

MEMORANDUM

To: Historic Preservation Commission

From: John Liebertz, Cultural Resource Planner III; Brian Crane, Cultural Resources Planner III;
Countywide Planning and Policy Division, Montgomery Planning

Date: December 13, 2023

RE: Reduction of the Environmental Setting for Flint Hill II (M: 22/17), 17800 Bowie Mill Road,
Derwood

Staff Recommendation:

The Historic Preservation Commission (HPC) write a letter of support to the Planning Board for the reduction of the environmental setting for Flint Hill II (also known as the Fraley Farm) from 52.77 acres to 12.44 acres in conformance with Master Plan guidance with the condition that archaeological survey and an updated report be completed prior to Planning Board approval of the Preliminary Plan.

Proposal:

Pulte Homes, the contract purchaser of the 91-acre Fraley Farm—which includes an adjacent parcel outside of the designated Master Plan Historic Site Environmental Setting—proposes to develop the property with 43 lots (*Figures 1 and 2*). This includes an existing single-family lot, a new 12.44-acre lot for Flint Hill II (the subject historic resource), and 41 new single-family lots. The entire 12.44-acre lot comprises the new environmental setting for the Master Plan Historic Site.



Figure 1: View of the house at Flint II and the current environmental setting shaded red. Source: Montgomery Planning and Dutton + Associates.



Figure 2: Concept Plan for Fraley Farm West. The yellow outline is the proposed (reduced) environmental setting. Source: Applicant.

Background:

The *Approved and Adopted Amendment to the Master Plan for Historic Preservation in Montgomery County, Maryland* (May 1983) designated Flint Hill II at 17800 Bowie Mill Road as a Master Plan Historic Site. Following typical procedure, the plan designated the entire parcel, but included language for a reduced environmental setting should the property be subdivided. The plan noted:

The house sits on a knoll facing east and is highly visible from Bowie Mill Road. An appropriate environmental setting could be based on the 495' contour line and should include the house, and the hillside to the front of the house to retain views of and from the structure. The barn does not need to be preserved as part of the environmental setting.¹

Historic Context:

The dwelling at Flint Hill consists of two distinct building periods and methods of construction: 1) a two-story, three-bay, side-gable log house (ca. 1820) with later ell addition; and 2) a two-and-a-half story, five-bay, side-gable, wood-frame dwelling (ca. 1870). The building sits at the top of a hill. The front of the original two-story log house faced south and the latter two-and-a-half-story, wood-frame section reorientated the dwelling to the east. Therefore, the overall landscape associated with this dwelling consists of both vistas (south and east). *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland* described Flint Hill II as follows:

¹ Montgomery Planning, *Approved and Adopted Amendment to the Master Plan for Historic Preservation in Montgomery County, Maryland*, May 1983, 5.

Situated on a rise above Bowie Mill Road, Flint Hill is one of three houses in the Olney area that was associated in the early- to mid-1800s with the Bowie family. Washington Bowie, wealthy Georgetown shipping merchant, purchased 2,000 acres of land in 1820 and established a farm at Oatland. His son, Thomas Johns Bowie built Roseneath between 1825 and 1830 on 600 acres (see description in Patuxent section). While Thomas' eldest son, Washington Bowie III, inherited Roseneath, another son Thomas Johns Davis Bowie, inherited Flint Hill.

The house was constructed in several sections. The earliest part is the rear section, which is of log construction, said to be chinked with brick. The log house was built before the Bowie's 1820 purchase of the property. The exterior chimney on this section has an asymmetrical stone base with a brick stack. The main block, built c.1860-75, is one room deep with a center passage plan. Italianate-style influence is evident in oversize scrolled brackets at the roof cornice and prominent window cornices. The front (east) door opens into a central hall with open-string, double-run staircase with a turned newel post and golden oak banister. A large bank barn is dated 1898.

Following recommendations from Historic Preservation staff in summer 2023, Pulte Homes contracted Dutton + Associates (D+A) Cultural Resource Survey, Planning and Management to conduct research, limited fieldwork and archaeological reconnaissance, and analysis for the subject property. In "Fraley Farm Redevelopment Project: Cultural Resource Review and Assessment," D + A updated the context for the property:

The home is believed to have initially been built circa 1820 when the property it is located on was acquired by the locally prominent Bowie family. The original block of the home was a one-story cabin that faced south from a prominent knoll. Whether the home was already present or constructed by the Bowies is unclear. As part of a 2,000-acre estate, the Bowies built several other primary homes on the property so how the Flint Hill home was managed or occupied by is not known. Sometime around the mid-nineteenth century, a large addition was appended to the side of the original home, likely coinciding with the subdivision and inheritance of the property by Thomas Johns Davis Bowie. This addition expanded the home to a more substantial size with architectural interest. It also reoriented the front of the home to the east where the family mill was located, but it appears the working yard and building complex associated with the home remained just to the north side of the house. An auction listing for the house in the 1870s lists multiple associated outbuildings, including a stone dairy, four tenant houses, stabling with an attached corn crib, a grist and sawmill, and an apple orchard. In the 1890s, the property came into possession of the Fraley family who were likely responsible for the construction of a large bank barn to the north of the home, as well as a newer concrete block dairy and several other outbuildings which continued to reinforce the north side of the home as the working complex. Although the property was briefly sold out of the Fraley family from 1942-1949, it was reacquired and remains owned by the Fraley family at this time.

Staff Analysis:

Viewshed Analysis

Pulte Homes coordinated with Historic Preservation Staff to determine an appropriate environmental setting for the historic resource. As noted above, the *Approved and Adopted Amendment to the Master Plan for Historic Preservation in Montgomery County, Maryland* suggested an environmental setting that followed the 495' contour line to protect significant views of and from the house. This would have resulted in an environmental setting of approximately 6.37 acres. Staff, however, recommended further analysis of the reduced environmental setting as the 6.37-acre boundary failed to protect significant views from the original log house to the south (*Figure 1*). New construction and development would have impacted this historic viewshed and adversely affected the bucolic setting contrary to the intent of the approved amendment.

Pulte Homes hired D + A to conduct a viewshed assessment for the property. The consultants concluded that the house had two primary viewsheds outward from the home due to its phased construction. The south and west viewsheds from the log house consists of a large open field with a downward slope. This landscape permits wide and distant views of undeveloped land towards Rock Creek and existing homes along Bowie Mill Road. Pulte Homes responded by increasing the size of the suggested environmental setting from 6.37 acres to 12.44 acres with most of the increase comprising land within this viewshed (*Figure 3*).

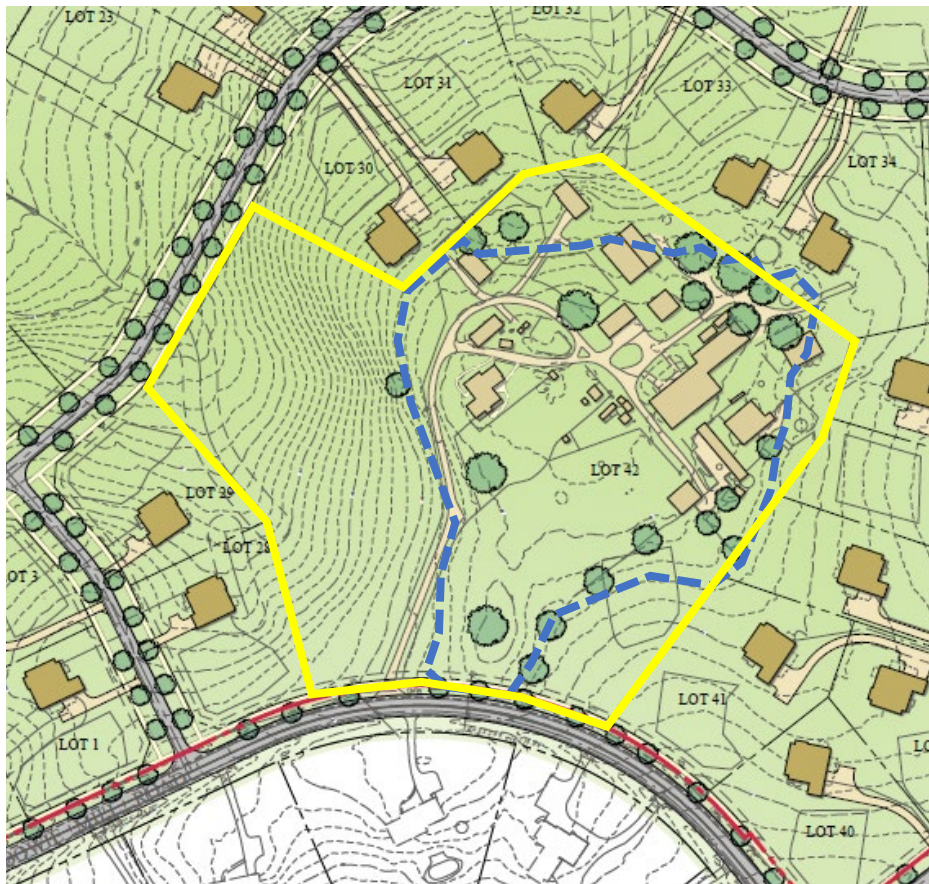


Figure 3: The dashed blue line is the environmental setting as suggested in the Master Plan and the yellow line is the proposed environmental setting established in consultation with Historic Preservation staff. Source: Applicant.

Historic Preservation staff agrees that the proposed reduced environmental setting preserves the character defining feature of the site and landscape. The expanded environmental setting captures the significant viewsheds from and to the house and its surrounding setting. This proposed environmental setting would allow the resource to retain a sense of primacy within the new development and protect the elements outlined in the *Approved and Adopted Amendment to the Master Plan for Historic Preservation in Montgomery County, Maryland* (May 1983).

Archaeological Analysis

D + A conducted an archaeological reconnaissance and assessment to evaluate the potential for deposits for sites associated with Native American populations and the period of significance for Flint Hill II. The consultants made the following assessment:

1. The current project area is adjacent to the small tributary of Rock Creek that enters the lower pasture from the north. Any sites in this area are expected to be small lithic scatters and associated with temporary resource procurement activities. The presence of Rock Creek nearby just to the west and its adjacent landforms would have likely been considered more attractive by Native American populations. As such, the overall potential for intact significant prehistoric sites to be present within the limits of the current Flint Hill Farm property is considered to be low.
2. Initially the farm occupied a much larger area encompassing approximately 527 acres of which only approximately 90 acres remain actively owned and farmed by the Fraley family. Development of the Flint Hill Farm residential and agricultural complex has occurred largely within the existing footprint of farm buildings and structures. The topography has served to limit and in fact concentrate the residential and agricultural development of the property over time. While the focus of agricultural activity has shifted slightly from the north to northeastern quadrant of the complex, overall, it has remained concentrated on the same landform since its initial development. As such, the potential for archaeological deposits associated with early development and occupation of the farm is considered the highest in the current residential and agricultural complex.
3. During the nineteenth century, documents indicate that members of the Bowie family, who owned Flint Hill, also owned enslaved individuals who worked at their various properties. Enslaved laborers working in fields were often housed in quarters closer to the areas where they worked while enslaved laborers working in domestic capacities were more likely to be housed in ancillary spaces such as attics and basements in existing structures within the domestic complex. Given the limited amount of acreage remaining from the original Flint Hill Farm, the potential for any resources associated with the housing of enslaved individuals, particularly those working in the fields, may very well be outside of the current property limits. Sites associated with enslaved individuals working in domestic roles would likely be found within the current residential and agricultural complex. As noted earlier

this area has been actively occupied and used for over 150 years and therefore some level of disturbance associated with later occupation and uses is expected.

HP staff recommends that archaeological survey be conducted within the blue shaded areas shown in *Figure 4* that lie within the present environmental setting, but outside the proposed revised setting. There is a potential for archaeological sites associated with precolonial hunting and resource procurement, as well as for material associated with enslaved persons in the vicinity of later tenant farm structures. The applicant should discuss an approach and scope of work with staff, and work should be completed prior to Planning Board approval of the Preliminary Plan. Fieldwork methodology, such as systematic shovel test survey, should be consistent with the *Standards and Guidelines for Archeological Investigations in Maryland* (Maryland Historical Trust 1994). The applicant must complete a technical report detailing the methods used, findings, and conclusions about what the archaeology says about the precolonial and later use of the land. Any archaeological sites found must be recorded with the Maryland Historical Trust.

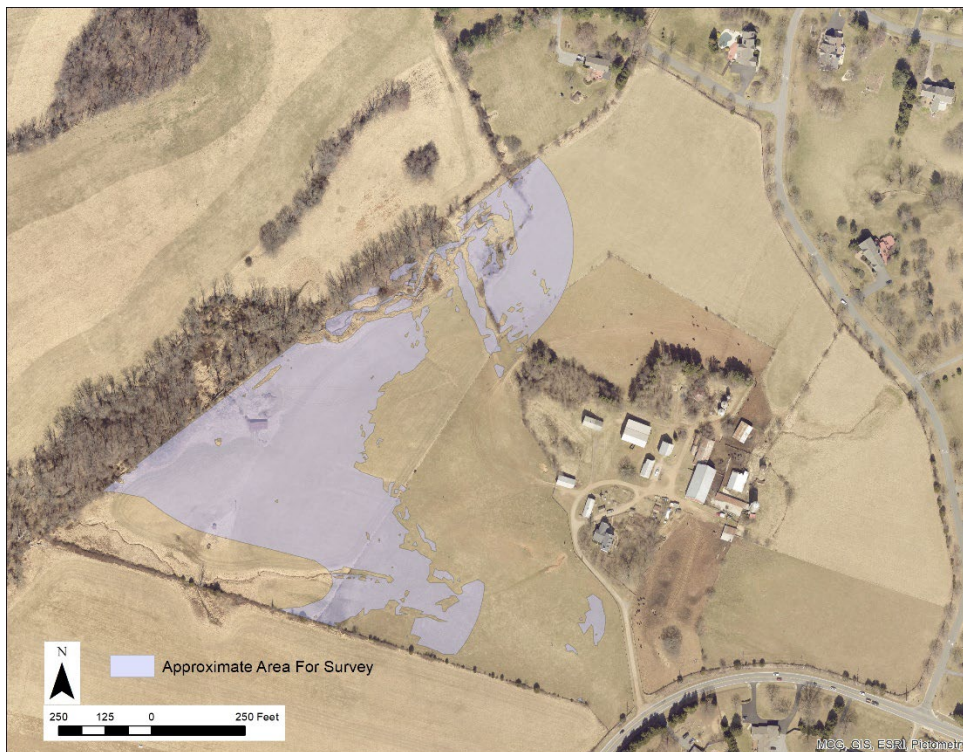


Figure 4: Area of archaeological potential.
Source: Montgomery Planning.

Conclusion:

Staff recommends that the Historic Preservation Commission (HPC) write a letter of support to the Planning Board for the reduction of the environmental setting for Flint Hill II (also known as the Fraley Farm) from 52.77 acres to 12.44 acres in conformance with Master Plan guidance with the condition that archaeological survey and an updated report be completed prior to Planning Board approval of the Preliminary Plan.



Patricia A. Harris, Esq.
(301) 841-3832
paharris@lercheearly.com

November 27, 2023

Via Electronic Mail

Ms. Rebecca Ballo
Planning Supervisor
Historic Preservation Commission
2425 Reedie Drive, 13th Floor
Wheaton, Maryland 20902

Re: Request for Determination on Environmental Setting -- Fraley Farm, 17800 Fraley Farm Road (the "Property")

Dear Ms. Ballo:

Pulte Homes, the contract purchaser of the Fraley Farm (the "Applicant"), requests the Historic Preservation Commission's ("HPC") review of the proposed environmental setting for the Property. The Property is designated on the Master Plan for Historic Preservation as Site # 22/17, referred to as Flint Hill II.

The Property contains 91.32 acres and is zoned RE-1 (allowing one residential unit per acre), and single family development in accordance with the one-acre zoning is anticipated by the 2004 Approved and Adopted Upper Rock Creek Master Plan (the "Master Plan"). As indicated by the enclosed Site Plan (Attachment A), the Applicant is proposing to develop the Property with 43 single family lots, consisting of 41 new single family lots ranging in size from one acre to 1.76 acres; one existing single family lot; and an additional lot comprised of 12.44 acres to accommodate the historic house and environmental setting. In addition, approximately 17.59 acres of the Property along the northern and western boundaries will be preserved as undeveloped environmental areas subject to a forest conservation easement.

The Property was added to the Historic Preservation Master Plan in December 1983. Since that time the recommendations for the environmental setting have not changed. Both the July 1985 Upper Rock Creek Master Plan (Attachment B) and the current Master Plan (Attachment C) provide as follows with respect to the environmental setting:

The house sites on a knoll facing east and is highly visible from Bowie Mill Road. An appropriate environmental setting could be based on the 495 contour line and should include the house, and the hillside to the front of the house to retain views of and from the structure.

As indicated by the Contour Exhibit (Attachment D), the area delineated by the 495 contour line contains 6.37 acres. The Applicant's original site layout proposed an environmental setting consistent with this recommendation. However, through discussions and close coordination with HPC Staff, the Applicant revised their proposal by almost doubling the size of the environmental setting from 6.37 acres to 12.44 acres and correspondingly decreasing the overall number of proposed lots. In addition, the environmental areas also increased from 13 acres to 17.59 acres. In connection with the evaluation of the environmental setting, the Applicant submitted a Cultural Resources Review and Assessment to HPC Staff prepared by Dutton+Associates in June, 2023.

The Applicant seeks the HPC's support for the proposed 12.44 acre environmental setting. The proposed environmental setting satisfies the Master Plan's objective of preserving the views "to the front of the house." In addition, the extended environmental setting when coupled with the proposed protected open spaces to the south and west of the historic house preserves an additional view corridor from within the Property.

We greatly appreciate the time and focus that HPC Staff has devoted to this issue and encourage the HPC's support of the proposed environmental setting.

Sincerely,



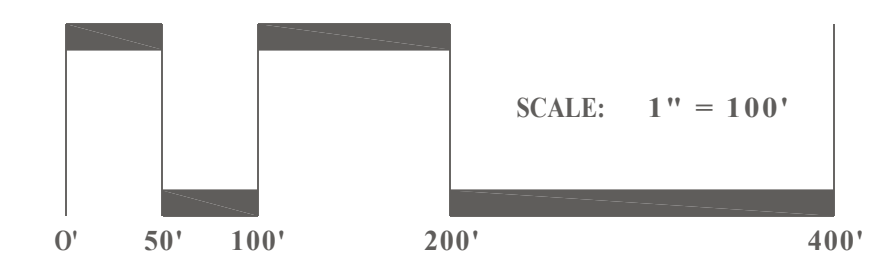
Patricia A. Harris

Enclosures

Attachment A



**CONCEPT PLAN
 FRALEY FARM - WEST
 MONTGOMERY COUNTY, MARYLAND**



Attachment B

UPPER ROCK CREEK

a Comprehensive Amendment to the Upper Rock Creek Master Plan Approved & Adopted

*Land Use
Zoning
Transportation
Water Distribution
&
Sewerage System Policy Amendments*

July 1985

<u>Atlas #</u>	<u>Site</u>	<u>Location</u>	<u>Associated Acreage</u>
-	Later flanking wings, the frame built in 1913, the brick in 1954, do not overshadow the strength of the main block.		
-	Recommended with 11.5 acre environmental setting to include all outbuildings, the tree-lined entrance drive and acreage to either side of the drive to preserve vistas of the structure from Needwood Road.		

These properties join the following sites located within the planning area which were designated as part of previous amendments to the Master Plan for Historic Preservation.

<u>Site</u>	<u>Name</u>	<u>Location</u>	<u>Designated As Part Of</u>
22/7	Bussard Farm	Upper Rock Creek Park	September 1983 Amendment
-	Circa 1900--Two story Victorian vernacular frame structure, represents the third dwelling on the site.		
-	Associated for more than 100 years with the Magruder family, prominent in the early history of the State and County.		
-	Farm cultivated as early as 1734, reclaimed in the mid-1800's by Otho Magruder, an early proponent of agricultural innovation in the County.		
22/15	The Ridge	19000 Muncaster Rd.	September 1979 <u>Master Plan for Historic Preservation</u>
-	Pre-1753--large house of three sections, oldest (main section) is Flemish bonded brick; rubblestone kitchen dependence connected by a frame section.		
-	One of few remaining colonial homes, it was built by Zadock Magruder, a County leader; it remained in that family for 200 years.		
-	The proposed Muncaster Road (M-2) widening will not directly impact The Ridge. However, roadway design criteria should include adequate landscaping or berming to protect the historic setting.		
22/17	Flint Hill II	17800 Bowie Mill Rd.	May 1983 Amendment
-	Early 19th century log and frame farmhouse.		
-	Associated with the Bowie family, a prominent family in Montgomery County and Maryland history.		
-	The house sits on a knoll facing east and is highly visible from Bowie Mill Road. An appropriate environmental setting could be based on the 495-foot contour line and should include the house and the hillside to the front of the house to retain views of and from the structure.		
-	The barn does not need to be preserved as part of the environmental setting.		

Attachment C

APRIL 2004



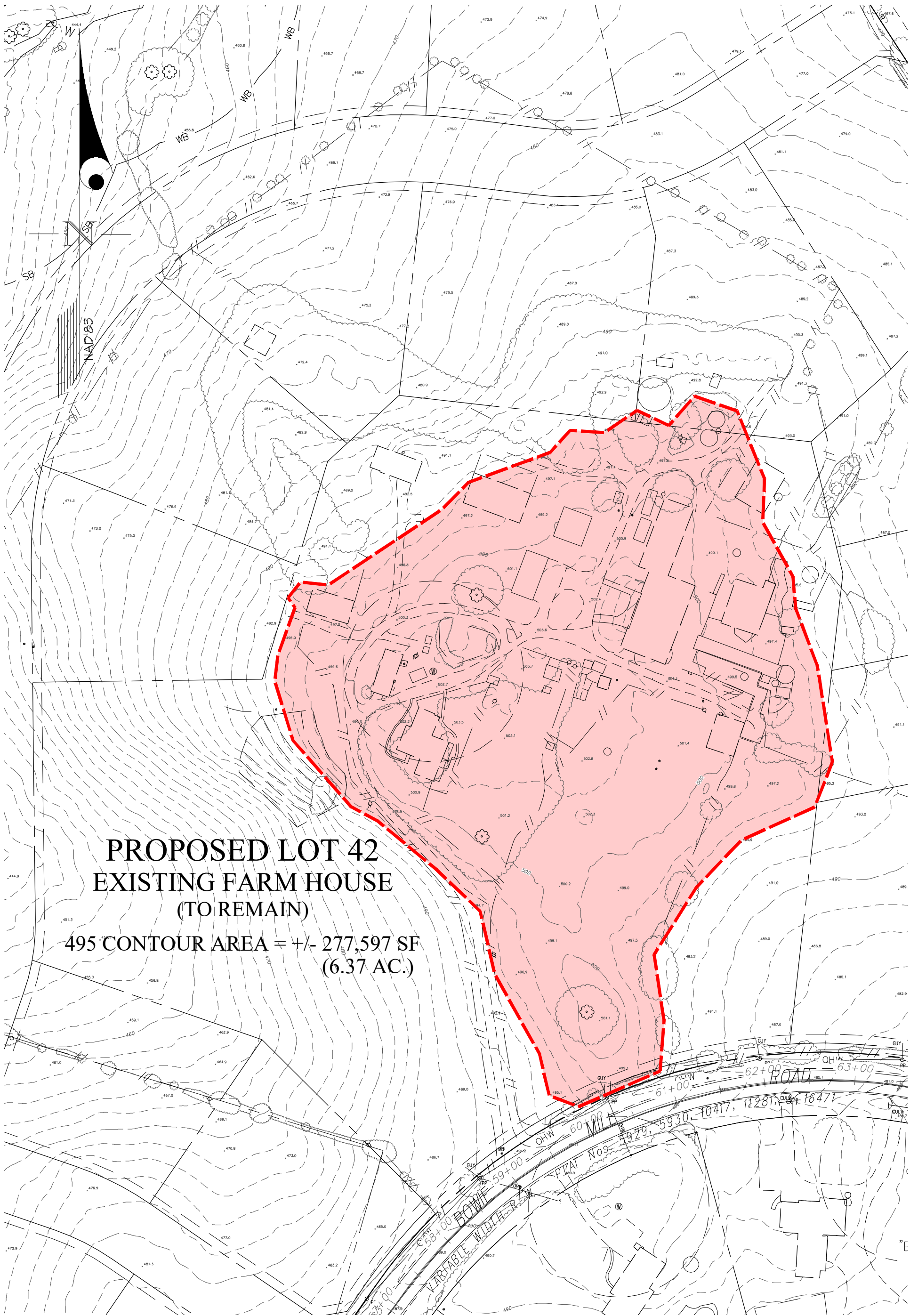
APPROVED AND ADOPTED
UPPER ROCK CREEK AREA
MASTER PLAN

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION



Site #	Site Name	Location	Associated Acreage
22/17	Flint Hill II	17800 Bowie Mill Road	52.722 acres
	<ul style="list-style-type: none"> • Early 19th century log and frame farmhouse. • Associated with the Bowie family, a prominent family in Montgomery County and Maryland history. • The house sits on a knoll facing east and is highly visible from Bowie Mill Road. An appropriate environmental setting could be based on the 495-foot contour line and should include the house and the hillside to the front of the house to retain views of and from the structure. • The barn does not need to be preserved as part of the environmental setting. 		
22/25	J.H. Cashell Farm	5865 Muncaster Mill Road	325.955 acres
	<ul style="list-style-type: none"> • The earliest section of the frame Cashell Farmhouse, in the American farmhouse style, was built in the mid 19th century by the Hon. Hazel H. Cashell. His son John H. added a turrlicated, jerkin-headed Queen Anne block at the end of that century. • Important for its association with the Cashell family as well as the high level of architecture achieved by the hybrid-style building. • With appropriate lot configuration, a one-acre environmental setting should provide sufficient area to preserve the integrity of the historic structure and retain some of the major trees which define its historic setting. However, one acre should be considered a minimum. If additional acreage can be retained around this historic resource, it will increase the ability to retain and interpret the site's historic importance. 		
22/30	Barnesley House	15715 Avery Road	11.042 acres
	<ul style="list-style-type: none"> • A good example of a well-maintained 19th century Gothic Revival farmhouse, once so ubiquitous in Montgomery County. • Because this house retains its original/historic setting, the entire 11.25-acre parcel is recommended as the environmental setting in order to provide architectural review of any future development under the Preservation Ordinance. • Designation of the site does not preclude subdivision under the development standards of the RE-2 Zone. Inclusion of the entire parcel in the environmental setting does, however, require architectural review of any additional development on the site prior to the issuance of building permits. Once developed, the environmental setting to be required in perpetuity under the Ordinance could be reduced to the size of the lot retained for the historic structure. 		

Attachment D

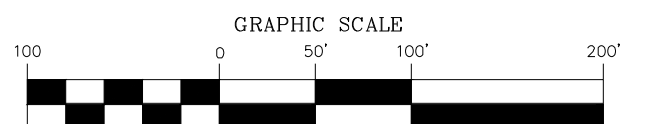


**PROPOSED LOT 42
EXISTING FARM HOUSE
(TO REMAIN)**

**495 CONTOUR AREA = +/- 277,597 SF
(6.37 AC.)**



**495 Contour Exhibit
Fraley Farm - West
Montgomery County, MD**





Dutton + Associates

CULTURAL RESOURCE SURVEY, PLANNING, AND MANAGEMENT

June 16, 2023

Bobby Varner
Land Planning and Entitlement Manager: Mid-Atlantic Division
Pulte Group

RE: *Fralely Farm Development Project*
Cultural Resources Review and Assessment

Dear Mr. Varner:

Dutton + Associates, LLC (D+A) is pleased to provide Pulte Group with this Cultural Resources Review and Assessment of the Fraley Farm property located at 17800 Bowie Mill Road in Derwood, Maryland (Figure 1). The D+A effort was conducted in partial response to comments provided to Pulte Group from Montgomery County Planning Department Historic Preservation staff regarding a proposal to redevelop the property. The D+A effort included a desktop review of known and previously recorded cultural resources as inventoried in the Maryland Inventory of Historic Properties (MIHP) and Montgomery County Master Plan for Historic Preservation, historical research and land records review; and limited fieldwork to document existing conditions, conduct an archaeological reconnaissance, and assess viewsheds. This review is intended to be used as planning tool and will not satisfy any local, federal, or state regulatory requirements, however, all investigators meet the Secretary of the Interior's Professional Qualification Standards (48 FR 44716) for archaeology, history, architecture, architectural history, or historic architecture.

Project Summary

The focus of this report is on the West tract, upon which forty-two (42) lots are currently planned (hereon referred to as the "project area") (Figures 1 and 2).

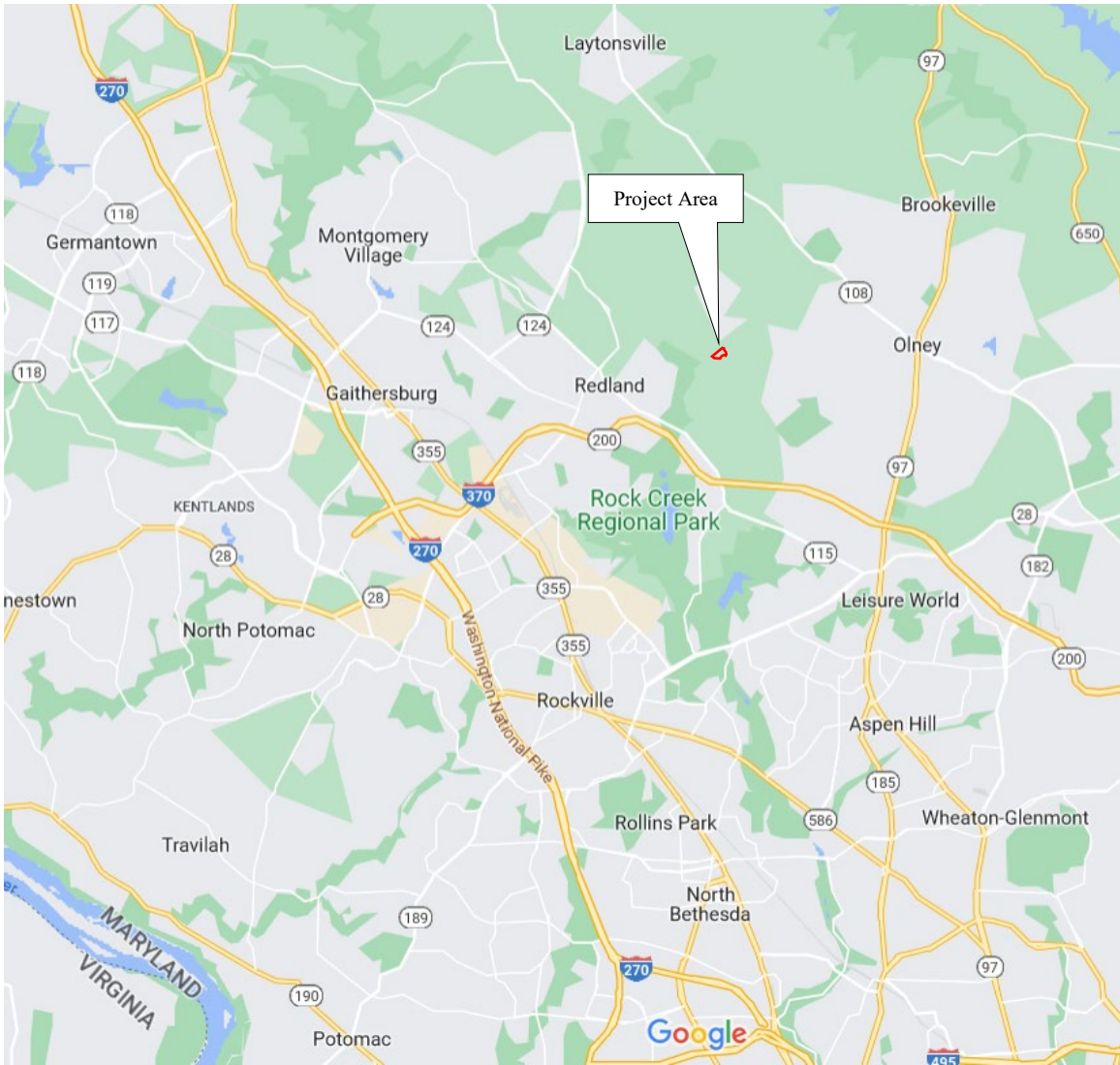


Figure 1: General location of the project area.

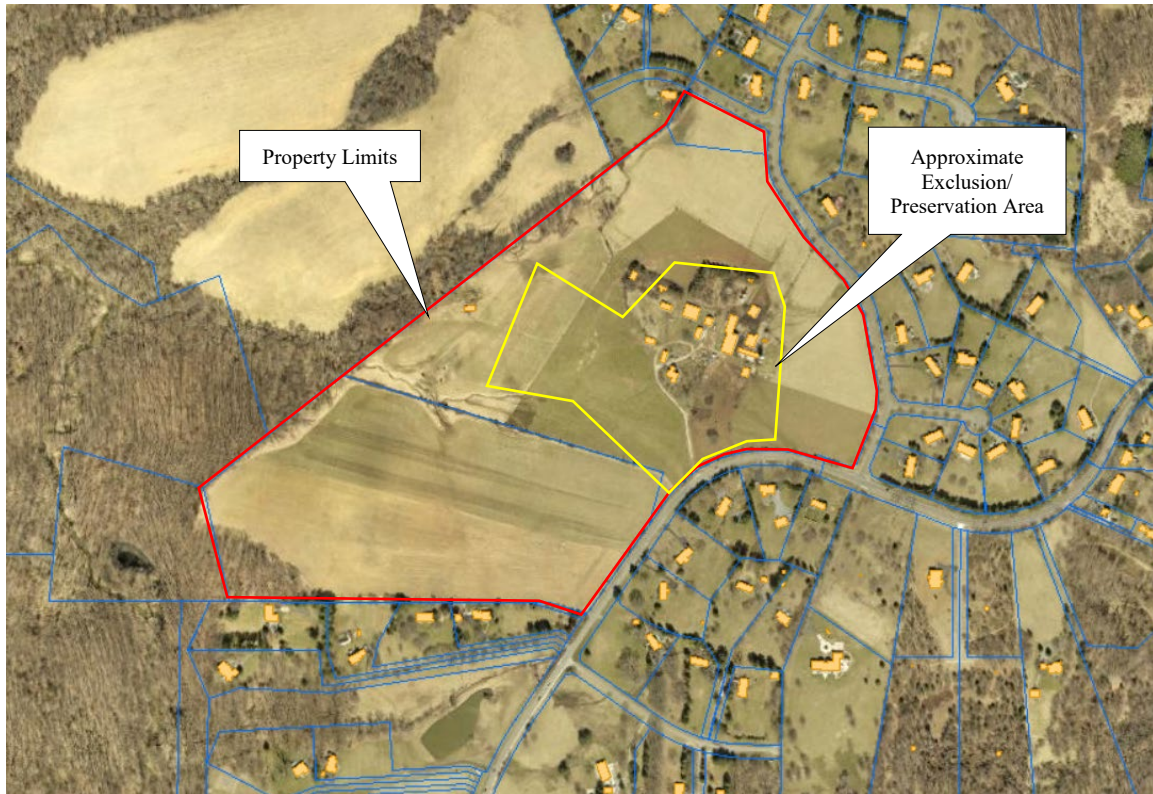


Figure 2: Detail of property parcels and approximate exclusion/preservation area.

Archives Search

As the initial step in the cultural review, D+A conducted a literature review and background search to identify the extent of previous cultural resource survey and level of documentation that currently exists for the property. A review of MIHP found that the property has been documented on several occasions and is recorded as Flint Hill II (M:22/17). Flint Hill II was first recorded at MHT in 1974 by the Maryland-National Capital Park and Planning Commission (MNCPPC). That effort included a summary description of the home (*MHT Nomination Form for the National Register of Historic Places* August 1974). In 1979, a more detailed survey was conducted by the Sugarloaf Regional Trails Office and included a detailed architectural survey and description of the home's exterior and interior, as well as a historical context of the property and its early owners (*MHT Inventory for State Historic Sites Survey* 1979). The documentation noted the property as significant, however, the MHT did not formally evaluate the National Register of Historic Places (NRHP) eligibility of the property on either occasion.

In 1984, the property was designated a local historic site under the Montgomery County Historic Preservation Ordinance. As part of the designation, it was noted that-

“The house sits on a knoll facing east and is highly visible from Bowie Mill Road. An Appropriate environmental setting could be based on the 495’

contour line and should include the house, and the hillside to the front of the house to retain views of and from the structure.” (Figure 3)

The designation further noted that the barn does not need to be preserved as part of the environmental setting (*MNCPPC Memorandum – Approved and Adopted May 1983 Amendment to the Master Plan for Historic Preservation June 12, 1984*).



Figure 3: Approximate 495’ contour (blue) in relation to proposed project exclusion/preservation area (yellow).

In 2001 the property was subject to review under Section 106 of the NHPA by the Federal Communications Commission (FCC) as part of an application to install a cellular communications antenna on the property. In accordance with the Nationwide Programmatic Agreement (PA) for the Collocation of Wireless Antennas, the property was not considered eligible for listing in the NRHP.

Historical Overview and Land Records Review

To further guide field investigations, including archaeological reconnaissance, and viewshed assessment, D+A undertook reconnaissance-level research into the history of the property with a focus on land records to aid in an understanding of the development and evolution of the property.

The Georgetown shipping magnate, Washington Bowie, I, purchased approximately 2,000 acres of land in Montgomery County from Robert Smith circa 1820; this land encompassed the later Flint Hill estate (now Fraley Farm). The estate that Washington established was

Oatland, south of Olney (Ferullo and Ferullo 1979). When Washington I died in 1826 Flint Hill was given to his son Thomas Johns Bowie. Thomas Johns built Roseneath on 600 acres between 1825 and 1830 (Kelly 2011). He died on July 25, 1850, and left his estate to his wife Catherine “during her natural and single lifetime,” and to his two sons, Thomas John Davis and Washington III (Ferullo and Ferullo 1979). In the partition of the land, Washington received the Roseneath tract and Thomas Johns Davis received a tract called “Lot No. 2” which was described as being portions of land called “Springfield,” “Beckwith’s Range” or “The Reserve on Beckwith’s Range,” and “Fork,” “Addition to the Fork” or the “Resurvey on the Fork” (MCDB JA 23:223).

In 1869, Thomas J.D. Bowie undertook a Deed of Trust on the property to secure payment to Marchand Ricketts (MCDB EBP 6:480). Thomas Johns Davis Bowie may have defaulted on the payment as a notice in the *Montgomery County Sentinel* describes the auction of the 529-acre property to George W. Hyatt in 1873. The parcel adjoined lands of Hazel B. Cashell, Washington Bowie, and the late Thomas Worthington and included the dwelling house, all necessary outbuildings, a stone dairy, four tenant houses, stabling with an attached corn crib, a grist and sawmill, and an apple orchard (*Montgomery County Sentinel* 1873).

In 1874 Catharine sold her interest in Bowie’s land to George W. Hyatt. Hyatt had planned to sell Flint Hill that same year to Jonathan Routzahn, who, in turn, did not follow through on the purchase resulting in a court case. Hyatt passed away prior to the suit’s conclusion (Ferullo and Ferullo 1979). The Bowie’s did not manage to sell the land until 1890 when Margaret A. Fraley purchased the large property for \$9,500 (MCDB JA 23:223). The property remains in the Fraley family.

According to previous research, the original dwelling on the land was built prior to the 1820 Bowie purchase of the property and the main block was built circa 1860-75 (Kelly 2011:193). According to the current Montgomery County Assessment and Taxation records, he built his home in 1853.

Flint Hill Chain of Title. Source: Montgomery County Clerk of Courts

Date	Grantor	Grantee	Source	Notes
10/3/2022	Kenneth J. Fraley and Susan F. Gibson	Fraley Family Limited Partnership	DB 66563:256	
12/27/1990	Harry H. Fraley and Eleanor W. Fraley (wife)	Susan G. Gibson and Kenneth H. Fraley	DB 9596:33	12.5% undivided interest which leaves total area of 49.28 acres
5/29/1984	Harry H. Fraley and Eleanor W. Fraley (wife)	Harry H. Fraley and Eleanor W. Fraley (wife)	DB 6438:415	2 parcels
12/9/1949	J. Windsor Davis and Marie H. Davis (wife)	Harry H. Fraley and Eleanor W. Fraley (wife)	DB 1329:358	215.36 acres

Date	Grantor	Grantee	Source	Notes
1/20/1942	Lulu Pearl Fraley (widow)	J. Windsor Davis and Marie H. Davis	DB 867:477	215.36 acres
1/5/1891	George Peter and James B. Henderson	Margaret A. Fraley	DB J.A. 23:223	529.5 acres
1/10/1866	Catharine W. Bowie	Thomas J.D. Bowie and Washington Bowie	Circuit Court Land Records EBP 2:600	Thomas Johns Bowie's will bequeathed real and personal property to his wife, Catharine, and same property was to be divided between his two sons, Thomas Johns Davis and Washington. Washington Bowie received his dwelling house, Roseneath.
1850 - Thomas Johns Bowie dies				
c. 1825-1830 - Thomas Johns Bowie builds Roseneath (not this property)				
1826 - Washington Bowie I dies and leaves property to Thomas Johns Bowie				
c.1820 - Washington Bowie I bought 2,000 acres from Robert Smith (built Oatland south of Olney)				

Field Investigations

In April 2023, D+A conducted field investigations of the Flint Hill property. The focus of the effort was to note existing conditions and the likelihood for unrecorded resources to be present and assess the setting and viewshed of and from the property.

Existing Conditions

At this time, the Flint Hill house is situated on a 49.28-acre property parcel, although it is flanked by separate 36.28-acre and 1.78-acre parcels also associated with the property. The property is bordered by suburban residential development to both sides and across the road while a large undeveloped rural tract borders it to the rear. The home is setback from the road by roughly 450-feet atop a slight knoll. It is approached by a gravel driveway that loops around the rear of the house to the associated agricultural building complex. Most of the property around the building complex is open pasture with clusters of trees immediately around the home and to the rear of the barn complex. Additional treelines border the perimeter of the property along the road, and along field edges (Figure 4). The terrain of the property is rolling, with the home resting on the highest point and sloping down in all directions, gently to the north and east and more steeply to the southwest.



Figure 4: Aerial photograph illustrating vegetation within and bordering property, as well as suburban development to the south, east, and north.

Archaeological Reconnaissance

Archaeological reconnaissance of the property consisted of pedestrian inspection to document existing conditions and note visible evidence of cultural activity or material greater than 50 years of age. Prior to the site inspection, D+A staff met with the Fraleys, current owners of the property, and discussed current and past uses of the land and family history as it related to the property. The Fraleys were helpful in pointing out where certain activities occurred on the property in the past i.e. airstrip, tenant houses, etc. Reconnaissance was focused on and within the existing building as well as an area just to the northwest where D+A staff were escorted by Mr. Fraley who pointed out where buildings had been located based on his memory and conversations with his father who lived on the property most of his life throughout the second-half of the twentieth century.

Site inspection confirmed the house site sits on a prominent ridge top, with steep slopes to the west down to lower lying pastures, and more moderate slopes to the south down to Bowie Mill Road. A copse of mature hardwoods surrounds the main dwelling and agricultural building complex with ornamental plantings located throughout the yardscape. Larger bushes and evergreen vegetation border fences lining Bowie Mill Road and fields throughout the property. A network of gravel and unpaved roads circulate throughout the complex with a two-track farm road leading northwest to the property's northern boundary (Figure 5).



Figure 5: Aerial image of the current limits of the Flint Hill Farm property (outlined in red). Source: Google Earth 2023

The topography of the property is characterized by rolling terrain with steeper slopes to the west and south. The property is bordered to the north by woodlands and pasture, to the northwest by Rock Creek Stream Valley Park, to the east by Fraley Farm Road and modern residential development, and to the south by Bowie Mill Road and modern residential development. Rock Creek runs outside the western edge of the property with a small unnamed tributary of the creek entering the property from the north (Figure 6).

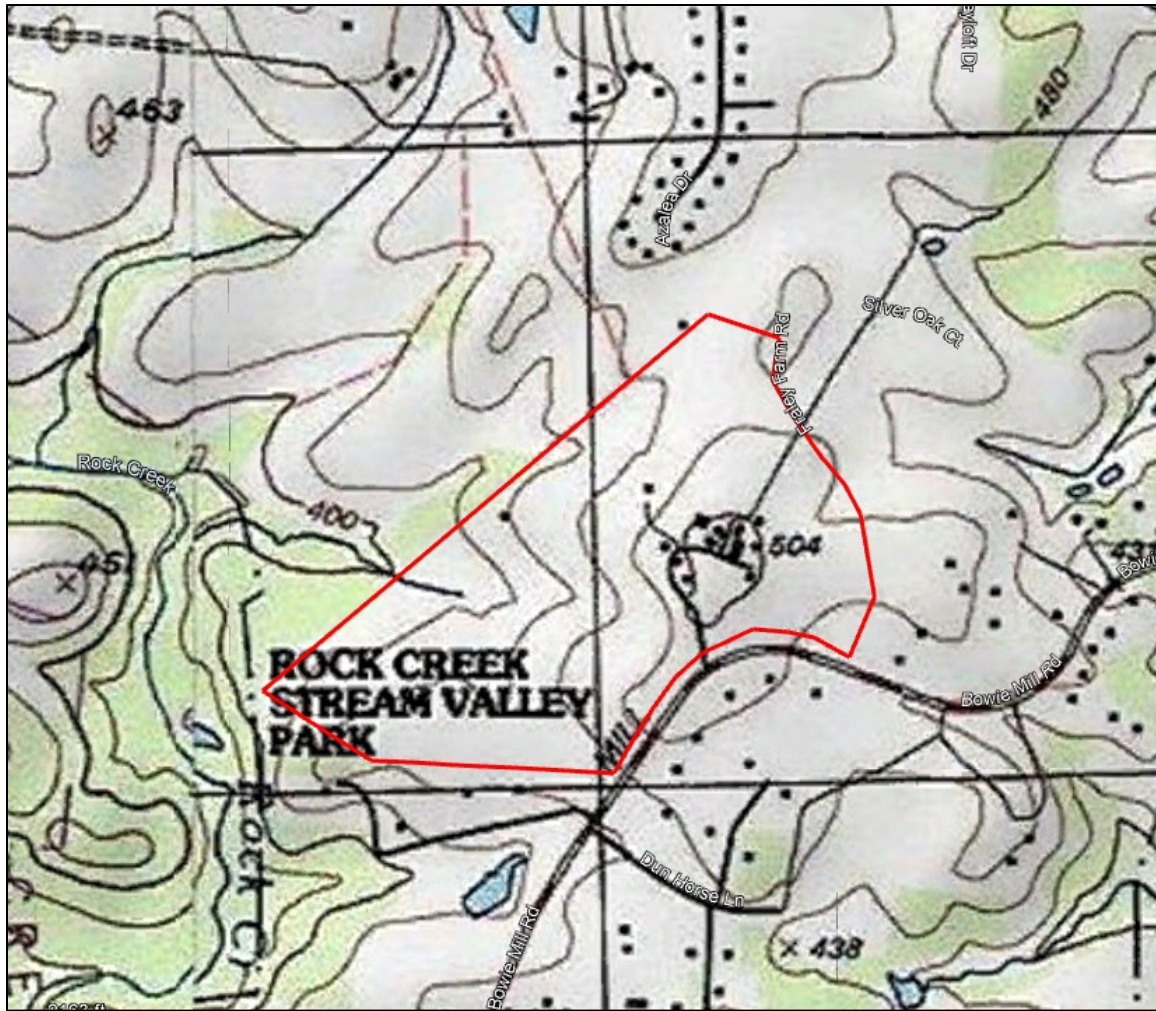


Figure 6: View of current limits of the Flint Hill Farm property (shown in red) on USGS topographic. Source: Earth Point USGS mapping 2023

A review of soils data for the property indicates that most of the soil is classified as well drained with slopes ranging from 0 to 25%. A small area of somewhat poorly drained soil is located just east of the residential and agricultural complex and another area of poorly drained soil is located west of the residential and agricultural complex where an unnamed tributary of Rock Creek enters to property from the north (Figure 7).

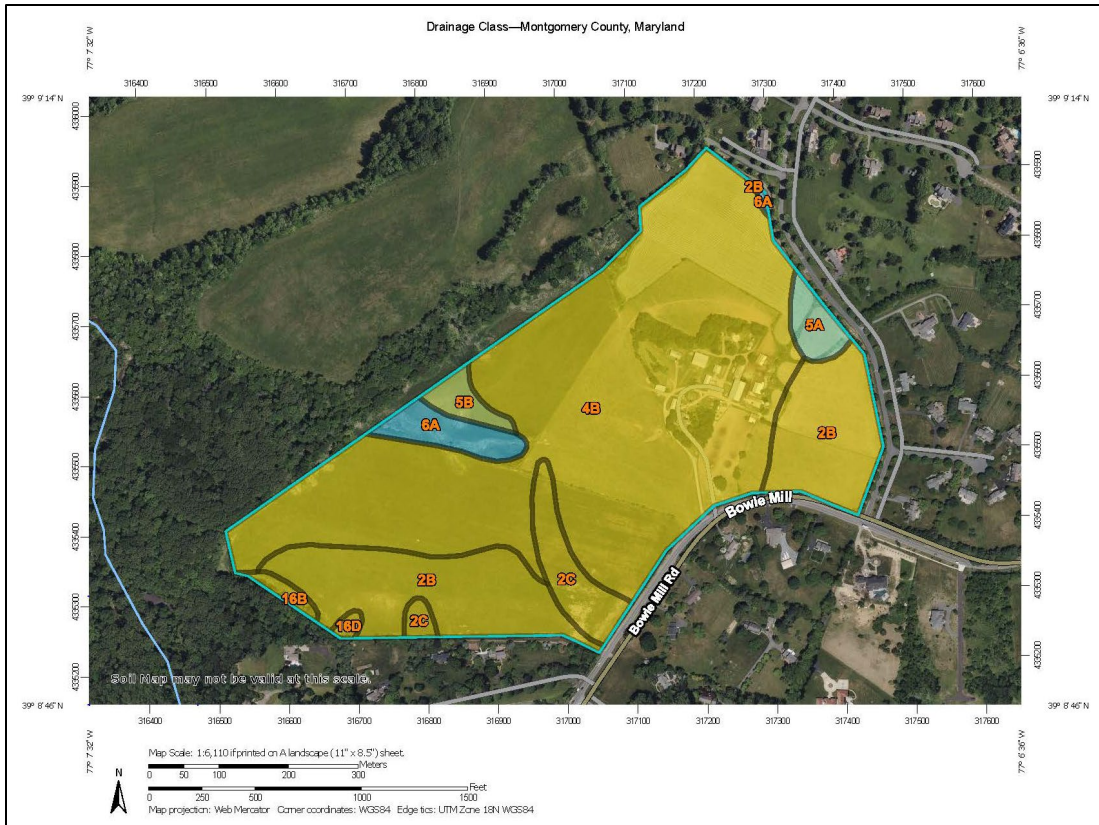


Figure 7: Map of soil classifications for the current Flint Hill Farm property limits. Source: NRCS 2023

Table of soil classifications for the current Flint Hill Farm property limits. Source: NRCS 2023

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
2B	Glenelg silt loam, 3 to 8 percent slopes	Well drained	17.6	21.1%
2C	Glenelg silt loam, 8 to 15 percent slopes	Well drained	3.8	4.5%
4B	Elioak silt loam, 3 to 8 percent slopes	Well drained	56.0	67.0%
5A	Glenville silt loam, somewhat poorly drained, 0 to 3 percent slopes	Somewhat poorly drained	1.6	1.9%
5B	Glenville silt loam, 3 to 8 percent slopes	Moderately well drained	1.3	1.5%
6A	Baile silt loam, 0 to 3 percent slopes	Poorly drained	2.5	2.9%
16B	Brinklow-Blocktown channery silt loams, 3 to 8 percent slopes	Well drained	0.6	0.7%
16D	Brinklow-Blocktown channery silt loams, 15 to 25 percent slopes	Well drained	0.3	0.3%
Totals for Area of Interest			83.7	100.0%

At the time of the pedestrian reconnaissance, the fields were in pasture. Exposed soils were widespread in agricultural spaces immediately adjacent to the barn structures located southeast and northeast of the main residential dwelling. These areas showed disturbed and rutted soils because of animal and equipment activity (Figure 8).



Figure 8: View of exposed soils in active farmyard north of main barn facing north.

A possible raised earthen road trace was observed running roughly northwest from the main agricultural building complex toward the northern property boundary (Figure 9). Located on the eastern side of the road in a forested area was an abandoned and ruinous twentieth century frame dwelling, which was used as a tenant house according to Mr. Fraley (Figures 10 and 11). The structure is located in the same location as a mapped building on the 1945 USGS topographic map of the area. Inspection suggests the form and construction of the building is consistent with a mid-twentieth century date of construction (Figures 12 and 13). Modern debris and farm equipment was observed on the ground surface in the vicinity of the structure.



Figure 9: View of possible road trace facing southeast.



Figure 10: View of ruinous tenant building facing south.



Figure 11: View of ruinous tenant building facing southwest.



Figure 12: Location of ruinous tenant building circled in blue. Note airplane landing strip running northeast from the building. Source: United States Geological Survey (USGS) 1963 Aerial, 28 March 1969. Retrieved from Earth Explorer

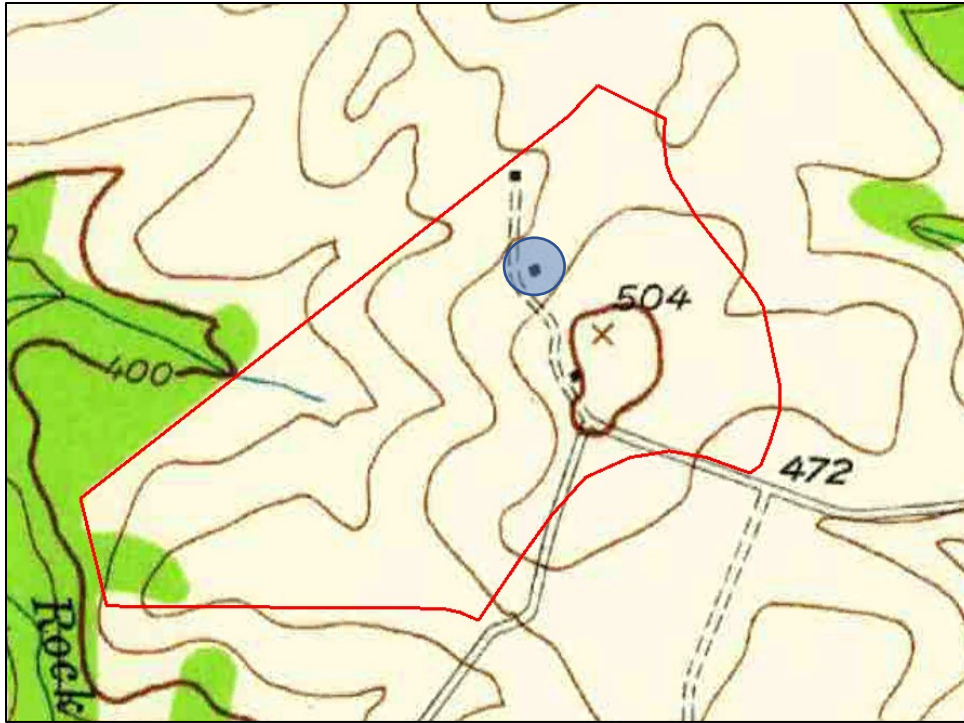


Figure 13: Location of ruinous tenant building northwest of residential and agricultural complex circled in blue. Source: United States Geological Survey (USGS) 1945 *Sandy Spring, MD Quadrangle*. 7.5 Minute Series Topographical Map, Scale 1:24000

Further north along the same road alignment is the location of a former structure, which was demolished and burned sometime within the last decade according to Mr. Fraley. The area is currently covered in heavy field grasses and some roofing metal and smaller push piles visible (Figure 14). No additional evidence of a domestic structure or material was observed in the area.



Figure 14: View of area of demolished structure facing northeast (left) and southwest (right).

An intermittent stream, which ultimately flows into Rock Creek to the west, runs along the northern property boundary in this location and mature hardwoods, brambles and briars border the stream channel. A concrete septic tank box was observed in the area of the creek and Mr. Fraley informed archaeologists that the box had been used to create a spring box for cattle (Figure 15). Areas of exposed soil near the demolished structure and intermittent stream revealed eroded subsoil and no evidence of cultural material or features was observed.



Figure 15: View of intermittent stream at northern property boundary and location of demolished building facing north.

Review of topographic maps and aerial imagery show a structure in the location of the demolished building as early as 1908, indicating it pre-dated the extant but deteriorated mid-twentieth century tenant house up the road to the south (Figures 16 through 18).



Figure 16: Location of ruinous tenant building circled in blue. Note airplane landing strip running northeast from the building. Source: United States Geological Survey (USGS) 1963 Aerial, 28 March 1969. Retrieved from Earth Explorer



Figure 17: Location of ruinous tenant building northwest of residential and agricultural complex circled in blue. Source: United States Geological Survey (USGS) 1945 *Sandy Spring, MD Quadrangle*. 7.5 Minute Series Topographical Map, Scale 1:24000

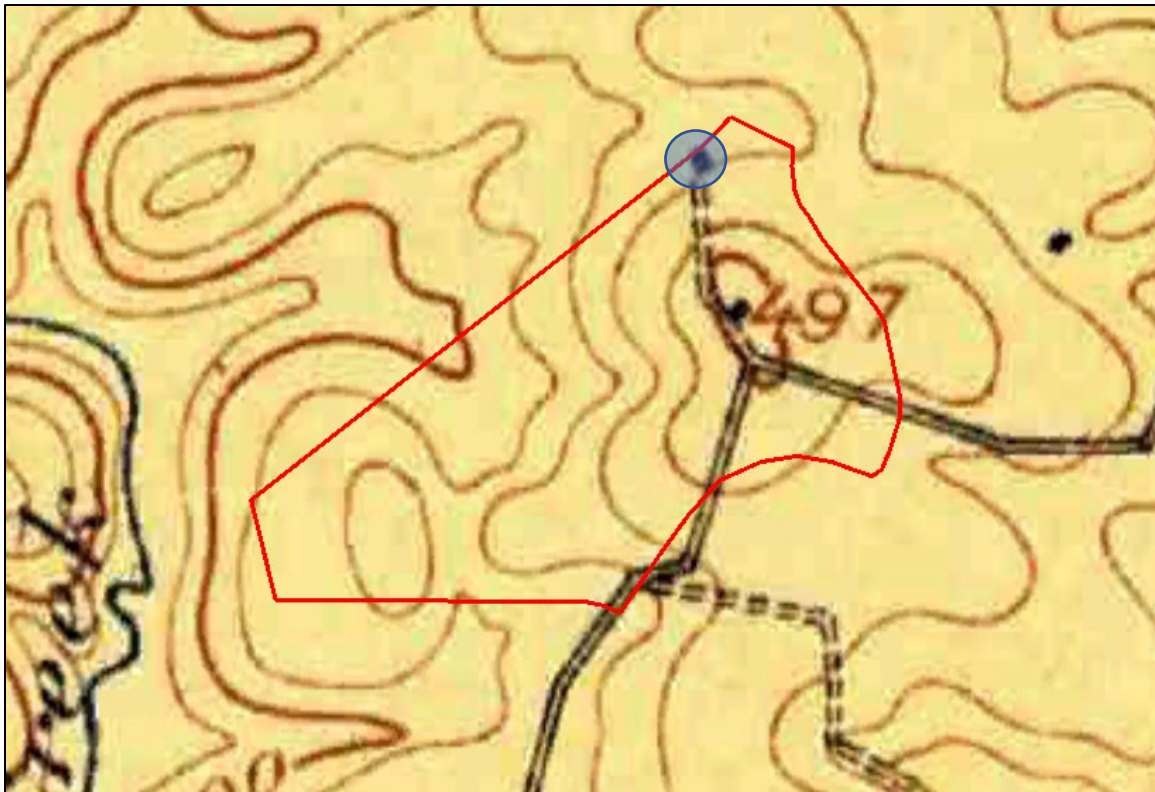


Figure 18: Location of demolished structure. Source: United States Geological Survey (USGS) 1908 Rockville, MD Quadrangle. Topographical Map, Scale 1:625000

The remaining evidence of buildings or structures on the property outside of the residential and primary agricultural complex included the location of a former small structure associated with animal husbandry practices and a modern barn/shed both west of the main dwelling in the lower lying pasture. Both structures are visible on aerial imagery of the property from the last quarter of the twentieth century but are not included on earlier maps of the property and area (Figures 19 and 20).



Figure 19: Aerial image of property with two modern structures located west of the main dwelling and agricultural complex circled in blue. Source: Google Earth 1993.



Figure 20: View modern farm structures in low lying pasture west of the main dwelling facing west.

Viewshed Assessment

Because the Flint Hill property is considered a local historical landmark and subject to site review as part of the redevelopment project, an assessment was conducted to characterize the historic setting and viewshed of and from the house. Assessment of integrity considered the existing conditions and development patterns within the viewshed of and from the property, while the viewshed analysis considered character-defining views and sitelines outward from the property, as well as towards the property from public vantage.

This effort found that the interior or direct setting of the home in relation to the property remains moderately intact from the historic period although not from the period of significance. The home remains situated centrally within an agricultural complex surrounded by agricultural fields and pasture in keeping with its rural character (Figures 21 and 22). However, while the majority of the barns and outbuildings are at least 50 years old, none are contemporary to the house or the period of ownership by the Bowie family which has previously been noted as primary significance to the property. The oldest extant outbuilding on the property is a large bank barn believed to date from the turn of the twentieth century, likely contemporary to the transfer of ownership to the Fraley family (Figures 23 through 27). The 1984 Montgomery County staff report that designated the property a local landmark indicated that the barn does not need to be considered as part of the environmental setting, thereby indicating that it was not considered contributing to the property's significance and further implying that all other outbuildings that post-date the barn would likewise not be considered contributing.



Figure 21: General view of Flint Hill house setting with agricultural complex to the rear, facing northwest.



Figure 22: Flint Hill house and domestic yard to the east, facing northwest.



Figure 23: General view of agricultural work yard depicting twentieth century outbuildings, facing south.



Figure 24: General view of twentieth century agricultural buildings and nineteenth century bank barn, facing northwest.



Figure 25: General view of nineteenth century bank barn, facing east.



Figure 26: General view of twentieth century loading sheds and silo with cellular antenna affixed to top, facing southeast.



Figure 27: View of ruinous mid-twentieth century secondary dwelling downhill to rear of house, facing west.

Beyond the building complex and property boundaries, the broader external or indirect setting of the property is further compromised. While the Flint Hill property included roughly 530 acres of land during the Bowie family ownership and 215 acres well into the twentieth century, it currently consists of roughly 90 acres. Much of the formerly associated property to the east has been subdivided and developed into single-family residential lots. Additional single-family residential properties and subdivisions border the property to the south and west as well. As a result, the property that historically functioned as a farm is no longer situated within a rural setting, but instead is isolated and surrounded by modern suburban development.

To assess viewshed, inspection was conducted from the home outward as well as from public vantage towards the home and property. There are several factors that create somewhat unusual circumstances related to how the viewshed of and from Flint Hill is defined, including its construction and the configuration of the road on which it is located.

In terms of construction, the Flint Hill house was built in two primary phases and was reoriented as part of the second phase. The original block of the building believed to have been built circa 1820, possibly prior to acquisition by the Bowie family, faces south (Figure 28). In the mid-nineteenth century, the eastern block of the house was built under Bowie ownership and became the primary core of the building; this block faces east (Figure 29). The reasoning for the shift in orientation is not clear, however, may have been to allow the primary façade of the mid-nineteenth century block to face the mill operated by the Bowie family as well as the rest of the Bowie family estate situated primarily to the east (Figure 30). The alignment of what is now Bowie Mill Road on which the property sits may also have been a factor in the orientation of the home, or conversely the road may have been configured as a result of its reorientation of the home. Bowie Mill Road extends in a generally north-south alignment from Derwood and Rockville to the south, but makes a sharp dogleg turn at the driveway to the house before continuing in a generally east-west alignment through what was the rest of the Bowie family property to the east. It is unclear how the road developed, or if the north-south alignment oriented towards the front of the original block pre-dates the east-west length oriented towards the front of the later block. Regardless of how the road developed, its orientation coupled with the reorientation of the home creates two axis of viewsheds of and from the home.



Figure 28: Original c.1820 front facade, facing north.



Figure 29: Circa 1850 front facade, facing northwest.

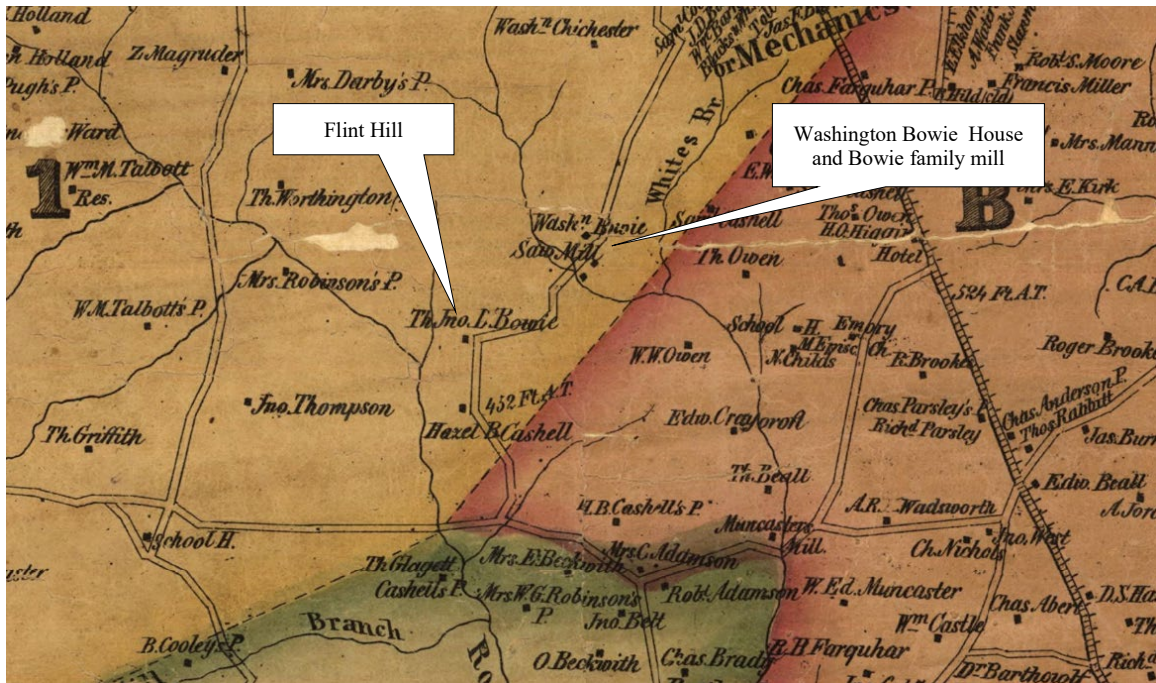


Figure 30: Detail of Map of Montgomery County, Maryland, 1865 (Simon J. Martenet) illustrating road network in relation to Flint Hill.

Inspection from the homesite was conducted from throughout the building complex (Figure 31). This effort revealed that views from the front of the original block to the south are generally across a large open field. The downward slope in this direction allows wide and distant views outward, including views of existing modern homes along both sides of Bowie Mill Road to the south but generally more undeveloped views westward towards Rock Creek (Figures 33 through 34). Views from the front of the second phase of the home are generally to the east across pasture. The terrain in this direction slopes more gently down, however, the open landscape still permits views of multiple modern homes bordering Bowie Mill Road and Fraley Farm Road (Figures 35 through 37). In contrast, the viewshed to the north or rear of the house are short and interrupted by the barn and outbuilding complex within the working agricultural yard.



Figure 31: Location and direction of representative viewshed photographs from the homesite outward from the property. Photo numbers coincide with images on following pages.



Figure 32: Photo 1 - View directly outward from front of the original block depicting existing development in background, facing south.



Figure 33: Photo 2 - Oblique view from front of the original block depicting undeveloped woodland to the west, facing southwest.



Figure 34: Photo 3 - Oblique view from front of the original block depicting development along Bowie Mill Road, facing southeast.



Figure 35: Photo 4 - View directly outward from front of the mid-nineteenth century block depicting existing development along Fraley Farm Road, facing east.



Figure 36: Photo 5 - Oblique view from front of the mid-nineteenth century block depicting existing development along Fraley Farm Road, facing northeast.



Figure 37: Photo 6 - Oblique view from front of the mid-nineteenth century block depicting existing development along Bowie Mill Road, facing southeast.

Inspection from public vantage in the vicinity of the property was conducted from along Bowie Mill Road in both directions as well as from Fraley Farm Road (Figure 38). This revealed that the home, building complex, and much of the property are generally screened from public view by topography and existing vegetation patterns in many locations, however, this effort was conducted during the spring and therefore some seasonal change in vegetation may be expected. When approaching the property from the south along Bowie Mill Road, the upward slope of the terrain places the home and building complex beneath the line of sight. Bowie Mill Road is also bordered by a raised berm and treeline that provide further screening of the Flint Hill property and building complex beyond. As a result, the home is not currently visible from Bowie Mill Road further than 250-feet south of the driveway (Figures 39 through 47). When approaching the property from the east, views of the home are likewise screened by vegetation along the road further than 50 feet east of the driveway. However, the easternmost portion of the property is visible from beyond the end of the roadside vegetation at Fraley Farm Road and the barn and silo are visible above the vegetation (Figures 48 through 51). As such, the only vantage where views of the home are unobstructed are from the bend in Bowie Mill Road in close proximity to the end of the driveway. From there, the open landscape up the driveway in conjunction with the more elevated vantage permit views of the home and building complex, however, views of the home are still partially interrupted by trees and landscaping within the domestic yard. Due to the topography of the property, the fields downhill from and to the rear of the building complex are largely below the line of site from this vantage (Figure 52).



Figure 38: Location and direction of representative viewshed photographs from the homesite outward from the property. Photo numbers coincide with images on following pages.



Figure 39: Photo 1 - View from Bowie Mill Road at Dun Horse Lane, facing north. -House and property not visible



Figure 40: Photo 2 - View from Bowie Mill Road at Dun Horse Lane, facing northwest. -House and property not visible



Figure 41: Photo 3 - View from Bowie Mill Road at southern edge of property, facing north. -House and property not visible



Figure 42: Photo 4 - View from farm lane at southern edge of property, facing north. -House not visible



Figure 43: Photo 5 - View from Bowie Mill Road roughly 400 feet south of driveway, facing north. - House and property not visible



Figure 44: Photo 6 - View from Bowie Mill Road roughly 300 feet south of driveway, facing north. - Barn is visible but house is not



Figure 45: Photo 7 - View from Bowie Mill Road roughly 250 feet south of driveway, facing north. - House and building complex is visible, most of property is not



Figure 46: Photo 8 - View from driveway, facing northwest. -Building complex and southern fields are visible



Figure 47: Photo 9 - View from driveway, facing southwest. - southern fields are visible



Figure 48: Photo 10 - View Bowie Mill Road at Fraley Farm Road, facing west. -House is not visible, eastern edge of property is visible



Figure 49: Photo 11 - View from Bowie Mill Road roughly 300 feet east of driveway, facing northwest. -House is not visible but barn and eastern portion of property are visible



Figure 50: Photo 12 - View from Fraley Farm Road, facing west. -Building complex and eastern fields are visible



Figure 51: Photo 13 - View from Fraley Farm Road, facing northwest. -Building complex and eastern fields are visible



Figure 52: Photo 14 - Primary viewshed of Flint Hill from Bowie Mill Road at entrance to driveway, facing northwest. House and building complex are visible. Most of the property is below the line of sight with the exception of the field to the south.

Conclusions and Recommendations

At the request of Pulte Group, D+A conducted a cultural resource review of the Flint Hill property located at 17800 Bowie Mill Road in Derwood, Maryland. The effort was conducted to document existing conditions, perform an archaeological reconnaissance based upon historical review and site inspection, and assess the viewshed of and from the property.

This review found that Flint Hill has been previously recorded and investigated on multiple occasions. The home is believed to have initially been built circa 1820 when the property it is located on was acquired by the locally prominent Bowie family. The original block of the home was a one-story cabin that faced south from a prominent knoll. Whether the home was already present or constructed by the Bowies is unclear. As part of a 2,000-acre estate, the Bowies built several other primary homes on the property so how the Flint Hill home was managed or occupied by is not known. Sometime around the mid-nineteenth century, a large addition was appended to the side of the original home, likely coinciding with the subdivision and inheritance of the property by Thomas Johns Davis Bowie. This addition expanded the home to a more substantial size with architectural interest. It also reoriented the front of the home to the east where the family mill was located, but it appears the working yard and building complex associated with the home remained just to the north side of the house. An auction listing for the house in the 1870s lists multiple associated outbuildings, including a stone dairy, four tenant houses, stabling with an attached corn crib, a grist and sawmill, and an apple orchard. In the 1890s, the property came into possession of the Fraley family who were likely responsible for the construction of a large bank barn to the north of the home, as well as a newer concrete block dairy and several other outbuildings which continued to reinforce the north side of the home as the working complex. Although the property was briefly sold out of the Fraley family from 1942-1949, it was reacquired and remains owned by the Fraley family at this time.

The property has never been formally evaluated for eligibility for listing in the NRHP and was treated as not eligible as part of a prior Section 106 review. Nonetheless, as part of previous cultural resource studies and documentation efforts, Montgomery County noted that the property derives significance from its association to the prominent Bowie family and possesses architectural distinction. Accordingly, the property was reviewed and designated a local historical landmark by Montgomery County at which time it was noted the environmental setting should include the house, and the hillside to the front of the house to retain views of and from the structure.

Inspection at this time to document existing conditions revealed that the historical setting of the property has been substantially impacted by ongoing development and evolution of the property's building stock, as well as by subdivision and modern development bordering it. The home still rests centrally within an agricultural property and retains its immediate setting, however, no other contemporary buildings, structures, or other landscape features remain extant within the building complex. The property has been reduced in size over time, particularly throughout the twentieth century, and much of the surrounding

landscape, including land historically associated with the property has been developed with modern single-family homes.

Archaeological reconnaissance to assess the potential for evidence of previous outbuildings or other archaeological sites to remain on the property resulted in the finding that such sites and features have a low potential to exist beyond the vicinity of the existing building complex and the knoll on which it is sited. Comprehensive archaeological survey was not conducted as part of this effort, however, a review of land records and historical maps coupled with a limited site reconnaissance determined that the Flint Hill Farm represents an active agricultural complex that has evolved and adapted over the centuries to changes in agricultural practices and local land use. Initially the farm occupied a much larger area encompassing approximately 527 acres of which only approximately 90 acres remain actively owned and farmed by the Fraley family (Figure 51).

Development of the Flint Hill Farm residential and agricultural complex has occurred largely within the existing footprint of farm buildings and structures. The topography has served to limit and in fact concentrate the residential and agricultural development of the property over time. While the focus of agricultural activity has shifted slightly from the north to northeastern quadrant of the complex, overall, it has remained concentrated on the same landform since its initial development. As such, the potential for archaeological deposits associated with early development and occupation of the farm is considered the highest in the current residential and agricultural complex.

Mapping from the early twentieth century does indicate the presence of two additional structures just downhill to the northwest of the house, one of which is still standing in a ruinous state just outside the current building complex. Based on mapping and visual inspection, the surviving structure appears to have been constructed during the twentieth century. While these two mapped structures may have been in locations used earlier for farm related activities including housing, subsequent occupation, and use of the locations along with demolition and earth moving activities, limits the overall potential of these areas to contain significant intact archeological deposits.

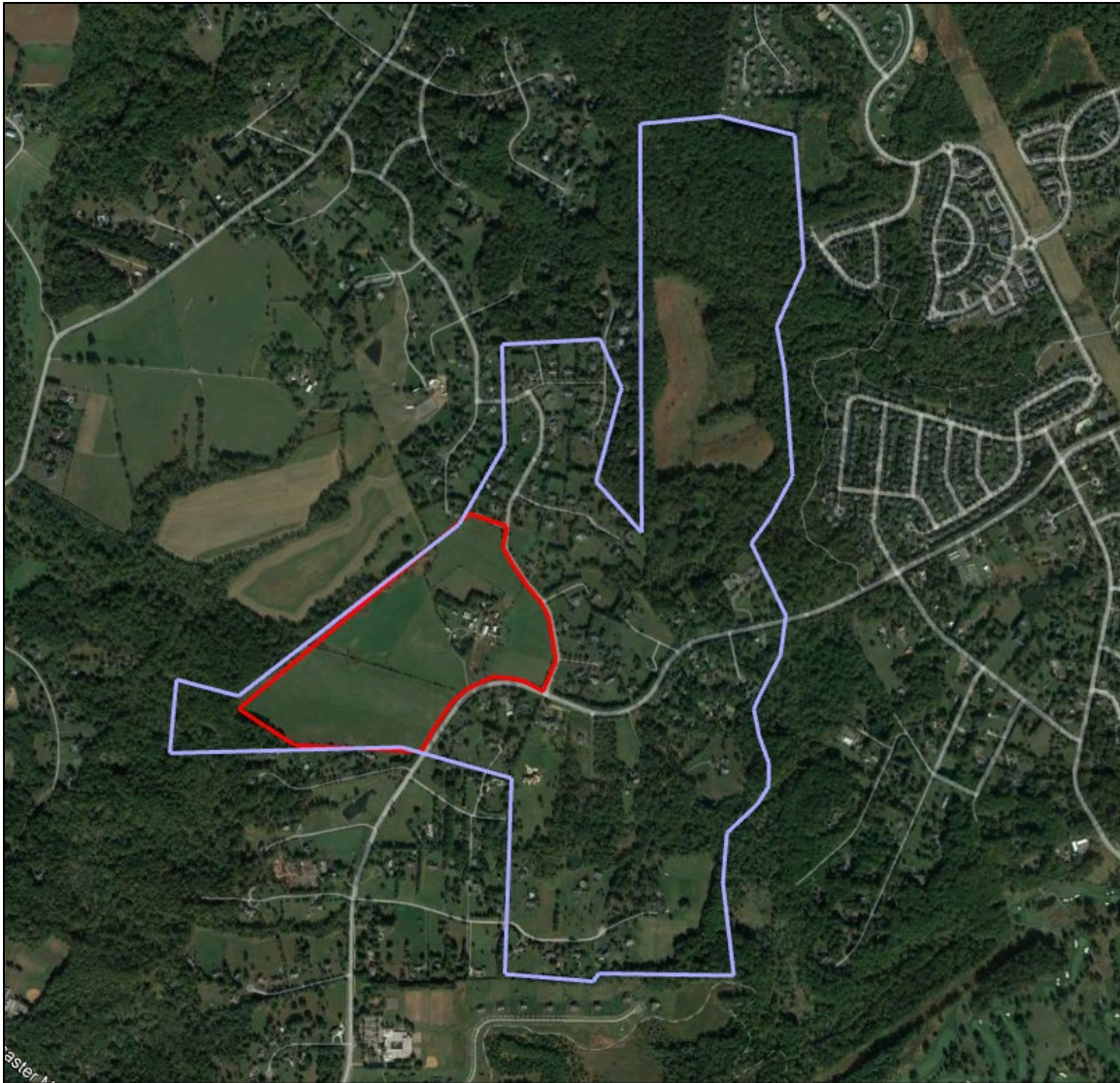


Figure 53: Aerial image of Flint Hill Farm with the approximately current property boundaries illustrated in red and the approximate original property boundaries illustrated in purple.

During the nineteenth century, documents indicate that members of the Bowie family, who owned Flint Hill, also owned enslaved individuals who worked at their various properties. While historic documents do not specifically identify or mention enslaved laborers working at Flint Hill, given the size of the property at that time it would not be uncommon for enslaved individuals to have worked in the fields or in household tasks. Enslaved laborers working in fields were often housed in quarters closer to the areas where they worked while enslaved laborers working in domestic capacities were more likely to be housed in ancillary spaces such as attics and basements in existing structures within the domestic complex. Given the limited amount of acreage remaining from the original Flint Hill Farm, the potential for any resources associated with the housing of enslaved individuals, particularly those working in the fields, may very well be outside of the current property limits. Sites associated with enslaved individuals working in domestic roles would likely be found

within the current residential and agricultural complex. As noted earlier this area has been actively occupied and used for over 150 years and therefore some level of disturbance associated with later occupation and uses is expected.

In addition to historic period archaeological site potential, consideration was also given to the overall potential for significant intact prehistoric sites to be present within the current property. While most soils in the project area are well drained, the most likely location for prehistoric sites in the current project area is adjacent to the small tributary of Rock Creek that enters the lower pasture from the north. Any sites in this area are expected to be small lithic scatters and associated with temporary resource procurement activities. The presence of Rock Creek nearby just to the west and its adjacent landforms would have likely been considered more attractive by Native American populations. As such, the overall potential for intact significant prehistoric sites to be present within the limits of the current Flint Hill Farm property is considered to be low.

An assessment of viewshed was also conducted to define where historically significant or character-defining views exist. Generally, consideration of historical viewshed includes both views outward from a property as well as views of and towards the property; however, for historic properties in which architecture is a primary component of significance, the public's view towards and ability to interpret and appreciate the property is considered more so than the views outward from a property, particularly in the case of a privately-owned property. Consideration of viewshed must consider integrity of setting and which views are considered character-defining or contribute to a property's significance.

Because the house was built in two phases and reconfigured as part of the second period expansion, there are two "front" viewsheds outward from the home, just as there are two public viewsheds towards the front façades of the home. Because the broader setting around Flint Hill has been compromised by nonhistoric development, and as discussed above, the viewshed outward from the property is not considered as significant as the public's views towards, but was still considered.

Primary outward views are to the south and west from the original block of the house and south and east from the later addition. The area to the north of the home appears to historically and currently function as the working yard and therefore views in that direction are not considered primary. Inspection from the front of the original block to the south and west are generally across a large open field. The downward slope in these directions allow wide and distant views, particularly to the west which is characterized by a wide swath of mostly undeveloped woodland. Meanwhile views to the south include residential development set just beyond the property line. Views from the front of the second phase are generally to the south and east across open pasture and along the driveway. The terrain in this direction slopes more gently down, however, the open landscape still permits views of multiple modern homes bordering Bowie Mill Road and Fraley Farm Road. As such, the primary viewsheds outward from the home are considered partially intact in both directions, but partially compromised by existing modern development.

Public views of and towards the property were also inspected, and because the setting within the property retains higher integrity than the surrounding setting, and the significance of the property is derived in part from the architecture of the home, these viewsheds are considered character-defining and significant. Inspection revealed that views from along Bowie Mill Road towards both “fronts” of the house are largely screened from public view by topography and vegetation with the exception of from a short length of the road in the immediate vicinity of the driveway. From this vantage, the home and building complex are visible, and as both facades of the house may be seen from what comprises the nearest public vantage, this viewshed is considered of primary significance. However, much of the surrounding property below the knoll on which the home is situated is below the line of sight due to topography.

As the home and building complex are excluded from the redevelopment project and the majority of the associated improvements are proposed to take place within the portions of the property surrounding the home at a lower elevation, the project will likely be seen from the homesite, including within the viewshed from the original front as well as the reoriented front. However, the views in both of these directions already includes existing modern development that has compromised the setting and is not considered of primary significance or interpretive value. Meanwhile, the primary viewshed towards the house from Bowie Mill Road is anticipated to remain largely intact as a result of the project due to most improvements being set within the fields below the house. While it can be expected that portions of the project and associated improvements would be visible downhill from the house from public vantage at the end of the driveway, views would not include wide swaths of the project due to topography, vegetation, and much of the project area being located to the rear of home and the knoll on which it sits from this perspective. The portions of the property where improvements are proposed are also primarily screened from further vantages south on Bowie Mill Road and therefore neither the improvements nor the house are expected to be visible from public vantage beyond the immediate vicinity of the driveway. From the east side of the property along Bowie Mill Road and Fraley Farm Road, it is expected that some portions of the project and associated improvements will be visible in the foreground, however, the home is not currently visible from these areas and therefore would not be seen in conjunction with the improvements. Further, the setting on this side of the property has been severely compromised by existing modern development and therefore the viewshed from this perspective is not considered of primary significance.

In summary, this cultural resource review found that the Flint Hill property has local significance primarily derived from the historical associations of the property and the architectural distinction of the home. Montgomery County’s designation of the property as a local historical landmark concluded that the significant setting consists of the knoll on which the home and outbuilding complex is situated, as the hill to the front is what allows views of and towards the house. Coincidentally, this knoll and the immediate environs have likely always been the focus of development and occupation of the property and therefore would have the most likelihood for associated archaeological sites to be present. Additionally, inspection at this time confirmed that significant views are primarily limited to the road directly in front of the driveway. Because the Fraley Farm Redevelopment

Project includes an exclusion/preservation area around the home, encompassing the knoll and existing building complex, as well as unobstructed views from the house down the stream valley, it is not anticipated to impact areas where archaeological potential is most likely expected, nor inhibit the primary viewshed of or from the house.

If you wish to discuss any of the findings of this review, please do not hesitate to contact me at (804) 897-1960 or ddutton@dutton-associates.com.

Sincerely,

DUTTON + ASSOCIATES, LLC



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