. The plan is overlaid on a larger site plan, with a blue box highlighting the building's footprint.

668

12' OPENING
FOR SITE AND
CONSTRUCTION
ACCESS

TEMPORARY
WALKWAY



SSE

Chris Berger Site Visit 1.24.24
Front and Right Side



DELI SANDWICHES

Clarksburg Beer & Wine
Dr. Horace Willson House
We're now OPEN!

GRANTA'S ICE
GAS | WINE

MARYLAND LOTTERY

Chris Berger Site Visit 1.24.24
Proposed Door Location



Chris Berger Site Visit 1.24.24
Proposed Door Location



Clarksb
Anim
Hospit
Parki
Onl

Chris Berger Site Visit 1.24.24
Proposed Door Location and Existing Door

