

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10212 Montgomery Ave., Kensington	<b>Meeting Date:</b>	1/10/2024
<b>Resource:</b>	Primary One Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	1/3/2024
<b>Applicant:</b>	Warner Circle Mansion Condominiums, LLC (Karl Voglmayr, Agent)	<b>Public Notice:</b>	12/27/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Permit No.:</b>	1032588 REVISION	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Post-approval revisions for comprehensive rehabilitation, new addition, site alterations and grading		

**STAFF RECOMMENDATION**

Staff recommends the HPC **approve** the revisions to the HAWP **with eight (8) conditions**:

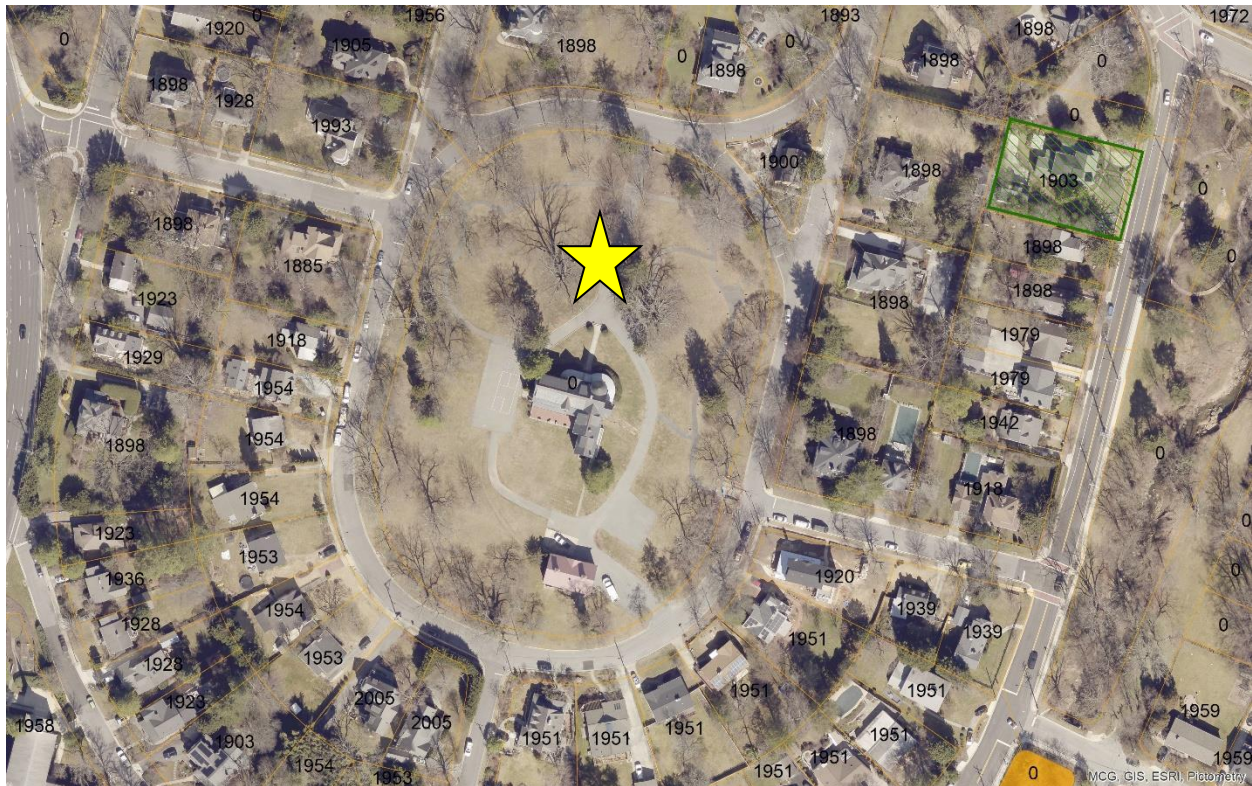
1. The proposed revisions to the 2<sup>nd</sup> floor of the east elevation of the carriage house are incompatible with the character of the building. No additional changes are approved to the left and right windows. The middle opening may be converted to a window but must maintain the hoist and doors. The doors may be fixed in an open position. Final approval authority to verify this condition has been satisfied is delegated to Staff.
2. The approval of these revised work items does not extend to the proposal to remove the louvered opening on the third floor and convert it into a window (work item #6). This opening should be retained, though glazing may be installed behind the louvers. If necessary alternative means of egress can be accommodated including a skylight on the south roof slope. Revised elevations and floorplans showing this condition has been satisfied need to be submitted to Staff to verify this condition has been satisfied.
3. The approval of these revised work items does not extend to relocating and reconfiguring the 3rd-floor window on the east elevation (work item #8) from the June 16, 2023 HAWP approval. As with work item #6, the opening size and placement need to be preserved.
4. The details provided in work item #7 do not provide enough information for Staff to evaluate the work proposed. Staff, therefore, recommends that the approval of this HAWP revision not extend to the northernmost window on the second floor of the carriage house's west elevation. Additional details need to be submitted to Staff before considering work on this window.
5. No specification was included for the wood fence surrounding the AC units at the carriage house. Details for this fence must be submitted with the final permit drawings with final approval authority delegated to Staff.
6. The proposed stone veneer on the foundation level of the addition must be reviewed and approved by Staff, in the field with a sample board in order to verify it will not detract from the appearance of the historic foundation prior to issuance of the building permit.
7. A specification for all of the proposed metal railings needs to be submitted to Staff. Final approval authority is delegated to Staff to verify the proposed railing is compatible with the character of the building and surrounding district. Details for this railing must be submitted with the final permit drawings with final approval authority delegated to Staff.
8. To avoid an incompatible appearance on the east elevation, the mansion's side porch railing needs to be consistent with the design and material of the railing on the wrap-around porch. Final

approval authority for this railing is delegated to Staff.

The original HAWP approval from June 14, 2023 included eight conditions. The submitted materials satisfy conditions #3 and #7. The remaining six conditions are still outstanding and/or require material specifications when plans are submitted for final permitting.

### **ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Primary One Resource within the Kensington Historic District  
 STYLE: Queen Anne  
 DATE: c.1890 w/ c.1914 carriage house



*Figure 1: Warner Manor is located in the middle of Manor Circle (Image taken 2021).*

### **BACKGROUND**

On June 14, 2023, the HPC approved a HAWP, with conditions recommended by Staff, for a complete rehabilitation of the subject property, converting the mansion house and carriage house into multi-family housing.<sup>1</sup>

### **PROPOSAL**

The applicant proposes revisions to several elements on the mansion house and carriage house approved in 2023.

<sup>1</sup> The Staff Report and application for the June 14, 2023 HAWP approval is available here: <https://montgomeryplanning.org/wp-content/uploads/2023/06/1.H-10212-Montgomery-Avenue-Kensington-1032588.pdf>. The recording of the hearing is available here: [https://mncppc.granicus.com/MediaPlayer.php?publish\\_id=62a1cf30-0c7c-11ee-95dd-0050569183fa](https://mncppc.granicus.com/MediaPlayer.php?publish_id=62a1cf30-0c7c-11ee-95dd-0050569183fa) and begins at approximately 47:00.

## **APPLICABLE GUIDELINES**

### ***Kensington Historic District Guidelines***

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Vision of Kensington: A Long-Range Preservation Plan***

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

### ***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation, and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unstate conditions or health hazards be remedied; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interest of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### ***Secretary of the Interior's Standards for Rehabilitation:***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

The subject property is generally known as the Warner Manor (or Warner Mansion) and historically served as Brainard Warner's - the developer of Kensington – summer house. The house, an ornate Queen Anne house with an L-shaped plan and a large tower, is sited in the middle of Warner Circle Park. The grade drops away from the house to the east, south, and west. Several years after the house was constructed, a carriage house was built to the south of the manor. The applicant proposes a full site rehabilitation including; rehabilitating and constructing an addition to the historic manor house, rehabilitating the carriage house, and other site work and hardscaping for the property's new use.

The applicant identified thirty (30) revisions to the carriage house and mansion. Staff finds the revisions will not substantially alter the character of the historic buildings or surrounding district and recommends the HPC approve the revisions. Staff notes a separate amendment or a new HAWP will be submitted at a future date to address site hardscaping and lighting, but those are beyond the scope of the current proposal. The submitted revision numbered the revised work items #1-30, so for continuity, this Staff Report will evaluate the items in that order.

#### **Carriage House Revisions**

1. Front Louver Replaced – On the north elevation, the applicant proposes to maintain the existing louver as conditioned by the HPC approval with glazing installed behind it. Staff finds this change will result in no visible change from the existing appearance and should be approved under 24A-8(b)(1).
2. Solar Panels Deleted from Scope – the HAWP approval did not extend to the proposed solar panels on the carriage house's south-facing roof slope. Elimination of this element does not require HPC's approval as the revision proposes no work.
3. Rear Door Alteration (south elevation) – On the ground floor, below the rear stairs, there is a staircase leading to a half-light door, with a sash light to the left. The applicant proposes removing this door and stair, converting the opening to a window, and repairing the siding below. Staff finds that the rear of the carriage house is the least architecturally significant and that the loss of this door will not have a significant impact on the character of the carriage house or the surrounding district. Staff recommends the HPC approve the door and stair removal under 24A-8(b)(2).
4. Ramp Removed – In the southeast corner of the south elevation of the carriage house, there is a concrete ramp from grade to a door. The concrete does not match the foundation and appears to have settled. Staff finds the different concrete mix suggests the ramp is a later modification to the building and not an original feature. Staff recommends the HPC approve the demolition of this

- feature under 24A-8(b)(2) and (d) and Standard 2.
5. 2 Window Openings Altered (South elevation) – On the 1<sup>st</sup> floor of the south elevation, there are two six-over-six sash windows. The applicant proposes to enlarge these openings so the sills extend to the foundation. The replacement windows will also be six-over-six sash windows which Staff finds will not substantially alter the character of the rear of the carriage house and Staff recommends the HPC approve the window replacement under 24A-8(b)(2).
  6. 3<sup>rd</sup> Floor Window Raised, enlarged for egress – The existing opening on the west elevation has a louvered opening. The applicant proposes removing the louvers and installing a pair of eight-light casement windows which will satisfy code requirement for egress. Staff finds removing virtually all of the louvered openings has the potential to negatively change the character of the historic carriage house contravening 24A-8(b)(2) and Standard 2. Staff recommends the HPC not allow this change and recommends the applicant consider alternative solutions, such as a skylight, on the south roof slope or other floorplan revision.
  7. 2nd-floor window Altered – The applicant proposes to replace the northernmost window on the 2<sup>nd</sup>-floor of the west elevation. The information provided does not indicate how the proposed window will be altered from the original HAWP approval, so Staff cannot make a recommendation as to the appropriateness of this work. Staff recommends the HPC include a condition to this HAWP that the approval does not extend to this window opening. Additional information needs to be submitted with more detail before Staff/HPC will consider any further changes to this opening.
  8. 3<sup>rd</sup> Floor Window Raised – As with the 3rd-floor window on the west elevation (#6, above), the applicant proposes to remove the louvered opening and install a pair of 8-light casement windows in the opening. The previous HAWP approval included installing a large sash window in the opening. However, the sill of that window appears to be too close to the floor (see *Figures 2-4*, below). . Based on the drawings submitted, Staff cannot evaluate the size of the proposed window compared to the previous approval. Staff finds the relocated window negatively impacts the fenestration on the east elevation and recommends the HPC not approve the alteration.
  9. 3 windows Altered – On the 2<sup>nd</sup> floor of the east elevation there are three openings, two small louvered openings, and a large opening, slightly off-center, with a hoist to load the hay loft. The applicant proposes to significantly enlarge the two louvered openings and center the hay loft opening, remove the doors, and install a pair of 8-light casement windows (images of the existing condition, approved, and the proposed revision are shown below). The approved plan converted the two louvered openings to casement windows and retained the loft opening. Staff finds the collective impact of these three changes is detrimental to the character of the elevation and recommends the HPC consider an alternative. Staff recommends the HPC not approve enlarging the left and right openings. The floorplan submitted with the approved HAWP shows the hay loft door in the location of a closet, so retaining the doors would not have interfered with the interior layout. Staff recommends the HPC allow the hay loft opening to be glazed, provided the hoist is retained and the doors are retained (or replaced as necessary). The hay loft doors may be installed in a fixed open position, but are necessary to preserve the character of the carriage house so it can convey how it historically functioned. With the condition, Staff finds the proposal is consistent with 24A-8(b)(2) and Standard 2.



Figure 2: east elevation of the carriage house, showing the access to the hay loft.

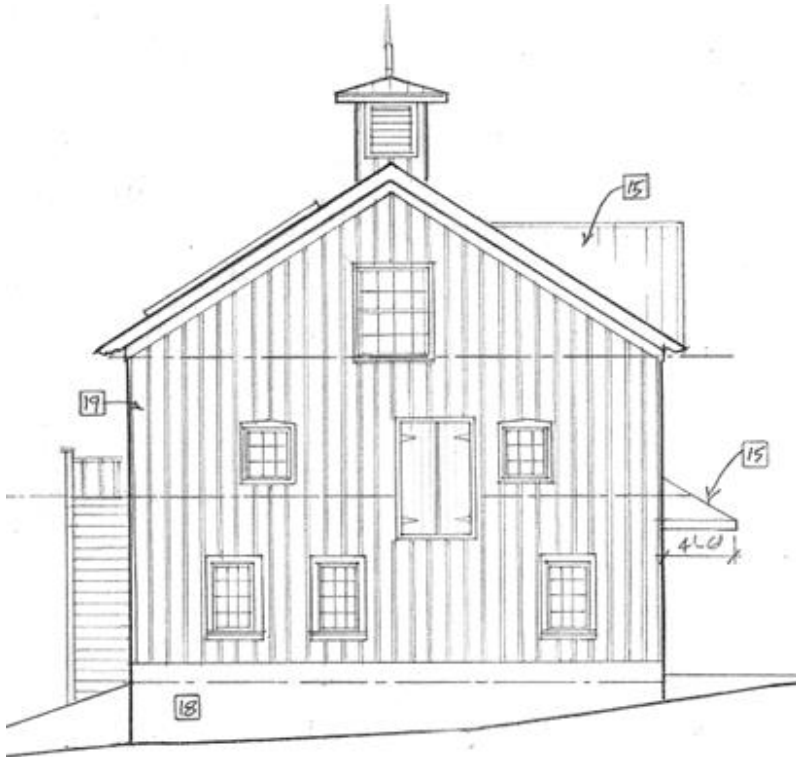
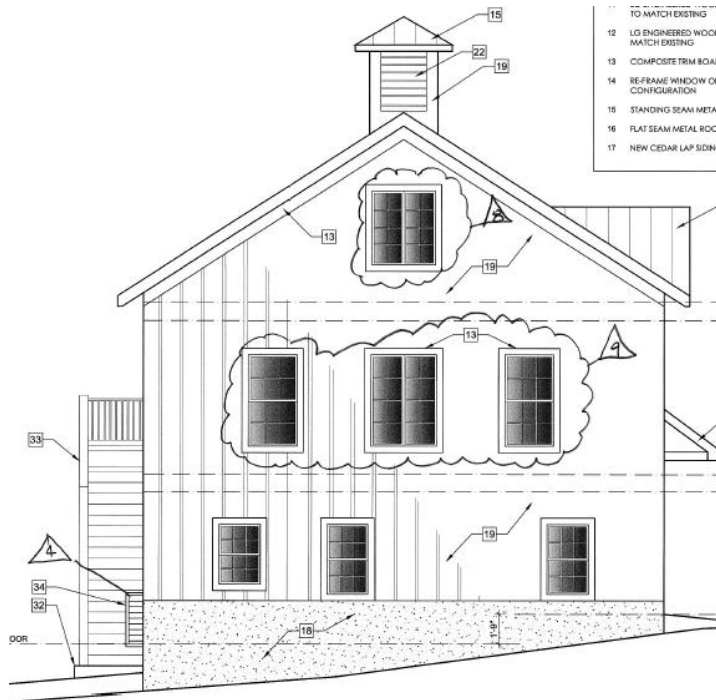


Figure 3: Approved East elevation.



*Figure 4: East elevation showing the proposed 2nd-floor window revisions.*

10. Carriage House AC Units – The applicant proposes to install three AC units on grade to the west side of the house. The units will be screened by a wood fence. A fencing specification was not provided with the submitted materials. Staff recommends the HPC approve the HVAC units and delegate approval authority for the proposed fencing to Staff to ensure it is compatible with the character of the house and surrounding district.

### **Mansion House Revisions**

11. Window Well – on the north elevation, to the right of the front porch, the applicant proposes to install a window well. This feature will be minimally visible and is consistent with the other window wells proposed as part of the building rehabilitation. Staff recommends the HPC approve the window well under 24A-8(b)(2) and (4) and Standards 2, 9, and 10.
12. Stair Tower Revisions – The approved HAWP drawings show the stair tower roof covering windows in the existing dormer. The applicant proposes to revise the stair design so that 3rd-floor windows are retained. Note, the proposed drawing shows single-light casement windows, however, the drawing is illustrative and only multi-light windows have been approved on this elevation. Staff finds this change will not impact the historic massing of the structure and recommends the HPC approve this revision under 24A-8(b)(2) and Standard 2. The drawing submitted as *Figure 6* corrects a drafting error in the elevation submitted for HAWP approval (*Figure 5*).

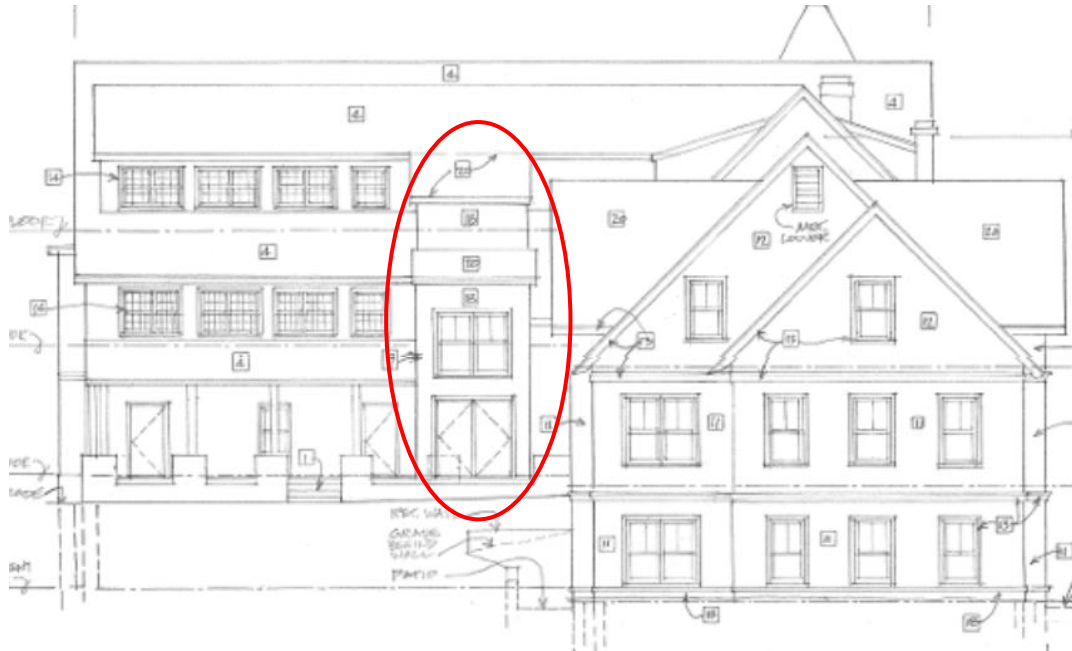


Figure 5: South elevation showing approved stair tower.

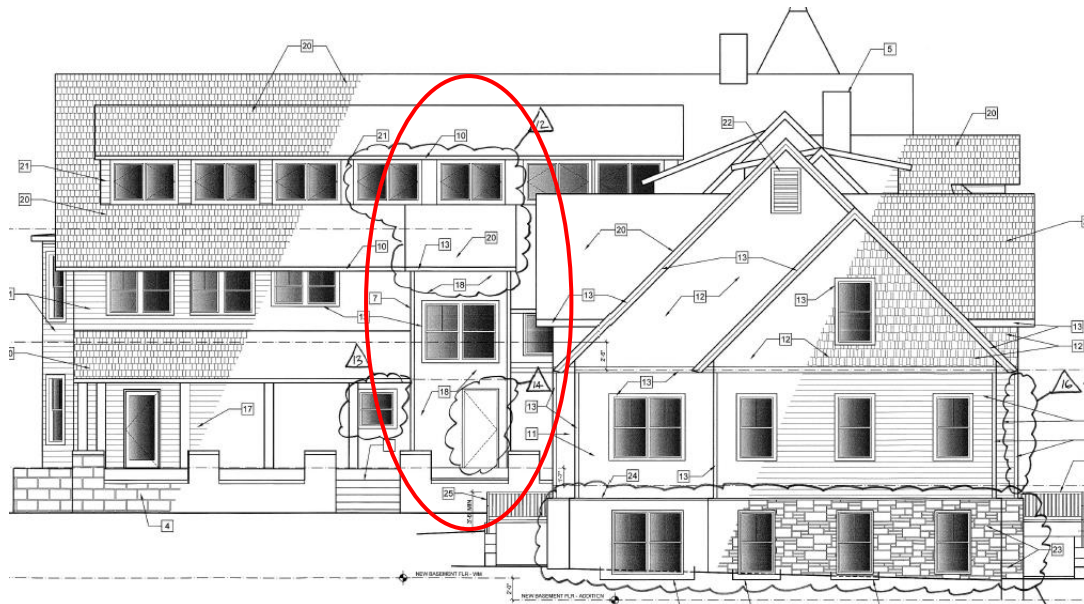


Figure 6: Revised design showing the additional windows and is corrected to accurately show the shed dormer.

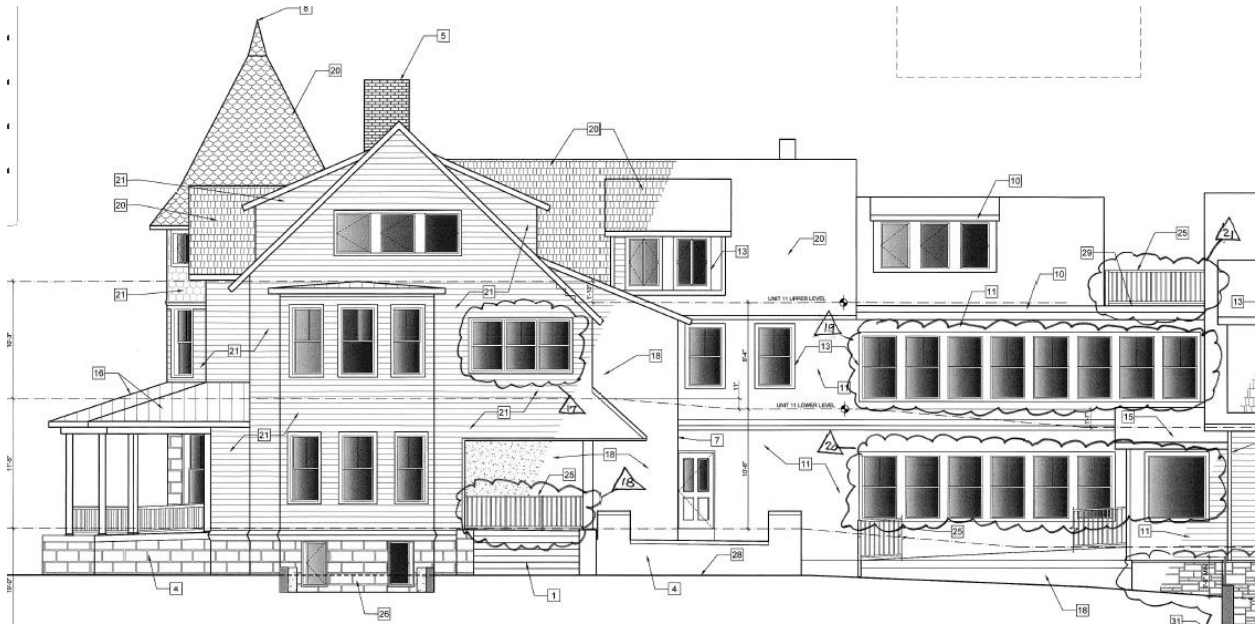
13. 1<sup>st</sup> Floor Door Converted to a Window – To the left of the proposed stair tower, there is a non-historic door opening. The applicant proposes to remove this door opening and install a small two-over-one sash window. Staff finds this elevation has been substantially altered and is a reconstruction that dates to the demolition of the large non-historic addition. Staff finds changing this door to a window will have a minimal impact on the character of the house or surrounding district and recommends the HPC approve the alteration under 24A-8(b)(1) and (d) and Standard 2.
14. 1<sup>st</sup> Floor Paired Door Converted to a Single Door – The approved design included a pair of doors at the base of the stair tower. The applicant proposes to convert the opening to a single door, which is consistent with the current configuration. Staff finds this change is a reduction in scope and is compatible with the character of the house and recommends the HPC approve the single door under 24A-8(b)(2) and (d).



15. 1<sup>st</sup> Floor Addition Changed to Stone Veneer – The approved siding for the addition included fiber cement to grade. The applicant has revised the design so that the foundation level has a stone veneer. The notes on the elevation state it will match the historic house foundation. Staff finds changing the foundation to match the historic mansion does not run the risk of creating a false sense of history that would contravene Standard 9. However, without a submitted specification, Staff recommends the HPC condition the approval of the stone veneer siding, so it has to be reviewed and approved by Staff in the field before it can be installed on the house. With this condition, Staff finds the proposed stone veneer will satisfy 24A-8(b)(2) and (d) and Standards 2, 9, and 10.
16. Cornerboard Trim Added to 2<sup>nd</sup> Floor Addition – The applicant proposes to install composite cornerboard trim on the addition. Staff finds this will not detract from the character of the house and is a compatible feature with the design of the addition and recommends the HPC approve the trim under 24A-8(b)(2) and (d) and Standards 2, 9, and 10.
17. Window Grouping Changed to Three from Two – On the 2<sup>nd</sup> floor of the west elevation, there is a blocked-in historic window opening. The approved HAWP included two large multi-light casement windows to be installed in that opening. The applicant has revised the proposal to install three two-over-one sash windows will be installed into the opening. Staff finds the existing opening has already been substantially modified and that the two-over-one sash windows are consistent with the configuration of the windows found in the historic mansion. Staff recommends the HPC approve the window reconfiguration under 24A-8(b)(1), (2), and (d) and Standard 2.
18. Fence and Gate Added at Top of Stair at Porch – On the rear porch, the applicant proposes to install a black metal guardrail with a gate. No specification for the railing was provided. Staff finds a railing in this location is appropriate (and probably necessary to satisfy code), however, without a specification, Staff recommends the HPC condition the approval of this feature so that the final approval authority is delegated to Staff to ensure it is compatible with the character and design of the house and surrounding district. With the recommended condition, Staff finds the proposed railing satisfies 24A-8(b)(2) and (4) and Standards 2 and 9.



Figure 7: Approved west elevation showing the connector fenestration.



*Figure 8: Revised fenestration for the connector.*

19. Revision of the Connector Fenestration (2<sup>nd</sup> Floor) – the approved design of the 2<sup>nd</sup> floor of the connector between the mansion and the addition included four pairs of sash windows. The revised design has separated the windows into eight individual sash windows. This revision was recommended at the June 16, 2023 hearing and Staff finds creates a more balanced appearance. Staff finds this revision is an improvement on the approved design and recommends the HPC approve the new fenestration under 24A-8(b)(2) and (d) and Standards 2, 9, and 10.
20. Revision to the Connector Fenestration (1<sup>st</sup> Floor) – On the approved design of the 1<sup>st</sup>-floor connector, there was a pair of sash windows in the southernmost opening. The applicant revises the design so that the pair of windows is converted into a single square picture window. Because the 2<sup>nd</sup>-floor windows were unpaired, retaining that opening as a pair of sash windows would have resulted in an incongruous appearance. Staff finds the revised design is consistent with 24A-8(b)(2) and (d) and recommends the HPC approve the revision.
21. Railing Added at Connector Roof – Between the historic building and the addition, the applicant proposes to capture some of the space on the roof to convert the space into a patio. Code requires a railing for this to be usable space. The applicant proposes to install a black metal railing in this location. As with the railing discussed in #18, a specification was not provided with the submitted materials. Staff finds that a simply detailing railing in this location would not detract from the character of the house or surrounding district and recommends the HPC condition the approval of the railing so that the final approval authority is delegated to Staff to ensure it is compatible with the character and design of the house and surrounding district. With the recommended condition, Staff finds the railing will satisfy 24A-8(b)(2) and (d).
22. 1<sup>st</sup> Floor Addition Changed to Stone Veneer – See #15.
23. Fenestration Revised – On the west elevation of the addition, the approved design had three floors of stacked two-over-one sash windows. The applicant proposes to revise the fenestration so the windows on the basement and 1<sup>st</sup> floor are closer together and there is a single window on the 2<sup>nd</sup> floor. While Staff preferred the previously approved design, Staff finds the revised layout does not detract from the character of the historic site or the surrounding district and recommends the HPC approve the revision under 24A-8(b)(2) and (d) and Standards 2, 9, and 10.

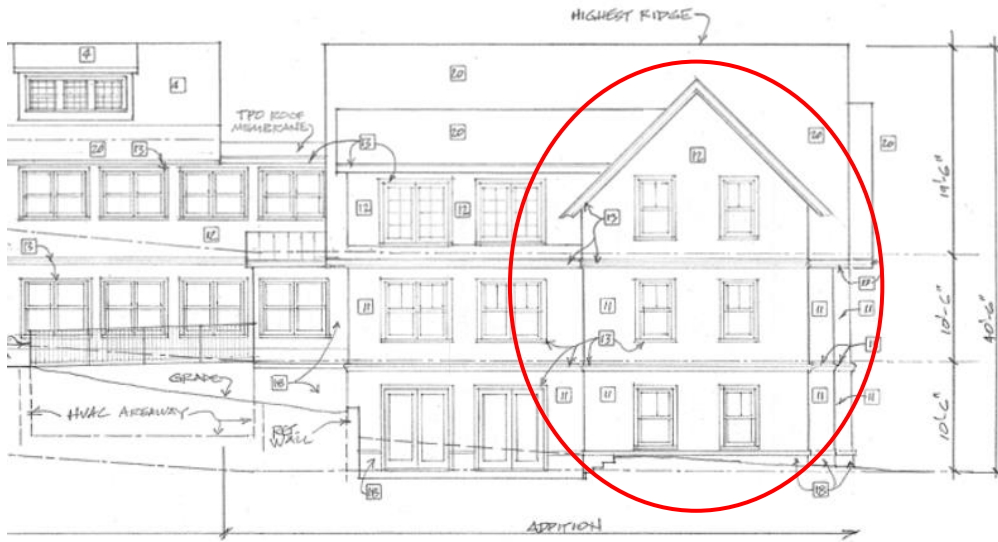


Figure 9: Approved fenestration for the approved addition.



Figure 10: Revised fenestration.

24. Cornerboard Trim Added to 2<sup>nd</sup> Floor Addition – See #16.
25. Existing Chimney Removal at Southeast Corner – The existing historic house has three chimneys. One penetrates the primary side gable and the other two are smaller and visible only from the east elevation. The applicant proposes removing the chimney in the southeast corner of the historic house. Staff finds this chimney does not significantly add to the character of the house and is a functional feature rather than a decorative/architectural feature. Staff recommends the HPC approve the chimney removal under 24A-8(b)(2) and (d) and Standard 2.
26. Railing Added at Connector Roof – See #12.
27. 1<sup>st</sup> Floor Addition Changed to Stone Veneer – See #15.
28. Revision of the Connector Fenestration – The approved fenestration in the connector had stacked window openings set at the levels of the stair landings. The revised design has three two-over-one sash windows per floor. Staff finds the revised design is more in keeping with the character of the house design and recommends the HPC approve the revision under 24A-8(b)(2) and (d) and Standards 2, 9, and 10.



Figure 11: Approved connector fenestration, outlined in red.



Figure 12: Revised fenestration in the connector.

29. Fenestration Revised at 2<sup>nd</sup> Floor – On the 2<sup>nd</sup> floor of the historic house's east elevation, there is a modified window opening that appears to have included three pairs of six-over-six sash windows on one point (two windows are currently missing). The approved design would have restored the opening to include three pairs of windows. The revised design changes the window configuration from six-over-six to two-over-one and changes the window spacing. Staff finds the window configuration change is compatible, but finds the window spacing to be unbalanced. Regardless of the balance, Staff finds this elevation has been substantially altered from its historic configuration including the construction and removal of a non-historic addition projecting to the

east. Staff finds the revised design is appropriate and recommends the HPC approve the new fenestration on the east elevation under 24A-8(b)(2) and (d).



Figure 13: Existing east elevation. Altered windows circled in red.



Figure 14: Approved east elevation.

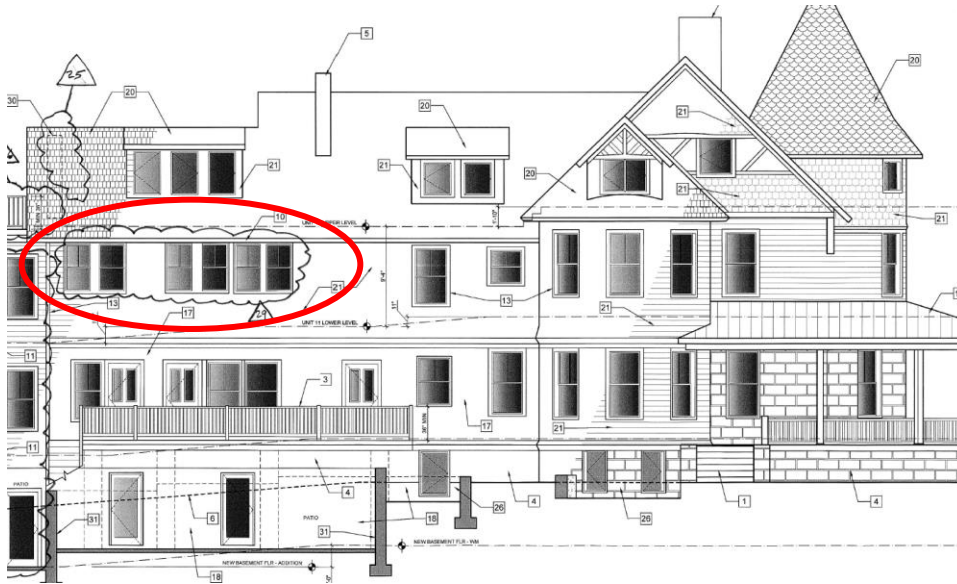


Figure 5: Proposed east elevation.

30. Metal Guardrails for Sunken Patios – Note, on A007 the proposed guardrails are notated ‘27’ and not ‘30.’ On the east and west elevations, the applicant proposes to install metal guardrails around the approved patios. This is required by code because the drop from grade is too far. Staff finds the proposed railing will not detract from the character of the house or surrounding district, though Staff finds the east elevation appears a little cluttered around the side porch where there will be one railing almost on top of another (see below) potentially rendering this treatment as incompatible. As with the other black metal railings, a specification for this material was not included in the submission. Staff finds a simply detailed metal railing would satisfy 24A-8(b)(2) and (d) and Standard 2, and recommends the HPC delegate final approval authority to Staff to ensure the railing is compatible with the character of the house and surrounding district. Additionally, Staff recommends the railing on the side porch mimic the design and materials of the railing of the historic wrap-around porch to further differentiate an area adjacent to the main house versus the basement access. Final approval authority for this railing is delegated to Staff.



Figure 6: Proposed east elevation showing the railing for the patios and the railing for the 1st-floor side porch.

## STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application **with eight (8) conditions (NOTE: The original HAWP approval from June 14, 2023 included eight conditions. The submitted materials satisfy conditions #3 and #7. The remaining six conditions are still outstanding and/or require material specifications when plans are submitted for final permitting.)**

1. The proposed revisions to the 2<sup>nd</sup> floor of the east elevation of the carriage house are incompatible with the character of the building. No additional changes are approved to the left and right windows. The middle opening may be converted to a window but must maintain the hoist and doors. The doors may be fixed in an open position. Final approval authority to verify this condition has been satisfied are delegated to Staff.
2. The approval of these revised work items does not extend to the proposal to remove the louvered opening on the third floor and convert it into a window (work item #6). This opening should be retained, though glazing may be installed behind the louvers. If necessary alternative means of egress can be accommodated including a skylight on the south roof slope. Revised elevations and floorplans showing this condition has been satisfied need to be submitted to Staff to verify this condition has been satisfied.
3. The approval of these revised work items does not extend to relocating and reconfiguring the 3rd-floor window on the east elevation (work item #8) from the June 16, 2023 HAWP approval. As with work item #6, the opening size and placement need to be preserved.
4. The details provided in work item #7 do not provide enough information for Staff to evaluate the work proposed. Staff, therefore, recommends that the approval of this HAWP revision not extend to the northernmost window on the second floor of the carriage house's west elevation. Additional details need to be submitted to Staff before considering work on this window.
5. No specification was included for the wood fence surrounding the AC units at the carriage house. Details for this fence must be submitted with the final permit drawings with final approval authority delegated to Staff..
6. The proposed stone veneer on the foundation level of the addition must be reviewed and approved by Staff, in the field with a sample board in order to verify it will not detract from the appearance of the historic foundation prior to issuance of the building permit.
7. A specification for all of the proposed metal railings needs to be submitted to Staff. Final approval authority is delegated to Staff to verify the proposed railing is compatible with the character of the building and surrounding district. Details for this railing must be submitted with the final permit drawings with final approval authority delegated to Staff.
8. To avoid an incompatible appearance on the east elevation, the mansion's side porch railing needs to be consistent with the design and material of the railing on the wrap-around porch. Final approval authority for this railing is delegated to Staff;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (4), (6), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the Kensington Historic District and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at Staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Warner Circle Mansion Condominiums LLC  
Address: 4710 Bayard Boulevard  
Daytime Phone: 202-332-2700

E-mail: jkavoglmayr@gmail.com  
City: Washington Zip: 20816  
Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: Karl Voglmayr  
Address: 4710 Bayard Boulevard  
Daytime Phone: 202-439-7701

E-mail: jkavoglmayr@gmail.com  
City: Washington Zip: 20816  
Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name Kensington  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10212 & 10206 Street: Montgomery Avenue. Mansion 10212 & Carriage 10206  
Town/City: Kensington Nearest Cross Street: Baltimore Street  
Lot: 1 Block: 1 Subdivision: 0015 Parcel: 000

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch                     | <input type="checkbox"/> Shed/Garage/Accessory Structure  |
| <input checked="" type="checkbox"/> Addition           | <input type="checkbox"/> Fence                          | <input checked="" type="checkbox"/> Solar                 |
| <input checked="" type="checkbox"/> Demolition         | <input checked="" type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof                | <input checked="" type="checkbox"/> Window/Door           |
|  |   | <input type="checkbox"/> Other: _____                     |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

J. Karl A. Voglmayr  
Signature of owner or authorized agent

1.19.2023  
Date

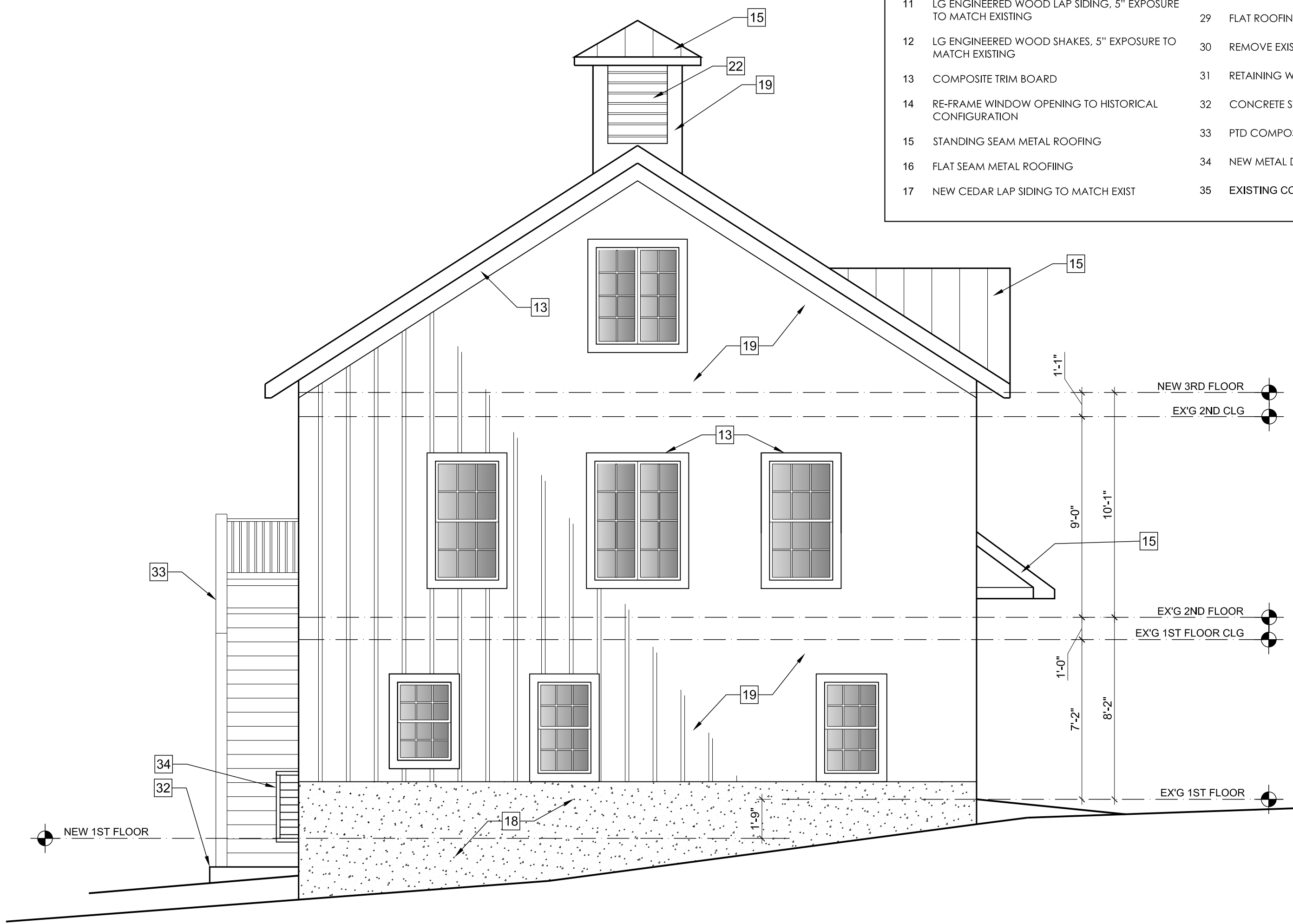


LEGAL_DESC	PREMISE_ADDR_HOUSENO	PREMISE_ADDR_STREET	PREMISE_ADDR_STREET_TYPE
KENSINGTON PARK	10109	HADLEY	PL
LTS 21&22 KENSINGTON PARK	10221	MONTGOMERY	AVE
LT 25 KENSINGTON PK	10225	MONTGOMERY	AVE
KENSINGTON PARK	10220	CARROLL	PL
KENSINGTON PARK	10209	MONTGOMERY	AVE
LT 5 KENSINGTON PARK	10300	FAWCETT	ST
KENSINGTON PARK	10104	HADLEY	PL
KENSINGTON PARK	10210	CARROLL	PL
KENSINGTON PARK	10211	MONTGOMERY	AVE
KENSINGTON PARK	10206	CARROLL	PL
KENSINGTON PARK	10212	CARROLL	PL
KENSINGTON PARK 3979 /345	10208	CARROLL	PL
KENSINGTON PARK	10207	MONTGOMERY	AVE
LT 18&19 KENSINGTON PARK	10213	MONTGOMERY	AVE
KENSINGTON PARK	10203	MONTGOMERY	AVE
LTS 2 THRU 6 AND 14 THRU 18 KENSINGTON PARK	10231	CARROLL	PL
KENSINGTON PARK	10204	CARROLL	PL
KENSINGTON PARK	10216	CARROLL	PL
KENSINGTON PARK	10214	CARROLL	PL
TRIANGULAR LOT KENSINGTON PARK NOYES LIBRARY	10237	CARROLL	PL
LTS 7 THRU 13 KENSINGTON PARK	10212	MONTGOMERY	AVE
KENSINGTON PARK	10205	MONTGOMERY	AVE
KENSINGTON PARK	10202	CARROLL	PL

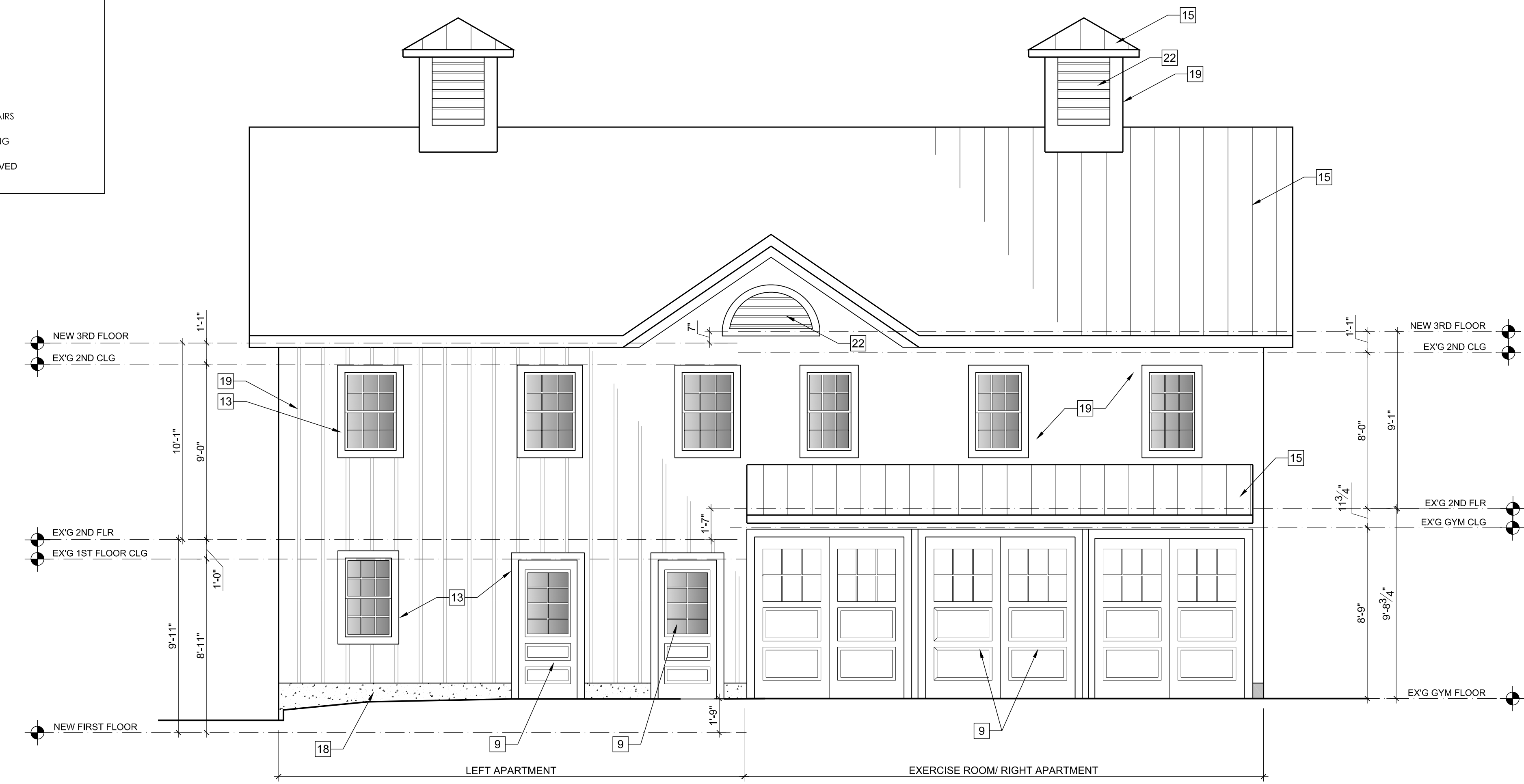
PREMISE_ADDR_CITY	PREMISE_ADDR_ZIP	OWNERS_NAME	OWNERS_NAME2	OWNERS_ADDR1
KENSINGTON	20895	DINN SCOTT H & S M		10109 HADLEY PL
KENSINGTON	20895	CASWELL BRUCE L &	LAUREN C DEICHMAN	10221 MONTGOMERY AVE
KENSINGTON	20895	MILLER WENDY L		10225 MONTGOMERY AVE
KENSINGTON	20895	ENGEL JAMES D &	MAUREEN E CONLEY	10220 CARROLL PL
KENSINGTON	20895	VEERHOFF FAMILY TR	PENELOPE E VEERHOFF REVOCABLE	10209 MONTGOMERY AVE
KENSINGTON	20895	COWAN GLENN A & K C		10300 FAWCETT STREET
KENSINGTON	20895	BEAVERS FREDERICK P &	CYNTHIA L LONG	10104 HADLEY PL
KENSINGTON	20895	STEWART MARK JONATHON	STEWART KATHERINE M	10210 CARROLL PL
KENSINGTON	20895	GRAY JORDAN	GRAY JESSICA	10211 MONTGOMERY AVE
KENSINGTON	20895	FREEMAN SHERWIN S	FREEMAN ANGELICA G	10206 CARROLL PL
KENSINGTON	20895	LAWSON MICHAEL A		10212 CARROLL PL
KENSINGTON	20895	LYONS SARA	PFEIFFER MICHAEL	10208 CARROLL PL
KENSINGTON	20895	RATTI STEFANO &	MICHELLE E WATKINS	10207 MONTGOMERY AVE
KENSINGTON	20895	YOULE RICHARD J	WOOD KATHERINE	10213 MONTGOMERY AVE
KENSINGTON	20895	HUSSONG DAVID & VIRGINIA		10203 MONTGOMERY AVE
KENSINGTON	20895	MONTGOMERY COUNTY MD		101 MONROE ST 3RD FLR
KENSINGTON	20895	STONEFREE LLC		10511 SUMMIT AVE
KENSINGTON	20895	GRADOWSKI JOHN JUSTIN JR	GRADOWSKI KATHLEEN M	10216 CARROLL PL
KENSINGTON	20895	HUSSEY MICHAEL	HUSSEY CATHERINE	10214 CARROLL PL
KENSINGTON	20895	MONTG CO MD		EOB 101 MONROE ST
KENSINGTON	20895	MONTGOMERY COUNTY MD		C/O MNCPPC PARK PROPERTY M
KENSINGTON	20895	LEVITUS STEVEN GABRIEL	TAMMARO MEGHAN LORRAINE	10205 MONTGOMERY AVE
KENSINGTON	20895	TARTT HOLDINGS LLC		2220 HALL PLACE

OWNERS_CITY	OWNERS_STATE	OWNERS_ZIP
KENSINGTON	MD	20895
KENSINGTON	MD	20895
KENSINGTON	MD	20895
KENSINGTON	MD	20895
KENSINGTON	MD	20895
KENSINGTON	MD	20895
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KENSINGTON	MD	20895
KENSINGTON	MD	20895
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SILVER SPRING	MD	20901
KENSINGTON	MD	20895
WASHINGTON	DC	20007

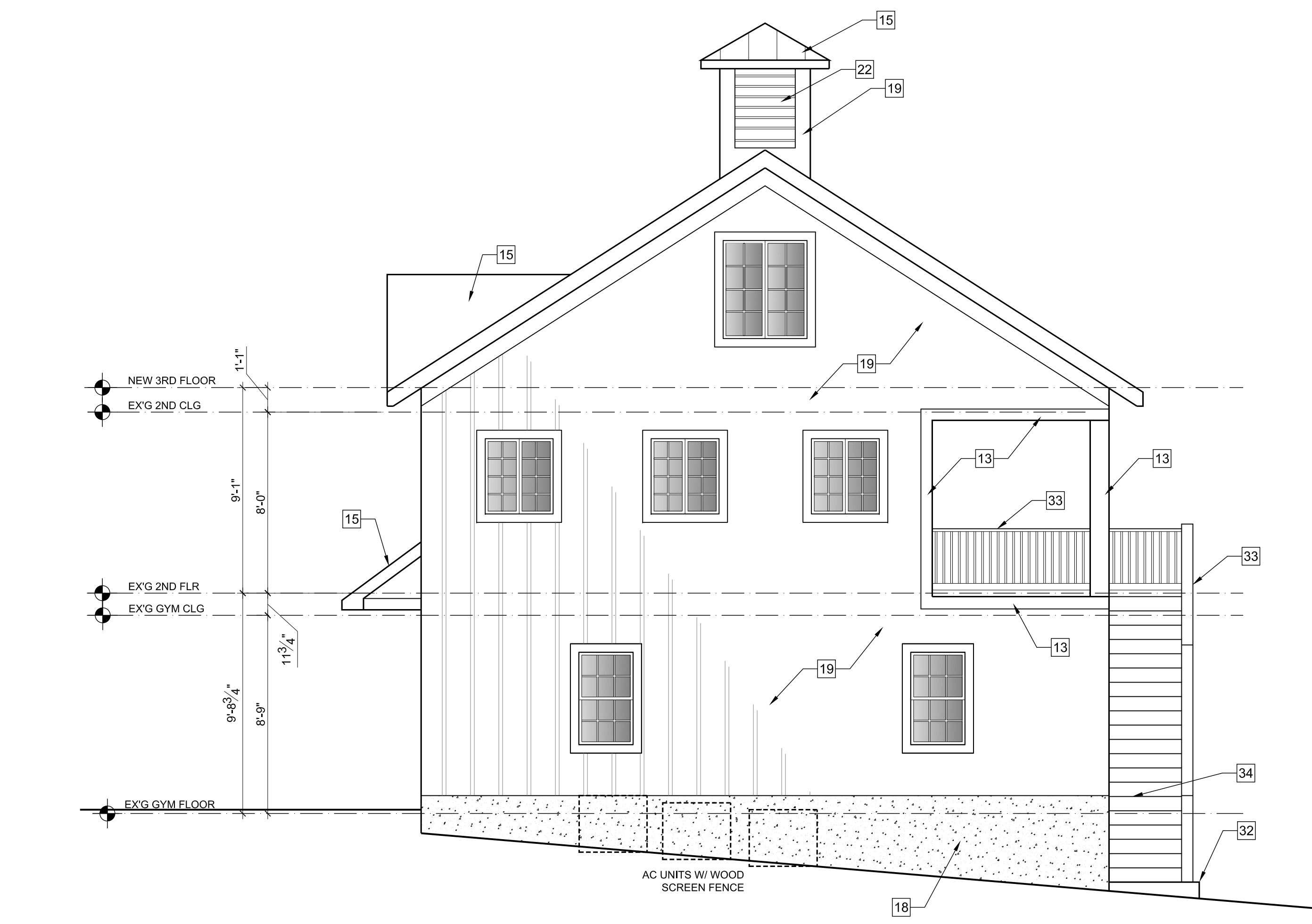
- KEYED ELEVATION NOTES:**
- 1 RESTORE STONE STEPS
  - 2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE
  - 3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE
  - 4 EXISTING STONE FOUNDATION
  - 5 RECONSTRUCT DECORATIVE CHIMNEY TOPS
  - 6 LINE OF GRADE IN FOREGROUND
  - 7 NEW STAIR TOWER FOR EGRESS COMPLIANCE
  - 8 ADD NEW LIGHTING ROD, WIRE, GLASS
  - 9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING
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  - 11 LG ENGINEERED WOOD LAP SIDING, 5" EXPOSURE TO MATCH EXISTING
  - 12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING
  - 13 COMPOSITE TRIM BOARD
  - 14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION
  - 15 STANDING SEAM METAL ROOFING
  - 16 FLAT SEAM METAL ROOFING
  - 17 NEW CEDAR LAP SIDING TO MATCH EXIST
  - 18 PARING
  - 19 BOARD & CEDAR BATTEN SIDING
  - 20 NEW SLATE SHINGLES
  - 21 NEW CEDAR SHINGLES TO MATCH EXIST
  - 22 PAINTED METAL LOUVER
  - 23 STONE VENER TO MATCH EXIST, STONE FOUNDATION COLOR & TEXTURE
  - 24 STONE CAP COURSE
  - 25 NEW BLACK METAL GUARDRAIL
  - 26 NEW EMERGENCY EGRESS WINDOW WELL WITH METAL GRATES AT GRADE
  - 27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED
  - 28 GRADE
  - 29 FLAT ROOFING
  - 30 REMOVE EXISTING CHIMNEY
  - 31 RETAINING WALL
  - 32 CONCRETE STOOP
  - 33 PTD COMPOSITE RAILINGS & STAIRS
  - 34 NEW METAL DECORATIVE RAILING
  - 35 EXISTING CONC STOOP REMOVED



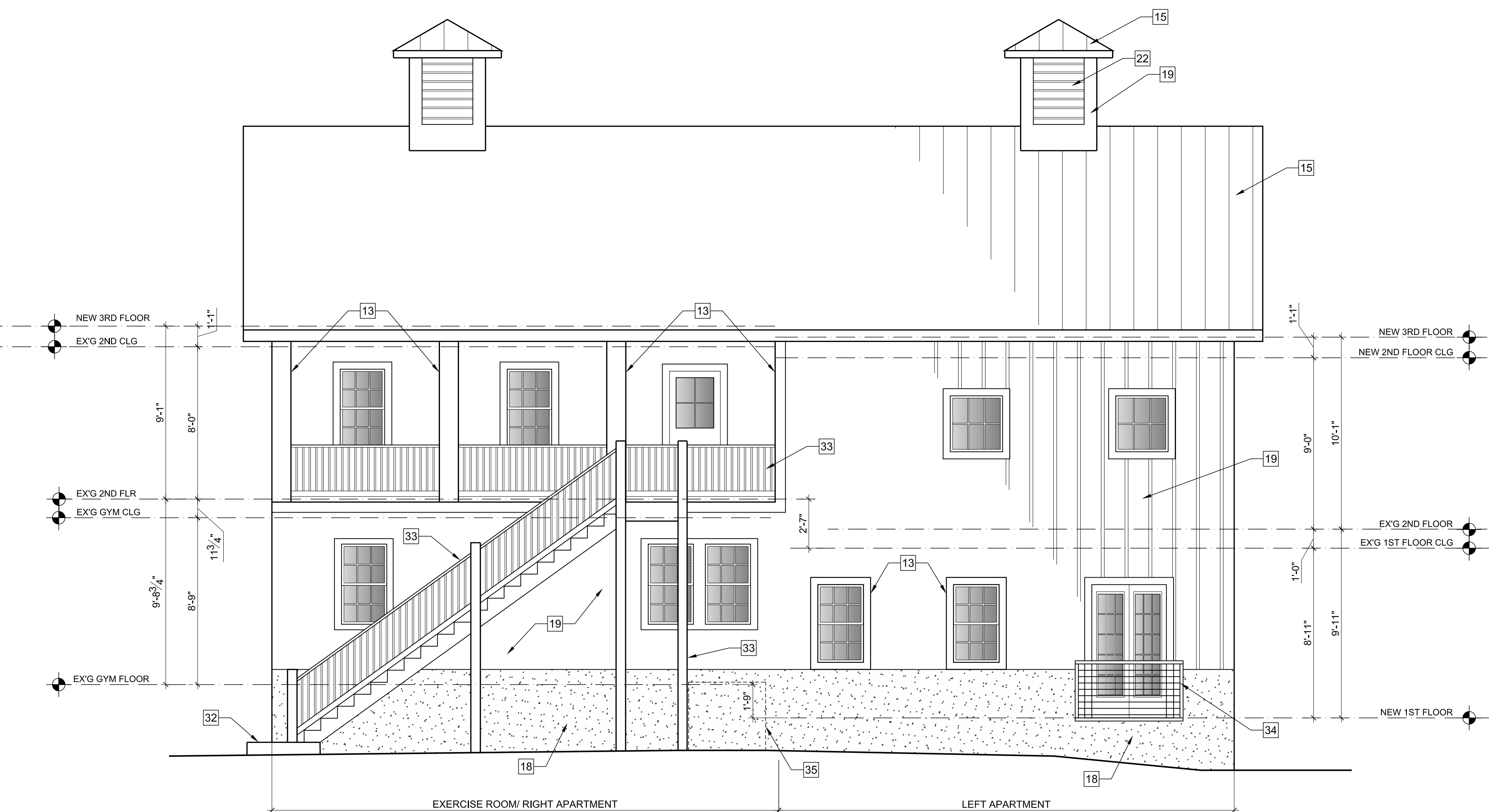
3 CARRIAGE HOUSE - EAST ELEVATION  
SCALE: 1/4"=1'-0"



1 CARRIAGE HOUSE - NORTH ELEVATION  
SCALE: 1/4"=1'-0"



4 CARRIAGE HOUSE - WEST ELEVATION  
SCALE: 1/4"=1'-0"



2 CARRIAGE HOUSE - SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

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SEAL & SIGNATURE - 2" DIAMETER

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CONTRACTOR:  
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202-332-2700

CLIENT/OWNER:  
**WARNER CIRCLE MANSION CONDOMINIUMS, LLC**  
4955 BUTTERWORTH PLACE, NW  
WASHINGTON, DC 20016  
240-498-4502

PROJECT:  
**WARNER MANSION CARRIAGE HOUSE RENOVATION**  
10206 MONTGOMERY AVE  
KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS.	PROGRESS
8/1/2023	EXIST. CONDS.	FINAL
10/25/2023	DESIGN	PROGRESS
11/7/2023	DESIGN	PROGRESS
11/17/2023	DESIGN	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

EXISTING CONDITIONS VIRTUAL TOUR URL:  
[https://vovirtualtour.com/objects/10331\\_CARBOLL\\_PLACE\\_KENSINGTON\\_MD](https://vovirtualtour.com/objects/10331_CARBOLL_PLACE_KENSINGTON_MD)

PROJECT NUMBER: 2218

SCALE: 1/4" = 1'-0"  
UNLESS NOTED OTHERWISE

SHEET TITLE:  
**PROPOSED ELEVATIONS**

SHEET SIZE: E1 - 42" X 30"  
SHEET NUMBER:  
**A002**

## **MORRIS ARCHITECTS**

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TEL: (301) 527-1002 [morrisarc@aol.com](mailto:morrisarc@aol.com)

### **WARNER MANSION RENOVATION & ADDITION – HPC REVIEW**

#### **NARRATIVE SUPPORTING NEW SUBMISSION MATERIAL TO HPC NOVEMBER 30, 2023**

This supplemental submission to the Montgomery County Historic Preservation Commission regarding the HAWP application (approved 6/14/2023) for the Warner Mansion at 10296 Montgomery Avenue in Kensington Maryland addresses several items as follows:

1. The eight conditions identified in the HPC staff report dated 6/7/2023.
2. Additional commentary from the HPC at the 6/14/2023 hearing.
3. Additional items as included in this supplemental submission.

#### **The eight conditions recommended by the HPC Staff report dated 6/7/2023**

1. The replacement windows in the historic mansion shall be wood windows. These windows shall be Jeld Wen wood windows, Custom Window line. The material shall be AuraLast pine, a treatment for preserving the wood from rot.
2. The proposed shakes in the building addition shall be engineered wood manufactured by LP products. This product shall be LP SmartSide 38 Series “Cedar Texture” shakes with a thickness of .354 inches.
3. The half-round metal louver in the north-facing gable on the Carriage House shall not be replaced. It shall remain as a louver.
4. The metal roofing for the Carriage House shall be a standing seam metal roofing system (not box batten). The proposed metal roofing system is proposed to be EZ Lock from Coastal Metal Service.
5. The railing design for the exterior rear stairs for the Carriage House shall be a paintable composite wood product with square balusters. The wood framing shall be wood dressed with composite trim. Further details shall be submitted with the final permit drawings
6. Applicant shall provide the Town of Kensington nine trees to be planted on Town property.
7. The solar panels on the Carriage House roof will be included in a separate future HAWP application.
8. The board and batted siding on the Carriage House shall be re-used if at all physically feasible. Replacement of this siding shall consist of painted wood boards and wood battens. Applicant is requesting an option to include painted Hardie cement panels, but with painted wood battens in the same width and thickness as the existing wood battens.

# WARNER MANSION RENOVATION & ADDITION – HPC REVIEW

## Additional commentary from the HPC at the 6/14/2023 hearing

1. The HPC commented that the “connector” element between the historic mansion and addition required further study regarding the window configuration on the east and west elevations. Specifically, it was stated that there needed to more window area and less wall area on the west elevation than as presented at the hearing on this date. Also, it was commented that the windows on the east elevation needed more order and not as staggered as presented. Both these connector elevations have been revised in response to this commentary, as seen on Sheet A006 on keyed cloud #s 19, 20, and 28.

## Additional Items as included in this supplemental submission

1. For the Carriage House, some windows have been enlarged or slightly re-positioned. See the clouded areas on sheet A002.
2. The solar panels have been deleted from the south Carriage House roof as shown on Sheet A002.
3. The existing ramp has been deleted from the south side of the Carriage House as shown on Sheet A002. The concrete is in a state of extreme disrepair and code would require guardrails of some kind on each side if rebuilt or repaired.
4. The existing concrete rear stair has been deleted from the south side of the Carriage House as shown on Sheet A002. This stair will not lead to a door anymore, and would require guardrails on each side if retained.
5. The Carriage House will require three AC condenser units located on the west side of the existing structure (see A002, cloud #10). These will have a screening fence of wood or any other acceptable material approximately four feet high. The fence details shall be submitted with the final permit drawings.
6. There is an emergency egress window from the basement level which is shown on Sheet A005, cloud #11. This was not shown on the north elevation in the approved drawings dated 5/23/2023.
7. The new egress stair tower included in the previously approved drawings has been reduced by one story. As a result, windows have been added at the third floor on the south elevation as seen on Sheet A005, cloud #12.
8. On the three walls of the addition, the enclosing walls of the basement level will include structural concrete. These walls will now be clad with stone veneer, of a texture and color to closely match that of the existing stone foundation walls of the mansion. This stone veneer masonry will be approximately 3 1/2" to 4" thick. This is marked on Sheets A005 and A006, with cloud #'s 15, 22, and 27.
9. On the three exterior walls of the addition, the enclosing walls of the first floor level will include composite corner board trim at the outer corners. This is typical at the addition and is shown on all three elevations of the addition.

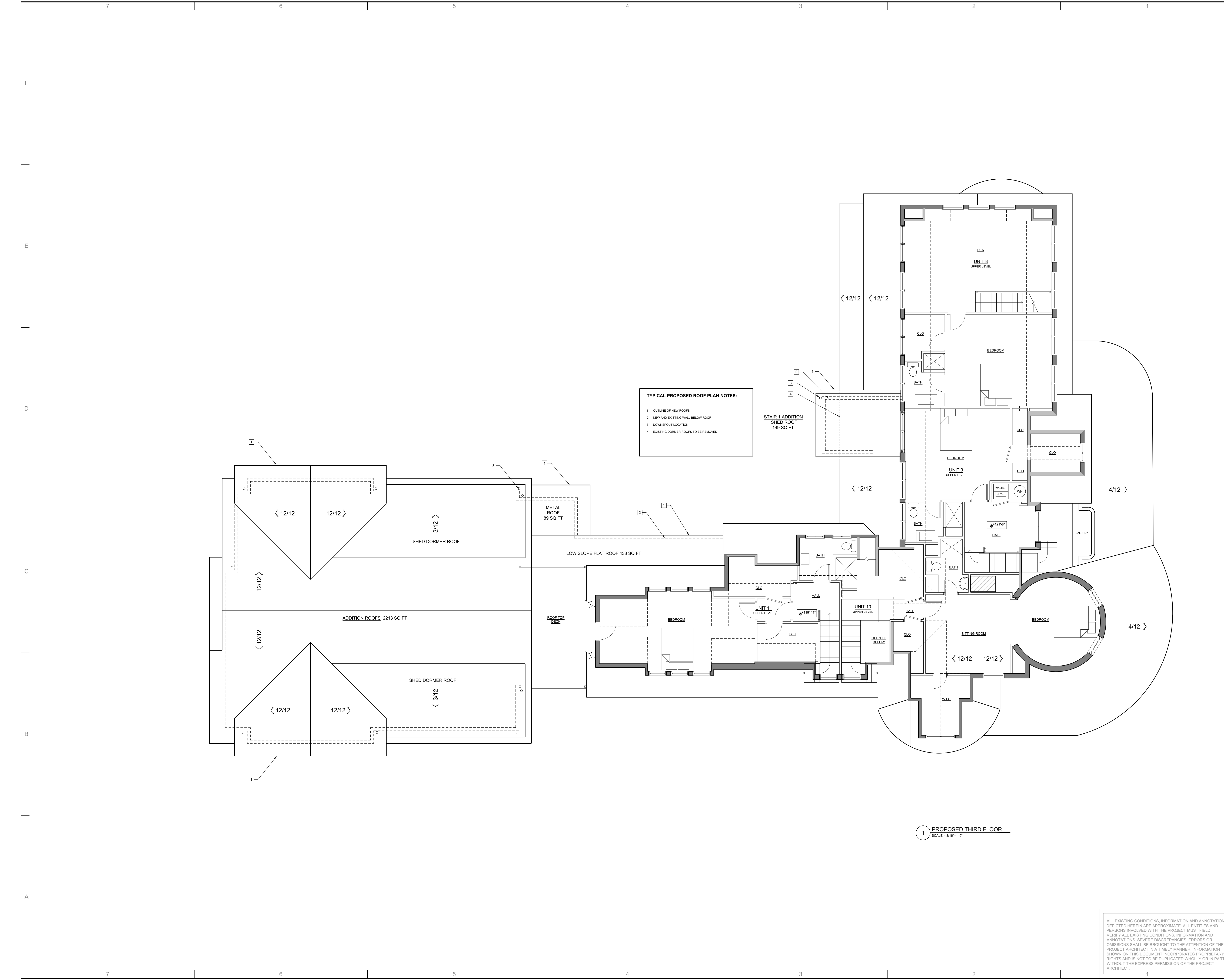
## WARNER MANSION RENOVATION & ADDITION – HPC REVIEW

10. On the south side of Unit 11 at the third floor, there is proposed to be a roof patio for the sole use of Unit 11. Accordingly, there will be a required guard rail on the east and west sides of that patio. These metal guard rails are shown on the east and west elevations on Sheets A005 and A006, with cloud #'s 21 and 26. This patio is also shown on Sheet A004, Proposed Third Floor Plan, with cloud #26. Also, Sheet A008, Proposed Building Section, shows the south elevation of Unit 11 with the new patio door, with cloud #26.
11. On the west elevation of the addition the fenestration at the first and second floors has been revised to function with the interior floor plans in those areas. This is shown on Sheet A006, West Elevation, with cloud #23.
12. The elevations in this drawing set depict the east and west elevations cutting through the sunken patios and such areas in order to fully show the windows and doors in those areas. Sheet A008 (east and west elevations) has been added in order to show those elevations from grade and above. Therefore, these show the code-required metal guardrails on the enclosing walls of these sunken areas. These guardrails shall be black-painted metal in order for them to be as transparent as possible.
13. There are windows here and there in these elevations which are clouded because they are slightly different sizes from the previous iteration or a group of two windows became a group of three (within the same overall opening width to more closely align with the original fenestration) from the previously approved drawings. They are all clouded, signifying a revision).
14. The siding on the addition is proposed to be engineered wood manufactured by LP products. This product shall be LP SmartSide 76 Series "Cedar Texture" lap siding with a thickness of .418 inches.

### One additional item of note (Front Porch Railing)

1. In a preliminary consultation meeting with DPS, it was discussed that the Applicant would prefer not to add railing element (s) to the historic front porch railing in order a 42" guardrail. The existing railing is approximately 30' high. The height from the porch floor edge to the adjacent grade is approximately 36" (>30" max. allowed) The DPS Staff mentioned that if the HPC review were to include a stated requirement that the existing porch railing remain at the existing height, then the DPS review would allow it to remain. The design/development team believes the existing railing greatly contributes to the historic value of the property.

The Team is proud to present this supplemental information to the Commission for consideration, and welcomes any questions from staff.



**TYPICAL PROPOSED ROOF PLAN NOTES:**

1. OUTLINE OF NEW ROOFS
2. NEW AND EXISTING WALL BELOW ROOF
3. DOWNSPOUT LOCATION
4. EXISTING DORMER ROOFS TO BE REMOVED

1 PROPOSED THIRD FLOOR  
SCALE = 3/16" = 1'-0"

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 SEAL & SIGNATURE - 2" DIAMETER

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**WARNER MANSION RENOVATION AND ADDITION**  
 10212 MONTGOMERY AVE  
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7/29/2023	BSMT PLAN	DSGN REVIEW
8/1/2023	EXIST. CONDS.	FINAL
9/8/2023	PROPOSED PL	PROGRESS
9/14/2023	PROPOSED PL	PROGRESS
9/20/2023	EC & DD	PROGRESS
10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

**EXISTING CONDITIONS VIRTUAL TOUR URL:**  
[https://vourguide.com/mansion\\_ext\\_0031\\_carrill\\_place\\_kensington\\_md](https://vourguide.com/mansion_ext_0031_carrill_place_kensington_md)  
[https://vourguide.com/0031\\_carrill\\_place\\_kensington\\_md](https://vourguide.com/0031_carrill_place_kensington_md)

**PROJECT NUMBER: 2218**

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**SCALE: 3/16" = 1'-0"**

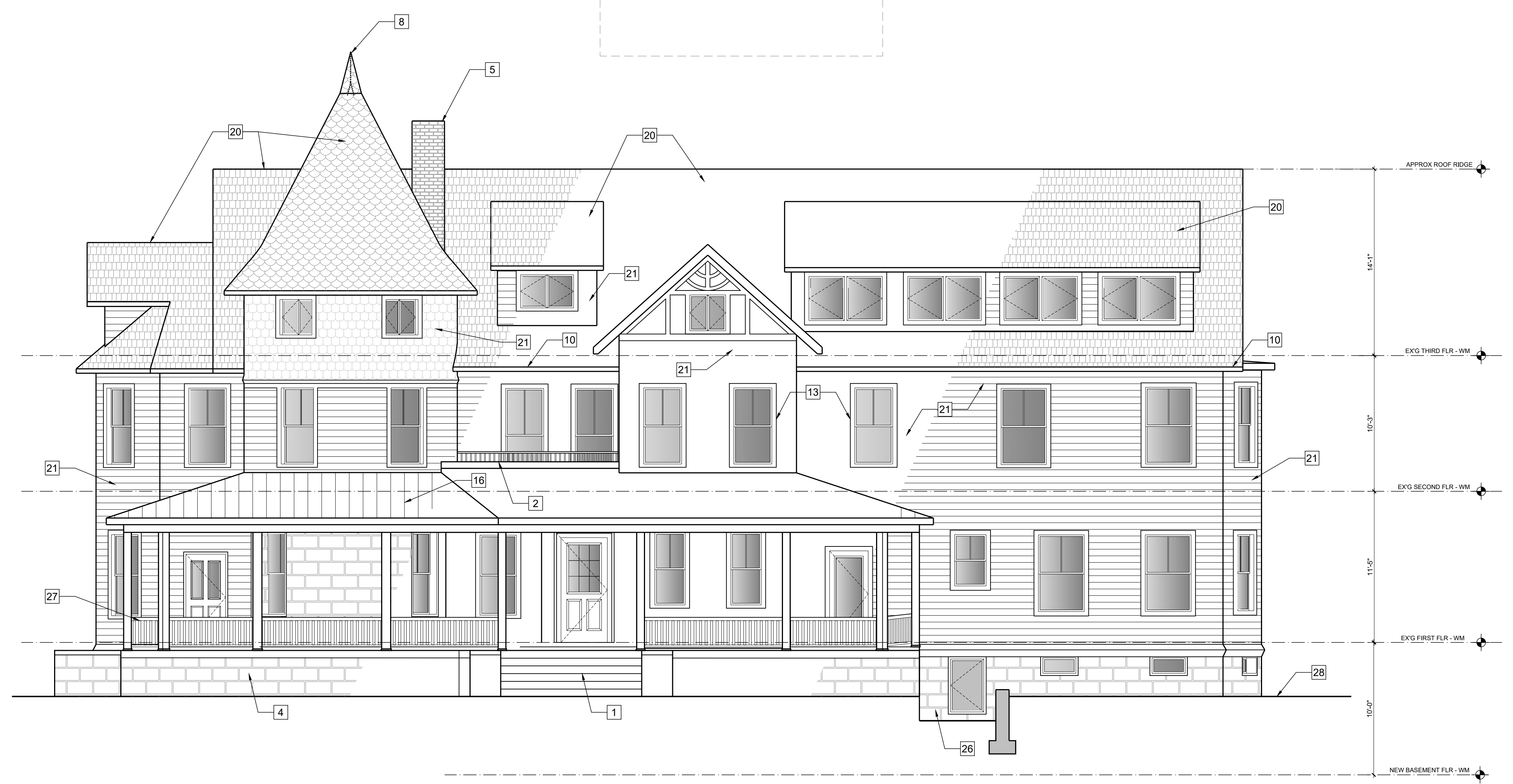
**SHEET TITLE:**  
**PROPOSED THIRD FLOOR PLAN**

**SHEET SIZE: E1 - 42" X 30"**  
**SHEET NUMBER: A004**



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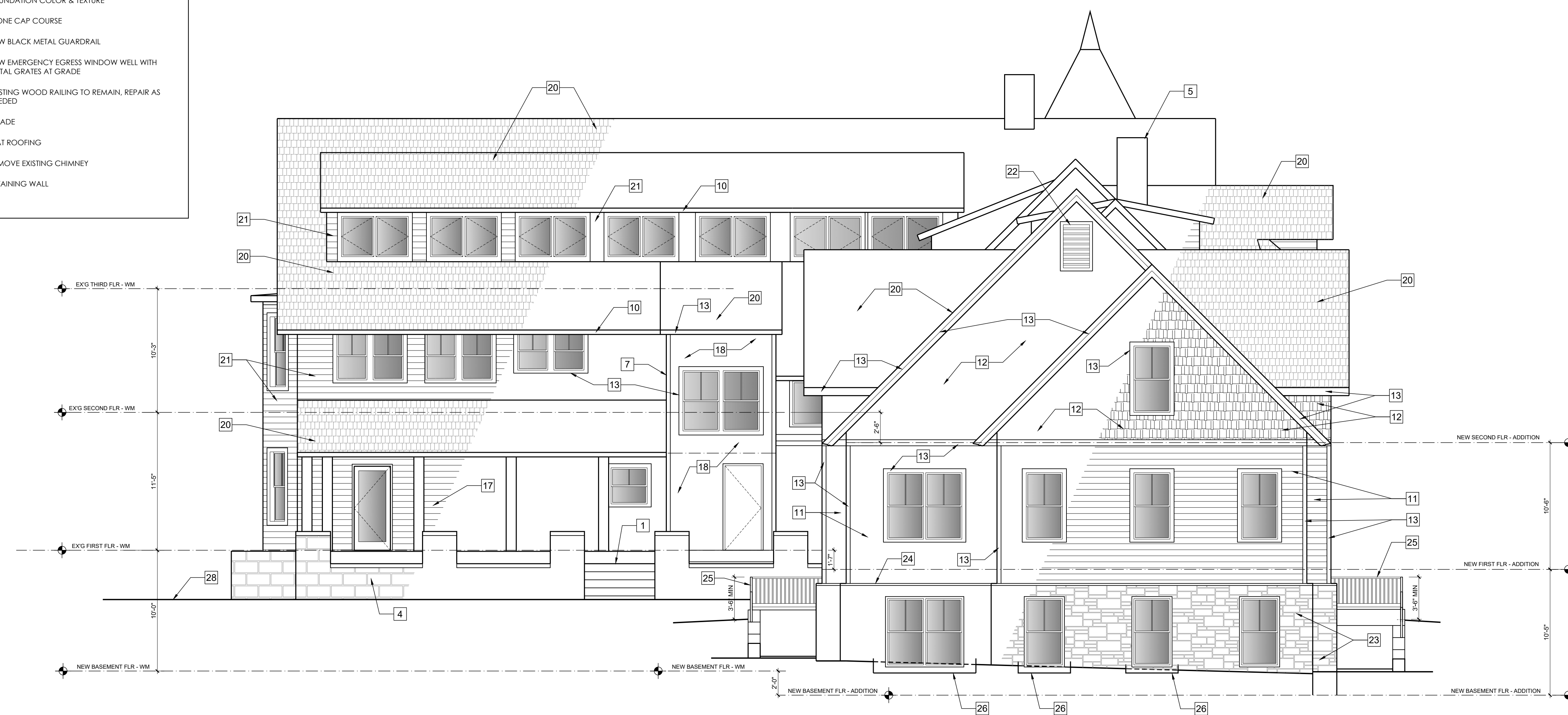
F  
E  
D  
C  
B  
A



1 NORTH ELEVATION  
3/16" = 1'-0"

**KEYED ELEVATION NOTES:**

1 RESTORE STONE STEPS	16 FLAT SEAM METAL ROOFING
2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE	17 NEW CEDAR LAP SIDING TO MATCH EXIST
3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE	18 PAVING
4 EXISTING STONE FOUNDATION	19 BOARD & CEDAR BATTEN SIDING
5 RECONSTRUCT DECORATIVE CHIMNEY TOPS	20 NEW SLATE SHINGLES
6 LINE OF GRADE IN FOREGROUND	21 NEW CEDAR SHINGLES TO MATCH EXIST
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8 ADD NEW LIGHTING ROD, WIRE, GLASS	23 STONE VENEER TO MATCH EXIST. STONE FOUNDATION COLOR & TEXTURE
9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING	24 STONE CAP COURSE
10 RESTORE GUTTER AND D.S	25 NEW BLACK METAL GUARDRAIL
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12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING	27 EXISTING WOOD RAILING TO REMAIN. REPAIR AS NEEDED
13 COMPOSITE TRIM BOARD	28 GRADE
14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION	29 FLAT ROOFING
15 STANDING SEAM METAL ROOFING	30 REMOVE EXISTING CHIMNEY
	31 RETAINING WALL



2 SOUTH ELEVATION  
3/16" = 1'-0"

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DOCUMENTATION:  
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4955 BUTTERWORTH PLACE, NW  
WASHINGTON, DC 20016  
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CLIENT/OWNER:  
**WARNER CIRCLE MANSION CONDOMINIUMS, LLC**  
4955 BUTTERWORTH PLACE, NW  
WASHINGTON, DC 20016  
240-498-4502

PROJECT:  
**WARNER MANSION RENOVATION AND ADDITION**  
10212 MONTGOMERY AVE  
KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS.	PROGRESS
7/29/2023	BSMT PLAN	DSGN REVIEW
8/1/2023	EXIST. CONDS.	FINAL
9/8/2023	PROPOSED PL	PROGRESS
9/14/2023	PROPOSED PL	PROGRESS
9/20/2023	EC & DD	PROGRESS
10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

EXISTING CONDITIONS VIRTUAL TOUR URL:  
[https://go.gluekit.com/mansion\\_ext\\_10212\\_CABRIOL\\_PLACE\\_KENSINGTON\\_MD](https://go.gluekit.com/mansion_ext_10212_CABRIOL_PLACE_KENSINGTON_MD)  
[https://yourgluekit.com/10212\\_CABRIOL\\_PLACE\\_KENSINGTON\\_MD](https://yourgluekit.com/10212_CABRIOL_PLACE_KENSINGTON_MD)

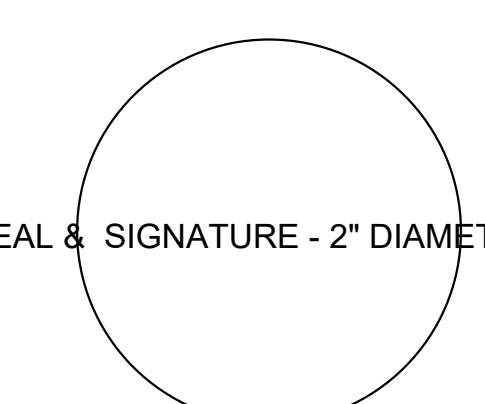
PROJECT NUMBER: **2218**  
0 4' 8' 16'  
SCALE: 3/16" = 1'-0"

SHEET TITLE:  
**PROPOSED ELEVATIONS**

SHEET SIZE: E1 - 42" X 30"  
SHEET NUMBER:  
**A005**

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PROJECT ARCHITECT:  
**MORRIS ARCHITECTS**  
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 301-527-1002  
 MORRISARC@AOL.COM

ARCHITECT SEAL:  
  
 SEAL & SIGNATURE - 2" DIAMETER

PROJECT CONSULTANTS:  
 CIVIL ENGINEER:  
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STRUCTURAL ENGINEER:  
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PROJECT:  
**WARNER MANSION RENOVATION AND ADDITION**  
 10212 MONTGOMERY AVE  
 KENSINGTON, MD 20895

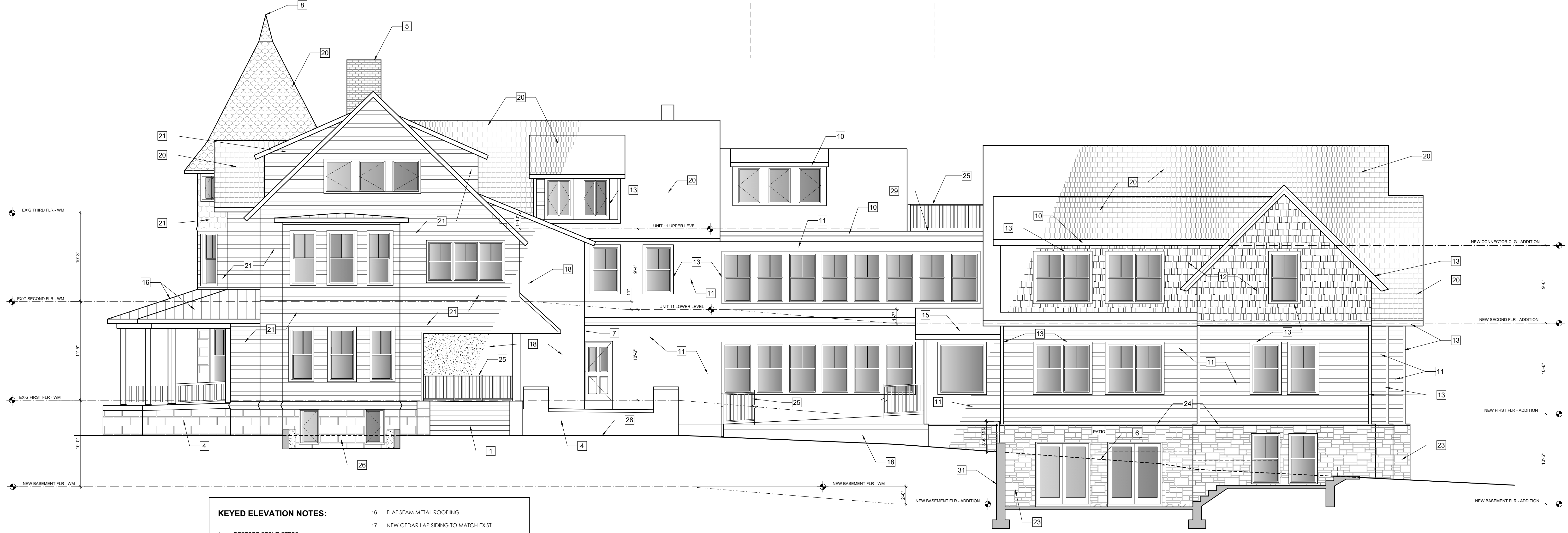
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9/20/2023	EC & DD	PROGRESS
10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

EXISTING CONDITIONS VIRTUAL TOUR URL:  
[https://glide360.com/mansion\\_ext\\_10212\\_carroll\\_place\\_kensington\\_md](https://glide360.com/mansion_ext_10212_carroll_place_kensington_md)  
[https://yourglide.com/10212\\_carroll\\_place\\_kensington\\_md](https://yourglide.com/10212_carroll_place_kensington_md)

PROJECT NUMBER: **2218**  
  
 SCALE: 3/16" = 1'-0"

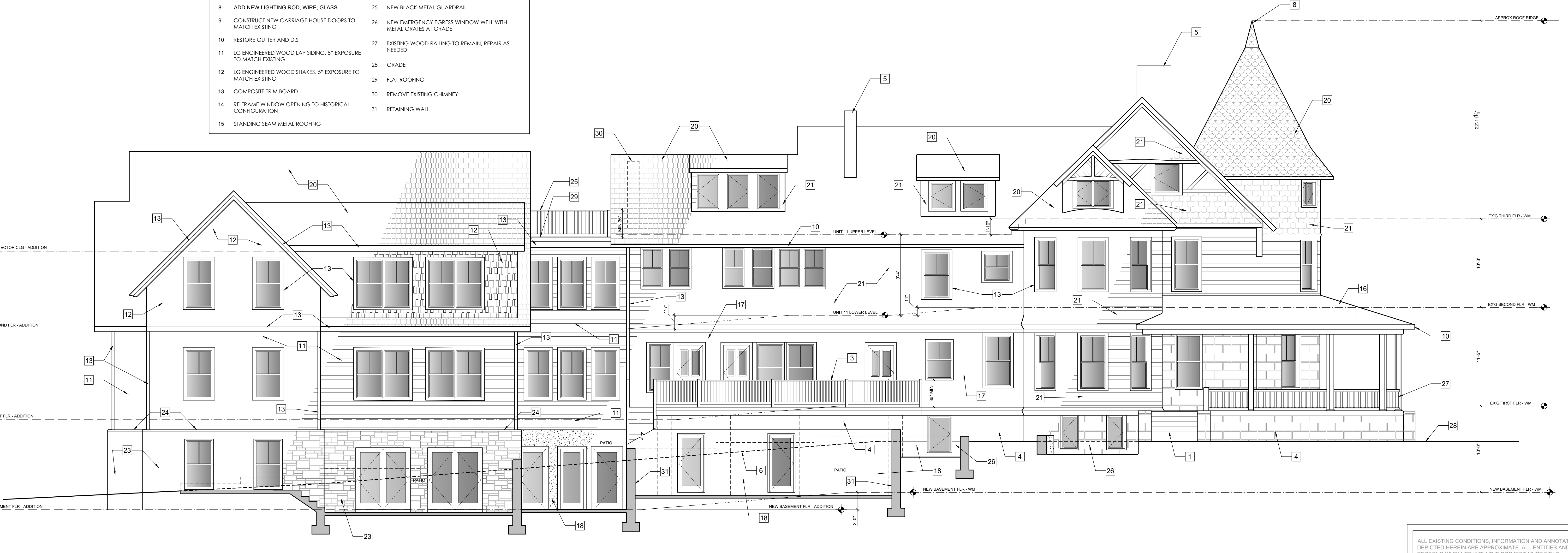
SHEET TITLE:  
**PROPOSED ELEVATIONS**

SHEET SIZE: E1 - 42" X 30"  
 SHEET NUMBER:  
**A006**



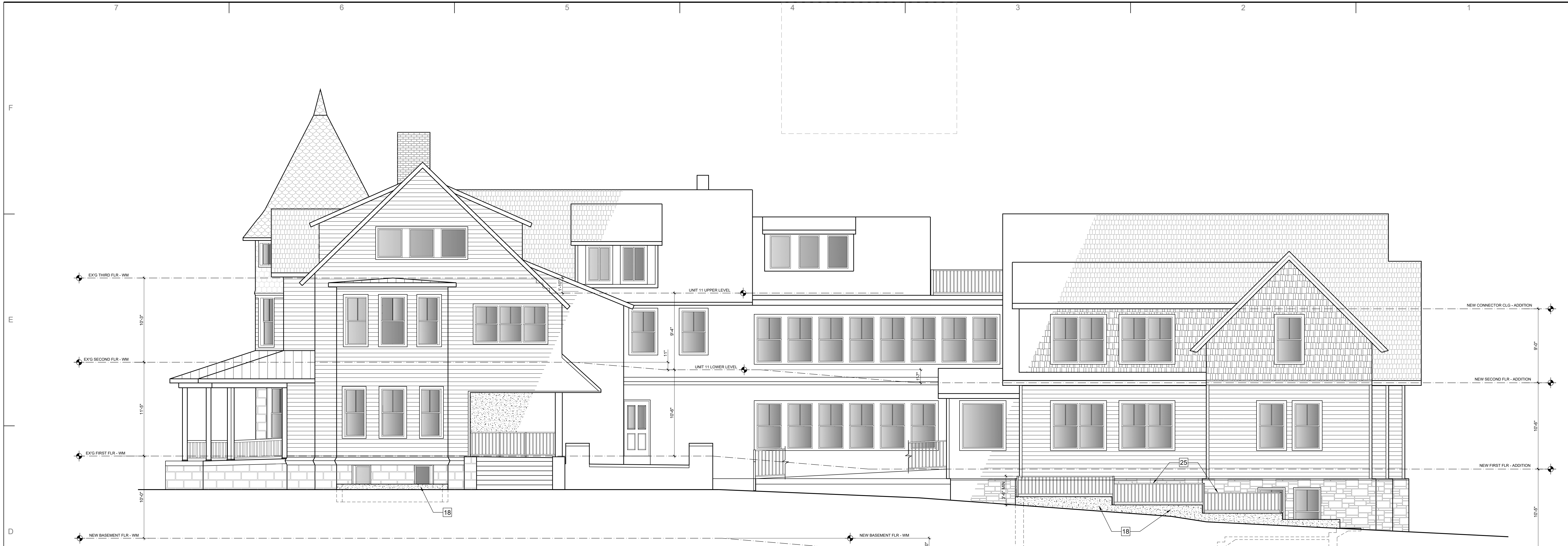
1 WEST ELEVATION  
 3/16" = 1'-0"

- KEYED ELEVATION NOTES:**
- 1 RESTORE STONE STEPS
  - 2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE
  - 3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE
  - 4 EXISTING STONE FOUNDATION
  - 5 RECONSTRUCT DECORATIVE CHIMNEY TOPS
  - 6 LINE OF GRADE IN FOREGROUND
  - 7 NEW STAIR TOWER FOR EGRESS COMPLIANCE
  - 8 ADD NEW LIGHTING ROD, WIRE, GLASS
  - 9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING
  - 10 RESTORE GUTTER AND D/S
  - 11 LG ENGINEERED WOOD LAP SIDING, 5" EXPOSURE TO MATCH EXISTING
  - 12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING
  - 13 COMPOSITE TRIM BOARD
  - 14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION
  - 15 STANDING SEAM METAL ROOFING
  - 16 FLAT SEAM METAL ROOFING
  - 17 NEW CEDAR LAP SIDING TO MATCH EXIST
  - 18 PARKING
  - 19 BOARD & CEDAR BATTEN SIDING
  - 20 NEW SLATE SHINGLES
  - 21 NEW CEDAR SHINGLES TO MATCH EXIST
  - 22 PAINTED METAL LOUVER
  - 23 STONE VENEER TO MATCH EXIST, STONE FOUNDATION COLOR & TEXTURE
  - 24 STONE CAP COURSE
  - 25 NEW BLACK METAL GUARDRAIL
  - 26 NEW EMERGENCY EGRESS WINDOW WELL WITH METAL GRATES AT GRADE
  - 27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED
  - 28 GRADE
  - 29 FLAT ROOFING
  - 30 REMOVE EXISTING CHIMNEY
  - 31 RETAINING WALL



2 EAST ELEVATION  
 3/16" = 1'-0"

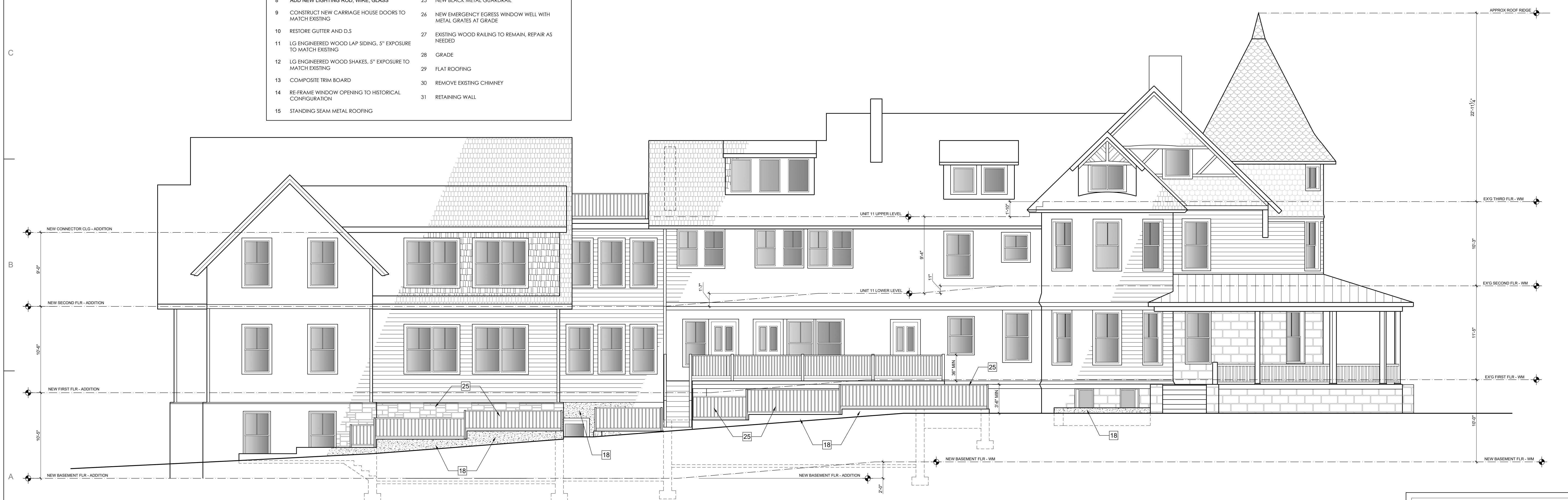
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1 WEST ELEVATION  
3/16" = 1'-0"

**KEYED ELEVATION NOTES:**

1 RESTORE STONE STEPS	16 FLAT SEAM METAL ROOFING
2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE	17 NEW CEDAR LAP SIDING TO MATCH EXIST
3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE	18 PARKING
4 EXISTING STONE FOUNDATION	19 BOARD & CEDAR BATTEN SIDING
5 RECONSTRUCT DECORATIVE CHIMNEY TOPS	20 NEW SLATE SHINGLES
6 LINE OF GRADE IN FOREGROUND	21 NEW CEDAR SHINGLES TO MATCH EXIST
7 NEW STAIR TOWER FOR EGRESS COMPLIANCE	22 PAINTED METAL LOUVER
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9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING	24 STONE CAP COURSE
10 RESTORE GUTTER AND D.S	25 NEW BLACK METAL GUARDRAIL
11 LG ENGINEERED WOOD LAP SIDING, 5" EXPOSURE TO MATCH EXISTING	26 NEW EMERGENCY EGRESS WINDOW WELL WITH METAL GRATES AT GRADE
12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING	27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED
13 COMPOSITE TRIM BOARD	28 GRADE
14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION	29 FLAT ROOFING
15 STANDING SEAM METAL ROOFING	30 REMOVE EXISTING CHIMNEY
	31 RETAINING WALL



2 EAST ELEVATION  
3/16" = 1'-0"

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**ARCHITECT SEAL:**

SEAL & SIGNATURE - 2" DIAMETER

**PROJECT CONSULTANTS:**  
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**STRUCTURAL ENGINEER:**  
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**DOCUMENTATION:**  
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**CLIENT/OWNER:**  
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 240-498-4502

**PROJECT:**  
**WARNER MANSION RENOVATION AND ADDITION**  
 10212 MONTGOMERY AVE  
 KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS.	PROGRESS
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11/30/2023	HPC REVIEW	PROGRESS

**EXISTING CONDITIONS VIRTUAL TOUR URL:**  
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**PROJECT NUMBER: 2218**

0 4' 8' 16'

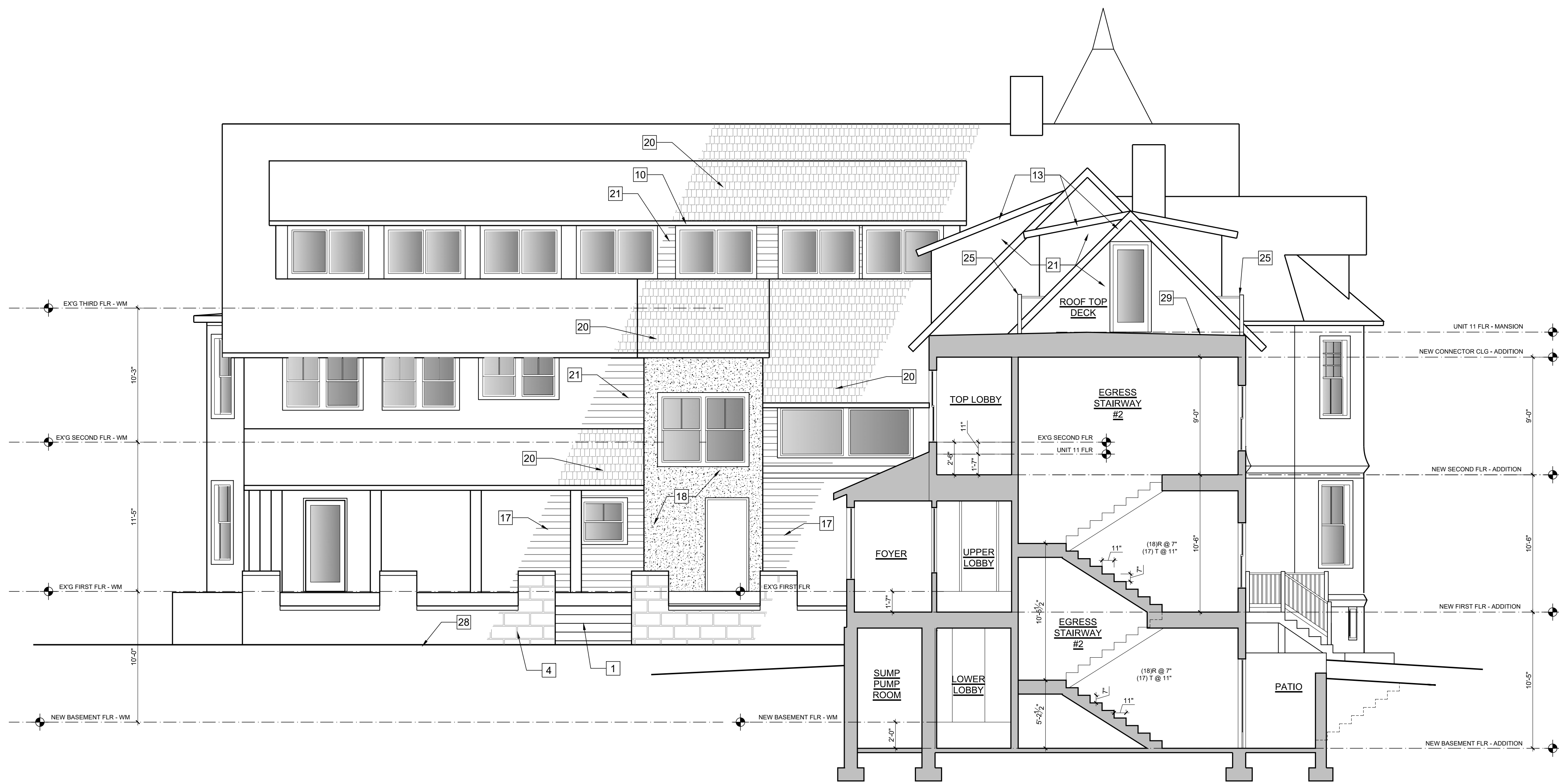
**SCALE: 3/16" = 1'-0"**

**SHEET TITLE:**  
**PROPOSED ELEVATIONS**

**SHEET SIZE: E1 - 42" X 30"**  
**SHEET NUMBER: A007**

**KEYED ELEVATION NOTES:**

1 RESTORE STONE STEPS	16 FLAT SEAM METAL ROOFING
2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE	17 NEW CEDAR LAP SIDING TO MATCH EXIST
3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE	18 PAVING
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14 REFRAME WINDOW OPENING TO HISTORICAL CONFIGURATION	29 FLAT ROOFING
15 STANDING SEAM METAL ROOFING	30 REMOVE EXISTING CHIMNEY
	31 RETAINING WALL



1 BUILDING SECTION 1 - WM ADDITION  
3/16" = 1'-0"

**PROJECT ARCHITECT:**  
**MORRIS ARCHITECTS**  
 11320 TRAVILAH ROAD  
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**ARCHITECT SEAL:**  
 SEAL & SIGNATURE - 2" DIAMETER

**PROJECT CONSULTANTS:**  
**CIVIL ENGINEER:**  
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**STRUCTURAL ENGINEER:**  
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**EXISTING CONDITIONS VIRTUAL TOUR URL:**  
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**PROJECT NUMBER: 2218**

0 4' 8' 16'

**SCALE: 3/16" = 1'-0"**

**SHEET TITLE:**  
**BUILDING SECTIONS**

**SHEET SIZE: E1 - 42" X 30"**  
**SHEET NUMBER: A008**

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# MORRIS ARCHITECTS

13320 TRAVILAH ROAD NORTH POTOMAC, MD 20878  
TEL: (301) 527-1002 [morrisarc@aol.com](mailto:morrisarc@aol.com)

## WARNER MANSION RENOVATION & ADDITION – HPC REVIEW

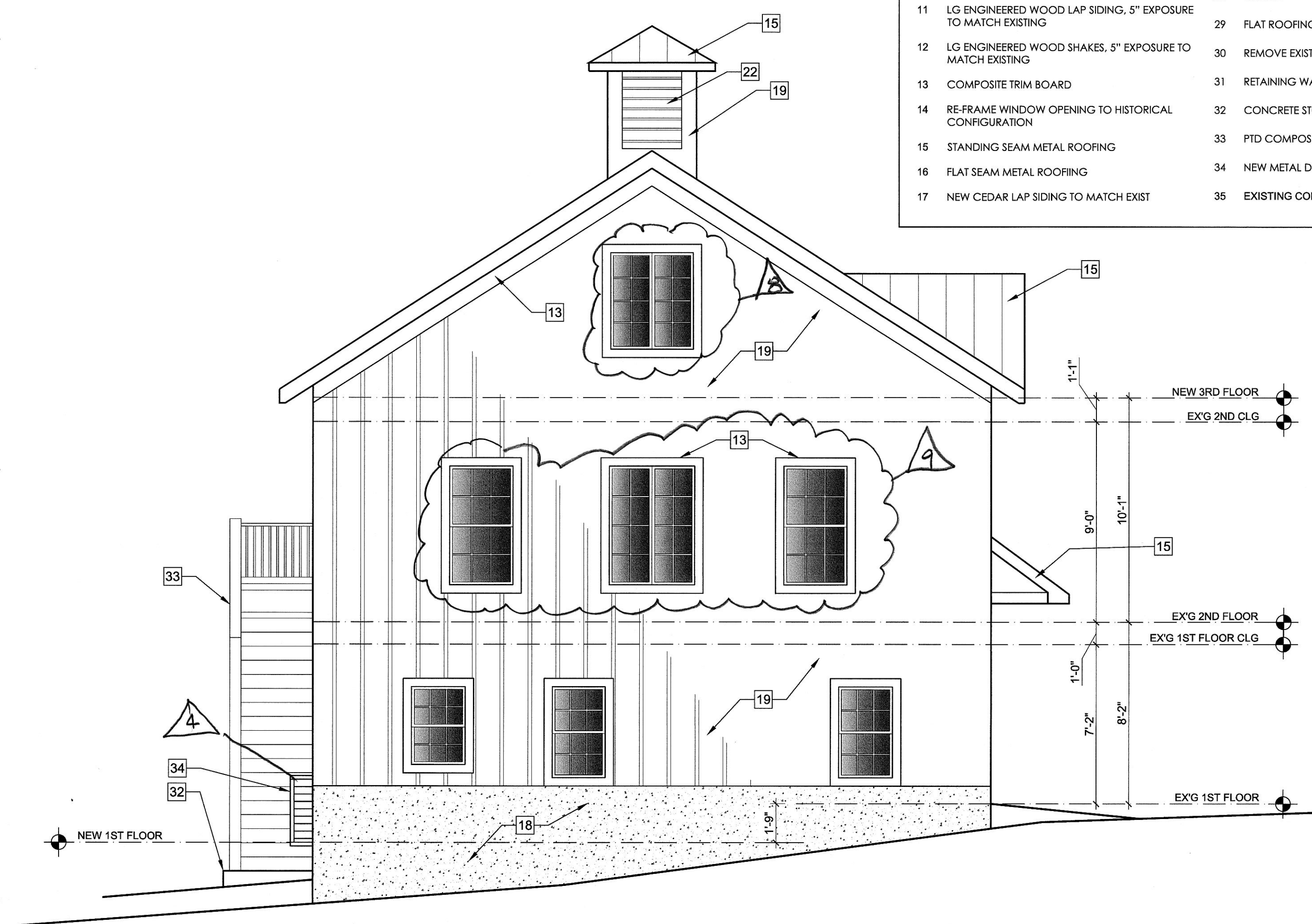
### KEY FOR CLOUDED AREAS ON ELEVATIONS DATED 11/30/23

TAG #	SHEET #	DESCRIPTION
1	A002, CH NORTH	FRONT LOUVER REPLACED
2	A002, CH SOUTH	SOLAR PANELS DELETED
3	A002, CH SOUTH	REAR DOOR CHANGED TO WINDOW, CONC. STAIR REMOVED
4	A002, CH SOUTH	RAMP REMOVED, NEW MET. RAIL
5	A002, CH SOUTH	2 WINDOW OPENINGS ALTERED
6	A002, CH WEST	3 <sup>rd</sup> FL. WINDOW RAISED, ENLARGED FOR EGRESS
7	A002, CH WEST	2 <sup>nd</sup> FL. WINDOW ALTERED
8	A002, CH EAST	3 <sup>RD</sup> FL. WINDOW RAISED
9	A002, CH EAST	3 WINDOWS ALTERED
10	A002, CH WEST	3 A/C UNITS SHOWN, NOTE FOR RELATED SCREENING FENCE
11	A005, WM NORTH	WINDOW WELL SHOWN
12	A005, WM SOUTH	STAIR TOWER SHOWN AS 2 STORIES (NOT 3), ADDED 3 <sup>rd</sup> FL. WINDOWS
13	A005, WM SOUTH	1 <sup>st</sup> FL. DOOR CHANGED TO WINDOW
14	A005, WM SOUTH	1 <sup>st</sup> FLOOR DOUBLE DOOR CHANGED TO SINGLE DOOR
15	A005, WM SOUTH	1 <sup>st</sup> FL. ADD'N CHANGED TO STONE VENEER
16	A005, WM SOUTH	CORNERB'D TRIM ADDED TO 2 <sup>nd</sup> FL. ADD'N WALLS (AT LAP SIDING)
17	A006, WM WEST	WINDOW GROUP CHANGED TO 3 FROM 2 (LIKE ORIGINAL)
18	A006, WM WEST	MET, FENCE AND GATE ADDED AT TOP OF STAIR AT PORCH
19	A006, WM WEST	FENESTRATION REVISED AT CONNECTOR PER HPC COMMENTS
20	A006, WM WEST	FENESTRATION REVISED AT CONNECTOR PER HPC COMMENTS
21	A006, WM WEST	MET. RAILING ADDED AT CONNECTOR ROOF FOR NEW PATIO
22	A006, WM WEST	1 <sup>st</sup> FL. ADD'N CHANGED TO STONE VENEER
23	A006, WM WEST	FENESTRATION REVISED PER PLAN LAYOUT

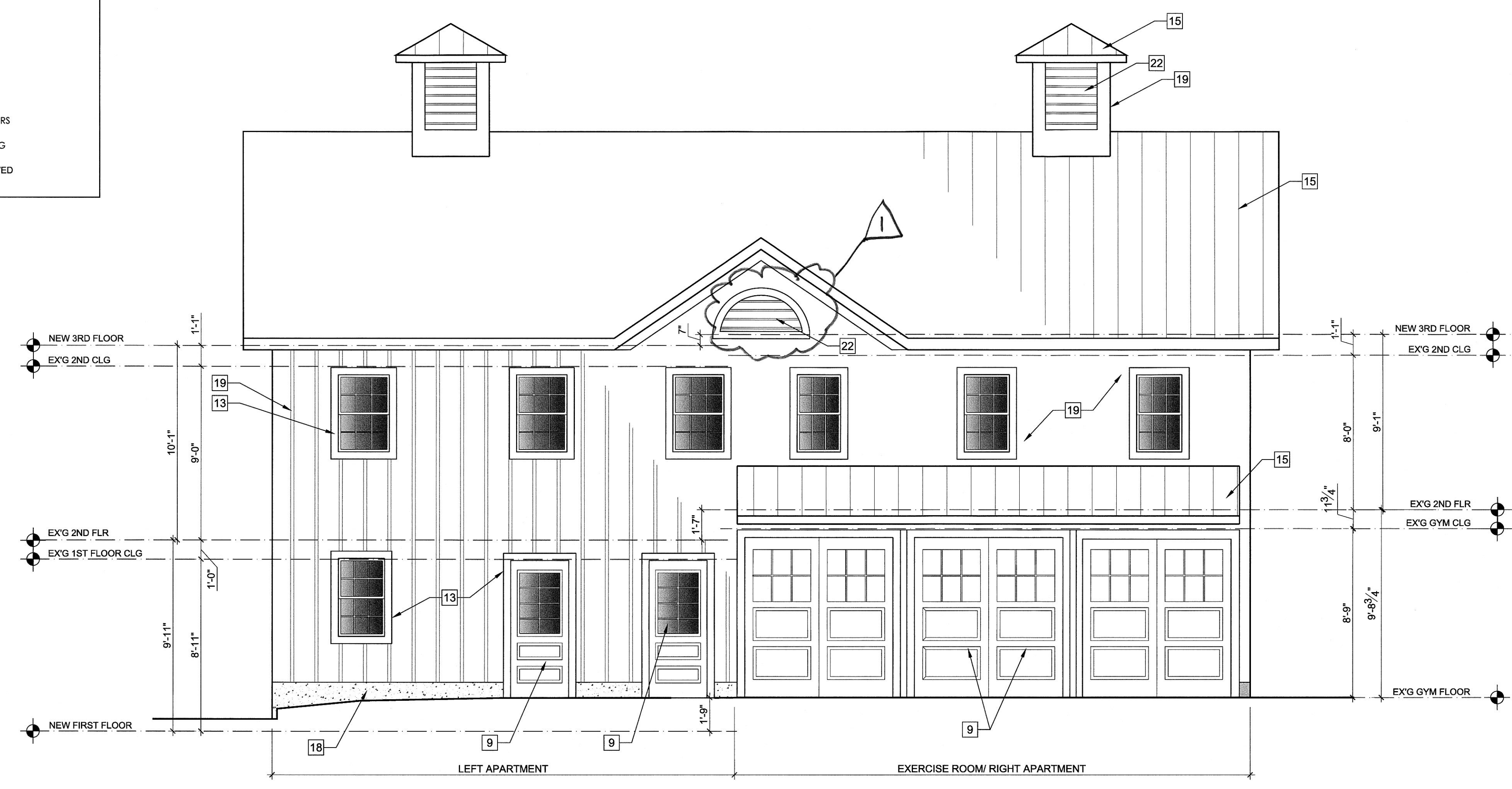
## MORRIS ARCHITECTS

24	A006, WM WEST	CORNERB'D TRIM ADDED TO 2nd FL. ADD'N WALLS (AT LAP SIDING)
25	A006, WM EAST	EXIST. CHIMNEY REMOVED AT SE CORNER OF WM
26	A006, WM EAST	MET. RAILING ADDED AT CONNECTOR ROOF FOR NEW PATIO
27	A006, WM EAST	1 <sup>st</sup> FL. ADD'N CHANGED TO STONE VENEER
28	A006, WM EAST	FENESTRATION REVISED AT CONNECTOR PER HPC COMMENTS
29	A006, WM EAST	FENESTRATION REVISED AT 2 <sup>nd</sup> FLOOR TO MORE RESEMBLE ORIG.
30	A007, WM E&W	MET. GUARDRAILS SHOWN FOR SUNKEN PATIOS BEYOND

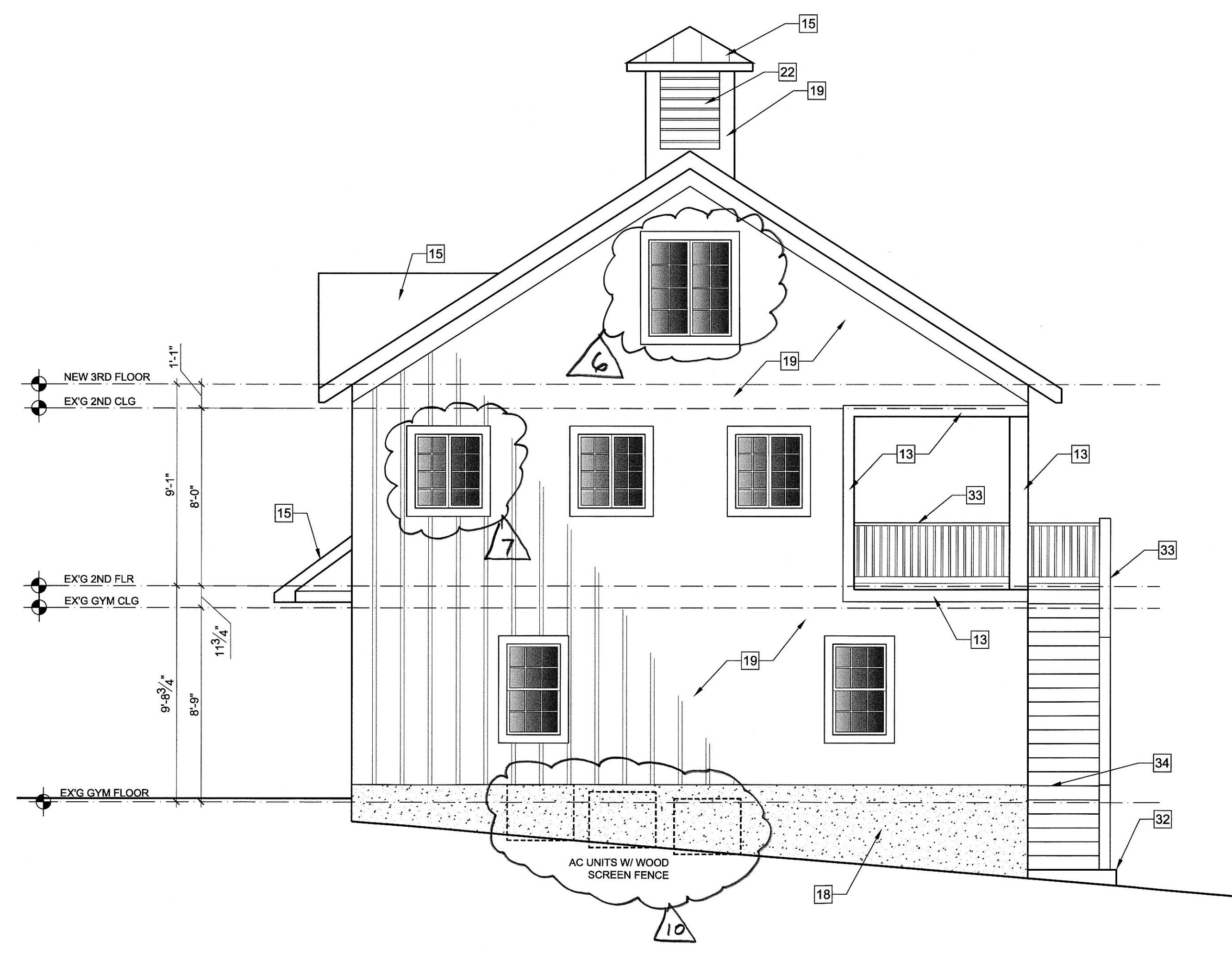
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- 1 RESTORE STONE STEPS
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  - 27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED
  - 28 GRADE
  - 29 FLAT ROOFING
  - 30 REMOVE EXISTING CHIMNEY
  - 31 RETAINING WALL
  - 32 CONCRETE STOOP
  - 33 PTD COMPOSITE RAILINGS & STAIRS
  - 34 NEW METAL DECORATIVE RAILING
  - 35 EXISTING CONC STOOP REMOVED



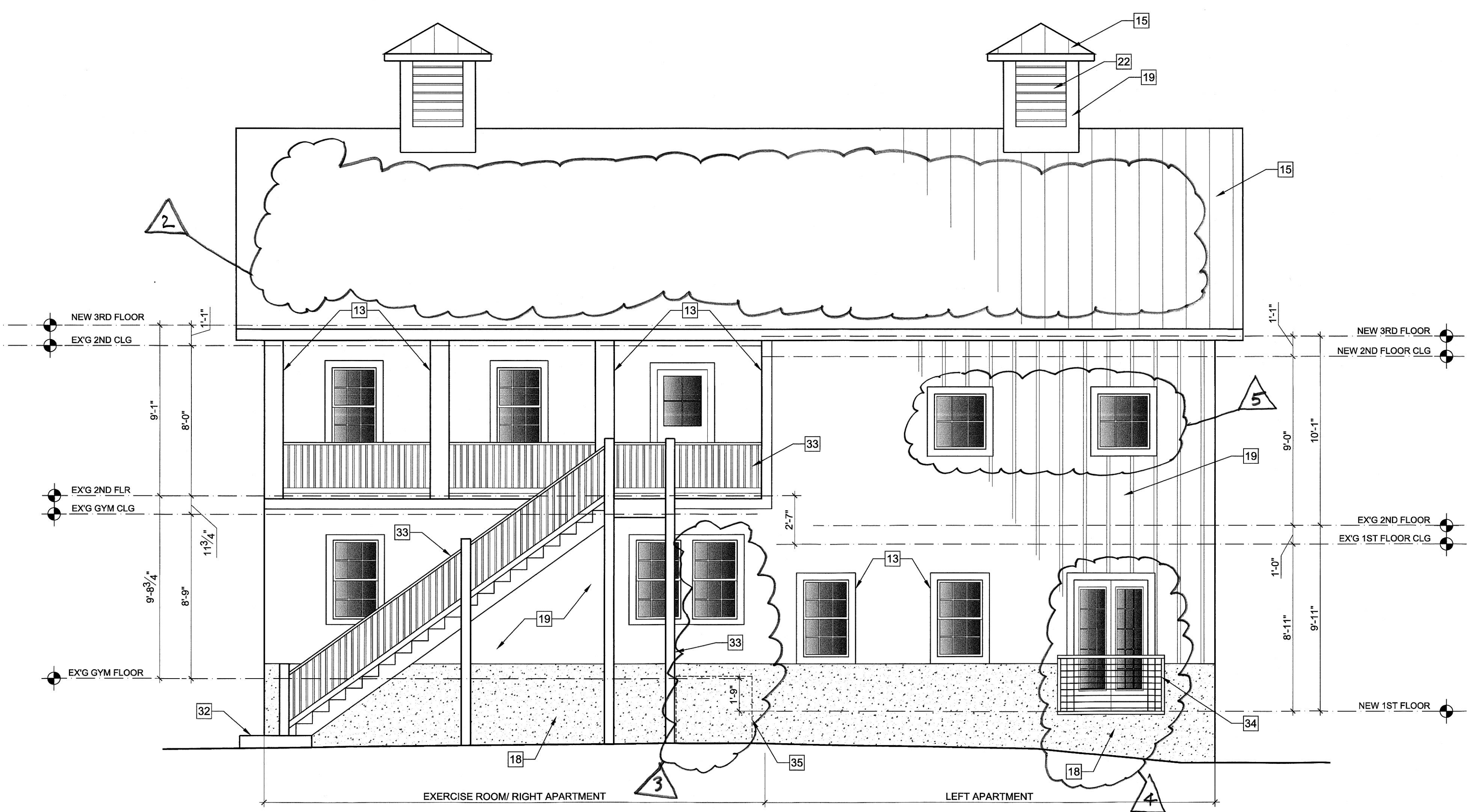
3 CARRIAGE HOUSE - EAST ELEVATION  
SCALE: 1/4"=1'-0"



1 CARRIAGE HOUSE - NORTH ELEVATION  
SCALE: 1/4"=1'-0"



4 CARRIAGE HOUSE - WEST ELEVATION  
SCALE: 1/4"=1'-0"



2 CARRIAGE HOUSE - SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

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ARCHITECT SEAL:  
  
SEAL & SIGNATURE - 2" DIAMETER

PROJECT CONSULTANTS:  
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DOCUMENTATION:  
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202-332-2700

CLIENT/OWNER:  
**WARNER CIRCLE MANSION CONDOMINIUMS, LLC**  
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240-498-4502

PROJECT:  
**WARNER MANSION CARRIAGE HOUSE RENOVATION**  
10206 MONTGOMERY AVE  
KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS.	PROGRESS
8/1/2023	EXIST. CONDS.	FINAL
10/25/2023	DESIGN	PROGRESS
11/7/2023	DESIGN	PROGRESS
11/17/2023	DESIGN	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

EXISTING CONDITIONS VIRTUAL TOUR URL:  
[https://yourhouse.com/3d/10206\\_MONTGOMERY\\_PLACE\\_KENSINGTON\\_MD](https://yourhouse.com/3d/10206_MONTGOMERY_PLACE_KENSINGTON_MD)

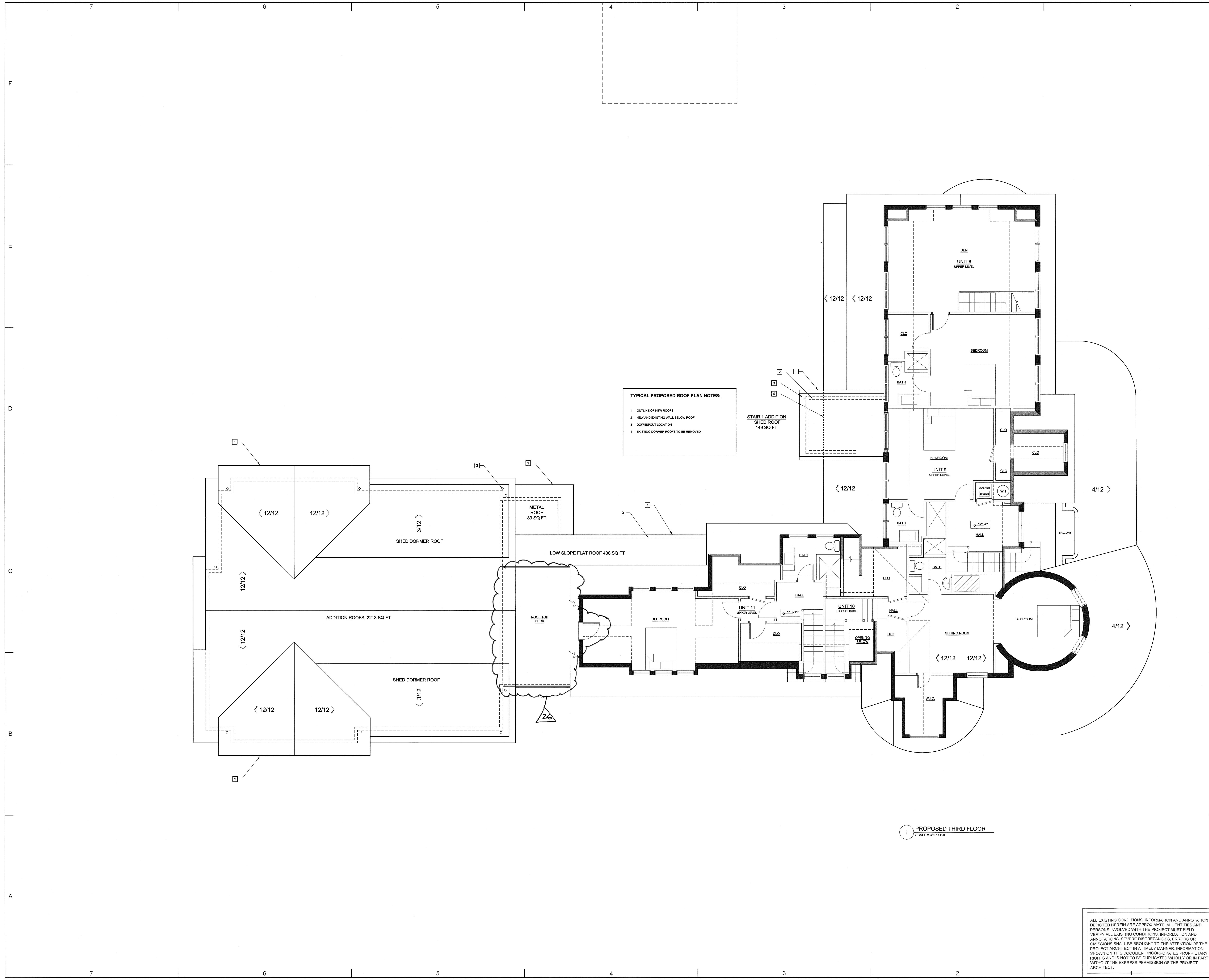
PROJECT NUMBER: 2218

SCALE:  
1/4" = 1'-0"  
UNLESS NOTED OTHERWISE

SHEET TITLE:

**PROPOSED ELEVATIONS**

SHEET SIZE: E1 - 42" X 30"  
SHEET NUMBER:  
**A002**



**TYPICAL PROPOSED ROOF PLAN NOTES:**

1. OUTLINE OF NEW ROOFS
2. NEW AND EXISTING WALL BELOW ROOF
3. DOWNSPOUT LOCATION
4. EXISTING DORMER ROOFS TO BE REMOVED

1 PROPOSED THIRD FLOOR  
SCALE = 3/16" = 1'-0"

**PROJECT ARCHITECT:**  
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**ARCHITECT SEAL:**

SEAL & SIGNATURE - 2" DIAMETER

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 240-498-4502

**PROJECT:**  
**WARNER MANSION RENOVATION AND ADDITION**  
 10212 MONTGOMERY AVE  
 KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS	PROGRESS
7/29/2023	BSMT PLAN	DSGN REVIEW
8/1/2023	EXIST. CONDS	FINAL
9/8/2023	PROPOSED PL	PROGRESS
9/14/2023	PROPOSED PL	PROGRESS
9/20/2023	EC & DD	PROGRESS
10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

**EXISTING CONDITIONS VIRTUAL TOUR URL:**  
[https://tourbuilder.com/mansion\\_ext\\_10212\\_cabroll\\_place\\_kensington\\_md](https://tourbuilder.com/mansion_ext_10212_cabroll_place_kensington_md)  
[https://tourbuilder.com/10212\\_cabroll\\_place\\_kensington\\_md](https://tourbuilder.com/10212_cabroll_place_kensington_md)

**PROJECT NUMBER: 2218**

0 4' 8' 16'

**SCALE: 3/16" = 1'-0"**

**SHEET TITLE:**  
**PROPOSED THIRD FLOOR PLAN**

**SHEET SIZE: E1 - 42" X 30"**  
**SHEET NUMBER:**  
**A004**

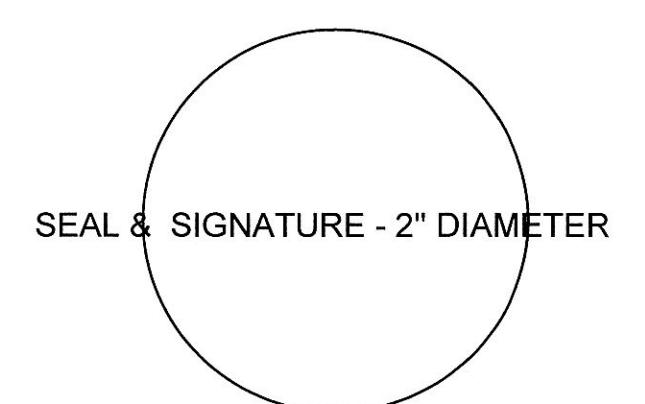
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ARCHITECT SEAL:



PROJECT CONSULTANTS:

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240-498-4502

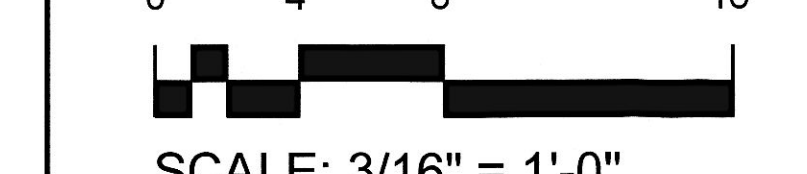
PROJECT:

**WARNER MANSION RENOVATION AND ADDITION**  
10212 MONTGOMERY AVE  
KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS	PROGRESS
7/29/2023	BSMT PLAN	DSGN REVIEW
8/1/2023	EXIST. CONDS	FINAL
9/8/2023	PROPOSED PL	PROGRESS
9/14/2023	PROPOSED PL	PROGRESS
9/20/2023	EC & DD	PROGRESS
10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

EXISTING CONDITIONS VIRTUAL TOUR URL:  
[https://osguide.com/10331\\_CARROLL\\_PLACE\\_KENSINGTON\\_MD](https://osguide.com/10331_CARROLL_PLACE_KENSINGTON_MD)  
[https://osguide.com/10331\\_CARROLL\\_PLACE\\_KENSINGTON\\_MD](https://osguide.com/10331_CARROLL_PLACE_KENSINGTON_MD)

PROJECT NUMBER: **2218**



SCALE: 3/16" = 1'-0"

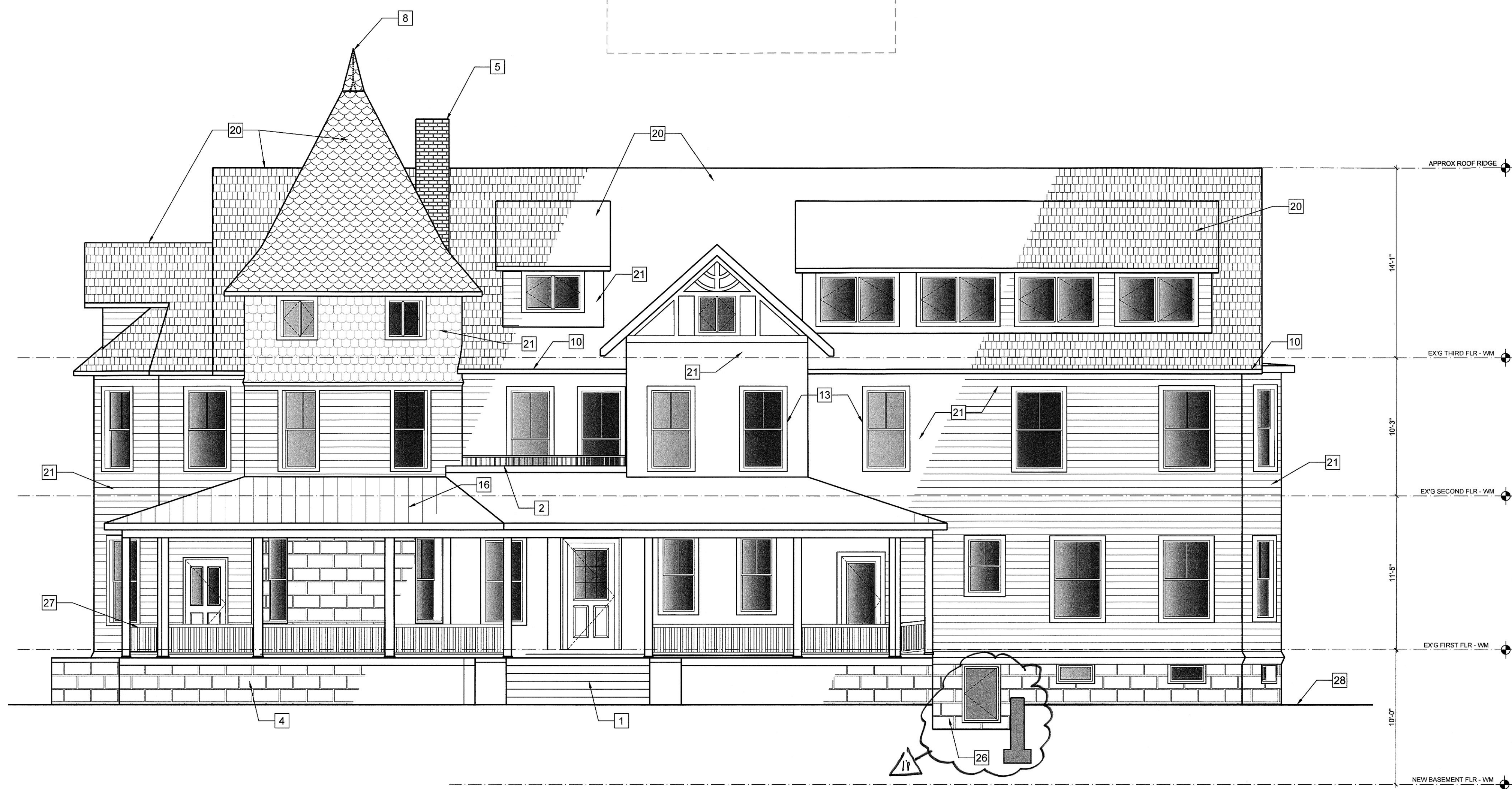
SHEET TITLE:

**PROPOSED ELEVATIONS**

SHEET SIZE: E1 - 42" X 30"

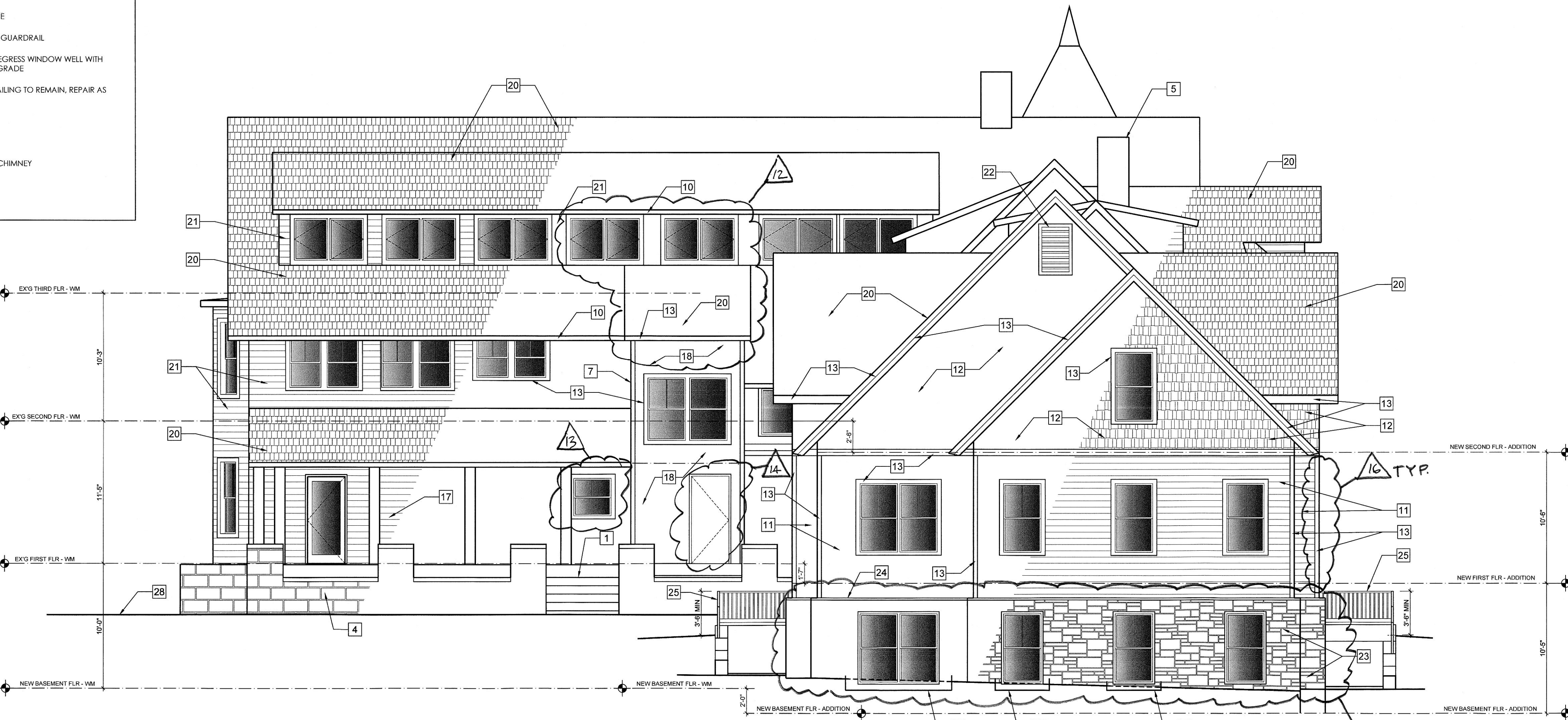
SHEET NUMBER:

**A005**



**1 NORTH ELEVATION**  
3/16" = 1'-0"

- KEYED ELEVATION NOTES:**
- 1 RESTORE STONE STEPS
  - 2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
  - 3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE
  - 4 EXISTING STONE FOUNDATION
  - 5 RECONSTRUCT DECORATIVE CHIMNEY TOPS
  - 6 LINE OF GRADE IN FOREGROUND
  - 7 NEW STAIR TOWER FOR EGRESS COMPLIANCE
  - 8 ADD NEW LIGHTING ROD, WIRE, GLASS
  - 9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING
  - 10 RESTORE GUTTER AND D/S
  - 11 LG ENGINEERED WOOD LAP SIDING, 5" EXPOSURE TO MATCH EXISTING
  - 12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING
  - 13 COMPOSITE TRIM BOARD
  - 14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION
  - 15 STANDING SEAM METAL ROOFING
  - 16 FLAT SEAM METAL ROOFING
  - 17 NEW CEDAR LAP SIDING TO MATCH EXIST
  - 18 FARGING
  - 19 BOARD & CEDAR BATTEN SIDING
  - 20 NEW SLATE SHINGLES
  - 21 NEW CEDAR SHINGLES TO MATCH EXIST
  - 22 PAINTED METAL LOUVER
  - 23 STONE VENEER TO MATCH EXIST. STONE FOUNDATION COLOR & TEXTURE
  - 24 STONE CAP COURSE
  - 25 NEW BLACK METAL GUARDRAIL
  - 26 NEW EMERGENCY EGRESS WINDOW WELL WITH METAL GRATES AT GRADE
  - 27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED
  - 28 GRADE
  - 29 FLAT ROOFING
  - 30 REMOVE EXISTING CHIMNEY
  - 31 RETAINING WALL



**2 SOUTH ELEVATION**  
3/16" = 1'-0"

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**KEYED ELEVATION NOTES:**

1 RESTORE STONE STEPS	16 FLAT SEAM METAL ROOFING
2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE	17 NEW CEDAR LAP SIDING TO MATCH EXIST
3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE	18 PARKING
4 EXISTING STONE FOUNDATION	19 BOARD & CEDAR BATTEN SIDING
5 RECONSTRUCT DECORATIVE CHIMNEY TOPS	20 NEW SLATE SHINGLES
6 LINE OF GRADE IN FOREGROUND	21 NEW CEDAR SHINGLES TO MATCH EXIST
7 NEW STAIR TOWER FOR EGRESS COMPLIANCE	22 PAINTED METAL LOUVER
8 ADD NEW LIGHTING ROD, WIRE, GLASS	23 STONE VENEER TO MATCH EXIST. STONE FOUNDATION COLOR & TEXTURE
9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING	24 STONE CAP COURSE
10 RESTORE GUTTER AND D.S	25 NEW BLACK METAL GUARDRAIL
11 LG ENGINEERED WOOD LAP SIDING, 5" EXPOSURE TO MATCH EXISTING	26 NEW EMERGENCY EGRESS WINDOW WELL WITH METAL GRATES AT GRADE
12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING	27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED
13 COMPOSITE TRIM BOARD	28 GRADE
14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION	29 FLAT ROOFING
15 STANDING SEAM METAL ROOFING	30 REMOVE EXISTING CHIMNEY
	31 RETAINING WALL

1 WEST ELEVATION  
3/16" = 1'-0"

2 EAST ELEVATION  
3/16" = 1'-0"

PROJECT ARCHITECT:  
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CLIENT/OWNER:  
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 WASHINGTON, DC 20016  
 240-498-4502

PROJECT:  
**WARNER MANSION RENOVATION AND ADDITION**  
 10212 MONTGOMERY AVE  
 KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS	PROGRESS
7/29/2023	BSMT PLAN	DSGN REVIEW
8/1/2023	EXIST. CONDS	FINAL
9/8/2023	PROPOSED PL	PROGRESS
9/14/2023	PROPOSED PL	PROGRESS
9/20/2023	EC & DD	PROGRESS
10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

EXISTING CONDITIONS VIRTUAL TOUR URL:  
[https://yourguide.com/mansion\\_ext\\_10212\\_cannell\\_place\\_kensington\\_md](https://yourguide.com/mansion_ext_10212_cannell_place_kensington_md)  
[https://yourguide.com/10212\\_cannell\\_place\\_kensington\\_md](https://yourguide.com/10212_cannell_place_kensington_md)

PROJECT NUMBER: **2218**

0 4' 8' 16'  
  
 SCALE: 3/16" = 1'-0"

SHEET TITLE:  
**PROPOSED ELEVATIONS**

SHEET SIZE: E1 - 42" X 30"  
 SHEET NUMBER:  
**A006**

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**KEYED ELEVATION NOTES:**

1 RESTORE STONE STEPS	16 FLAT SEAM METAL ROOFING
2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE	17 NEW CEDAR LAP SIDING TO MATCH EXIST
3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE	18 PARING
4 EXISTING STONE FOUNDATION	19 BOARD & CEDAR BATTEN SIDING
5 RECONSTRUCT DECORATIVE CHIMNEY TOPS	20 NEW SLATE SHINGLES
6 LINE OF GRADE IN FOREGROUND	21 NEW CEDAR SHINGLES TO MATCH EXIST
7 NEW STAIR TOWER FOR EGRESS COMPLIANCE	22 PAINTED METAL LOUVER
8 ADD NEW LIGHTING ROD, WIRE, GLASS	23 STONE VENEER TO MATCH EXIST, STONE FOUNDATION COLOR & TEXTURE
9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING	24 STONE CAP COURSE
10 RESTORE GUTTER AND D/S	25 NEW BLACK METAL GUARDRAIL
11 LG ENGINEERED WOOD LAP SIDING, 5" EXPOSURE TO MATCH EXISTING	26 NEW EMERGENCY EGRESS WINDOW WELL WITH METAL GRATES AT GRADE
12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING	27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED
13 COMPOSITE TRIM BOARD	28 GRADE
14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION	29 FLAT ROOFING
15 STANDING SEAM METAL ROOFING	30 REMOVE EXISTING CHIMNEY
	31 RETAINING WALL

**1 WEST ELEVATION**  
3/16" = 1'-0"

**2 EAST ELEVATION**  
3/16" = 1'-0"

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**ARCHITECT SEAL:**  
 SEAL & SIGNATURE - 2" DIAMETER

**PROJECT CONSULTANTS:**  
**CIVIL ENGINEER:**  
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**PROJECT:**  
**WARNER MANSION RENOVATION AND ADDITION**  
 10212 MONTGOMERY AVE  
 KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION
7/14/2023	EXIST. CONDS.	PROGRESS
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10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

**EXISTING CONDITIONS VIRTUAL TOUR URL:**  
[https://blu3dmod.com/mansion\\_ext\\_10212\\_carrroll\\_place\\_kensington\\_md](https://blu3dmod.com/mansion_ext_10212_carrroll_place_kensington_md)  
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**PROJECT NUMBER: 2218**

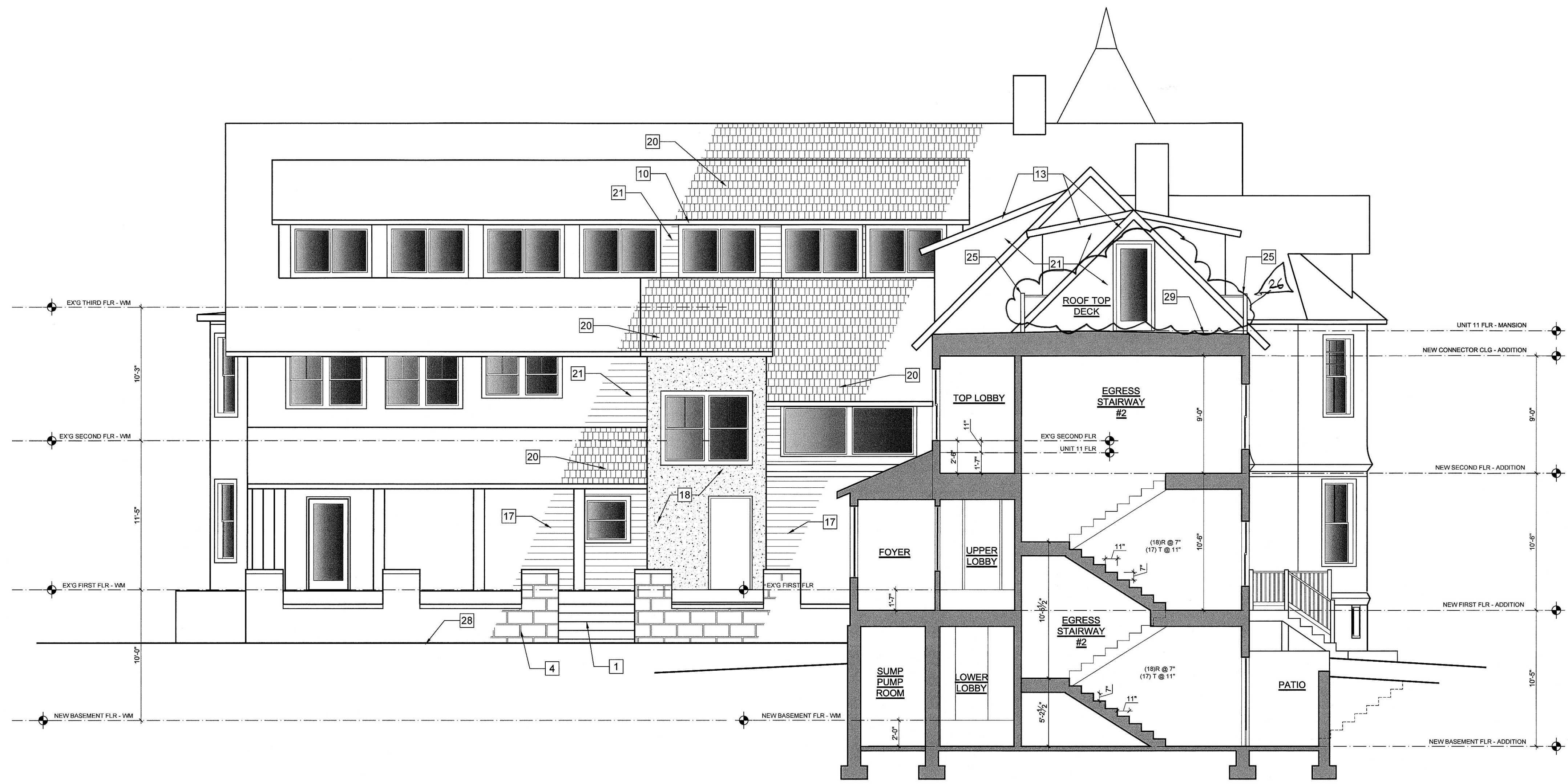
0 4' 8' 16'

**SCALE: 3/16" = 1'-0"**

**SHEET TITLE:**  
**PROPOSED ELEVATIONS**

**SHEET SIZE: E1 - 42" X 30"**  
**SHEET NUMBER:**  
**A007**

- KEYED ELEVATION NOTES:**
- |   |  |
|---|--|
| 1 RESTORE STONE STEPS   | 18 FLAT SEAM METAL ROOFING                                       |
| 2 RECONSTRUCT 2ND FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE | 17 NEW CEDAR LAP SIDING TO MATCH EXIST                           |
| 3 RECONSTRUCT SIDE PORCH STAIR, RAILINGS, SCREENING AND LATTICE   | 16 PARGING   |
| 4 EXISTING STONE FOUNDATION   | 19 BOARD & CEDAR BATTEN SIDING                                   |
| 5 RECONSTRUCT DECORATIVE CHIMNEY TOPS   | 20 NEW SLATE SHINGLES  |
| 6 LINE OF GRADE IN FOREGROUND   | 21 NEW CEDAR SHINGLES TO MATCH EXIST                             |
| 7 NEW STAIR TOWER FOR EGRESS COMPLIANCE   | 22 PAINTED METAL LOUVER  |
| 8 ADD NEW LIGHTING ROD, WIRE, GLASS   | 23 STONE VENEER TO MATCH EXIST. STONE FOUNDATION COLOR & TEXTURE |
| 9 CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING  | 24 STONE CAP COURSE  |
| 10 RESTORE GUTTER AND D.S   | 25 NEW BLACK METAL GUARDRAIL                                     |
| 11 LG ENGINEERED WOOD LAP SIDING, 5" EXPOSURE TO MATCH EXISTING   | 26 NEW EMERGENCY EGRESS WINDOW WELL WITH METAL GRATES AT GRADE   |
| 12 LG ENGINEERED WOOD SHAKES, 5" EXPOSURE TO MATCH EXISTING   | 27 EXISTING WOOD RAILING TO REMAIN, REPAIR AS NEEDED             |
| 13 COMPOSITE TRIM BOARD   | 28 GRADE   |
| 14 RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION  | 29 FLAT ROOFING  |
| 15 STANDING SEAM METAL ROOFING  | 30 REMOVE EXISTING CHIMNEY                                       |
|   | 31 RETAINING WALL  |



1 BUILDING SECTION 1 - WM ADDITION  
3/16" = 1'-0"

PROJECT ARCHITECT:  
**MORRIS ARCHITECTS**  
11320 TRAVILAH ROAD  
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ARCHITECT SEAL:  
  
SEAL & SIGNATURE - 2" DIAMETER

PROJECT CONSULTANTS:  
CIVIL ENGINEER:  
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WWW.SKARDAENGINEERS.COM

MEP ENGINEER:  
**DESIGNTECH INC**  
10410 KENSINGTON PKWY - SUITE #200  
KENSINGTON, MARYLAND 20895  
301-949-2068  
INFO@DESIGNTECHENG.COM

DOCUMENTATION:  
**MC DESIGN BUILD, LLC**  
6 GEORGE STREET  
GAITHERSBURG, MARYLAND 20877  
301-527-0007

CONTRACTOR:  
**WASHINGTON LANDMARK CONSTRUCTION, LLC**  
4955 BUTTERWORTH PLACE, NW  
WASHINGTON, DC 20016  
202-332-2700

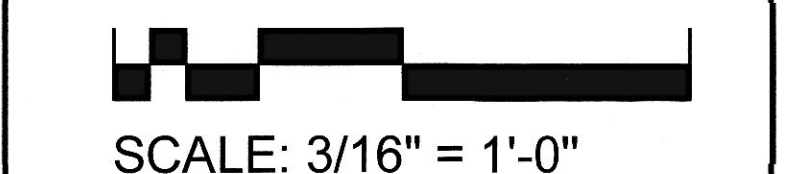
CLIENT/OWNER:  
**WARNER CIRCLE MANSION CONDOMINIUMS, LLC**  
4955 BUTTERWORTH PLACE, NW  
WASHINGTON, DC 20016  
240-498-4502

PROJECT:  
**WARNER MANSION RENOVATION AND ADDITION**  
10212 MONTGOMERY AVE  
KENSINGTON, MD 20895

DATE	DESCRIPTION/ISSUE	REVISION/REVIEW
7/14/2023	EXIST. CONDS	PROGRESS
7/29/2023	BSMT PLAN	DSGN REVIEW
8/1/2023	EXIST. CONDS	FINAL
9/8/2023	PROPOSED PL	PROGRESS
9/14/2023	PROPOSED PL	PROGRESS
9/20/2023	EC & DD	PROGRESS
10/20/2023	PROPOSED PL	PROGRESS
11/30/2023	HPC REVIEW	PROGRESS

EXISTING CONDITIONS VIRTUAL TOUR URL:  
[https://tourguide.com/mansion\\_ext\\_10212\\_carrroll\\_place\\_kensington\\_md](https://tourguide.com/mansion_ext_10212_carrroll_place_kensington_md)  
[https://tourguide.com/10212\\_carrroll\\_place\\_kensington\\_md](https://tourguide.com/10212_carrroll_place_kensington_md)

PROJECT NUMBER: **2218**



SHEET TITLE:  
**BUILDING SECTIONS**

SHEET SIZE: E1 - 42" X 30"  
SHEET NUMBER:  
**A008**

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