

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	22200 Clarksburg Road, Boyds	Meeting Date:	1/24/2024
Resource:	Master Plan Site Number 13/25 <i>Cephas Summers House</i>	Report Date:	1/17/2024
Applicants:	Pulte Homes	Public Notice:	1/10/24
Review:	HAWP	Tax Credit:	Partial
Permit No.:	956436 REVISION	Staff:	Chris Berger
Proposal:	Various retroactive and proposed revisions to house and outbuilding		

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve with one (1) condition** the HAWP application with final review and approval of all details delegated to staff:

1. The applicants must provide an accurate set of final drawings before the plans are stamped.

The original HAWP approval from June 23, 2021, included four conditions.¹ The submitted materials satisfy condition Number 1 in regard to providing specification for the windows. The three other conditions already have been met.



Figure 1: The subject property outlined in red in 2023 shortly before restoration work began. The location of the Cephas Summers House is indicated with a star.

¹ Link to June 23, 2021, staff report is available here: <https://montgomeryplanning.org/wp-content/uploads/2021/06/II.K-22200-Clarksburg-Road-Clarksburg-956436.pdf>

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site Number 13/25, *Cephas Summers House*
 STYLE: Greek Revival
 DATE: ca. 1850-60

Excerpt from *Places from the Past*:

One of the earliest houses from a Clarksburg area farm, the Cephas Summers House is a Greek Revival influenced house which retains many of its original features. The 3-bay house has a low-sloped, side-gable roof with cornice returns, 6/6 sash windows with wide frieze lintels, and classical porch columns. In 1850, Cephas and Mary Ann Summers acquired the 235-acre farm, which they owned until the early 1890s. The residence, as described in 1968, had eight rooms, including four bedrooms, no bathroom, a dirt floor basement, and was heated by coal stoves. The farmstead includes a frame corncrib and two sheds. The bank barn collapsed in the 1970s.

BACKGROUND:

The applicants previously appeared before the HPC for a preliminary consultation regarding rehabilitation of the Cephas Summers House at the May 27, 2020, meeting. The applicants subsequently appeared before the HPC for a preliminary consultation regarding reduction of the environmental setting of the subject property at the October 28, 2020, HPC meeting. The applicants then presented proposals for demolition and reconstruction of the Cephas Summers House at the January 27, 2021, and April 28, 2021, HPC meetings.²

The applicants' proposal is associated with a Preliminary Plan of Subdivision (Plan Number: 120200050), which was approved by the Planning Board at their December 3, 2020, meeting. The approval included the following conditions, in accordance with the Commission's recommendations in their letter dated October 29, 2020:

1. The Historic Area Work Permit (HAWP) for the new construction of the Historic Cephas Summers House must be approved prior to approval of the Site Plan for the development; and

² Link to May 27, 2020, HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=1e46bdfa-a0fc-11ea-9e08-0050569183fa

Link to May 27, 2020, preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/05/II.E-22200-Clarksburg-Road-Clarksburg.pdf>

Link to October 28, 2020, HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=ba4854d9-1a21-11eb-a4b6-0050569183fa

Link to October 28, 2020, preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/10/II.B-22200-Clarksburg-Road-Boyd.pdf>

Link to January 27, 2021, HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=5b1d01ec-6198-11eb-920e-0050569183fa

Link to January 27, 2021, preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2021/01/II.A-22200-Clarksburg-Road-Clarksburg.pdf>

Link to April 28, 2021, HPC meeting audio/video transcript:

http://mncppc.granicus.com/MediaPlayer.php?publish_id=3fd4da9a-a8a3-11eb-8549-0050569183fa

Link to April 28, 2021, preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2021/04/II.B-22200-Clarksburg-Road-Clarksburg.pdf>

2. The building permit for the reconstruction of the Historic Cephas Summers House must be filed prior to acceptance of any land disturbance permits for the new construction approved via the Site Plan.

The HPC approved HAWP Number 956436 as part of the consent agenda at its June 23, 2021, meeting with the following (4) conditions:

1. Manufacturer's specifications must be provided for all proposed windows and doors (including garage doors), with final review and approval delegated to staff. All windows and doors on the main house must be entirely manufactured of wood. The windows shall have true-divided lites on the façade, and exterior muntins on the remaining SDL throughout.
2. Profiles must be provided for the existing and proposed siding of the historic/reconstructed house, with final review and approval delegated to staff. The new siding must be constructed of wood for the main house throughout. Hardi-siding is permitted on the new outbuilding.
3. The proposed Decra Shingle XD (stone-coated steel shingles) roofing is not approved. The roofing of the reconstructed historic house must closely match the existing pressed metal shingles, with final review and approval delegated to staff.
4. Manufacturer's specifications must be provided for the metal roofing of the proposed new garage, with final review and approval delegated to staff.

After the conditions were satisfied, staff stamped the signs on July 1, 2022.

Pulte received a staff approval on May 26, 2023, for alterations to the fenestration on the back of the garage building.

PROPOSAL:

The applicants seek various retroactive and proposed alterations to the reconstructed Cephas Summers House and newly constructed garage.

APPLICABLE GUIDELINES:

In accordance with Section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses Section 24A-8 of the Montgomery County Code ("Chapter 24A"), *the Secretary of the Interior's Standards for Rehabilitation* ("*Standards*"), and pertinent guidance in applicable master plans. In this case, the *Ten Mile Creek Area Limited Amendment (Amendment)*. This is a limited amendment to the 1994 *Clarksburg Master Plan and Hyattstown Special Study Area* amendment. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Ten Mile Creek Area Limited Amendment (Approved and Adopted July 2014)

The Land Use and Zoning recommendations for the Pulte and King properties west of I-270 state the following regarding the Cephas Summers House:

The Cephas-Summers House, a locally designated historic resource, is located on the property proposed for development along Clarksburg Road. The current environmental setting includes the whole property but could be reduced to approximately five acres as part of the proposed development. The house should be restored and become part of the adjacent development.

The *Amendment* also states that the following should be addressed when implementing the Rural Open Space Design Guidelines as part of the development review process for these properties:

Size and locate lots to preserve rural views from Clarksburg Road and ensure an environmental setting of five acres for the historic Cephas-Summers house. Include restoration of the Cephas-Summers house in a development plan.

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The applicants seek various retroactive and proposed alterations to the reconstructed Cephas Summers House and newly constructed garage from what was approved by the HPC on June 23, 2021, and by staff on May 26, 2023. These changes were discovered by staff in the field as part of a site visit to verify field conditions during construction. Staff visited the site in November and December 2023 to document the alterations and provide the applicants with next steps regarding approval of the changes. Several of the alterations, taken individually, would have qualified for a staff approved HAWP; however, taken as a whole, and given the specific nature of this project as a reconstruction effort, staff recommended the applicants bring the package of alterations forward with a revised HAWP. The staff noted changes and provided the applicants with detailed elevations documenting the changes that would need to be addressed; these are included as an addendum to this staff report. Many of these changes have already been completed. The HPC should review these changes as if they are newly proposed.

Staff believes the most noteworthy change is the proposal to regrade the property proximate to the front porch so it better matches the property's traditional grading. The front porch floor currently is elevated as much as 4' from grade, and the restoration of the grading will result in a drop of less than 30 inches from

the porch floor to ground so that no railings will be necessary. The posts supporting the porch floor will be wrapped in stone veneer to match the material found at the foundation of the house. Other site changes include the installation of a brick walkway to link the garage to the right side elevation porch and front porch.

Staff also notes the applicants propose to install vinyl hopper basement windows. The first condition of HAWP Number 956436, approved June 23, 2021, states, in part, “All windows and doors on the main house must be entirely manufactured of wood.” Staff supports the vinyl windows and finds they are compatible with the character of the reconstructed building. The Cephas Summers House originally did not have basement windows, so the windows are not replacing an historic feature. The installation of the basement windows on the left and right side elevations is necessary to break up the massing of the foundation now exposed because of the change to the grade. Staff notes that the vinyl windows could have been approved as a HAWP approved by staff had the work item been submitted individually.

In addition, staff reminds the HPC that this was an unusual case and the HPC voted as a body to approve a reconstruction of the historic house as closely as practicable. That rationale carries forward in the staff recommendations for the changes noted below.

Retroactive and proposed house design changes include:

- Proposal to grade the yard and add a 4’ wide brick walkway from the garage to the front door. According to the applicants, the work will not require a retaining wall.
- Retroactive redesign and reconfiguration of the decorative brick veneer chimneys.
- Retroactive installation of windows with wider muntins with specifications provided.
- Proposal to install porch posts clad in stone veneer to match the foundation.
- Retroactive installation of aluminum gutters and with specifications provided.
- Retroactive installation of stainless steel box vents with specifications provided.
- Retroactive alteration to the roof and cornice design to reflect two different roof overhang sizes (1’ and 1’ 4”).
- Retroactive installation of the stairway at rear right side doorway to face a different direction from what was proposed.
- Retroactive alteration to the foundation to include a cap at the base of the siding.
- Retroactive installation of the vinyl hopper basement windows with specifications provided.
- Retroactive installation of HVAC condensers.
- Retroactive installation of box vents with specifications provided.
- Retroactive installation of a parapet at the transition between two roof materials.
- Wood balustrades, railings, and stairs have been proposed for the rear porches with specifications provided to reflect the change to the property’s grading.
- Window well specifications have been provided.

Garage design changes include:

- The proposed gable vents were not installed and were removed from the plans.
- Retroactive installation of lights now shown on the plans and specifications included.
- Retroactive alteration of the eaves from exposed rafter tails to boxed-in eaves.
- Retroactive alteration of the arrangement of the fenestration on the rear elevation.
- Retroactive change of the siding reveal from 6” to 7”.
- The proposed concrete slab at the base of the door on the left side elevation was not installed and was removed from the plans.
- Retroactive alteration to the foundation to include the faux brick stamped pattern.
- The proposed shutters were not installed and were removed from the plans.

- Retroactive alteration to the pattern on the the garage doors.

Staff has noticed minor differences between the as-built conditions and the drawings. For example, the house's elevations do not accurately portray the changes to the fascia boards; not all light placements are evident on the elevations; the basement window on the rear elevation is not drawn; and the board and batten siding on the garage's front elevation is not drawn accurately where it meets the foundation. Staff seeks a condition that the applicants provide an accurate set of final drawings before the plans are stamped.

Staff finds the proposal to be generally consistent with the Criteria for Issuance in Chapter 24A-8(b)(2), having found that the proposal is compatible in character with the resource. Additionally, staff finds that the proposal will enhance the preservation of the resource, in accordance with Chapter 24A-8(b)(3), as it will result in the reconstruction of a historic building that has been determined to be deteriorated beyond repair and rehabilitation.

The proposal is also generally consistent with the *Ten Mile Creek Area Limited Amendment*, as it ensures an environmental setting of more than five acres and the restoration/reconstruction of the historic Cephas Summers House.

The project will meet the first *Secretary of the Interior Standards* as the building will retain its historic purpose as a residence. It meets the 2nd standard because much of the historic character of the property will be maintained. It meets the 6th standard because deteriorated features will match the old as much as possible. It meets the 9th standard because the new additions and alterations are differentiated from the old and are compatible with the massing, size, scale, and architectural features of the historic resource. And it meets the 10th standard because the essential form and integrity of the historic property and its environment would not be impaired if removed in the future.

Finally, The Master Plan for Historic Preservation notes on Page 3 that, "Historic preservation provides a sense of continuity in time, of stability and durability, while familiar landmarks instill a loyalty to place and thus a commitment to the community and the County." Staff finds that this reconstruction plan is in the best interest of furthering the wider preservation goal of fixing the history of this farming community in place. The newly reconstructed house and its environmental setting will be prominently placed on its lot adjacent to the new development to the north, and it will be an enduring reminder of the rural legacy of 19th century farmsteads in this area.

Staff is supportive of the revised proposal, finding that the revisions closely adhere to what was approved by the HPC in 2021.

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve with one (1) condition** the HAWP application with final review and approval of all details delegated to staff:

1. The applicants must provide an accurate set of final drawings before the plans are stamped.

under the Criteria for Issuance in Chapter 24A-8(b) (2) and (3), having found that the proposal is consistent the purposes of Chapter 24A;

and meets the *Secretary of the Interior's Rehabilitation Standards 1, 2, 6, 9, and 10*;

and with the *Ten Mile Creek Area Limited Amendment*;

and with the general condition that the applicants shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicants shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicants will contact the staff person assigned to this application at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.

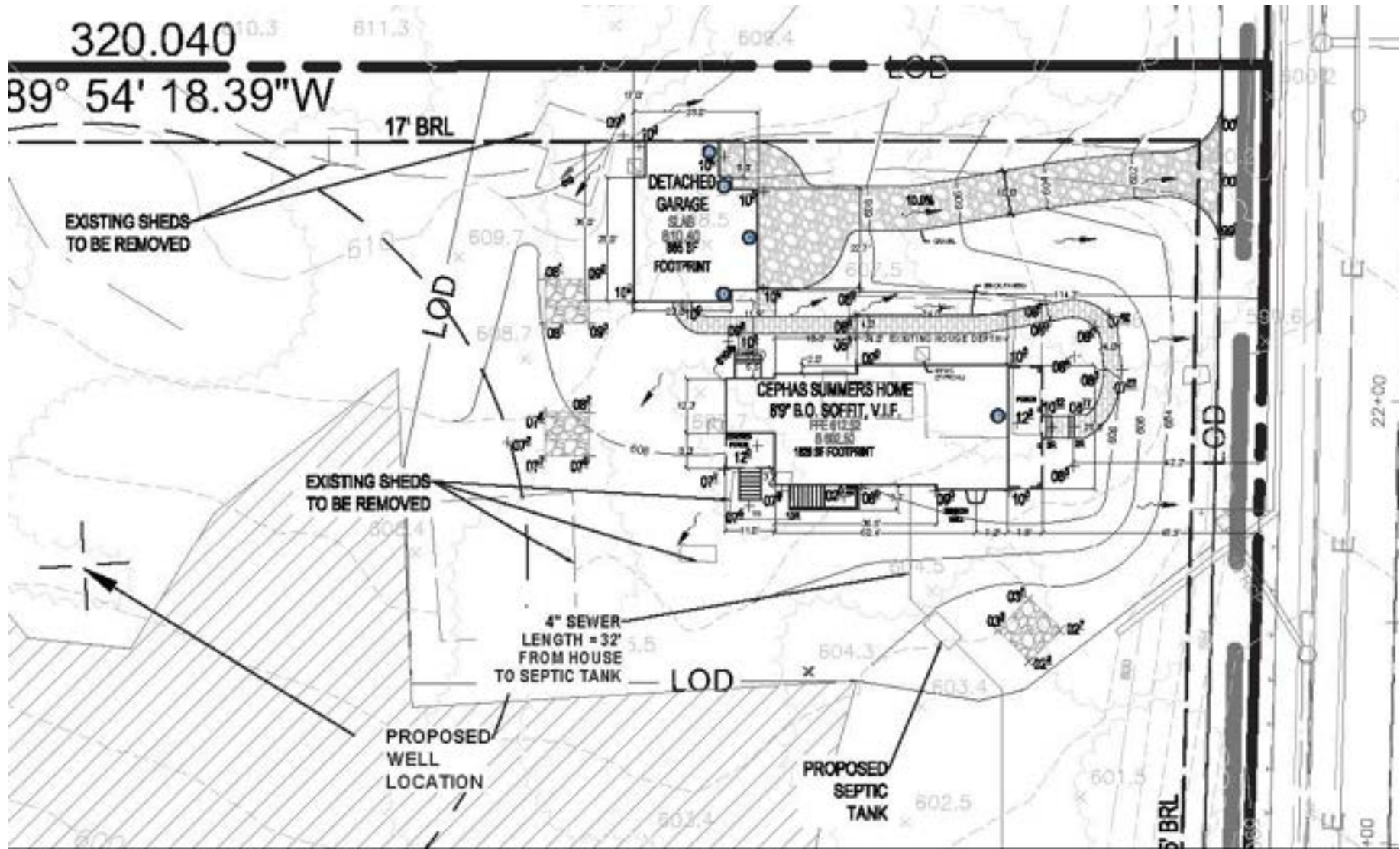


Figure 2. The cropped Resite and Lot Grading Plan included as part of this submission. The area between the front porch and property line along Clarksburg Road will be regraded and walkway will be added.

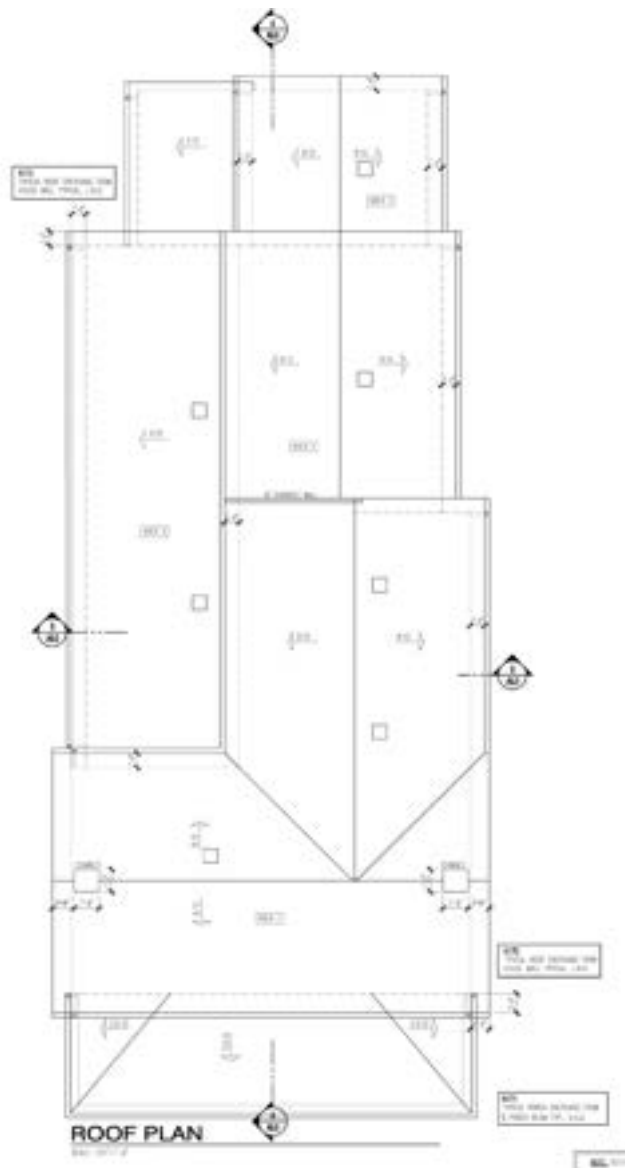


Figure 3: The roof plan provided as part of this submission. The location of the chimneys has been slightly altered from the previously approved shown on Figure 4, and gutters have been added.



Figure 5: The left side elevation on January 11, 2024.

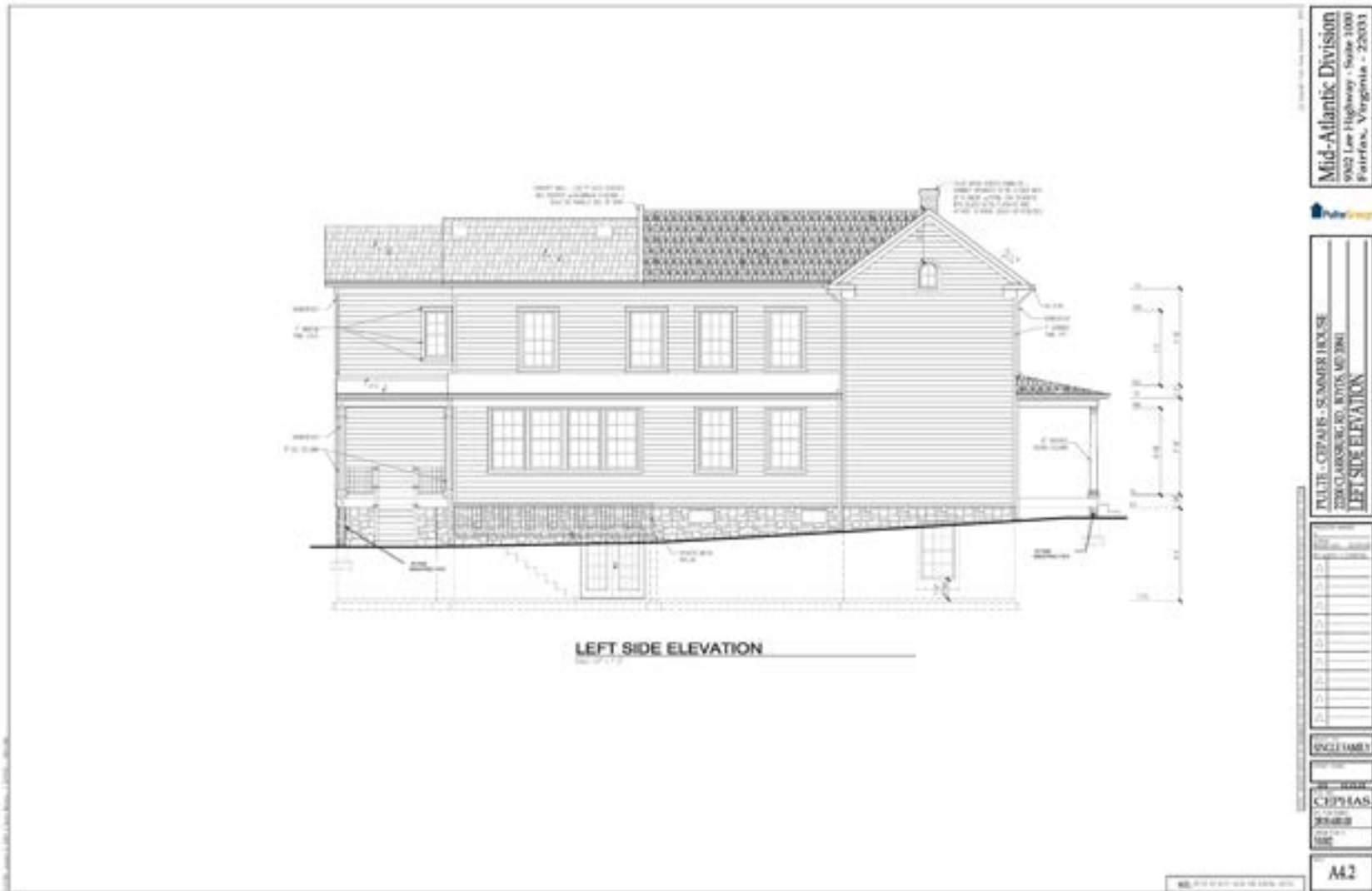


Figure 6: The left-side elevation provided as part of this submission. Changes include regrading and the addition of gutters and downspouts; the roof parapet wall; wrapped porch posts; basement vinyl hopper windows; and porch railing.

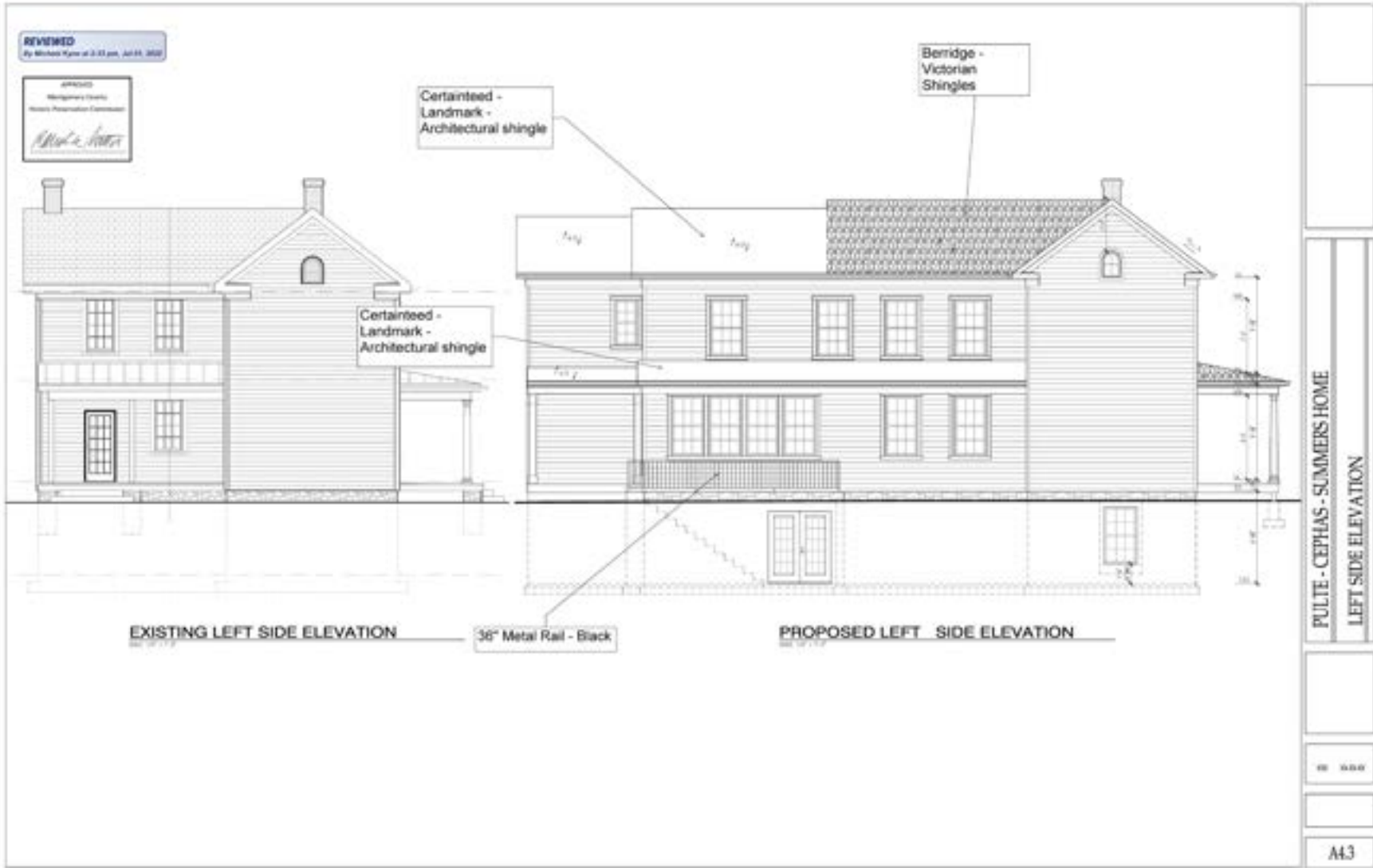


Figure 7: The previously approved left-side elevation.



Figure 8: The right-side elevation on January 11, 2024.



Figure 9: The right-side elevation provided as part of this submission. Changes include new grading and the addition of gutters and downspouts; wrapped porch posts, basement vinyl hopper windows, and an HVAC condenser.



Figure 10: The previously approved right-side elevation.



Figure 11: The front elevation on January 11, 2024. Note that fill dirt will be added to reduce the distance from the porch floor to ground to 30 inches or less so no railing is required, and the posts supporting the porch flooring will be wrapped in stone to match the foundation.



Figure 12: The site will be regraded near the front porch to approximate the grading shown in this archival photo of the Cephas Summers House.

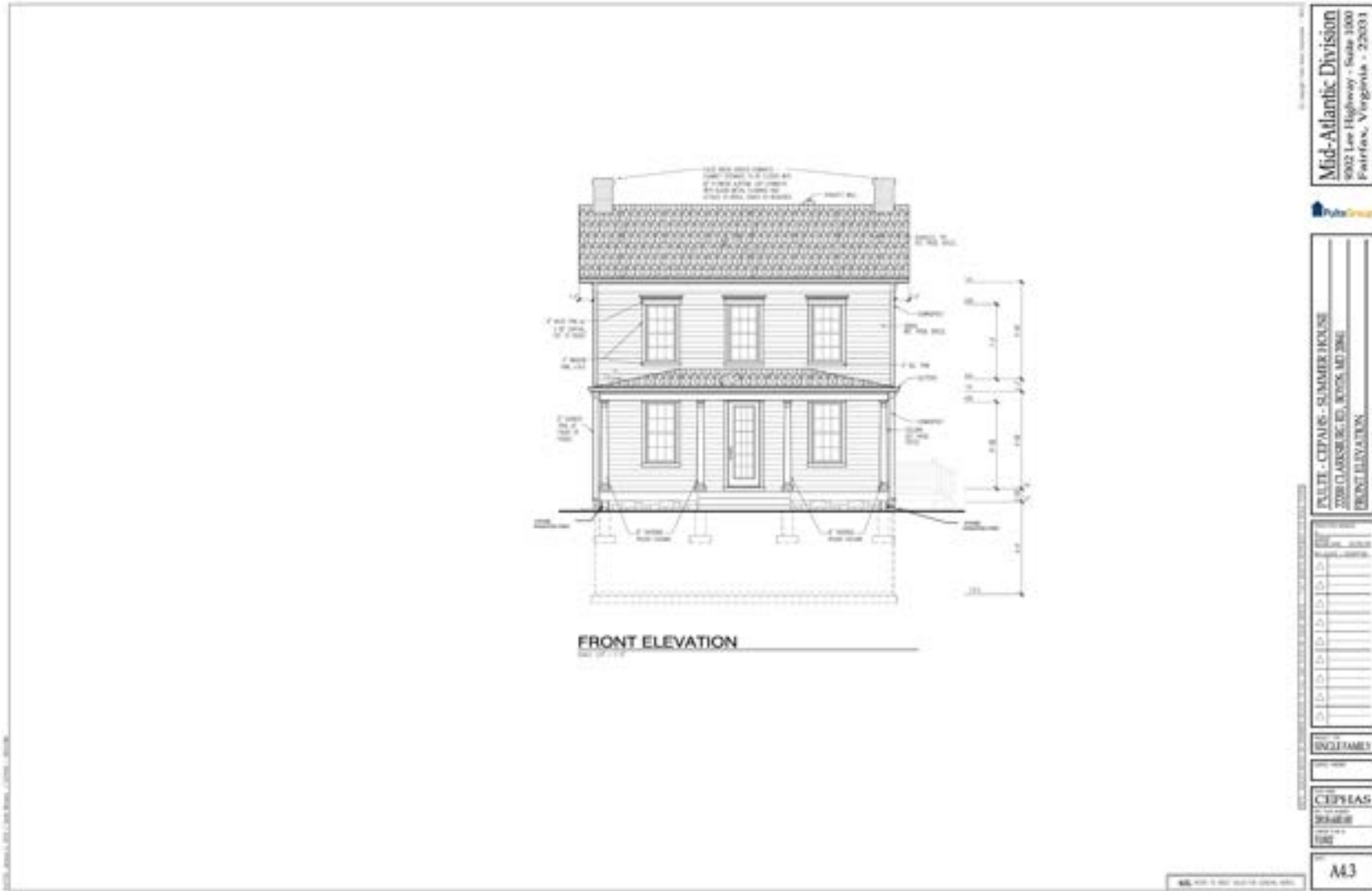


Figure 13: The front elevation provided as part of this submission. Changes include regrading; revisions to the locations of the chimneys; and the addition of gutters and downspouts and wrapped porch posts.

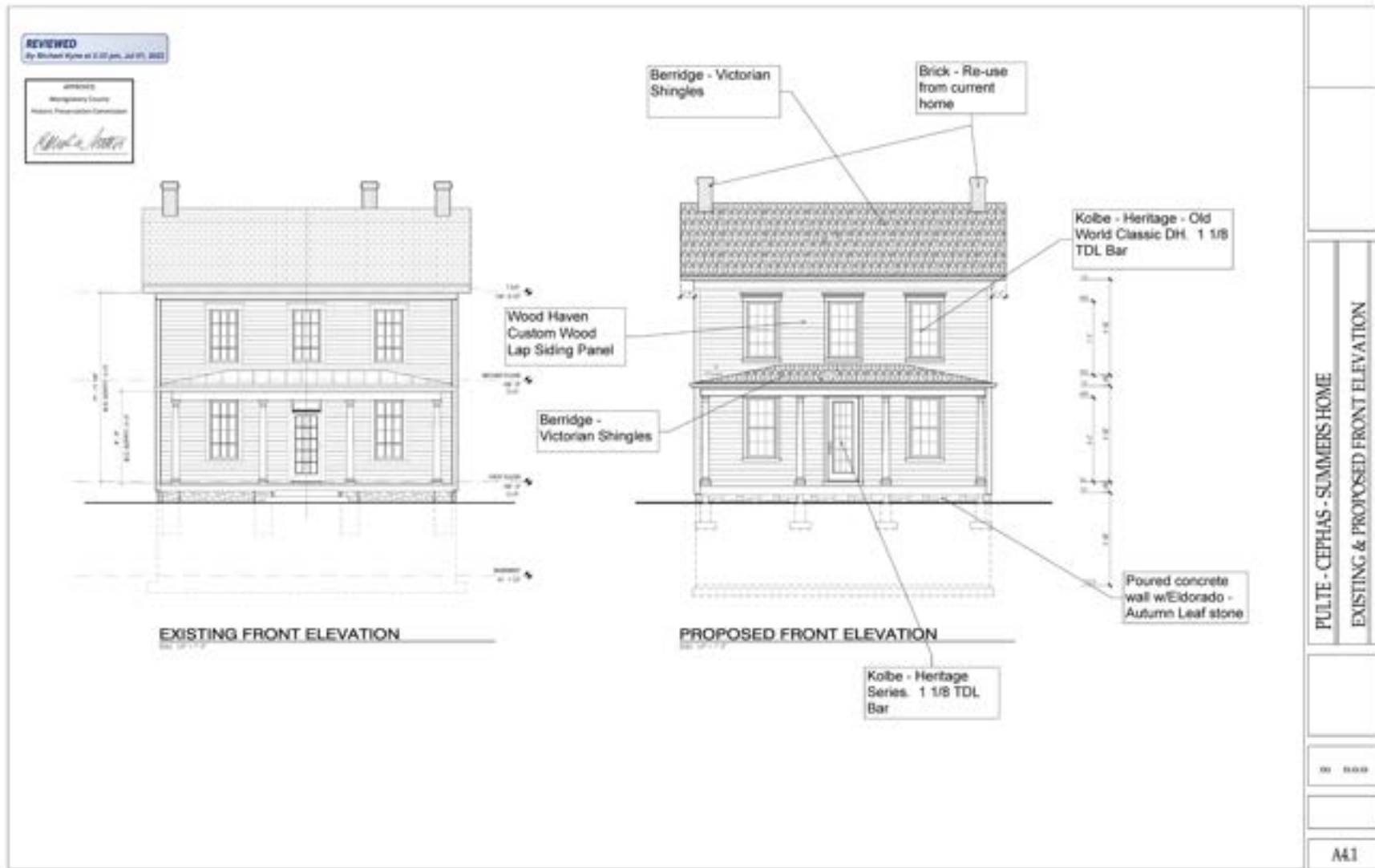


Figure 14: The previously approved front elevation.



Figure 15: The rear elevation on January 11, 2024.



Figure 16: The rear elevation provided as part of this submission. Changes include regrading and the addition of gutters and downspouts; roof vents; porch railings, wrapped porch posts, and an HVAC condenser.

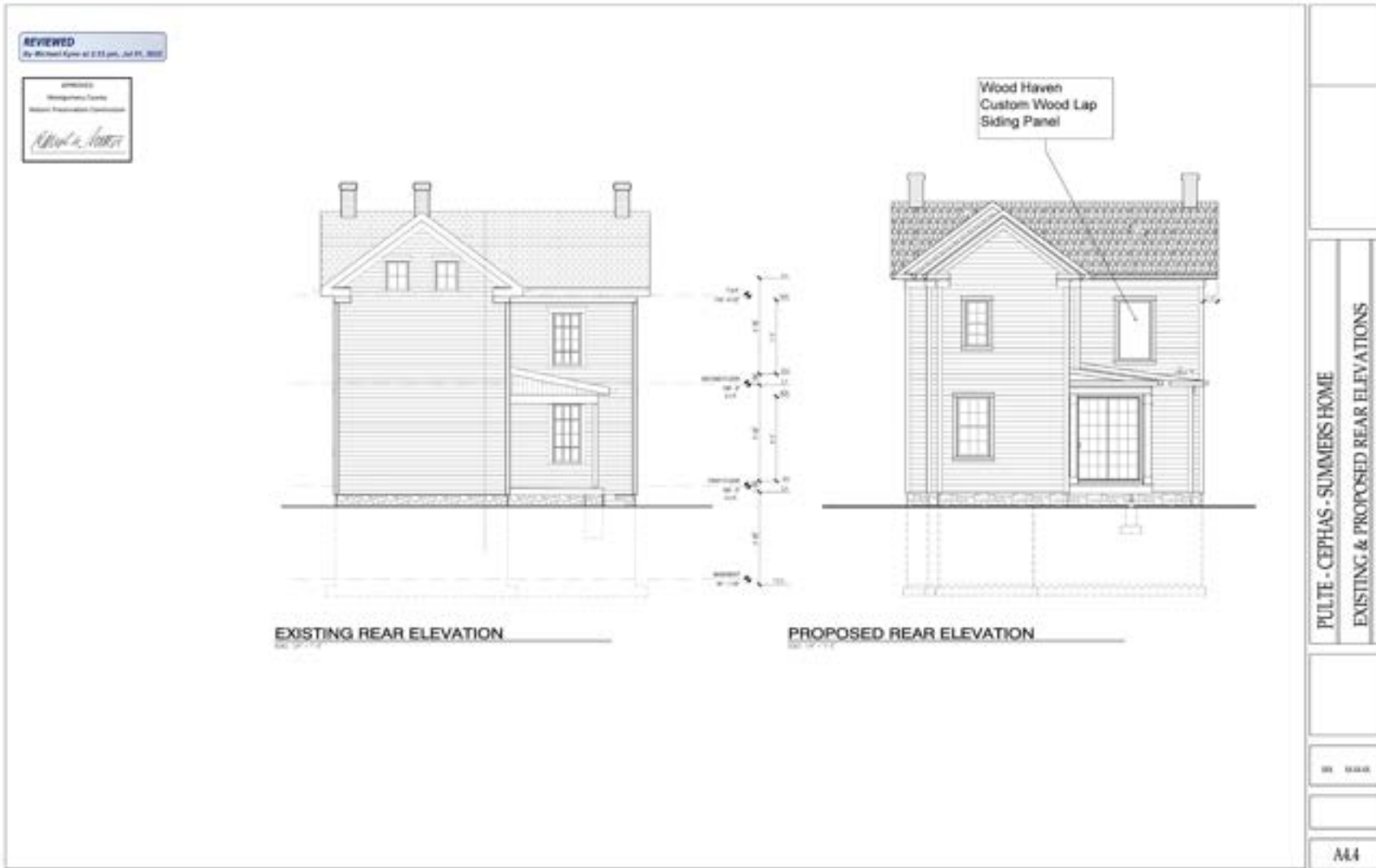


Figure 17: The previously approved rear elevation.



Figure 18: The front elevation of the garage on January 11, 2024.



Figure 19: The left side of the garage on January 11, 2024.



Figure 20: The rear of the garage on January 11, 2024.



Figure 21: The right side of the garage on January 11, 2024.

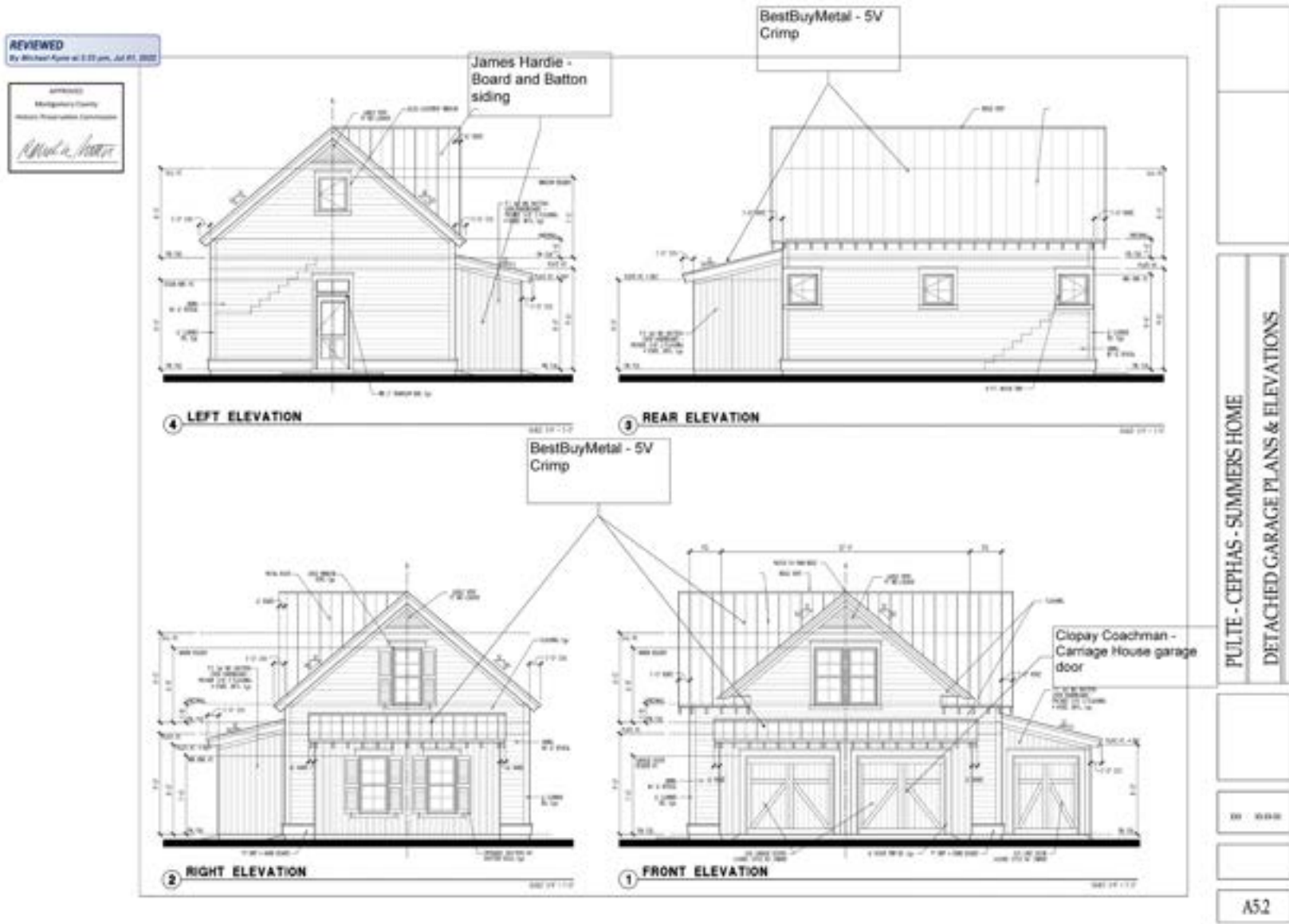


Figure 23: The previously approved garage elevations.



Boman Kemp 4040 Basement Window System Specification Sheet

Components	Model #	Notes
Easy-Buck	4040 (48" x 48")	Pour in place frame
Easy-Well	5236-60"	Corrugated well
Vinyl Window	4040	Insulated double pane
Safety Grate	5236	Sits atop the well for fall in protection
Grate Cover	5236	Keeps debris from entering well from top
Escape Ladder	4'-0"	Permanently attaches for emergency escape



Figure 24: The specifications for the basement window wells.



- All vinyl mainframe and sashes provide a structural base with no maintenance;
- Steel reinforcement in header profile for added structural strength;
- Strategically designed multi-chambered mainframe profiles allowing for added thermal performance;
- 6 degree sloped frame sill providing proper water drainage;
- Window frame includes a wood buck support and plastic UV film on both sides of the window allowing for better structural support during the concrete pour and protection on job sites;
- Sash (glass) installed in the window prior to applying the wood buck and protective film;
- Frame extensions available at 1" and 2";
- Fully tested and certified for NAFS, NFRC and AAMA qualifications.

Figure 25: The specifications for the installed basement vinyl hopper windows.

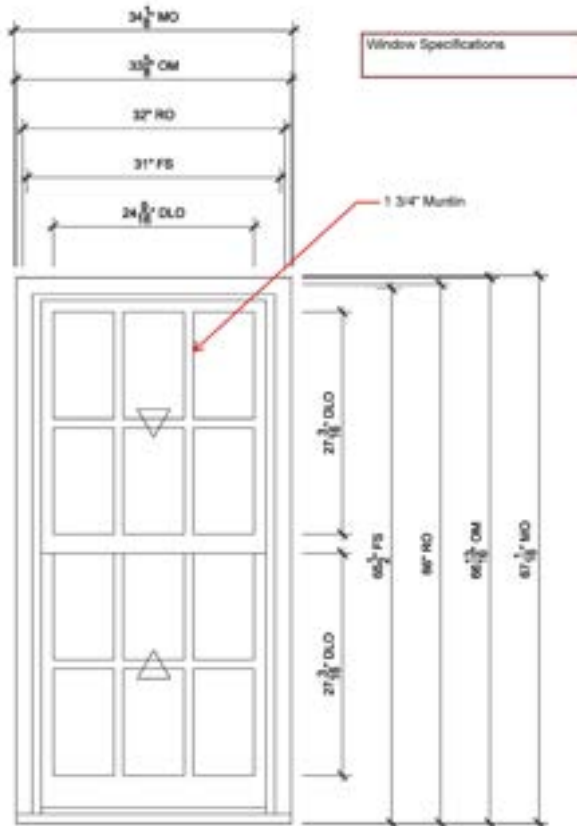


Figure 26: The specifications for the installed windows.

on select all wood windows.

Authentic Divided Lite (ADL)



Separate pieces of glass are glazed between muntin bars - the way windows have been made since the beginning but with Marvin's updated design to increase energy efficiency.

Grilles-between-the-Glass (GBGs)



Grilles are permanently installed between the glass panes for a low-maintenance, smooth exterior and easy cleaning. Choose from 6 exterior colors and 3 interior colors.

Authentic Divided Lite (ADLs) on the façade of the house and exterior muntins on the remaining SDLs throughout

Figure 27: The specifications for the installed authentic divided lite windows.

Capanna™ 16" 1 Light Wall Light Textured Black 490269KT

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SPECIFICATIONS **Rear and sides**

Certifications/Qualifications
www.hunterdouglas.com/cecc0202

Dimensions

Base Backplate	5.50" X 8.25"
Extension	12.00"
Weight	7.10 LBS
Height from center of Wall opening (Spec Sheet)	2.25"
Height	16.00"
Width	10.50"

Light Source

Dimmable	Yes
Lamp Included	Not Included
Lamp Type	A19
Light Source	Incandescent
Max or Nominal Watt	100.00
# of Sub-LED Modules	1
Socket Type	Medium
Socket Wire	100"

Mounting/Installation

Interior/Exterior	Exterior
Location Rating	Wet
Mounting Weight	3.90 LBS

FIXTURE ATTRIBUTES

Housing


Diffuser Description	Clear Water
Primary Material	ALUMINUM
Shade Dimensions	7.00" SQ X 12.00"

Product/Ordering Information

SKU	490269KT
Finish	Textured Black
Style	Transitional
UPC	76307540438

Finish Options

- Old Bronze
- Textured Black



ALSO IN THIS FAMILY



Figure 28: The specifications for the lighting.

Gutters and Downspouts

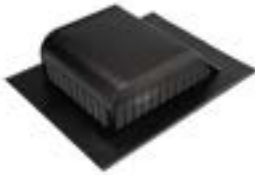


- Manufacture: Central Aluminum
- Size: 5" kstyle with 2x3 (Gauge .027 gutter and .019 for downspouts) / 6" kstyle with 3x4 (Gauge .032 gutter and .019 for downspouts)
- Material: Aluminum with Zinc screws (color to match gutter color)

Figure 29: The specifications for the gutters and downspouts.

Static Roof Vents

Lomanco® 700 Series Slant Back



- Designed to prevent roof discoloration.
- Three sides tapered for greater air flow.
- Embossed aluminum finishes for added strength, extended paint life, and blending appearance with shingles.
- 700 has neoprene damper for use as kitchen/bathroom exhaust vent.
- 730 is a smaller version of a 750 and included in the EVA Combi vent package.
- 750-E is a 750 with an extended flange size.
- 750-ES is a 750 with an extended flange size and provides enhanced weather protection.
- 750-S, heavy duty galvanized steel construction.
- 750-GS, provides enhanced weather protection.
- 750-QES, heavy duty galvanized steel construction and provides enhanced weather protection.
- 750-S provides enhanced weather protection.
- Lifetime Limited Warranty – 750 Series.
- 770 is larger version of a 750.
- 770-Q is a twin 770, off-ridge vent.

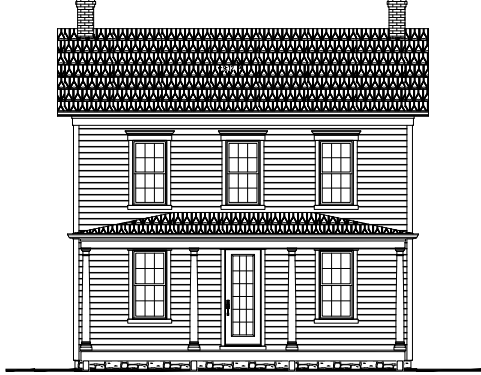
Figure 30: The specifications for the roof vents.



Figure 31: The specifications for the handrails and balusters.

Addendum 1
Staff Comments Emailed to Applicants 12.5.23

ATTACHMENT #3

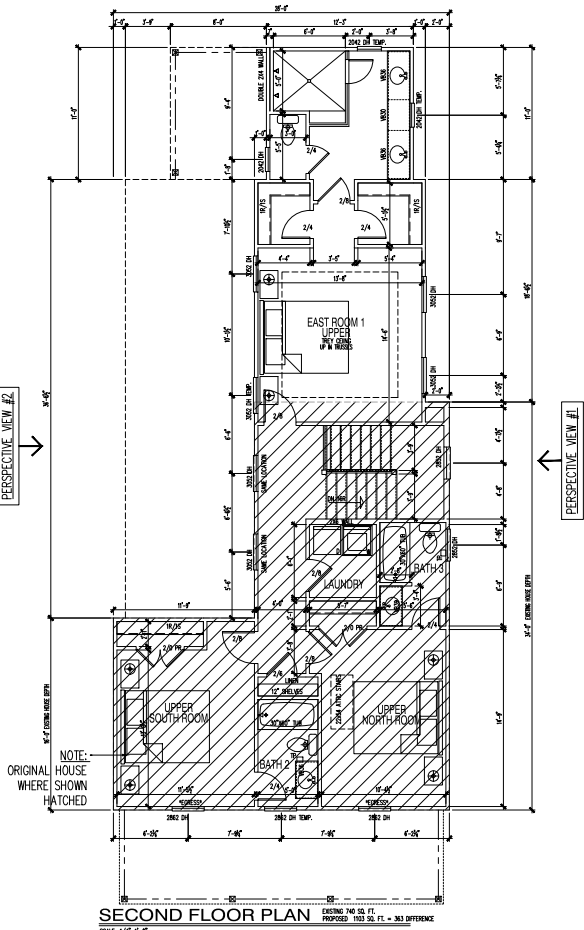
DESCRIPTION OF WORK/SITE INFORMATION	DRAWING INDEX	
<p style="text-align: center;">NEW SINGLE FAMILY RESIDENCE</p> 	<p>CS.01 GENERAL NOTES AND COVER SHEET A01 BASEMENT & FIRST FLOOR PLANS A1.1 SECOND FLOOR & ROOF PLANS WALL BRACING & HEADERS A4.1 EXISTING & PROPOSED FRONT ELEVATIONS A4.2 RIGHT SIDE ELEVATION A4.3 LEFT SIDE ELEVATION A4.4 EXISTING & PROPOSED REAR ELEVATIONS A5.1 DETACHED GARAGE PLANS & ELEVATIONS A5.2 DETACHED GARAGE PLANS & ELEVATIONS</p>	
<p>As part of the revised HAWP, the applicant shall submit a site plan and specifications for all hardscaping, driveways, paths, etc. Staff recommends that the driveway be gravel and the paths brick. The applicant should avoid the use of concrete. ¹</p>		<p style="writing-mode: vertical-rl; transform: rotate(180deg);">MMERS HOME SPECIFICATIONS</p>
	<p>BUILDING ADDRESS PROPERTY ADDRESS PULTE OSES LARSON ROAD GERANTON D</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">PULTE - CEPHA GENERAL NOT</p>

Staff's Comments for Cephas Summers (House)

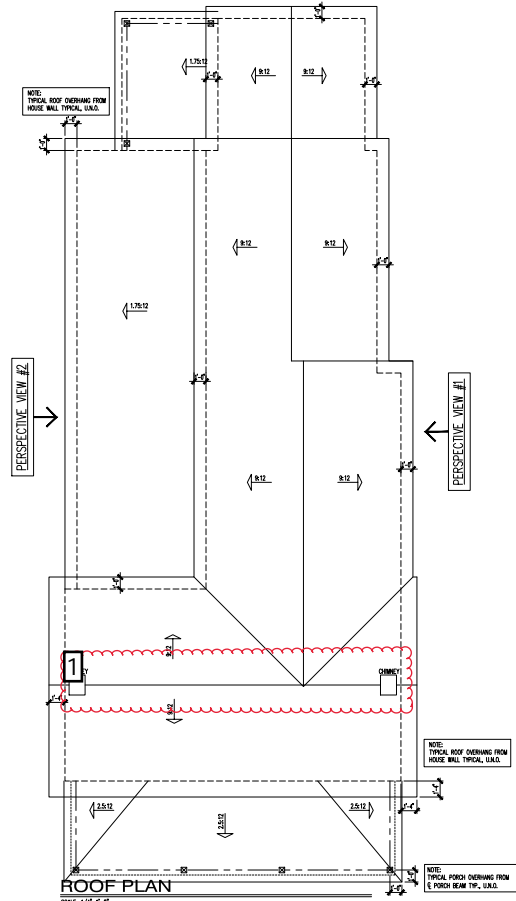
Page: 1

 Number: 1 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:06:47 AM

As part of the revised HAWP, the applicant shall submit a site plan and specifications for all hardscaping, driveways, paths, etc. Staff recommends that the driveway be gravel and the paths brick. The applicant should avoid the use of concrete.



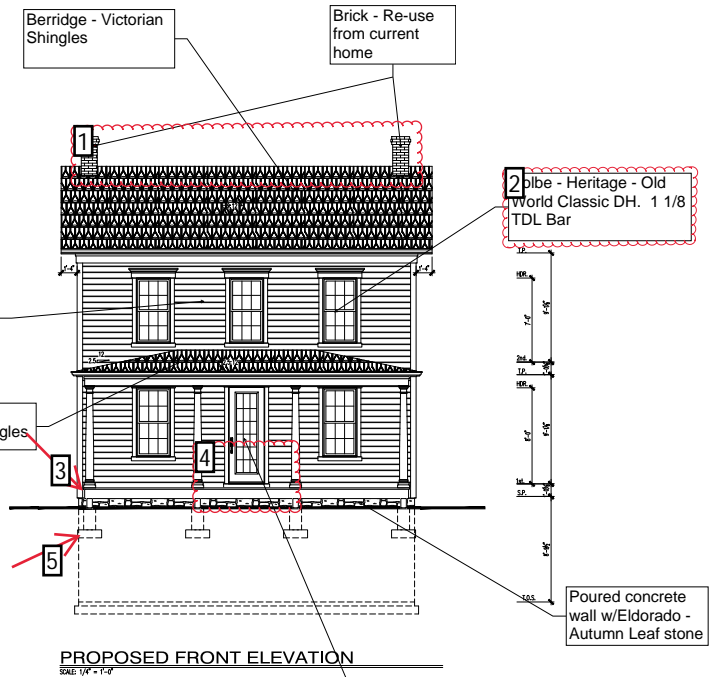
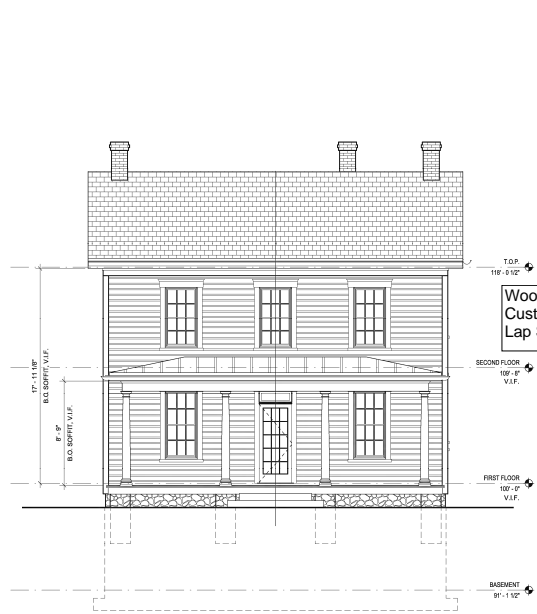
NOTE: FINAL FLOOR PLAN LAYOUT IS SUBJECT TO CHANGE DUE TO MARKET CONDITIONS AND LAYOUT IMPROVEMENT. NO CHANGE IN THE BUILDING FOOTPRINT OR EXTERIOR FINISHES WILL CHANGE FINAL EXTERIORS ARE APPROVED.



NOTE: FINAL FLOOR PLAN LAYOUT IS SUBJECT TO CHANGE DUE TO MARKET CONDITIONS AND LAYOUT IMPROVEMENT. NO CHANGE IN THE BUILDING FOOTPRINT OR EXTERIOR FINISHES WILL CHANGE FINAL EXTERIORS ARE APPROVED.



As part of the revised HAWP, the applicant will submit documentation (drawing/photographs) for the relocation of the rebuilt chimneys. Please include the distance from the rake/edge of the roof to the chimney. Include a written narrative that outlines the structural reasons for their current position.



Berridge - Victorian Shingles

Brick - Re-use from current home

2 Pipe - Heritage - Old World Classic DH. 1 1/8 TDL Bar

Wood Haven Custom Wood Lap Siding Panel

Berridge - Victorian Shingles

Poured concrete wall w/Eldorado - Autumn Leaf stone

Kolbe - Heritage Series. 1 1/8 TDL Bar

6 As part of the revised HAWP, include locations and specifications for all lighting.

7 As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

PULTE - CEPHAS - SUMMERS HOME	
EXISTING & PROPOSED FRONT ELEVATION	
6	XXX XXX-XX
7	
A4.1	

 Number: 1 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:00 AM

As part of the revised HAWP, the applicant will submit documentation (drawing/photographs) for the relocation of the rebuilt chimneys. Please include the distance from the rake/edge of the roof to the chimney. Include a written narrative that outlines the structural reasons for their current position.

 Number: 2 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:13 AM

As part of the revised HAWP, the applicant will submit revised specifications and photographs that show the 1 3/4" muntin width of the installed window.

 Number: 3 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:17 AM

The applicant will remove the installed TREX and install wood, tongue-and-groove, porch flooring. The floor should run perpendicular to the house.

 Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:22 AM

As part of the revised HAWP, the applicant will submit revised drawings that show the design and specifications of the porch including all balustrades, railings, stair (including material of treads/risers), and posts at the stair landing. Staff recommends that the stair rail attaches directly to the existing columns. All profiles should be simple.

 Number: 5 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:26 AM

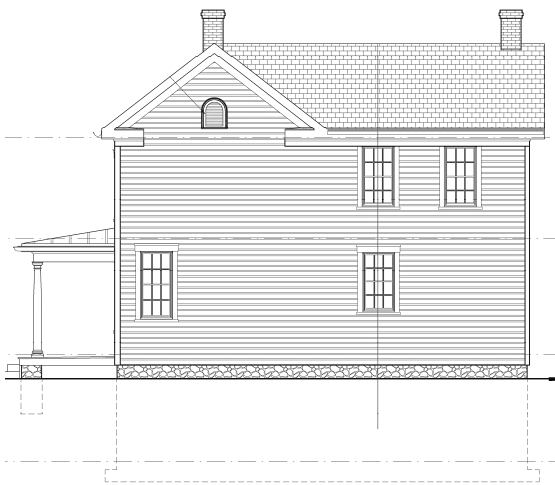
As part of the revised HAWP, the applicant will submit revised drawings that show the final grade, height of the porch floor, and pier foundation/posts. Staff recommends that the pier foundation/posts be clad with stone. Please include a written narrative about the final grade (code compliance, etc.).

 Number: 6 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:07:31 AM

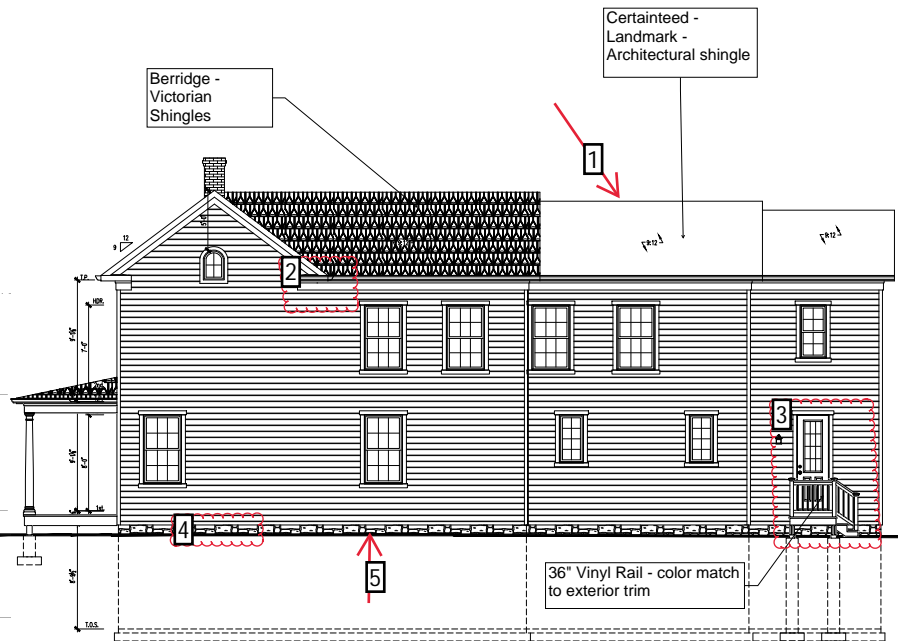
As part of the revised HAWP, include locations and specifications for all lighting.

 Number: 7 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:07:44 AM

As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.



EXISTING RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

As part of the revised HAWP, include locations and specifications for all lighting.

As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

PULTE - CEPHAS - SUMMERS HOME
RIGHT SIDE ELEVATION

XXX XXX-XX

A4.2

 Number: 1 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:55 AM

As part of the revised HAWP, include specifications and locations of all ridge vents.

 Number: 2 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:00 AM

As part of the revised HAWP, submit documentation (photographs) that show the as-built condition of the roof/cornice. If known, include a narrative that explains the discrepancy between approved and as-built condition.

 Number: 3 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:04 AM

As part of the revised HAWP, submit revised drawings that show the proposed change to the orientation of the stair.

 Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:09 AM


As part of the revised HAWP, submit a detailed drawing/specification that shows the transition between the stone veneer foundation and siding.

 Number: 5 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:08:13 AM

As part of the revised HAWP, include the location and specifications for all foundation-level windows.

 Number: 6 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:08:21 AM

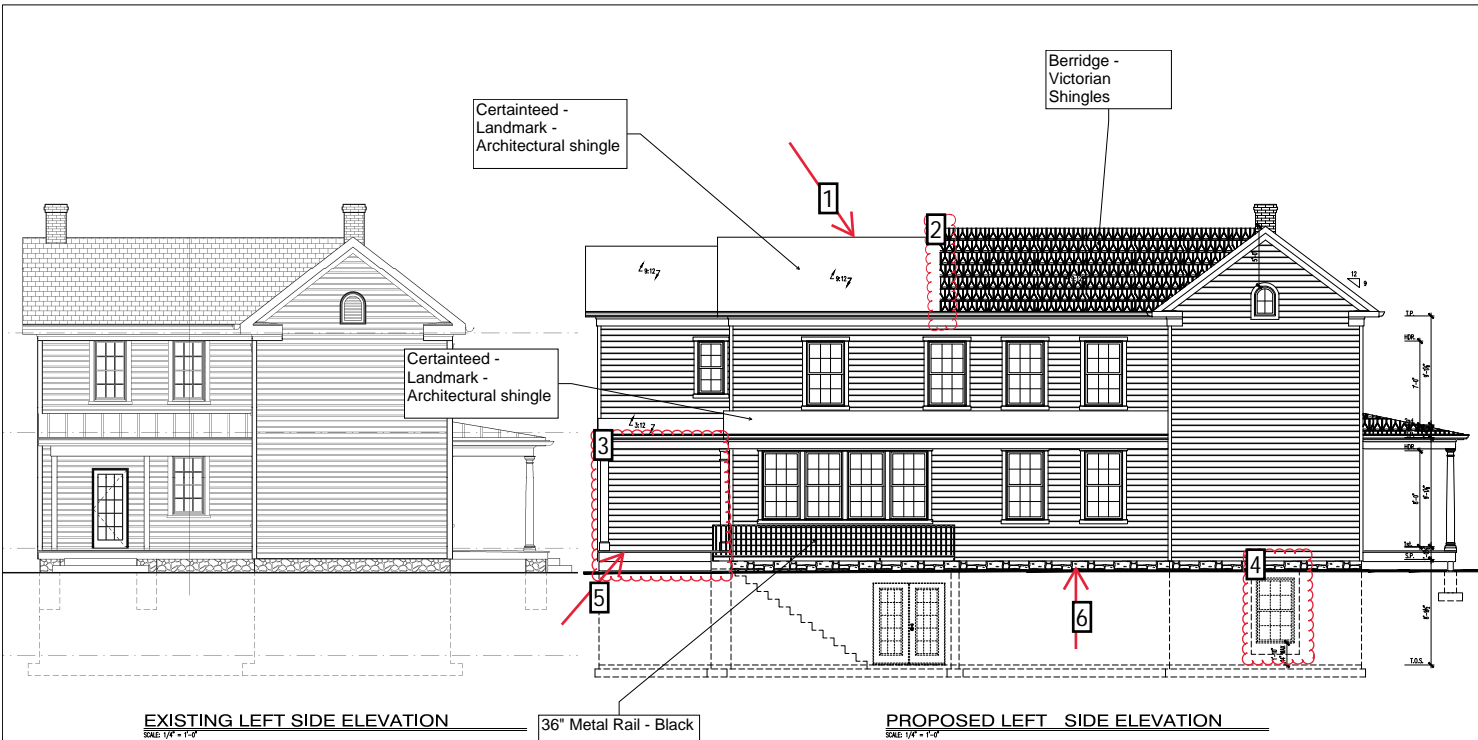
As part of the revised HAWP, include locations and specifications for all lighting.

 Number: 7 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:08:25 AM

As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

 Number: 8 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:08:30 AM

As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.



Certainteed - Landmark - Architectural shingle

Berridge - Victorian Shingles

Certainteed - Landmark - Architectural shingle

EXISTING LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

36" Metal Rail - Black

7 As part of the revised HAWP, include the specifications and locations and specifications for all lighting.

8 As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

9 As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

PULTE - CEPHAS - SUMMERS HOME
LEFT SIDE ELEVATION

XXX XXX-XX

A4.3

 Number: 1 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:08:35 AM

As part of the revised HAWP, include specifications and locations of all ridge vents.

 Number: 2 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:41 AM

As part of the revised HAWP, submit specifications/drawings for the curb/parapet separating the stamped tin and asphalt shingle roofs.

 Number: 3 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:08:46 AM

As part of the revised HAWP, the applicant will submit revised drawings that show the design and specifications of the rear porch including all balustrades, railings, stair (including material of treads/risers), posts at the stair landing, and treatment of the pier foundations/posts. Staff recommends that all profiles should be simple.

 Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:09:35 AM

As part of the revised HAWP, the applicant will submit drawings/specifications for the window well.

 Number: 5 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:09:40 AM

The applicant will remove the installed TREX and install wood, tongue-and-groove, porch flooring. The floor should run perpendicular to the house.

 Number: 6 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:09:44 AM

As part of the revised HAWP, the applicant shall submit the location and specifications for all foundation-level windows.

 Number: 7 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:09:48 AM

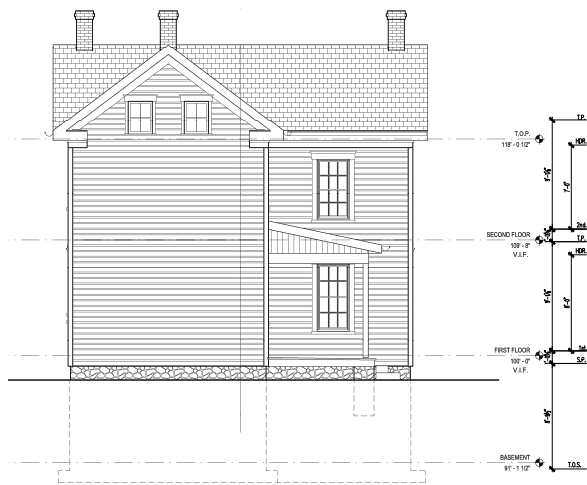
As part of the revised HAWP, include locations and specifications for all lighting.

 Number: 8 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:09:52 AM

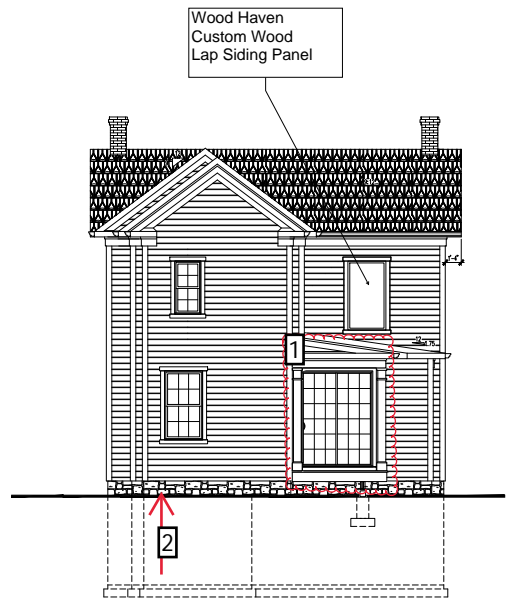
As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

 Number: 9 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:09:58 AM

As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.



EXISTING REAR ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/8" = 1'-0"


As part of the revised HAWP, include the specifications and locations and specifications for all lighting.

As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

 Number: 1 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:10:11 AM

For staff comments on rear porch, see Sheet A4.3.

 Number: 2 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:10:15 AM

As part of the revised HAWP, the applicant shall submit the location and specifications for all foundation-level windows.

 Number: 3 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:19 AM

As part of the revised HAWP, include locations and specifications for all lighting.

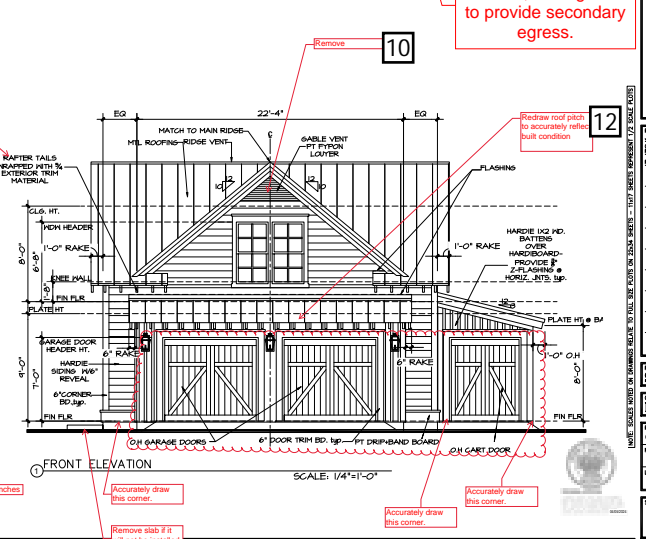
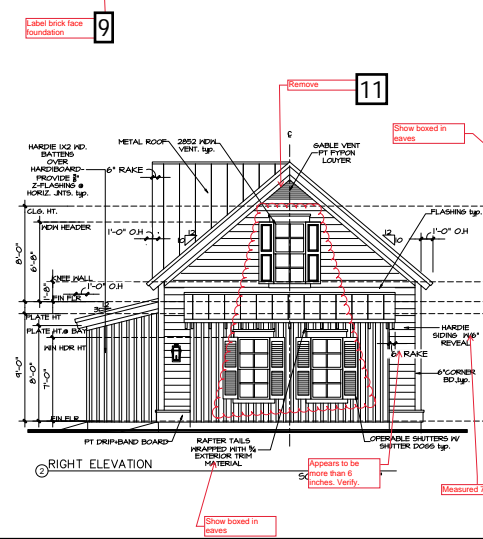
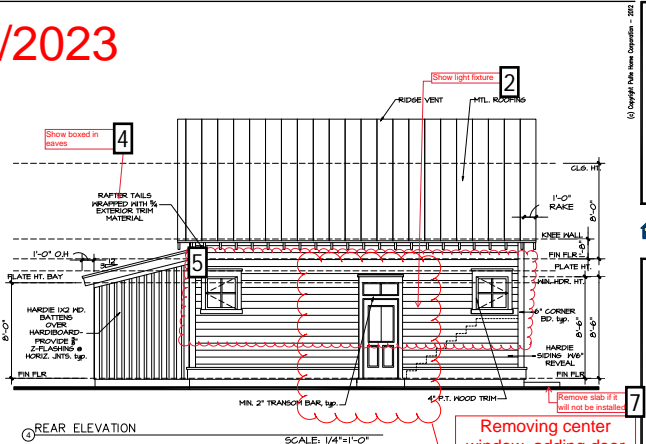
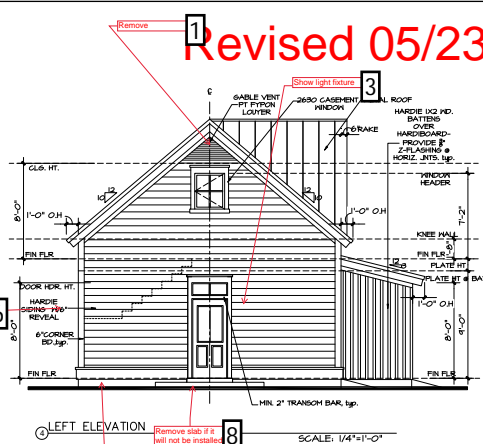
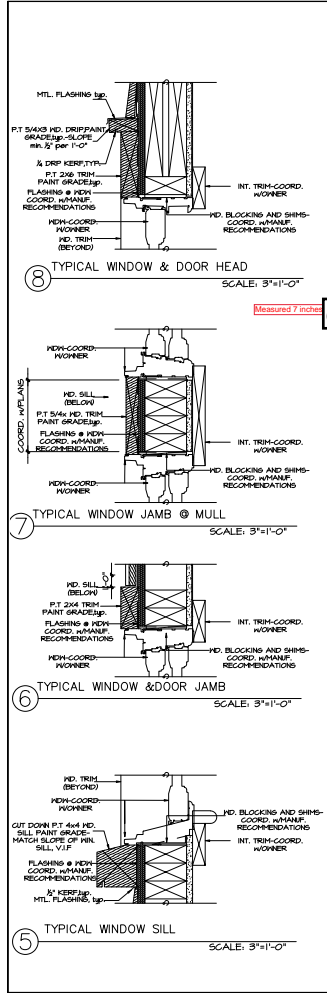
 Number: 4 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:23 AM

As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

 Number: 5 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:29 AM

As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

1 Revised 05/23/2023



Removing center window, adding door to provide secondary egress.

Mid-Atlantic Division
10600 Arrowhead Drive - Suite 225
Fairfax, Virginia 22030-7326

Pubco Group

CEPHAS

PROJECT: THE CRISLES FAMILY
100 PLAN NUMBER
1000 DETACHED


CEPHAS

1000 PLAN 9

62

Staff's Comments for Cephas Summers (Garage)

Page: 1

 Number: 1 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:00:53 AM

As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions.

 Number: 2 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:41 AM

As part of the revised HAWP, show the location and specifications for all light fixtures.

 Number: 3 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:46 AM

As part of the revised HAWP, show the location and specifications for all light fixtures.

 Number: 4 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:53 AM

As part of the revised HAWP, amend the drawing/notes to show boxed-in eaves.

 Number: 5 Author: Christopher.Berger Subject: Polygon Date: 12/5/2023 8:02:03 AM

As part of the revised HAWP, accurately show all 3 windows on the rear elevation.

 Number: 6 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:19 AM

As part of the revised HAWP, submit an amendment for the siding (7" exposure instead of 6" exposure).

 Number: 7 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:24 AM

As part of the revised HAWP, remove the slab if it will not be installed.

 Number: 8 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:31 AM

As part of the revised HAWP, remove the slab if it will not be installed.

 Number: 9 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:41 AM

As part of the revised HAWP, label and submit specifications for the brick veneer on the foundation.

 Number: 10 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:46 AM

As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions.

 Number: 11 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:53 AM

As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions.

 Number: 12 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:57 AM

As part of the revised HAWP, amend the roof to reflect the as-built condition (if needed).

Comments from page 1 continued on next page

Revised 05/23/2023

8 TYPICAL WINDOW & DOOR HEAD
SCALE: 3/4"=1'-0"

7 TYPICAL WINDOW JAMB @ MULL
SCALE: 3/4"=1'-0"

6 TYPICAL WINDOW & DOOR JAMB
SCALE: 3/4"=1'-0"

5 TYPICAL WINDOW SILL
SCALE: 3/4"=1'-0"

1 LEFT ELEVATION
SCALE: 1/4"=1'-0"

2 REAR ELEVATION
SCALE: 1/4"=1'-0"

3 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

4 FRONT ELEVATION
SCALE: 1/4"=1'-0"

13 Show boxed in eaves

14 Remove slab if it will not be installed

15 Remove slab if it will not be installed

16 Appears to be more than 6 inches. Verify.

17 Accurately draw this corner.

18 Remove slab if it will not be installed

19 Accurately draw this corner.

20 Accurately draw this corner.

21 Show boxed in eaves

22 Remove slab if it will not be installed

Remove window, adding door to provide secondary egress.

Remove slab if it will not be installed

Redraw roof pitch to accurately reflect built condition

Mid-Atlantic Division
10600 Arrowhead Drive - Suite 225
Fairfax, Virginia 22030-7326



CEPHAS

PRODUCTION MANAGER

DATE: 05/23/2023

BY: JLM / BJS/BJM

DATE: 05/23/2023

PROJECT: THE SCOTTS FAMILY

TYPE: DETACHED

CEPHAS

10/18/2019

62

- Number: 13 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:02 AM
As part of the revised HAWP, amend the drawing/notes to show boxed-in eaves.
- Number: 14 Author: Christopher.Berger Subject: Polygon Date: 12/5/2023 8:03:06 AM
Staff recommends that the applicant omit all shutters on the right elevation. Of note, the approved plans call for "operable shutters with shutter dogs." Therefore, if installed, the shutters should not be bolted to the siding.
- Number: 15 Author: Christopher.Berger Subject: Polygon Date: 12/5/2023 8:03:12 AM
As part of the revised HAWP, change the design of the door to the as-built/approved door or add a note.
- Number: 16 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:16 AM
As part of the revised HAWP, field verify and amend the dimensions of the rake (if needed).
- Number: 17 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:22 AM
As part of the revised HAWP, amend the elevations to reflect the as-built condition.
- Number: 18 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:26 AM
As part of the revised HAWP, submit an amendment for the siding (7" exposure instead of 6" exposure).
- Number: 19 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:30 AM
As part of the revised HAWP, amend the elevations to reflect the as-built condition.
- Number: 20 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:34 AM
As part of the revised HAWP, amend the elevations to reflect the as-built condition.
- Number: 21 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:38 AM
As part of the revised HAWP, amend the drawing to show boxed-in eaves.
- Number: 22 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:03:43 AM
As part of the revised HAWP, remove the slab if it will not be installed.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



CEPHAS SUMMER HOUSE

22200 CLARKSBURG RD.
BOYDS, MD 20841

Mid-Atlantic Division

APPLICABLE DESIGN CODES

International Residential Code 2018 Edition
International Energy Conservation Code - 2018

Architect

BUILDING LOADS

Reference structural cover sheet for Structural Building Loads

STRUCT. ENGINEER

BUILDING CRITERIA

HEIGHT LIMITATION:
3 Story Maximum
EMERGENCY ESCAPE:
Egress or rescue windows from sleeping rooms Shall have a minimum area of 5.7 sq. ft.
GARAGE/HOUSE CLG./ WALL ASSEMBLY:
1/2" Gypsum Board or (1) Layer of 5/8" type 'X' gypsum board if required by code at the wall and ceiling, w/ 20 min. garage/house door
INTERIOR STAIR PROTECTION:
(1) Layer of 1/2" Gypsum board to all surfaces in accessible area
REQUIRED FIRE SPRINKLERS:
Building shall be equipped with sprinklers throughout according to NFPA13D, as required by code.

NOTES

Reference sheet A0.02 for General Notes & Specifications

Mid-Atlantic Division
9302 Lee Highway - Suite 1000
Fairfax, Virginia - 22031



DRAWING INDEX

SHEET NO.	SHEET DESCRIPTION
--- ARCHITECTURAL ---	
A0.01	ARCHITECTURAL COVER SHEET, ABBREVIATIONS
A0.02	SPECIFICATIONS AND GENERAL NOTES
A0.03	LIGHT AND VENTILATION SCHEDULE
A0.1	BASEMENT & FIRST FLOOR PLANS
A1.1	SECOND FLOOR & ROOF PLANS, WALL BRACING AND HEADERS
A4.1	RIGHT SIDE ELEVATION
A4.2	LEFT SIDE ELEVATION
A4.3	FRONT ELEVATION
A4.4	REAR ELEVATION
A6.0	BUILDING SECTIONS
G1	GARAGE-FLOOR PLANS
G2	GARAGE ELEVATIONS AND WINDOW DETAILS
G3	GARAGE BUILDING SECTION

ABBREVIATIONS

A.B.	ANCHOR BOLT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR	KSI	KIPS PER SQUARE INCH
A.S.F.	ABOVE SUBFLOOR	LI.	LIGHTWEIGHT
ADJ.	ADJACENT/ADJUSTABLE	LI.	LIGHT
A.F.T.	ABOVE FINISH TREAD	LI.	LAUNDRY TUB
ALUM.	ALUMINUM	MAS.	MASONRY
ANCH.	ANCHOR	MAT.	MATERIAL
∠	ANGLE	MAX.	MAXIMUM
ARCH.	ARCHITECTURAL	MDO.	MEDIUM DENSITY OVERLAY
⊙	AT	MECH.	MECHANICAL
BD.	BOARD	MIN.	MINIMUM
BLDG.	BUILDING	M.O.	MASONRY OPENING
BM	BEAM	MTL.	METAL
BTM	BOTTOM	N.I.C.	NOT IN CONTRACT
BLKG.	BLOCKING	(NTS)	NOT TO SCALE
BRG.	BEARING	O.C.	ON CENTER
BRK	BRICK	OPER.	OPERATOR
BSMT	BASEMENT	OPNG.	OPENING
C.J.	CONTROL JOINT	OPT.	OPTIONAL
CL	CENTER LINE	O.S.B.	ORIENTED STRAND BOARD
C.M.U.	CONCRETE MASONRY UNIT	OZ.	OUNCE
COL.	COLUMN	1/R	ONE ROD
CONC.	CONCRETE	1/S	ONE SHELF
COND.	CONDITION	PC	PRECAST
CONT.	CONTINUOUS	PBD.	PARTICLE BOARD
CONST.	CONSTRUCTION	P.E.	PER ELEVATION
CTS.	COUNTERSINK	PL	PLATE
C.O.	CASED OPENING	PND.	PLYWOOD
CANT.	CANTILEVER	PF.	PREFABRICATED
C.T.	CERAMIC TILE	PR.	PAIR
CLG.	CEILING	PROJ.	PROJECT / PROJECTED
C.M.	CROWN MOULD	PSI	POUNDS PER SQ. IN.
C.R.	CHAIR RAIL	PSF	POUNDS PER SQ.F.T.
D	DRYER	P.T.	PRESSURE TREATED
DBL.	DOUBLE	QUAD.	QUADRUPLE
DIA.	DIAMETER	REF.	REFER TO REFERENCE
DIR.	DIRECTION	RENF.	REINFORCED/REINFORCED
DN	DOWN	REQD.	REQUIRED
DR.	DOOR	RMS.	ROOMS
DW.	DISH WASHER	RNG.	RANGE
DWG.	DRAWING	R.O.	ROUGH OPENING
D.S.	DOWN SPOUT	R.	RISER
DTL.	DETAIL	RND.	ROUND
EA.	EACH	S.C.	SAWCUT
E.J.	EXPANSION JOINT	SCHEM.	SCHEMATIC
ELEC.	ELECTRICAL	SHLF.	SHELF
ELEV.	ELEVATION	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	S.S.	STAINLESS STEEL
EXP.	EXPANSION	STL.	STEEL
EXT.	EXTERIOR	STRUCT.	STRUCTURAL
EE.	EACH END	SUSP.	SUSPENSION
F/C	FLOOR COVERING CHANGE	SGD.	SLIDING GLASS DOOR
F.D.	FLOOR DRAIN	SQ.	SQUARE
FND.	FOUNDATION	TB	TOWEL BAR
FLR.	FLOOR	T & G	TONGUE AND GROOVE
FP	FIREPLACE	TGS	TOP OF GRADE SLAB
F.R.	FIRE RATED	TFW	TOP OF FOUNDATION WALL
FRM.	FRAME	TYP	TYPICAL
FT.	FOOT / FEET	T	TREAD
FTG.	FOOTING	TR	TOWEL ROD
GA.	GAUGE	TRPL.	TRIPLE
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
GEN.	GENERAL	V.L.F.	VERIFY IN FIELD
GYP.	GYP-SUM	W	WASHER
G.L.	GLUE LAM	W/	WITH
HWWR.	HARDWARE	WO.	WOOD
HD.WD.	HARDWOOD	W.W.F.	WELDED WIRE FABRIC
HGT.	HEIGHT	WG	W/O WALKOUT
HORIZ.	HORIZONTAL/HORIZONTALLY	WNO.	WINDOW
HR.	HOUR	INT.	INTERIOR
HDR.	HEADER	I.S.	INSIDE CORNER
HB	HOSE BIB		
I.D.	INSIDE DIAMETER		
INCR.	IN GROUND		
INSUL.	INSULATION		
INT.	INTERIOR		
I.S.	INSIDE CORNER		

PULTE - CEPHAS - SUMMER HOUSE
22200 CLARKSBURG RD., BOYDS, MD 20841

PRODUCTION MANAGER
CURRENT RELEASE DATE: XX/XX/XX
REV # | DATE | DESCRIPTION

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PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING

PLAN NAME
CEPHAS
NPC PLAN NUMBER
2818.600.00
LAWSON PLAN ID
51002

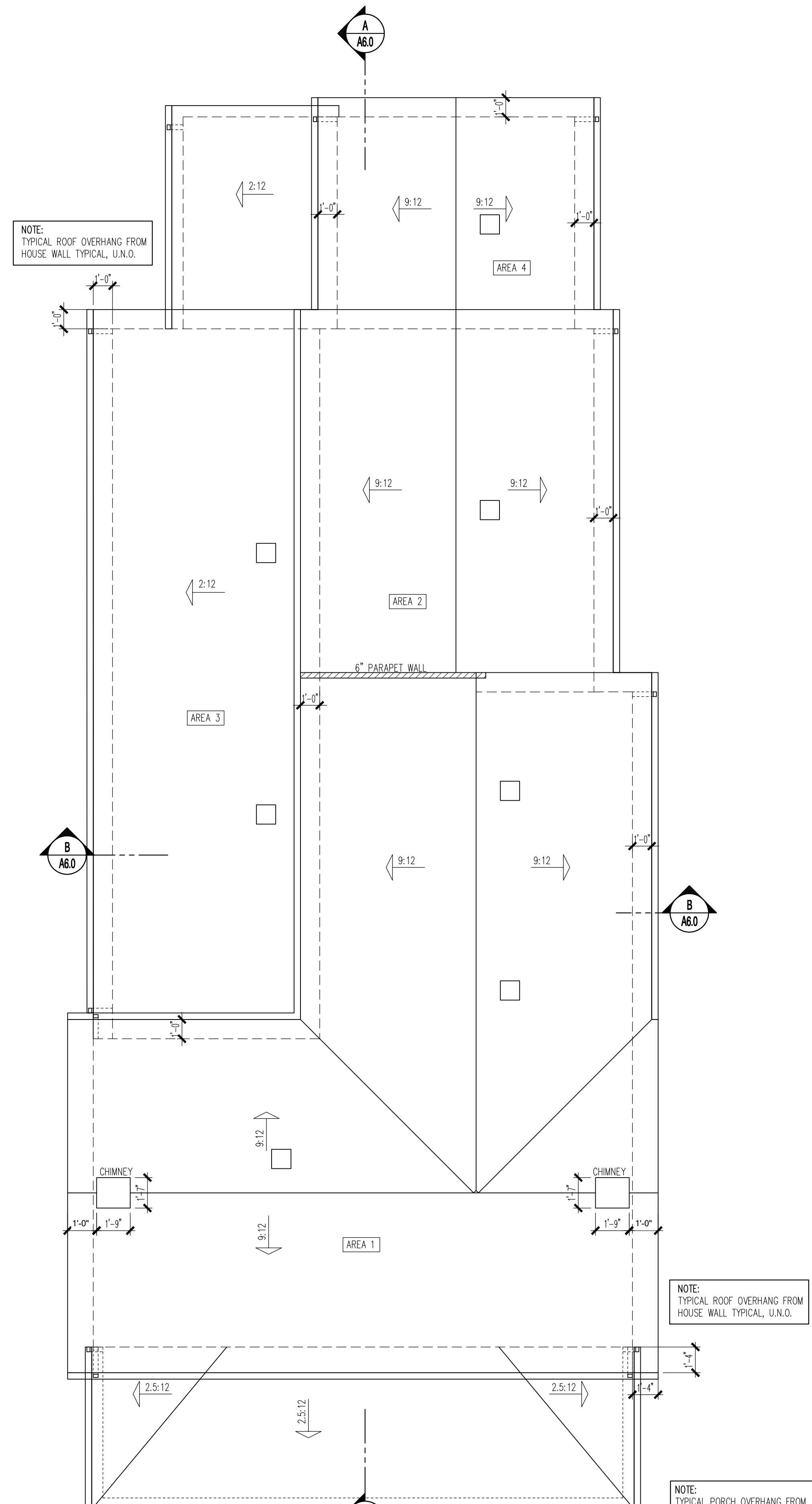
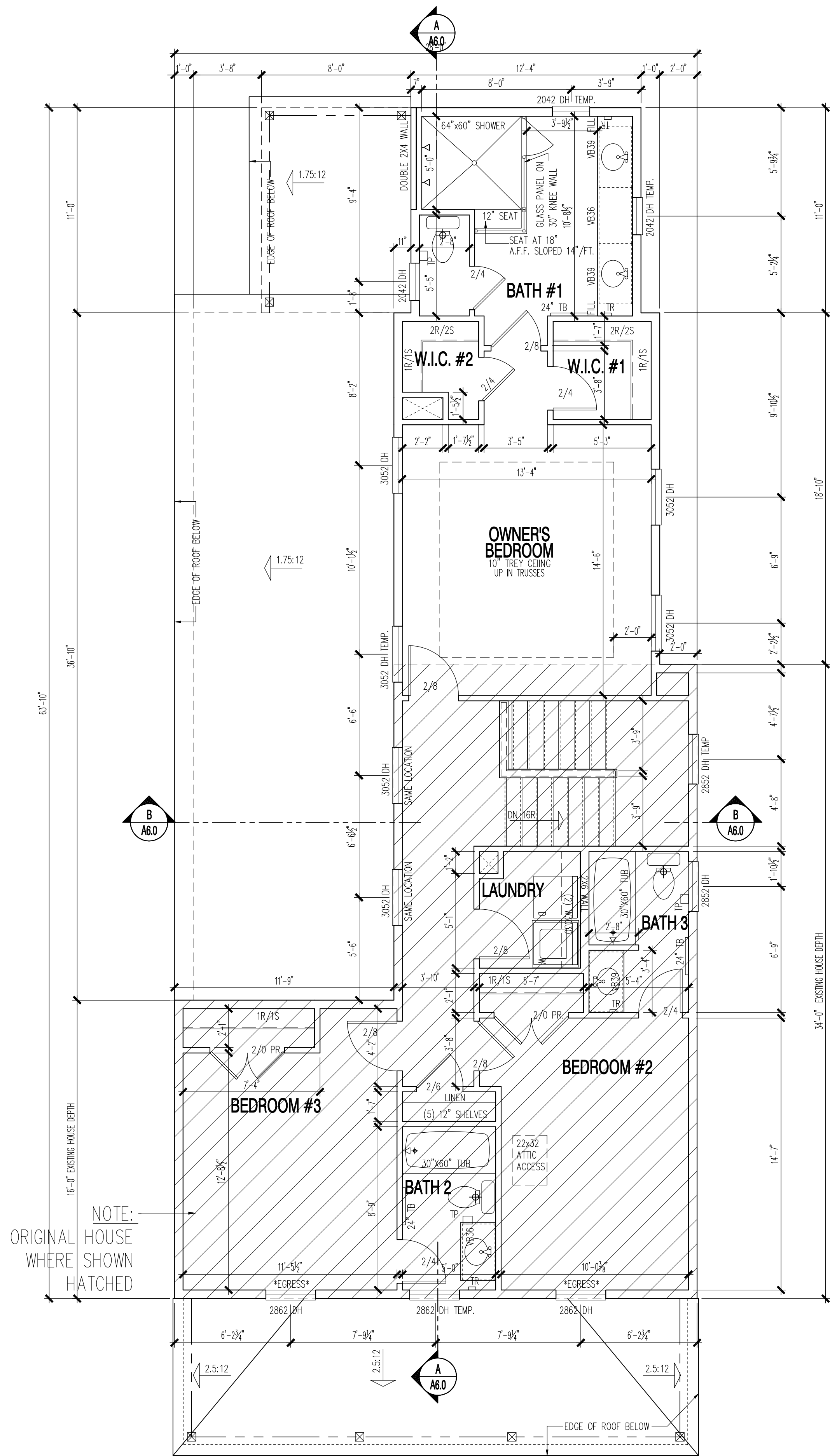
SHEET
CS.01

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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PLOTTER: January 2, 2024 / Sarah Wilcove - CEPHAS - ARCH.DWG

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES



NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Mid-Atlantic Division
 9302 Lee Highway - Suite 1000
 Fairfax, Virginia - 22031



PULTE - CEPHAS - SUMMER HOUSE
 22200 CLARKSBURG RD., BOYDS, MD 20841
SECOND FLOOR & ROOF PLANS

PRODUCTION MANAGER	DATE

CURRENT RELEASE DATE: XX/XX/XX	REV #	DATE	DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING

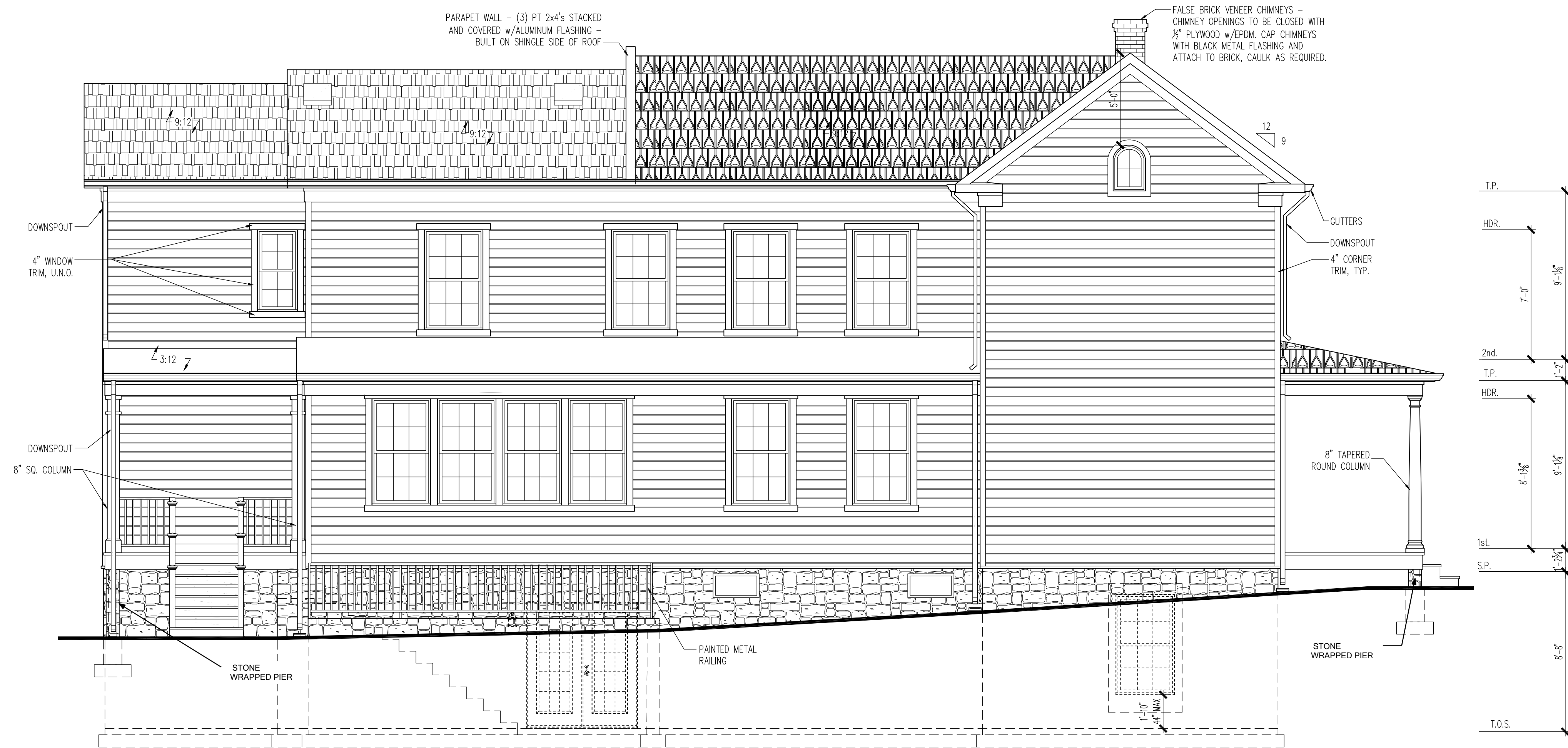
PLAN NAME
CEPHAS

NPC PLAN NUMBER
2818.600.00

LAWSON PLAN ID
51002

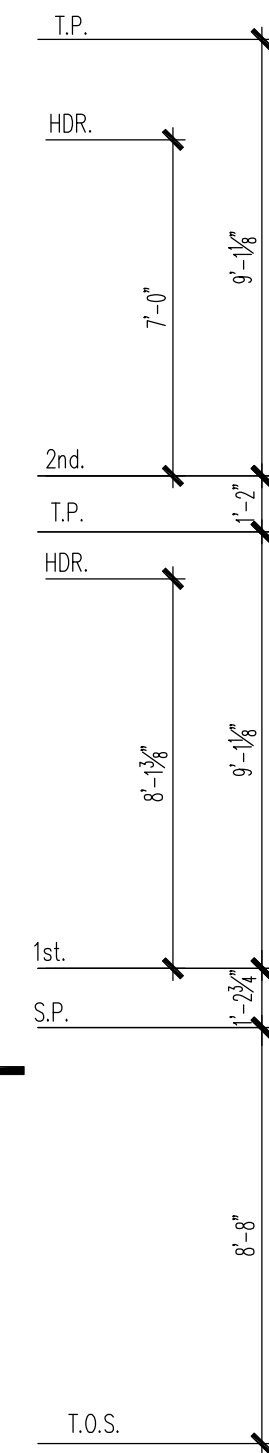
SHEET
A1.1

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PRODUCTION MANAGER	
CURRENT RELEASE DATE: XX/XX/XX	
REV # DATE DESCRIPTION	

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PROJECT TYPE
SINGLE FAMILY

GARAGE HANGING

PLAN NAME

CEPHAS

NPC PLAN NUMBER

2818.600.00

LAWSON PLAN ID

51002

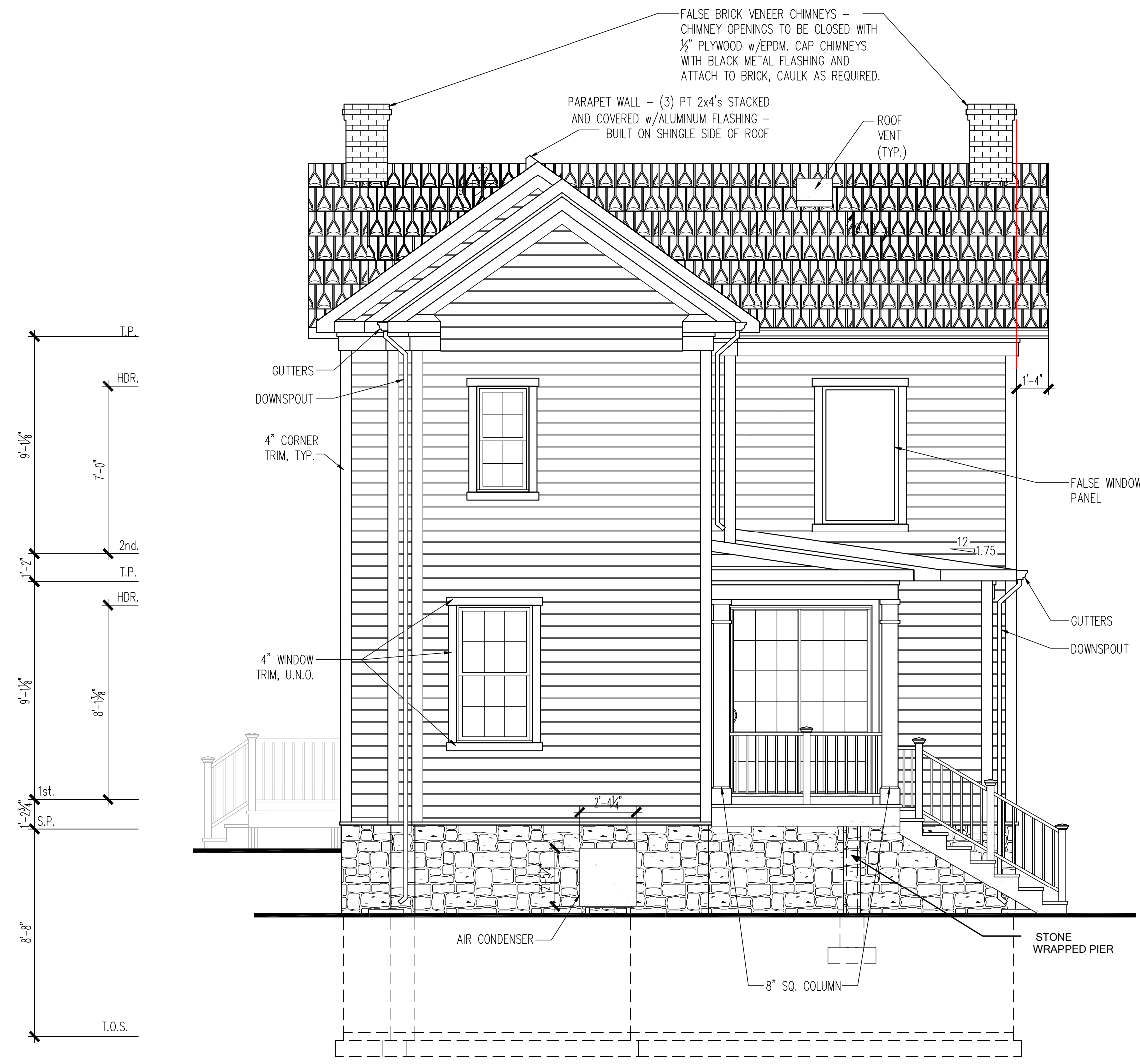
SHEET

A4.2

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



PULTE - CEPHAS - SUMMER HOUSE
 22200 CLARKSBURG RD., BOYDS, MD 20841
REAR ELEVATIONS

PRODUCTION MANAGER
 CURRENT RELEASE DATE: XX/XX/XX
 REV # DATE / DESCRIPTION

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PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING

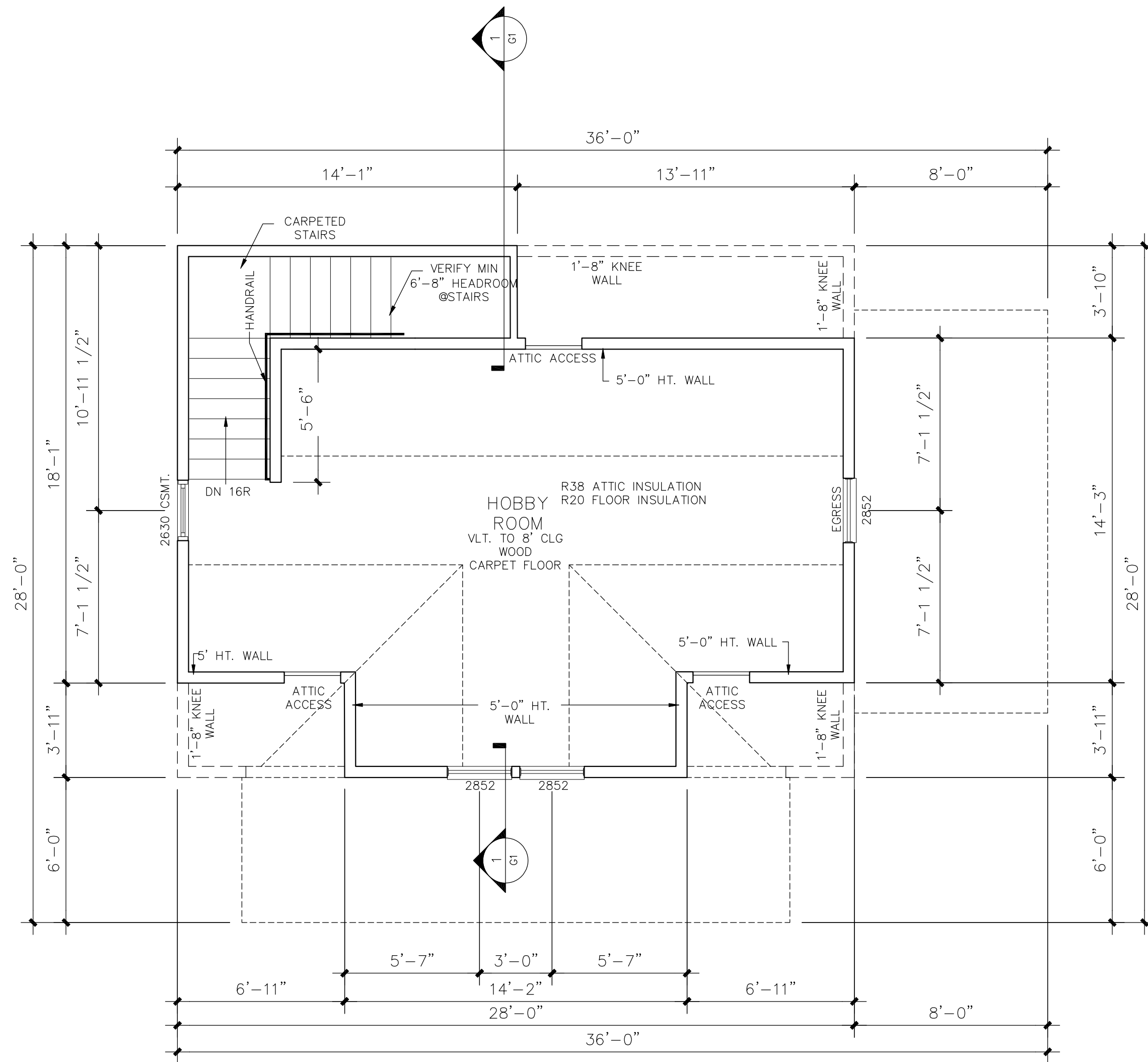
PLAN NAME
CEPHAS
 NPC PLAN NUMBER
2818.600.00
 LAWSON PLAN ID
51002

SHEET
A4.4

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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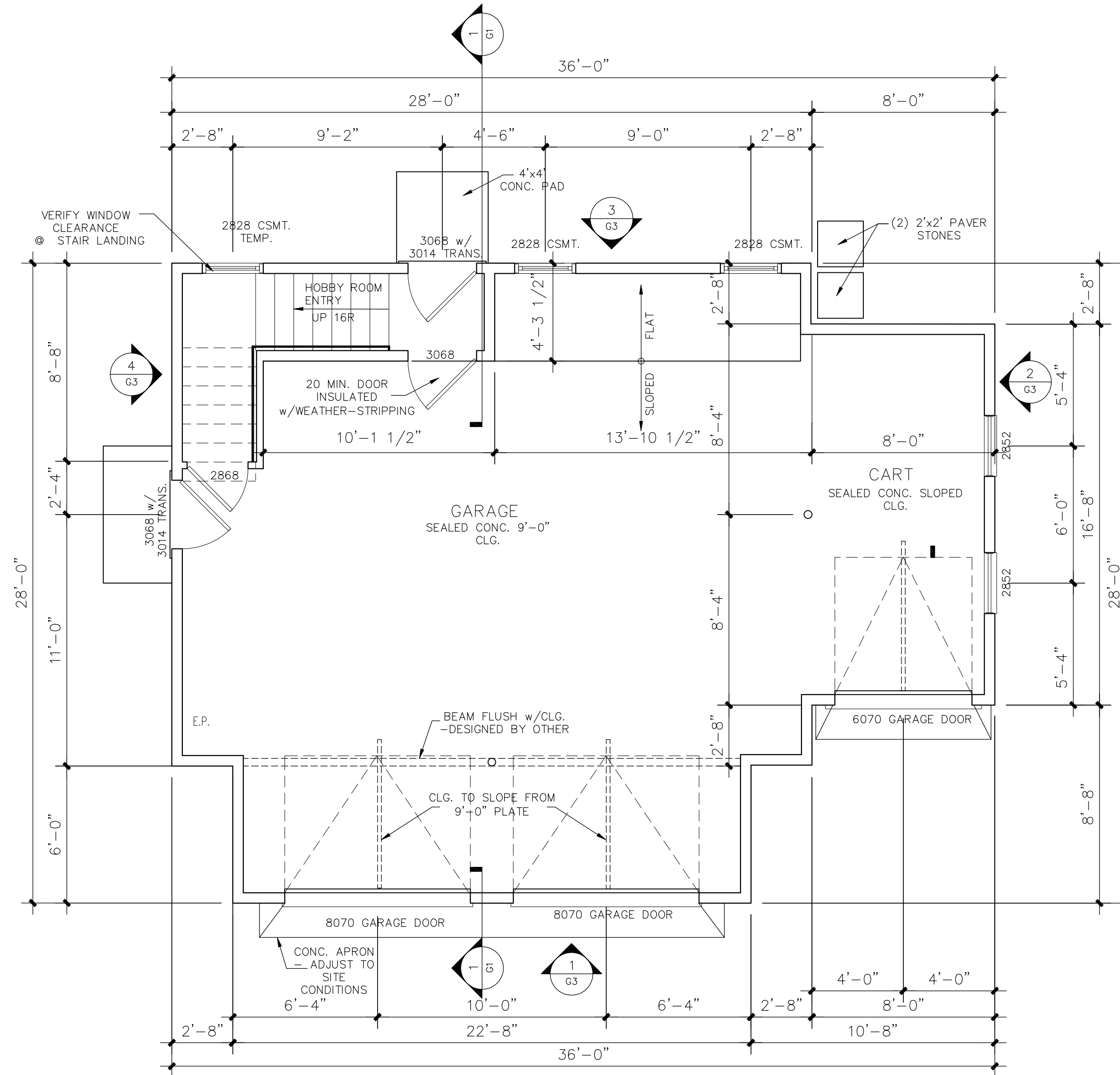
NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.



SECOND FLOOR DIMENSION PLAN

NOTE: WINDOW MFG. TO VERIFY EGRESS WINDOWS AND HARDWARE AS PER LOCAL CODES

SCALE: 1/4"=1'-0"



FIRST FLOOR DIMENSION PLAN

SCALE: 1/4"=1'-0"

- *NOTE:
1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
 2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
 3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
 4. WINDOW MFG. TO VERIFY EGRESS WINDOWS AND HARDWARE AS PER LOCAL CODES
 5. COORDINATE CENTRAL VACUUM REQUIREMENTS & LOCATION W/OWNER.
 6. COORDINATE SOUND SYSTEM REQUIREMENTS W/OWNER.
 7. COORDINATE TELECOMMUNICATION SYSTEM REQUIREMENTS W/OWNER.
 8. COORDINATE LANDSCAPE LIGHTING REQUIREMENTS AND W/OWNER.



PULTE - CEPHAS - SUMMER HOUSE
22200 CLARKSBURG RD., BOYDS, MD 20841

PRODUCTION MANAGER	AL
CURRENT RELEASE DATE	XX/XX/XX
REV #	DATE / DESCRIPTION

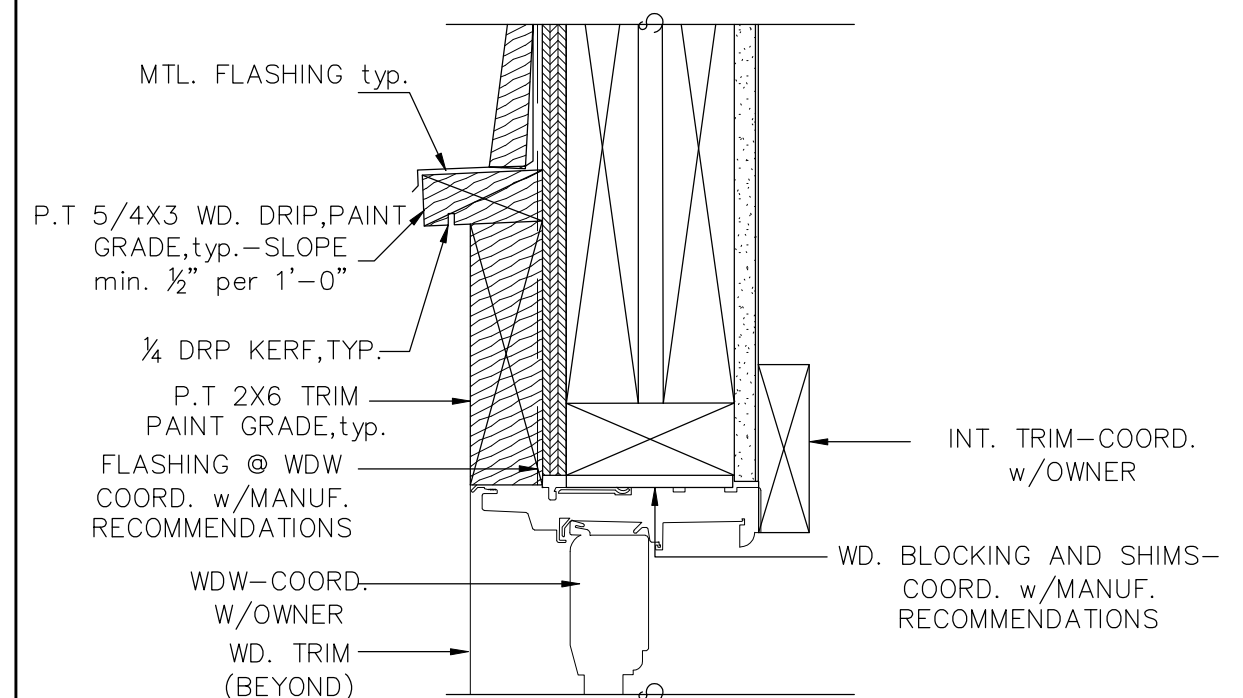
PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING
DETACHED

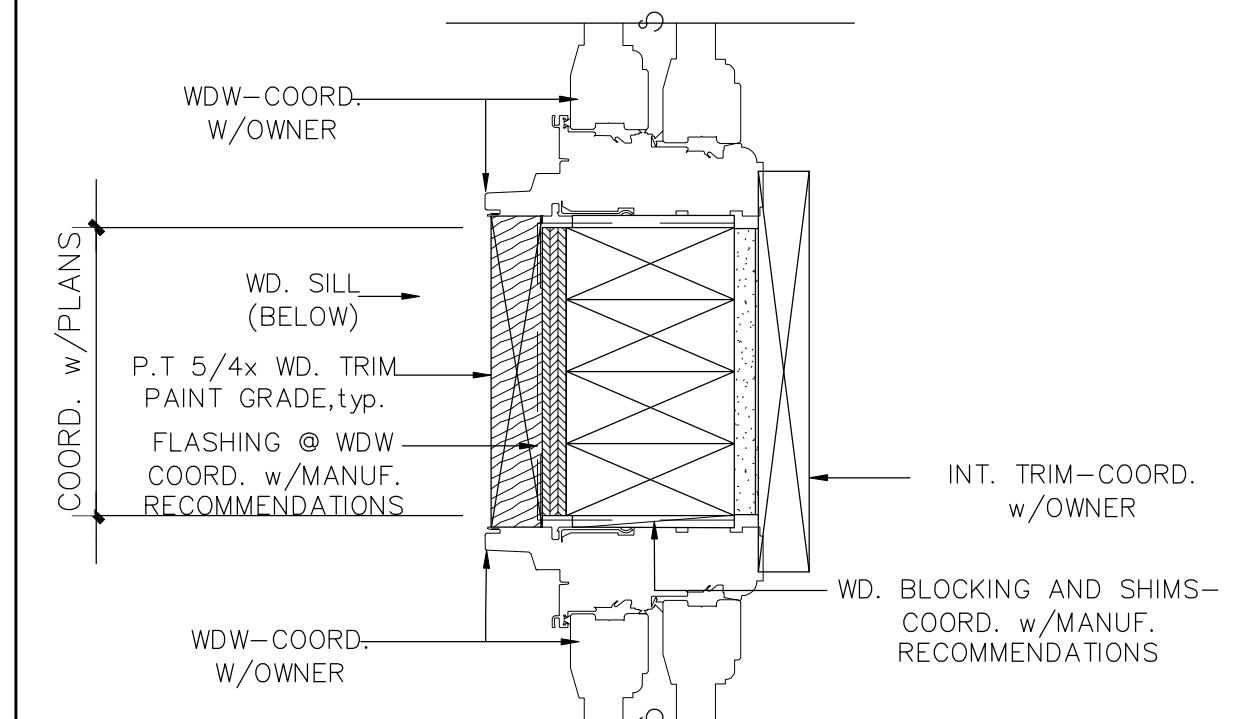
PLAN NAME
CEPHAS
NPC PLAN NUMBER
2818.600.00
LAWSON PLAN ID
51002

SHEET
G1

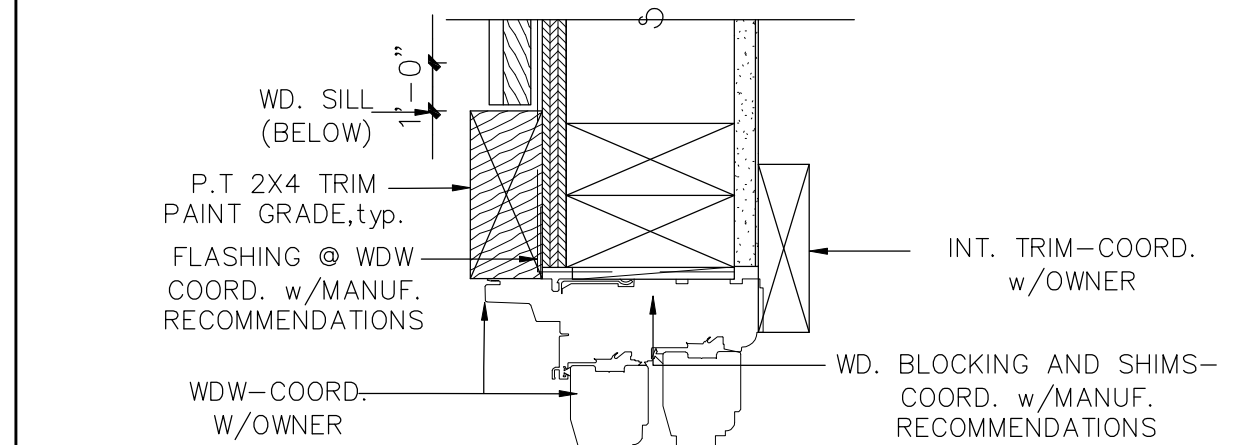
PLOTTED: January 2, 2024 / Sarah Wilmore / CEPHAS GARAGE - 12-19-2023.DWG



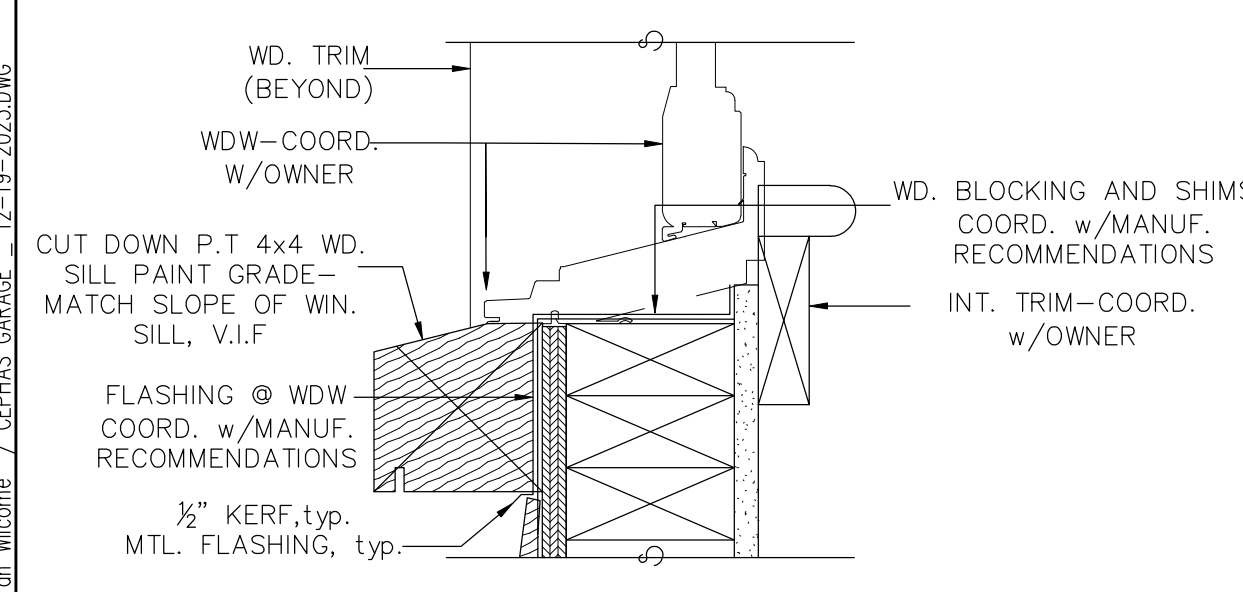
8 TYPICAL WINDOW & DOOR HEAD
SCALE: 3"=1'-0"



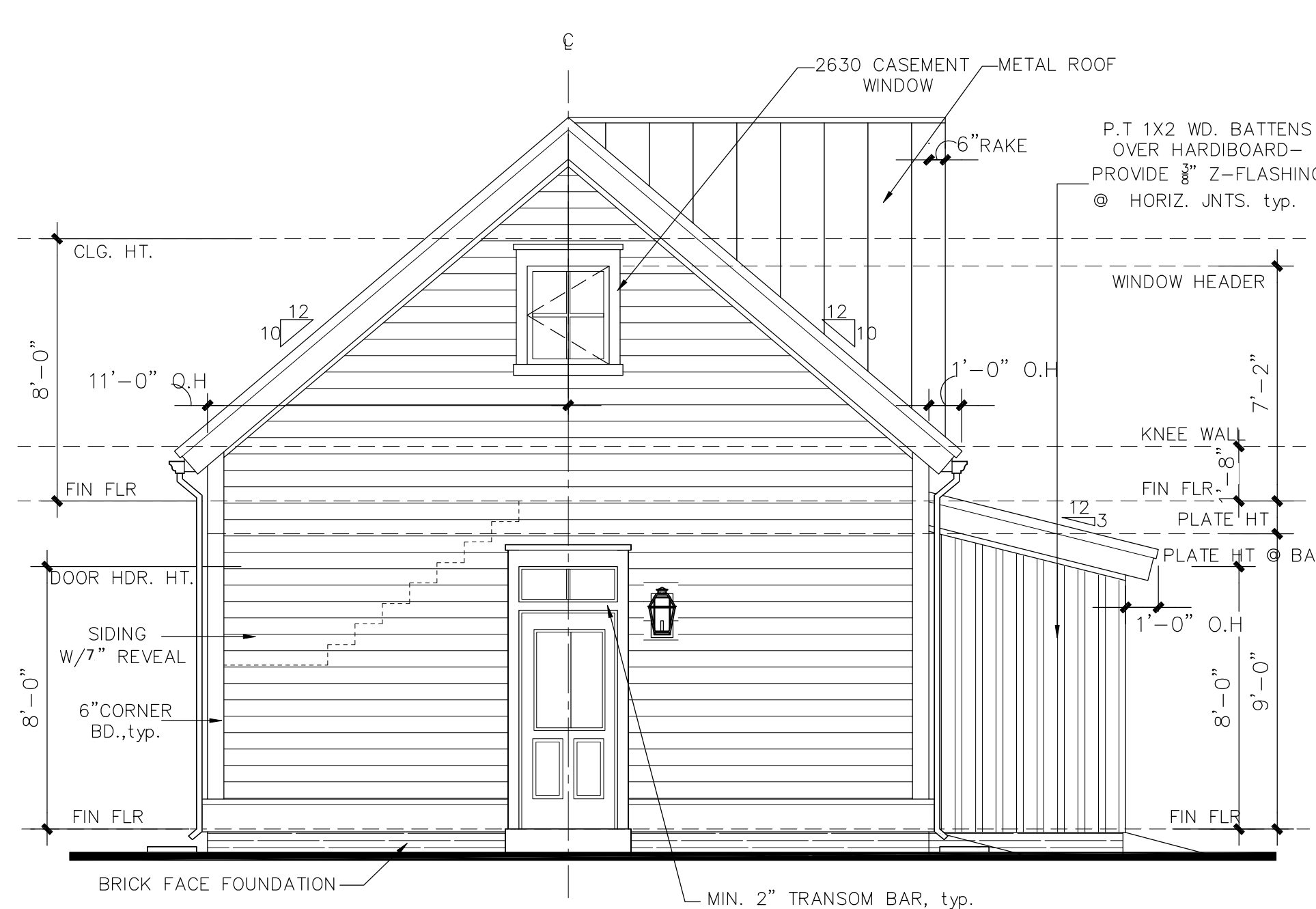
7 TYPICAL WINDOW JAMB @ MULL
SCALE: 3"=1'-0"



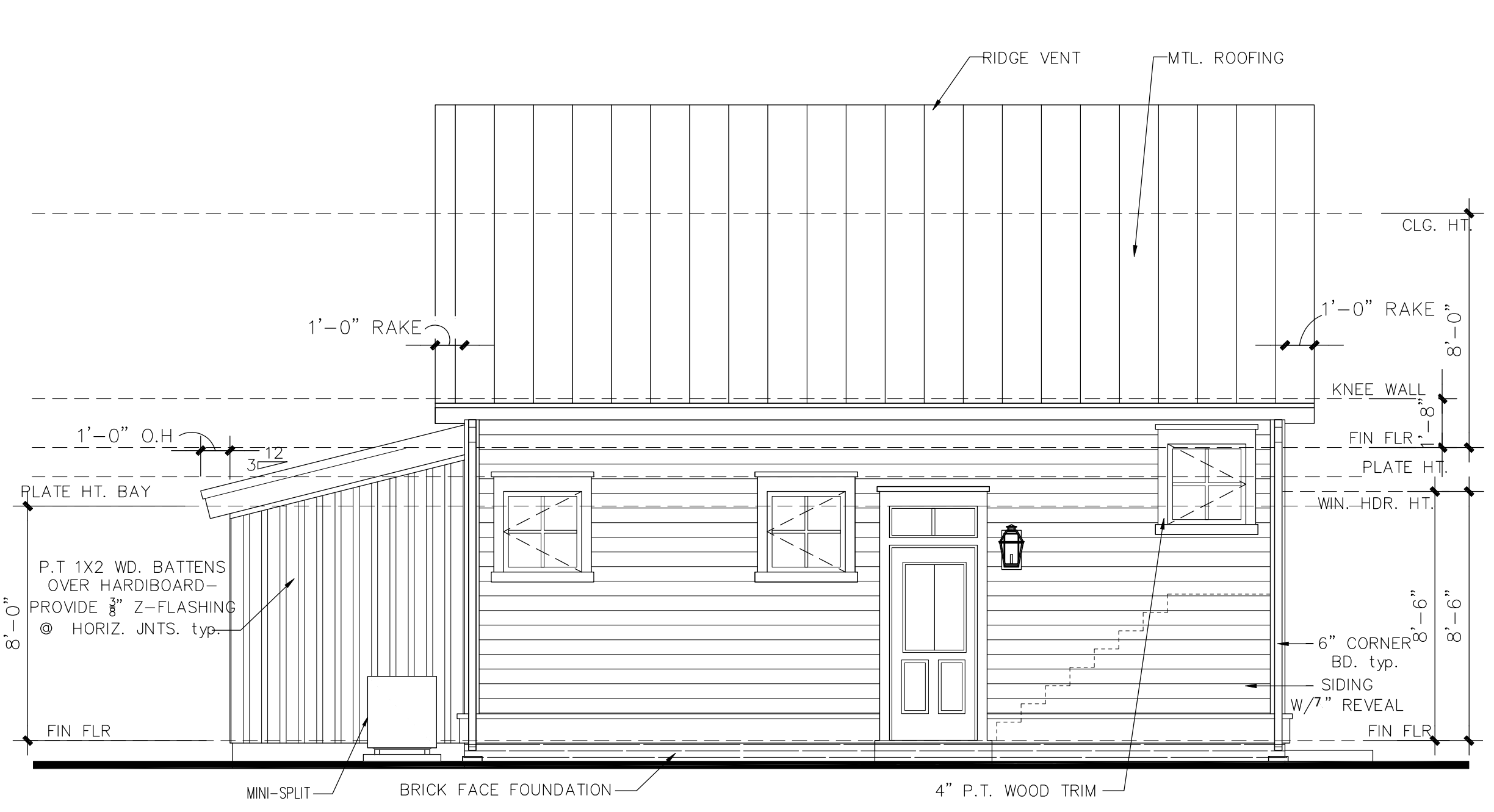
6 TYPICAL WINDOW & DOOR JAMB
SCALE: 3"=1'-0"



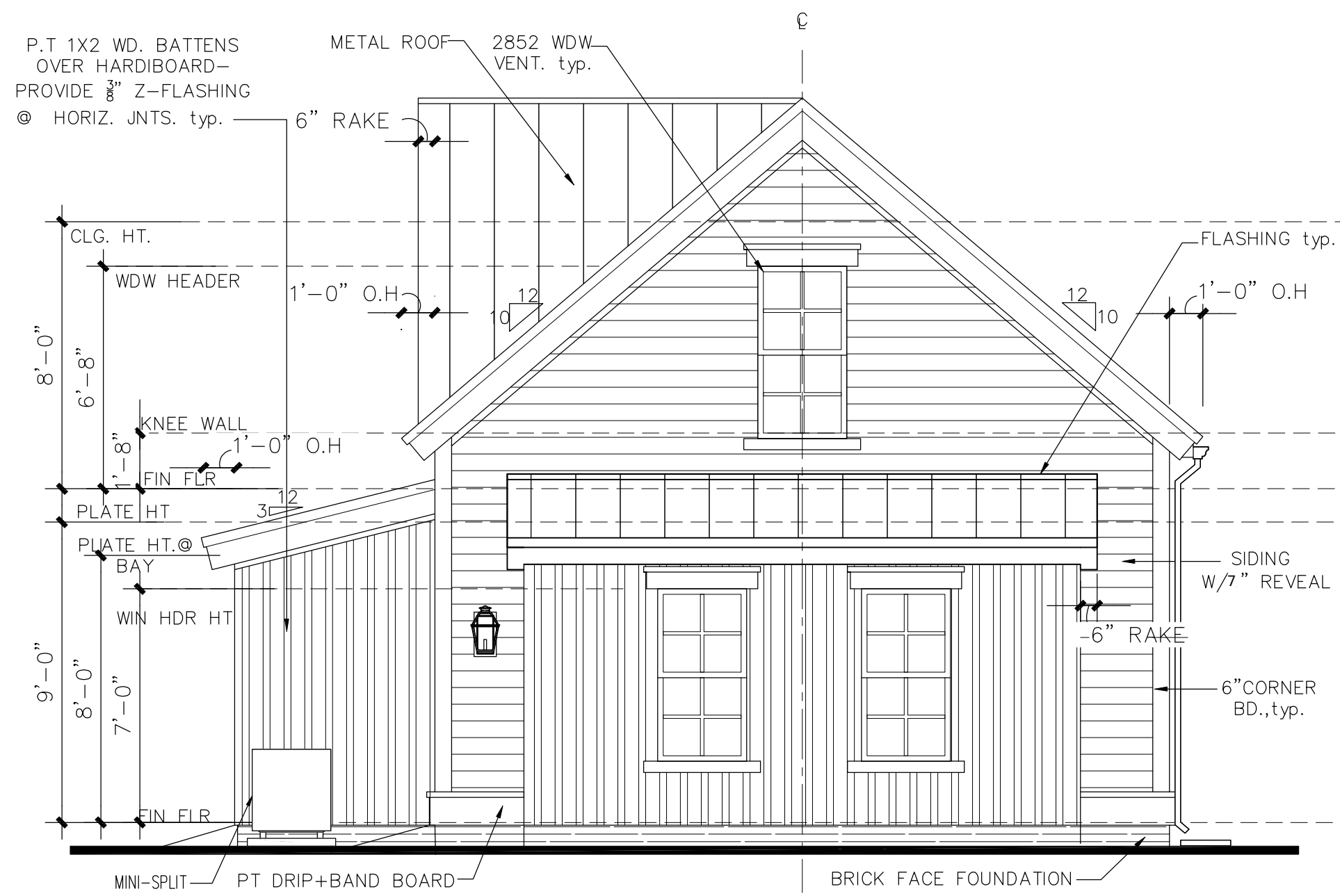
5 TYPICAL WINDOW SILL
SCALE: 3"=1'-0"



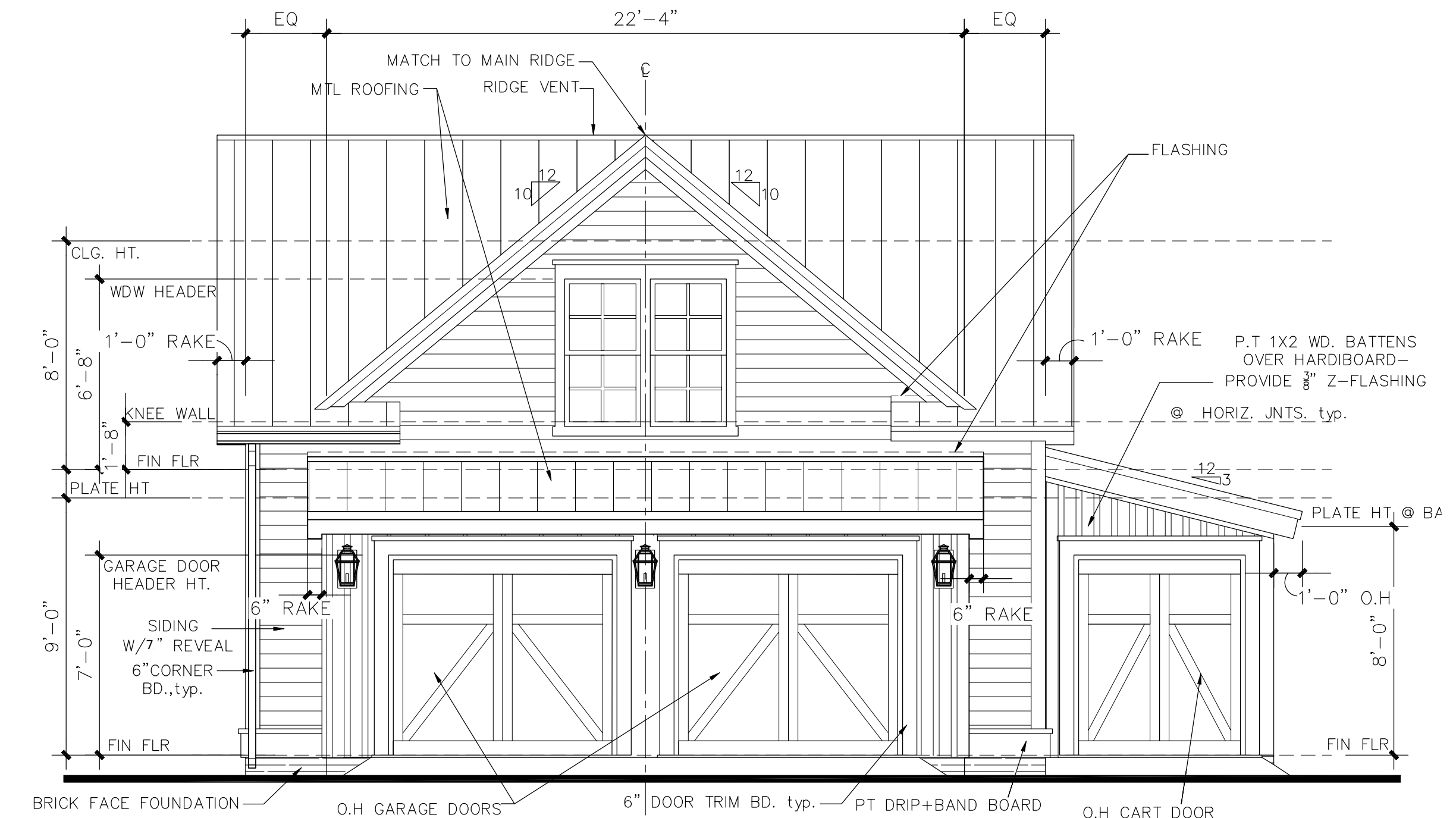
4 LEFT ELEVATION
SCALE: 1/4"=1'-0"



4 REAR ELEVATION
SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

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PULTE - CEPHAS - SUMMER HOUSE
22200 CLARKSBURG RD., BOYDS, MD 20841

PRODUCTION MANAGER
CURRENT RELEASE DATE: XX/XX/XX
REV # | DATE / DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING
DETACHED

PLAN NAME
CEPHAS
NPC PLAN NUMBER
2818.600.00
LAWSON PLAN ID
51002

SHEET
G2

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS IN 1/4" SCALE PLOTS

Cephas Summers House – Revision Narrative

Page 1/CS.01

1. Refer to Exhibit 1 - Resite/Lot Grading Plan for details regarding all hardscaping, driveways, paths etc. Refer to Exhibit 2 for pavers and gravel driveway specifications.

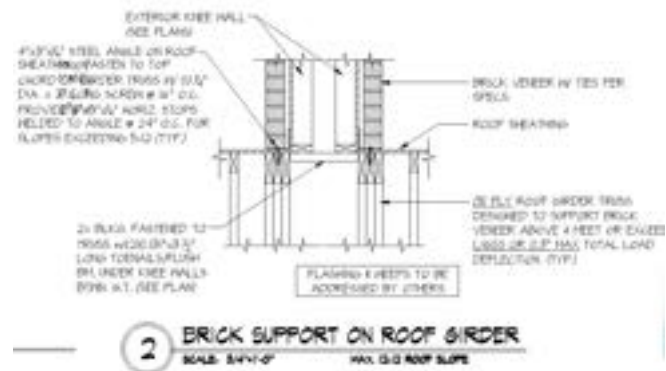
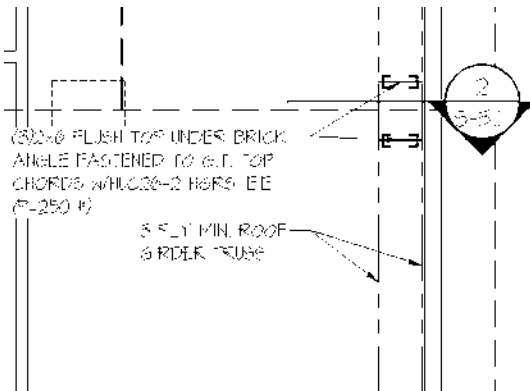
Page 2/A1.1

1. Refer to the photographs below detailing the location for the rebuilt chimneys. They are located 12" from the edge of the roof. In order to provide structural support for the chimneys, steel angles lintels were required. These loads associated were transferred down to the roof girder trusses below.

Facing the house this is the left side. Facing the house this is the right side.



Structural details for the chimney's :



1. Chimney's – addressed above.
2. Photos below detail the 1 ¾" muntin width of the installed window. Refer to Exhibit 2 for updated window specifications.
3. The trex decking flooring will be removed. It will be replaced with 1"x 4" tongue and groove wood. The floor will run pedicular to the house as detailed on the revised drawings. Refer to Exhibit 2 for specifications.
4. At this time balustrades and railings will not be required on the front porch.
5. The final grade, height of the porch floor and pier/foundation posts can be found on the Resite/Lot Grading Plan and updated drawings. The pier/foundation posts will be clad with the same stone as approved on the foundation.
6. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
7. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.

Photos of Windows Detailing 1 ¾" Muntins



1. The location of all box vents are shown on the updated drawings. Specifications for the box vents can be found in Exhibit 2.
 2. The roof/cornice as-built condition is a result of the two different roof overhang dimensions (1'-4" and 1"-0"). Photos are below.
-

-
3. The change to the orientation of the back door stair has been included on both the updated drawings and the Resite/Lot Grading Plan.
 4. The stone veneer to siding detail has been updated on the drawings and is shown in the pictures below. This cap was required for the installation of the Z flashing at the base of the siding.
 5. The location of all basement/foundation level windows have been shown on the updated drawings. The window specifications can be found in Exhibit 2.
 6. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
 7. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
 8. The HVAC condensers have located on the updated drawings.

Roof/Cornice As-Built Condition



Siding to Stone Transition



Page 5/A4.3

1. The location of all box vents are shown on the updated drawings. Specifications for the ridge vents can be found in Exhibit 2.
2. The curb/parapet that was required for the transition between two roof materials is detailed on the updated drawings.
3. The updated drawings show the design of the rear porch balustrades, railings, and stair. Balustrade and railing specifications can be found in Exhibit 2.
4. The window well specifications can be found in Exhibit 2.
5. The trex decking flooring will be removed. It will be replaced with 1"x 4" tongue and groove wood. The floor will run pedicular to the house as detailed on the revised drawings. Refer to Exhibit 2 for specifications.
6. The location of all basement/foundation level windows have been shown on the updated drawings. The window specifications can be found in Exhibit 2.
7. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
8. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
9. The HVAC condensers have located on the updated drawings.

Page 6/A4.4

1. Rear porch – see above.
2. The location of all basement/foundation level windows have been shown on the updated drawings. The window specifications can be found in Exhibit 2.
3. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
4. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
5. The HVAC condensers have located on the updated drawings.

Cephas Garage

Page 1/G2

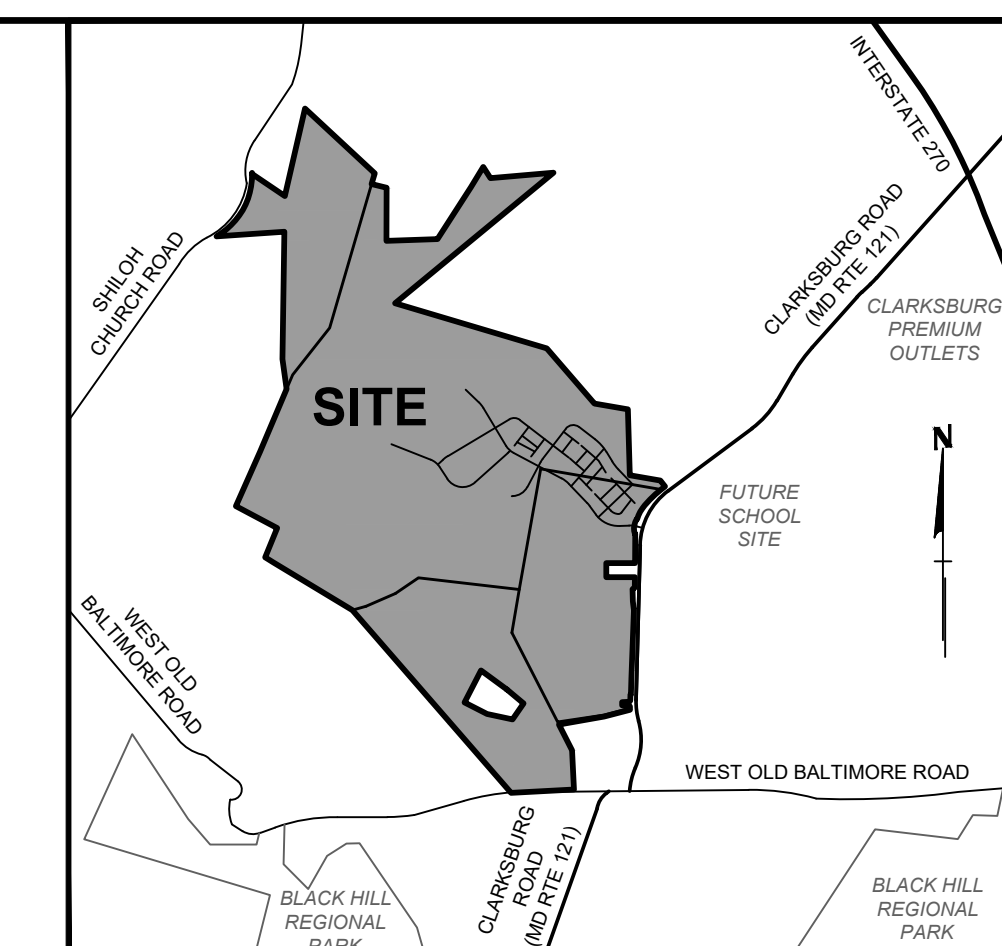
1. All gable vents have been removed. Pictures can be found below.
 2. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
 3. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
 4. The drawings have been updated to show the boxed-in eaves.
 5. The drawings have been revised to accurately show all three windows on the rear elevation.
 6. The drawings have been updated to show 7" siding exposure.
-

-
7. The drawings have been updated to remove the slab at the door.
 8. The drawings have been updated to remove the slab at the door.
 9. The drawings have been updated to show the brick stamped foundation.
 10. All gable vents have been removed. Pictures can be found below.
 11. All gable vents have been removed. Pictures can be found below.
 12. The roof has been updated on the drawings to accurately reflect the as built conditions.
 13. The drawings have been updated to show the boxed-in eaves.
 14. The shutters will be removed from the right elevation and the drawings have been updated accordingly.
 15. The design of the door has been updated on the drawings. Please note this was a discrepancy between the drawings and the approved door specifications.
 16. The drawings have been updated to reflect the dimensions of the rake.
 17. The drawings have been updated to reflect the as-built condition.
 18. The drawings have been updated to show 7" siding exposure.
 19. The drawings have been updated to reflect the as-built condition.
 20. The drawings have been updated to reflect the as-built condition.
 21. The drawings have been updated to show the boxed-in eaves.
 22. The drawings have been updated to remove the slab at the door.
-

Garage Photos



Exhibit 1 – Resite/Lot Grading Plan

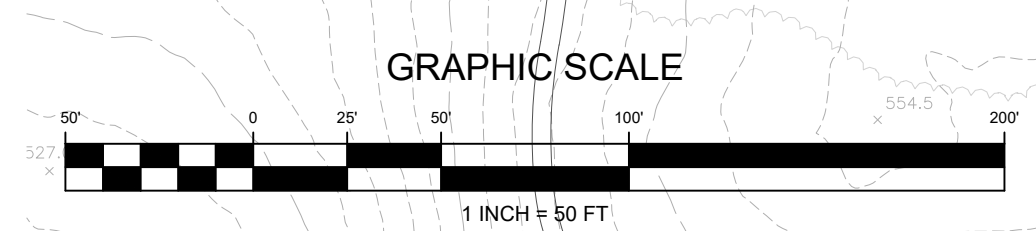
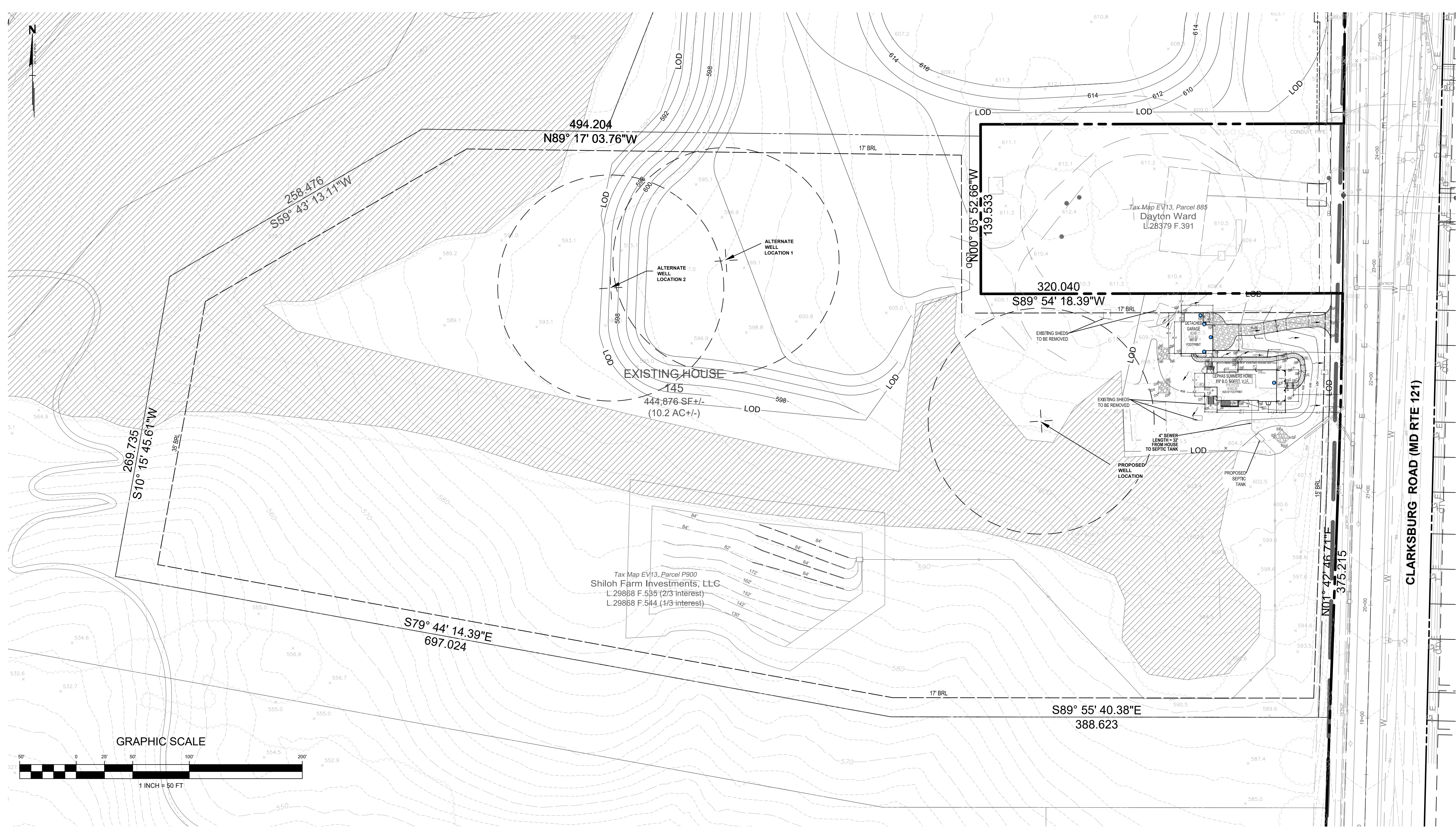


VICINITY MAP
1" = 2000'

- NOTES:
- THE HEIGHT OF THESE BUILDINGS, AS DEFINED BY THE MONTGOMERY COUNTY ZONING ORDINANCE, COMPLIES WITH SITE PLAN NO. 820200160 APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD WITH A MAXIMUM OF 35 FEET.
 - THE CEPHAS SUMMERS AND GARAGE BUILDING HEIGHTS ARE MEASURED FROM THE AVERAGE GRADE TO THE MIDPOINT BETWEEN THE EAVES AND RIDGE OF THE GABLE.
 - THE MINIMUM SETBACKS FOR THIS BUILDING, AS DEFINED BY THE MONTGOMERY COUNTY ZONING ORDINANCE:
- | | |
|----------------|----------|
| FRONT ROW | 15' FEET |
| REAR | 35' FEET |
| SIDE | 17' FEET |
| ROW TRUNCATION | 0' FEET |
- THESE SETBACKS COMPLY WITH THE SITE PLAN NO. 820200160, APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD.
- THE LOT GRADING SHOWN HEREON IS INTENDED FOR THE CONSTRUCTION AND DRAINAGE FOR THE SPECIFIC LOT ONLY. ADJACENT LOT GRADING AND HOUSE LOCATION IS ILLUSTRATIVE AND SUBJECT TO CHANGE WITHOUT NOTICE.
 - BUILDING FOOTPRINT SQUARE FOOTAGE (SF)
- | | |
|-------------------------------|----------|
| PROPOSED CEPHAS SUMMERS HOUSE | 885 SF |
| PROPOSED DETACHED GARAGE | 1,828 SF |
| TOTAL SF | 2,713 SF |

LEGEND

- SITE LIMITS
- PUBLIC STREET RIGHT OF WAY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LOD
- EXISTING TREE CANOPY, HEDGEROW
- FOREST PLANT
- PROPOSED STRUCTURE
- EXISTING STRUCTURE
- PROPOSED DRYWELL AND GRAVEL MATERIAL ON DRIVEWAY
- PROPOSED WELL
- BRICK PAVERS MATERIAL ON LEAD WALKS



BUILDING HEIGHT - AVERAGE GRADE CALCULATIONS

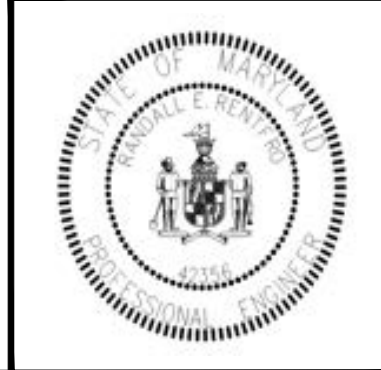
UNIT TYPE	ARCH BUILDING HEIGHT ELEV	BUILDING FACE ELEVATION	EX. START ELEVATION	EX. END. ELEVATION	EX. AVERAGE GRADE	DISTANCE (ft)	EX. AVG. ELEV. x DIST	TOTAL / WALL SIDES	* PROPOSED BLDG. HT (ft)	
SFD	637.19	E	606.00	605.50	605.75	28.00	16,961	16,961/28.00 = 605.75	*31.44	
			A	608.00	608.00	608.00	8.00	4,864		
Detached Garage	628.90	C	608.00	608.00	608.00	2.67	1,623	21,894/36.01 = 608.00	*20.90	
			B	608.00	608.00	608.00	22.67	13,783		
			D	608.00	608.00	608.00	2.67	1,623		
			A	608.00	608.00	608.00	2.67	1,623		

UNIT TYPE	ARCH BUILDING HEIGHT ELEV	BUILDING FACE ELEVATION	PROP. START ELEVATION	PROP. END. ELEVATION	PROP. AVERAGE GRADE	DISTANCE (ft)	PROP. AVG. ELEV. x DIST	TOTAL / WALL SIDES	* PROPOSED BLDG. HT (ft)	
SFD	637.19	E	609.00	609.00	609.00	28.00	17,052	17,052/28.00 = 609.00	*28.19	
			A	610.00	610.00	610.00	8.00	4,880		
Detached Garage	628.90	C	610.00	610.00	610.00	2.67	1,623	21,966/36.01 = 610.00	*18.90	
			B	610.00	610.00	610.00	22.67	13,829		
			D	610.00	610.00	610.00	2.67	1,623		
			A	610.00	610.00	610.00	2.67	1,623		

* BUILDING HEIGHT MEASURED FROM THE FINISHED FLOOR TO THE MIDPOINT OF ROOF FOR THE SINGLE-FAMILY DETACHED UNIT AND THE DETACHED GARAGE.

PROFESSIONAL CERTIFICATION

"I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation 'Storm Drain Design Criteria', dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 42356. Expiration Date: 12/19/24"



FOR LOCATION OF UTILITIES CALL "MISS UTILITY" AT 1-800-257-7777 OR LOG ON TO <http://www.missutility.net/litc/> 48 Hours in Advance of Any Work in This Vicinity

<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REVISION	DATE	REVISION	DATE													DEVELOPER/APPLICANT: PULTE HOMES 9302 LEE HIGHWAY, SUITE 1000 FAIRFAX, VA 22031 ATTN: CHRIS SPAHR	CREEKSIDE AT CABIN BRANCH PARCEL 222, L.29581 F.499, PARCEL 900, L.29581 F.499 PARCEL 600, L.29581 F.508, & PARCEL 900, L. 29868 F.544 ELECTION DISTRICT No. 2 MONTGOMERY COUNTY, MARYLAND	 19847 Century Boulevard, Suite 200, Germantown, Maryland 20874 Ph: 301.948.4700 Fax: 301.948.6256 http://www.rodgers.com	<table border="1"> <thead> <tr> <th>BASE DATA</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>DESIGNED</td> <td> </td> <td> </td> </tr> <tr> <td>DRAWN</td> <td> </td> <td> </td> </tr> <tr> <td>REVIEWED</td> <td> </td> <td> </td> </tr> </tbody> </table> RODGERS CONTACT: RELEASE FOR <input type="checkbox"/> BY: _____ DATE: _____	BASE DATA	BY	DATE	DESIGNED			DRAWN			REVIEWED			CEPHAS HOUSE RESITE EXHIBIT 22200 CLARKSBURG ROAD BOYDS, MARYLAND 20841	SCALE: 1:50 JOB No: 0377AB10 DATE: DECEMBER, 2023 SHEET No: 1 OF 1
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BASE DATA	BY	DATE																																
DESIGNED																																		
DRAWN																																		
REVIEWED																																		

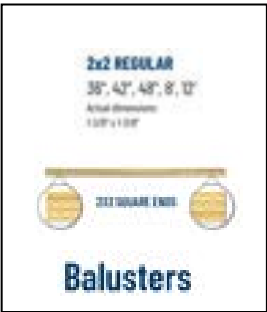
Exhibit 2 – Updated Specifications



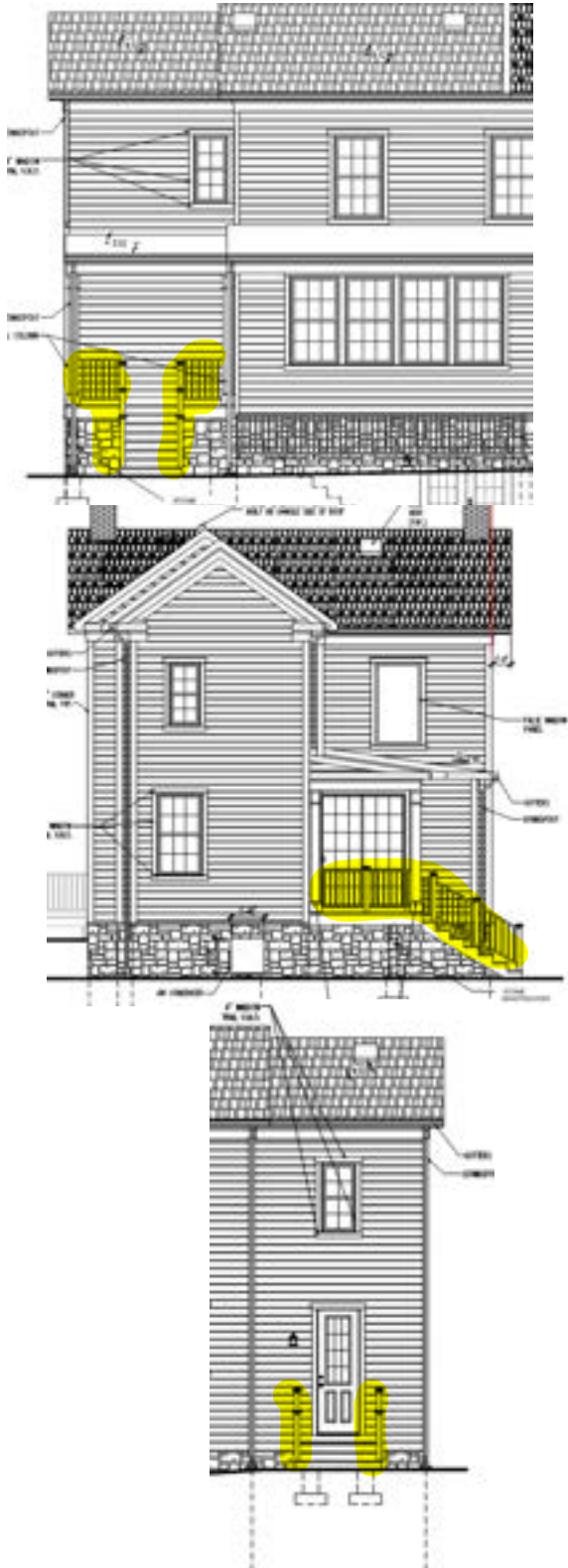
Links:

Tongue and Groove Floor

Handrail and Balusters



Exterior Handrail



SPECIFICATIONS

Garage

Certifications/Qualifications

www.kichler.com/warranty

Dimensions

Base Backplate	4.50" X 6.75"
Extension	7.75"
Weight	2.80 LBS
Height from center of Wall opening (Spec Sheet)	2.00"
Height	10.25"
Width	6.50"

Light Source

Dimmable	Yes
Lamp Included	Not Included
Lamp Type	A19
Light Source	Incandescent
Max or Nominal Watt	60.00
# of Bulbs/LED Modules	1
Socket Type	Medium
Socket Wire	150"

Mounting/Installation

Interior/Exterior	Exterior
Location Rating	Wet
Mounting Weight	1.70 LBS

FIXTURE ATTRIBUTES



Housing

Diffuser Description	Clear Water
Primary Material	ALUMINUM
Shade Dimensions	4.50" SQ X 7.50"

Product/Ordering Information

SKU	49924BKT
Finish	Textured Black
Style	Transitional
UPC	783927540414

Finish Options

-  Olde Bronze
-  Textured Black



ALSO IN THIS FAMILY



49924OZ



49925OZ



49926OZ



49927OZ



49925BKT



49926BKT

WEB LINK

SPECIFICATIONS

Rear and sides

Certifications/Qualifications	
	www.kichler.com/warranty
Dimensions	
Base Backplate	5.50" X 8.25"
Extension	12.00"
Weight	7.10 LBS
Height from center of Wall opening (Spec Sheet)	2.25"
Height	16.00"
Width	10.50"
Light Source	
Dimmable	Yes
Lamp Included	Not Included
Lamp Type	A19
Light Source	Incandescent
Max or Nominal Watt	100.00
# of Bulbs/LED Modules	1
Socket Type	Medium
Socket Wire	150"
Mounting/Installation	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Weight	3.90 LBS



FIXTURE ATTRIBUTES

Housing	
Diffuser Description	Clear Water
Primary Material	ALUMINUM
Shade Dimensions	7.00" SQ X 12.00"
Product/Ordering Information	
SKU	49926BKT
Finish	Textured Black
Style	Transitional
UPC	783927540438

Finish Options	
	Olde Bronze
	Textured Black

ALSO IN THIS FAMILY



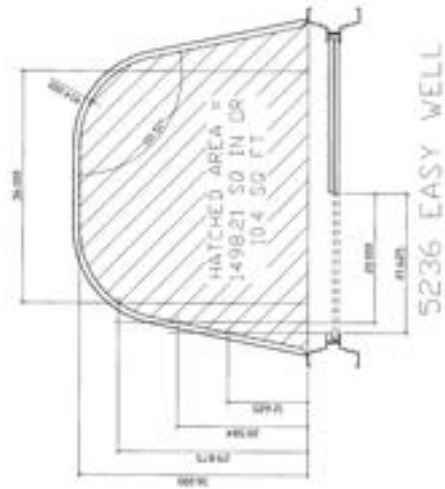
[WEB LINK](#)

Egress Window Well



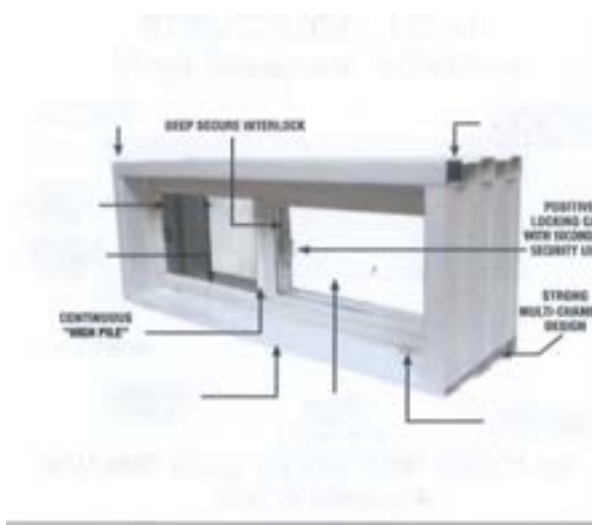
Roman Kemp 4040 Basement Window System Specification Sheet

Components	Model #	Notes
Easy-Buck	4040 (48" x 48")	Four in place frame
Easy-Well	5236-60"	Corrugated well
Vinyl Window	4040	Insulated double pane
Safety Grate	5236	Sits atop the well for fall in protection
Grate Cover	5236	Keeps debris from entering well from top
Escape Ladder	4-0"	Permanently attaches for emergency escape



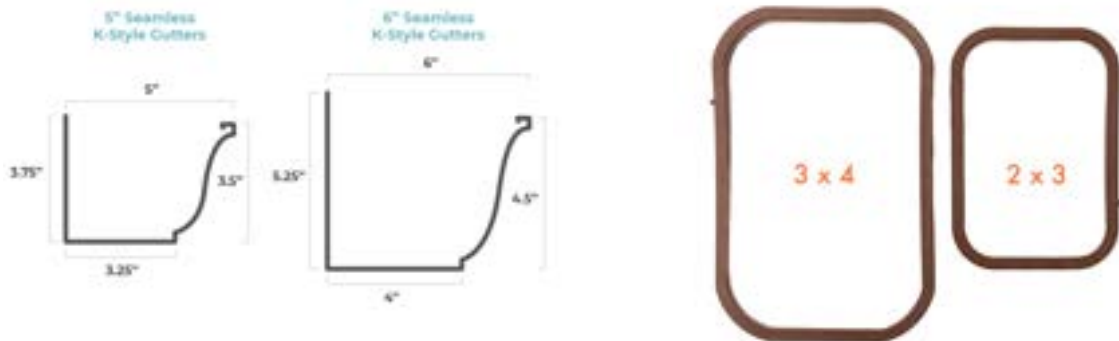
WEB LINK

Basement Hopper Window



- All vinyl mainframe and sashes provide a structural base with no maintenance;
- Steel reinforcement in header profile for added structural strength;
- Strategically designed multi-chambered mainframe profiles allowing for added thermal performance;
- 6 degree sloped frame sill providing proper water drainage;
- Window frame includes a wood buck support and plastic UV film on both sides of the window allowing for better structural support during the concrete pour and protection on job sites;
- Sash (glass) installed in the window prior to applying the wood buck and protective film;
- Frame extensions available at 1" and 2";
- Fully tested and certified for NAFS, NFRC and AAMA qualifications.

Gutters and Downspouts



- Manufacture: Central Aluminum
- Size: 5" kstyle with 2x3 (Gauge .027 gutter and .019 for downspouts) / 6" kstyle with 3x4 (Gauge .032 gutter and .019 for downspouts)
- Material: Aluminum with Zinc screws (color to match gutter color)

Static Roof Vents



Lomanco® 700 Series Slant Back

- Designed to prevent roof discoloration.
- Three sides louvered for greater air flow.
- Embossed aluminum finishes for added strength, extended paint life, and blending appearance with shingles.
- 700 has neoprene damper for use as kitchen/bathroom exhaust vent.
- 730 is a smaller version of a 750 and included in the EVA Combo vent package.
- 750-E is a 750 with an extended flange size.
- 750-ES is a 750 with an extended flange size and provides enhanced weather protection.
- 750-G; heavy duty galvanized steel construction.
- 750-GS; provides enhanced weather protection.
- 750-GES; heavy duty galvanized steel construction and provides enhanced weather protection.
- 750-S provides enhanced weather protection.
- Lifetime Limited Warranty – 750 Series.
- 770 is larger version of a 750.
- 770-D is a twin 770; off-ridge vent

WEB LINK

Masonry Pavers

WatsonTown Brick

MODENA PAVER



Clay pavers are natural products, excellent for defining an elegant pathway to a beautiful patio or outdoor dining area. Highly durable, clay pavers provide a multitude of options in an earthy color palette to help you complete your outdoor living space.

2 1/4 x 3 5/8 x 7 5/8

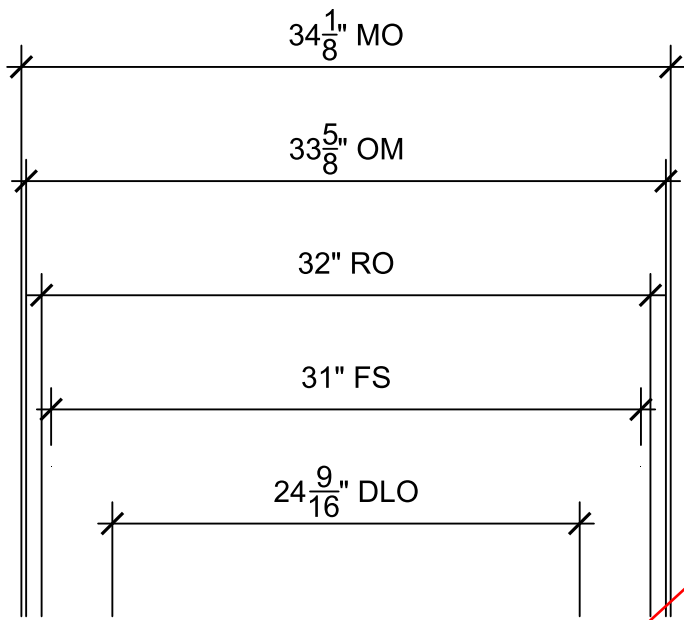
WEB LINK

Driveway Stone



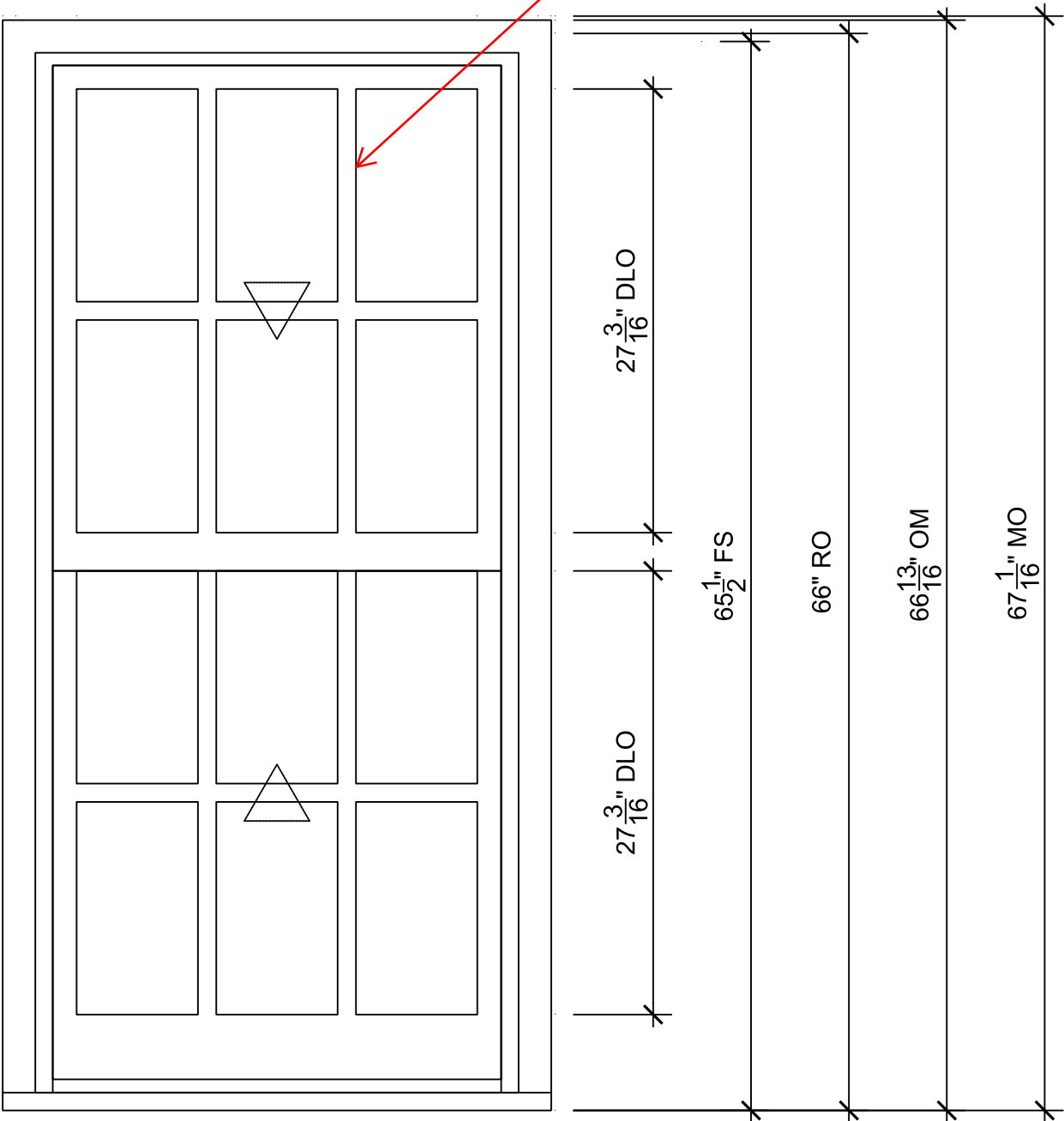
21A Gravel
(Crusher Run)
installed 8" deep
(2x 4" lifts)

21A Gravel is a mix consisting of Bluestone Powder Fines and ¾ inch Crushed Stone. It is great for driveways, walkways, as a paver base, and numerous other outdoor projects. .



Window Specifications

1 3/4" Muntin



UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 1

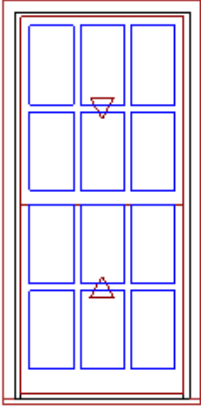
TOTAL UNIT QTY: 1

LINE	MARK UNIT	PRODUCT LINE	ITEM	QTY
1		Ultimate Wood	Double Hung Magnum RO 32" X 66" Entered as RO 32" X 66"	1

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:			
Qty: 1				



As Viewed From The Exterior

Entered As: RO
 MO 34 1/8" X 67 1/16"
 FS 31" X 65 1/2"
 OC 33 5/8" X 66 13/16"
 RO 32" X 66"

Primed Pine Exterior
 Primed Pine Interior
 Back Prime
 Ultimate Wood Double Hung Magnum
 Rough Opening w/ Subsill
 32" X 66"
 Top Sash
 Primed Pine Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 1 1/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 3W2H
 Primed Pine Ext - Primed Pine Int
 Ovolo Exterior Glazing Profile
 Ovolo Interior Glazing Profile
 Bottom Sash
 Primed Pine Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 1 1/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 3W2H
 Primed Pine Ext - Primed Pine Int
 Ovolo Exterior Glazing Profile
 Ovolo Interior Glazing Profile
 Non Finger-Jointed Blindstop
 1 Per Unit White Sash Lock
 Beige Jamb Hardware
 Extruded Aluminum Screen
 Stone White Surround
 Bright View Mesh
 4 9/16" Jambs
 Primed Pine Non Finger-Jointed BMC
 Primed Pine Standard Subsill
 Non Finger-Jointed Subsill
 Non Finger-Jointed Sill
 No Installation Method
 ***Note: Unit Availability and Price is Subject to Change

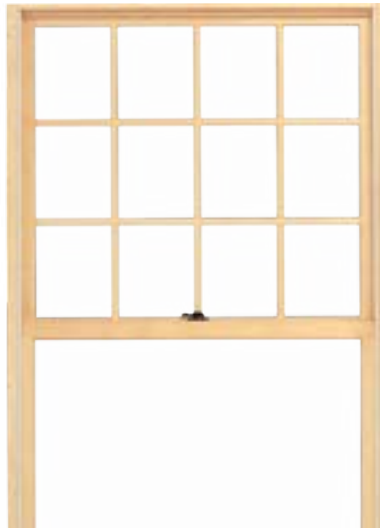
Ultimate Wood Double Hung Magnum



The Marvin Signature® Ultimate Wood Double Hung Magnum window is designed for use in residential, commercial and historic projects where expansive sizes and the natural look of a wood exterior is needed.

Find Marvin products in your area. Connect with a dealer near you to get started.

[FIND A DEALER](#)



FEATURES OF THE ULTIMATE WOOD DOUBLE HUNG MAGNUM WINDOW



- Available in heights up to 10 feet or widths up to 5 feet
- Engineered for smooth operation at every size
- Multiple exterior woods and finishes available
- Also available as a round top, single hung, stationary transom or picture window
- Triple hung is available by special order for additional design options
- Available with IZ3 coastal/hurricane certification

DESIGN OPTIONS

Exterior Finish

Wood Options



Mahogany

For projects that call for the natural or historic beauty of wood exteriors, we offer a selection of high-quality exterior wood options, including Pine, Vertical Grain Douglas Fir, Mahogany and Primed Pine.



**Finish samples are approximate and colors on screen can vary. Visit your local retailer to see actual color samples.*

***Western Red Cedar is available as a trim package option*

Interior Finish

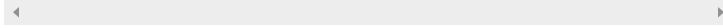
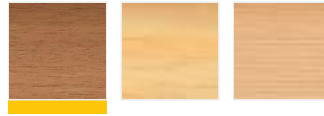
Meet your design vision with natural, stained or painted wood. With Marvin factory-applied interior finishes, you can order beautifully finished windows and doors that are ready to install the day they arrive to save valuable time on the job site.

Wood Options



Honduran Mahogany

Choose from a selection of high-quality standard wood options, including Pine, Mahogany, and Vertical Grain Douglas Fir.

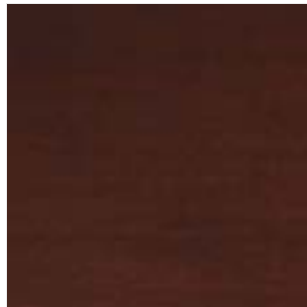


**Wood is a product of nature and will vary in color, texture and grain. Wood options shown are to demonstrate the approximate look of each species only, and stain samples are shown on Pine. Photos are not intended to reflect a product's interior or exterior profile.*

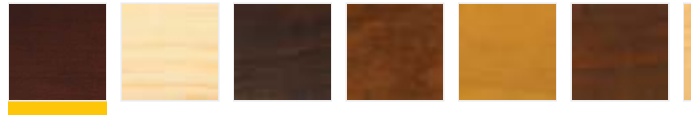
Stained Wood

When compared to painting or staining on the job site, factory-stained finishes offer consistent quality and performance resulting from our expertise with wood as a material and years of perfecting our staining process.

Every piece of wood receives even coats of conditioning and stain, two coats of clear finish, and is sanded and baked twice in an oven before your window or door is built to create a consistent, durable and high-quality finish that brings out the natural beauty, texture, and grain of the wood. Our stained wood products meet industry standards and arrive ready to install.



Cabernet



**Stain and clear coat is available on all offered interior wood species.*

Painted Wood



Designer Black**

Painting on the job site or scheduling off-site finishing is an extra step that takes time and coordination. Choose our primed white or white painted interior finish option on any Marvin pine windows and doors with a wood exterior, or an additional designer black paint option for products with an aluminum clad exterior. Your windows and doors will arrive factory-painted and ready to install.

You can count on consistency with our process, as every piece of wood receives a coat of prime and is sanded before being painted. The paint is baked twice in an oven before your window or door is built to create a consistent, durable and high-quality painted finish that performs to the industry standard.



**Finish samples are approximate and colors on screen can vary. Visit your local dealer to see actual color samples.*

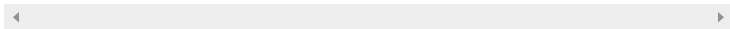
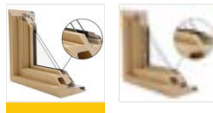
***Black only available on clad.*

Sticking Options



Square

The interior edge detail where glazing meets wood is called sticking, sometimes referenced as bead. Ogee and Ovolo sticking offer a more traditional profile, and square sticking can be specified for a clean, crisp, more contemporary look.



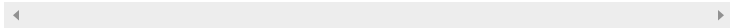
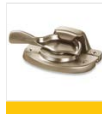
**Not all sticking styles are available on every product. Ask your window and door dealer for specifics. Square sticking shown here on a casement window.*

Hardware

Marvin hardware is far more than functional - it's engineered to be both durable and elegant. From traditional to contemporary, our hardware comes in a variety of architectural styles and finishes to meet your aesthetic needs and design goals. It's designed for effortless operation even at large sizes and is built to last, with optional PVD finishes for door hardware to resist fading and discoloration in even the harshest environments.



Sash Lock



**Hardware styles shown are available in all finish options below.*

Finishes



Antique Brass



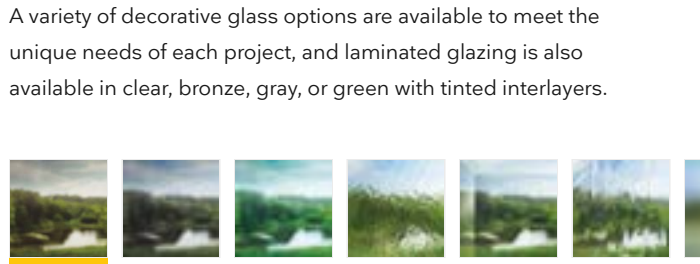
Glass



Decorative Glass



Bronze Tint



A variety of decorative glass options are available to meet the unique needs of each project, and laminated glazing is also available in clear, bronze, gray, or green with tinted interlayers.

**Not all decorative glass is compatible with all products. Check with your dealer for a recommendation on which glass is right for your project. Images may not be an accurate representation.*

Color tint images represent color tint example only. Please inquire about obscure glass treatments separately.

Energy Efficiency

Glass is an important aspect for managing the energy efficiency of your home. Our standard glazing is dual pane: two panes of glass with Low E coatings and argon insulating gas. We offer variations to help meet climate and code requirements across the country, described in more detail on our [glass page](#).

Specialty Glass Options

Our specialty glass options include glass for unique project needs like sound management (STC/OITC), high altitudes, Sea Turtle Conservation Codes and California fire zones. We also offer laminated glass in products designed specifically for hurricane zones.

Screens



Divided Lites



The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles - from historic replications to modern farmhouses. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window

sash without sacrificing the energy efficiency of a single pane of glass. For true historical accuracy, authentic divided lites utilize individual glass panes, and are available as a custom order on select all-wood windows.

Authentic Divided Lite (ADLs) on the façade of the house and exterior muntins on the remaining SDLs throughout

Authentic Divided Lite (ADL)



Separate pieces of glass are glazed between muntin bars - the way windows have been made since the beginning but with Marvin's updated design to increase energy efficiency.

Grilles-between-the-Glass (GBGs)



Grilles are permanently installed between the glass panes for a low-maintenance, smooth exterior and easy cleaning. Choose from 6 exterior colors and 3 interior colors.

Simulated Divided Lite (SDL)



An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

Simulated Divided Lite with Spacer Bar (SDLS)



Paired with SDL bars on the exterior of the glass, a spacer bar is installed between the glass, creating an even closer match to the Authentic Divided Lite look.

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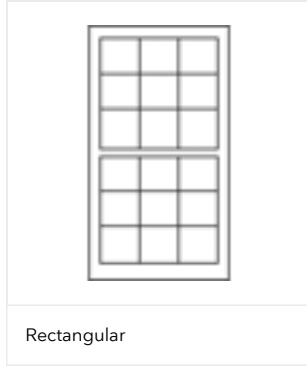
[Solutions](#) ▾

[Inspiration](#) ▾

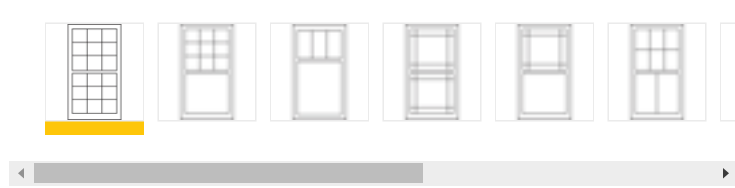
[Why Marvin](#) ▾

[For Pros](#)

in creating a pattern for your needs.



Rectangular



**These are some of our most frequently-requested divided-lite patterns.*

Casings

An instant boost to curb appeal, optional exterior casing adds architectural detail and character to the profile of your home. Various profiles are available for our all-wood window products.

Subsills

Choose from several subsill options to best match your sill thickness and depth with your casing and window style. Custom wood subsills are also available.

Coastal Performance



Marvin offers windows and doors specifically designed for the requirements of coastal and impact zone construction. From Nor'easters on the Cape to hurricanes down South that bring extreme rain, salt, and wind, the windows and doors you choose are critical and can help preserve a home's structural seal. Our hurricane-rated product options are certified for energy efficiency and rigorously tested by third party agencies to meet or exceed the most stringent coastal codes.

Learn more about Marvin's [Coastal Solutions](#) that help protect the longevity of your product and the structural integrity of your home.

Window Opening Control Devices

Front elevations of Cephas Summer House and Garage
Chris Berger Site Visit 1.11.24



Front and Right-Side Elevations of Cephas Summer House
Chris Berger Site Visit 1.11.24



Right-Side Elevation of the Cephas Summers House
Chris Berger Site Visit 1.11.24



Right-Side and Rear Elevations of the Cephas Summers House
Chris Berger Site Visit 1.11.24



Rear Elevation of the Cephas Summers House
Chris Berger Site Visit 1.11.24



Rear Elevation of the Cephass Summers House and Garage
Chris Berger Site Visit 1.11.24



Rear and Left Side Elevation of the Cephas Summers House
Chris Berger Site Visit 1.11.24



Left-Side Elevation of the Cephas Summers House
Chris Berger Site Visit 1.11.24



Front and Left-Side Elevations of the Cephas Summers House
Chris Berger Site Visit 1.11.24



Window Well Detail
Chris Berger Site Visit 1.11.24



Window Detail of the Cephas Summer House
Chris Berger Site Visit 1.11.24



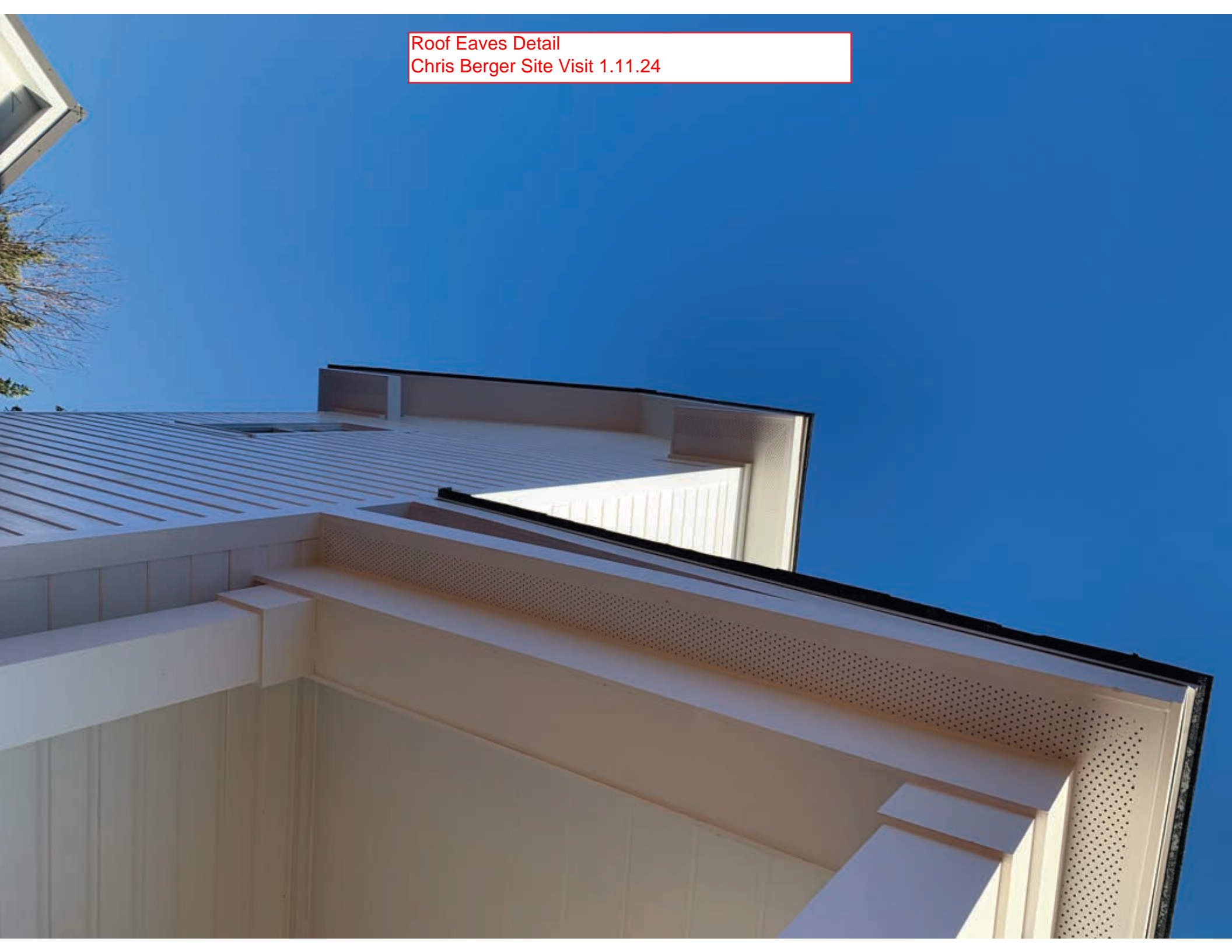
Left-side Elevation Windows Detail
Chris Berger Site Visit 1.11.24



Left-Side Elevation Areaway
Chris Berger Site Visit 1.11.24



Roof Eaves Detail
Chris Berger Site Visit 1.11.24



Right Side Elevation Porch Under Construction
Chris Berger Site Visit 1.11.24



Garage Front Elevation
Chris Berger Site Visit 1.11.24



Garage Front and Left Side Elevations
Chris Berger Site Visit 1.11.24



Garage Left Side Elevations
Chris Berger Site Visit 1.11.24



Garage Rear Elevation
Chris Berger Site Visit 1.11.24



Garage Right-Side Elevation
Chris Berger Site Visit 1.11.24



Garage Front and Right-Side Elevations
Chris Berger Site Visit 1.11.24



Garage Front Elevation Detail
Chris Berger Site Visit 1.11.24

