Preliminary Consultation MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7113 Sycamore Avenue, Takoma Park Meeting Date: 12/6/2023

Resource: Contributing Resource Report Date: 11/29/2023

Takoma Park Historic District

Public Notice: 11/22/2023

Applicant: Frances Burwell

(Benjamin Norkin, Architect) Tax Credit: No

Review: 1050155 Staff: John Liebertz

Permit Number: Pending

PROPOSAL: Partial demolition, new second story addition with raised roof, and new roof

throughout.

STAFF RECOMMENDATION

Staff recommends that the applicant make any changes recommended by the Historic Preservation Commission (HPC) and return for a Historic Area Work Permit (HAWP).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District

STYLE: Craftsman Bungalow

DATE: Ca. 1915-1922



Figure 1: The subject property (noted with the yellow star) is located on Sycamore Avenue. The red line is the boundary of the Takoma Park Master Plan Historic District.

PROPOSAL

The applicant proposes the following alterations: 1) raise the ridge of the side-gable roof approximately 34 inches (the new roof would follow the existing slope); 2) construct a second-story addition on the rear half of the historic house which would mimic a full-width shed dormer; 3) replace the existing asphalt shingle roof on the front half of the house with architectural asphalt shingle; 4) install a new standing seam metal roof on the shed roof of the proposed second-story addition; 5) extend the existing internal, parged chimney on the front slope of the side-gable roof; and 6) replace the upper gable end windows on the side elevations of the original house.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public rightof-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being "Contributing Resources." While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

All exterior alterations, including those to architectural features and details, should be generally
consistent with the predominant architectural style and period of the resource and should preserve
the predominant architectural features of the resource; exact replication of existing details and
features is, however, not required.

- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing.
- Minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The applicable *Standards* are as follows:

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Property History

The subject property located mid-block on the east side of Sycamore Avenue and is a Contributing Resource to the Takoma Park Historic District. The site features a Craftsman-influenced Bungalow constructed ca. 1915-1922. The one-story with partially exposed basement, three-bay, wood-frame house rests on a masonry foundation covered with stucco. The walls are sheathed with wood lap siding and support an asphalt shingle, side-gable roof with open overhanging eaves and decorative wood brackets. A full-width, front-gable porch supported by tapered wood posts resting on brick piers adorns the façade. The upper gable end of the porch is covered with stucco matching the foundation. The porch is accessed by a central stair with masonry cheek walls. Typical fenestration includes a single-leaf, six-light wood door and paired six-over-one, double-hung, wood-sash windows (*Figure 2*).

There have been minor alterations to the original house. Sanborn Fire Insurance Maps (1927-1963) document the original one-story porch on the rear of the house (*Figure 2*). Former property owners enclosed the porch at an unknown date. In 1992, the Historic Preservation Commission approved HAWP 37/3-92E for the demolition of the enclosed porch and construction of the extant, one-story, shed roof, rear addition. The addition continues the architectural details of the main house (stuccoed foundation, wood lap siding, exposed overhanging eaves, etc.). Two skylights pierce the shed roof.

¹ For more information, see

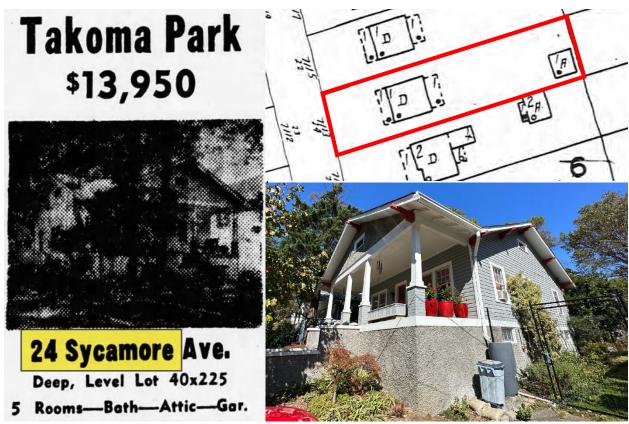


Figure 2: Real estate advertisement in the Evening Star, October 8, 1949 (left), Sanborn Fire Insurance Map, 1927-1963 (upper right), and view of the front and side elevations, 2023 (lower right). Source: Sanborn Fire Insurance Company, Applicant, Evening Star.

Proposed Rear Addition – Form, Scale, and Raising the Original Roof

Staff finds that the proposed form, scale, and raising the height of the side-gable roof to be compatible with the historic house and surrounding district. In the late twentieth century, the HPC approved analogous alterations to other one-story bungalows and houses of similar form and massing in the Takoma Park Historic District. Examples include 42 Columbia Avenue and 7421 Maple Avenue (*Figures 3-4*) where the raised roofs followed the existing slope to limit adverse effects to the resource's original form and streetscape.² The partial retention of the original roof with open eave permitted the expression of the original scale and massing of the house.

The HPC approved other design schemes for the expansion of similar one to one-and-a-half story houses. This included raising the roof like the previously cited examples, but fully expanding the size/footprint of the original side-gable house. These schemes offer no reference to the original scale and massing of the house, alter the fenestration pattern of the side elevations, and provide a false sense of development. An example includes 510 Albany Avenue (*Figure 5*).³ At the subject property, this design scheme and

² For more information.

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640006/Box042/37-3_Takoma%20Park%20Historic%20District_42%20Columbia%20Avenue_05-26-1987.pdf and https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640006/Box043/37-3-89F_Takoma%20Park%20Historic%20District_7421%20Maple%20Avenue_04-07-1989.pdf.

³ For more information,

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640004/Box030/37-3-96RR_Takoma%20Park%20Historic%20District_510%20New%20York%20Avenue_11-06-1996.pdf.

expansion of the side-gable form would necessitate the demolition of the ca. 1993 one-story addition which the property owners are trying to avoid.



Figure 3: View of the façade of 42 Columbia Avenue prior to raising the roof (left) and view of the façade and side elevation after raising the roof (right). The red arrow points to the retention of the original roof form. Source: Montgomery Planning and Applicant.



Figure 4: View of the side elevation of 7421 Maple Avenue prior to raising the roof (left) and view of the façade and side elevation after raising the roof (right). The red arrow points to the retention of the original roof form. Source: Montgomery Planning and Google.



Figure 5: View of the front and side elevations of 510 New York Avenue prior to raising the roof (left) and after raising the roof (right). The original roof form was not preserved.

Source: Montgomery Planning and Google.

Staff finds that the form and scale of the addition complies with the *Takoma Park Guidelines* which state, "second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource and should be appropriate to the surrounding streetscape in terms of scale and massing." The proposed second-story addition recalls a rear shed dormer that is compatible with the period of construction of the house. In addition, the extended/raised roof on the front slope of the side-gable roof is slightly inset which further defines the original and proposed forms (*Figure 6*).



Figure 6: Model showing the proposed second-story addition. Source: Applicant.

Proposed Rear Addition – Design and Materials

Staff finds that the design and materials of the new addition to be consistent with the applicable guidelines. As stipulated by the *Guidelines*, the proposed design continues the architectural style of the house. The addition has an architectural asphalt shingle roof on the front elevation and standing seam metal roof on the rear elevation with open overhanging eaves and decorative wood brackets. Staff requests detailed drawings about the treatment of the ridge where the asphalt shingle and standing seam metal meet. Similarly, the design of the proposed aluminum-clad, wood windows recall the six-over-one, double-hung, wood-sash windows found on the house. The addition is differentiated by its use of cedar shingle siding (*Figure 7*). Staff requests that the applicant submit all specification sheets for the siding, roof, windows, etc.

Proposal – Replacement of the Upper Gable End Windows in the Original House

Staff finds the replacement of the two three-light, wood-sash, awning windows in the upper gable ends of the side elevations to be compatible with applicable guidelines. The windows are presently located in unoccupiable space and their replacement with an aluminum-clad wood window of similar dimensions and design would have a negligible adverse effect to the resource and the surrounding district.

Proposal – Extension of the Original Chimney

Staff finds the approximate 5' extension of the chimney to be consistent with the applicable guidelines. The chimney would be required to be raised due to building code and its proposed height corresponds to the proportions of the new roof. The new section of the chimney would be finished with stucco and painted to match the existing stack (*Figure 7*). The alteration would have negligible adverse effect to the individual resource or the surrounding district.

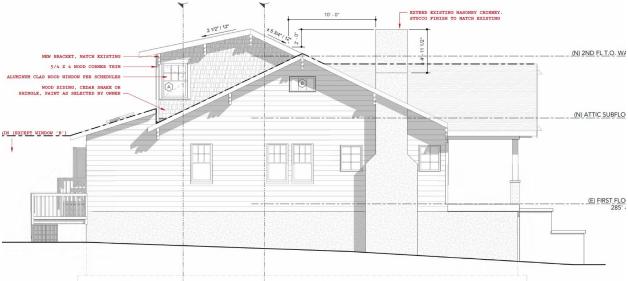


Figure 7: Model showing the proposed second-story addition. Source: Applicant.

Proposal –Partial Demolition of the Non-Historic Sunroom Rake

The applicant submitted two design schemes for the northwest (rear corner) of the house dependent on field conditions (*Figure 8*). The proposed addition requires the partial demolition of the shed roof of the non-historic sunroom. The retention of the rake of the existing shed roof remains unclear due to its proximity to the proposed window. Staff finds that both options are compatible with the design of the building and would have no adverse effect to the individual resource or surrounding district. This section of the house has very limited visibility from the public rights-of-way due to its location.



Figure 8: Model showing the two options for the sunroom roof rake including its retention (left) and partial demolition (right). The red arrows points to the subject rake.

Source: Applicant.

STAFF RECOMMENDATION

Staff recommends that the applicant make any changes recommended by the Historic Preservation Commission (HPC) and return for a Historic Area Work Permit (HAWP).



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

DATE ASSIGNED____

FOR STAFF ONLY:

HAWP#__

APPLICANT:

Name: FRANCES BURWELL	E-mail: BURWELLFG@GMAIL . COM				
Address: 7113 SYCAMORE AVE	City: TAKOMA PARK Zip: 20912				
Daytime Phone: 202.413.8389	Tax Account No.: 01079202				
AGENT/CONTACT (if applicable):					
Name: BENJAMIN NORKIN	E-mail: BEN@BENNORKINARCHITECTURE.COM				
Address: 7204 TRESCOTT AVE	City: TAKOMA PARK Zip: 20912				
Daytime Phone: 202.578.7094	Contractor Registration No.: N/A				
LOCATION OF BUILDING/PREMISE: MIHP# 0	of Historic Property				
map of the easement, and documentation from Are other Planning and/or Hearing Examiner A (Conditional Use, Variance, Record Plat, etc.?) supplemental information. Building Number: 7113 Street	No/Individual Site Name nvironmental Easement on the Property? If YES, include a m the Easement Holder supporting this application. approvals / Reviews Required as part of this Application? If YES, include information on these reviews as et:				
Town/City: TAKOMA PARK Near	rest Cross Street: COLUMBIA AVE				
Lot: 9 Block: 22 Subo	division: 25 Parcel:				
for proposed work are submitted with this be accepted for review. Check all that apply: New Construction Deck/Por Addition Fence Demolition Grading/Excavation Roof I hereby certify that I have the authority to man and accurate and that the construction will co	_ , , ,				

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

FRAN BURWELL 7113 SYCAMORE AVE TAKOMA PARK, MD 20912 BEN NORKIN ARCHITECTURE |7204 TRESCOTT AVE |TAKOMA PARK, MD 20912

Adjacent and confronting Property Owners mailing addresses

BRUCE 8 MARGARET EDWARDS 7115 SYCAMORE TAKOMA PARK, MD 20912 PETER FRANCHOT 8 ANNE MAHER 7111 SYCAMORE AVE TAKOMA PARK, MD 20912

KARIN & DENNIS MCDONOUGH 7110 WOODLAND AVE TAKOMA PARK, MD 20912 THOMAS LALONDE & JULIA ZITO 17112 SYCAMORE AVE TAKOMA PARK, MD 20912

7106 Woodland Avenue, Takoma Park 20912

7110 Sycamore Avenue, Takoma Park 20912

'7114 Sycamore Avenue, Takoma Park 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Detached single family dwelling. Craftsman style bungalow, constructed approximately 1915-1925. House is listed as a Contributing Resource in the approved Takoma Park Master Plan.

Existing one story framed house on masonry cellar with limited storage attic. Rear addition sunroom/kitchen expansion added approximately 1992-1993.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Existing 2x4 @ 24" O.C. roof rafters need to be reinforced with new dimensional lumber for strength and insulation.

Homeowner proposes to raise existing ridge approximately 34" by continuing existing 5:12 slope approximately 72" to rear. Additional ridge height would allow creation of new habitable space on second floor.

Existing roof toward front of house (from existing ridge) to remain. Existing roof toward rear of house (from existing risge) to be removed. New shallow slope roof to be constructed at rear of new ridge.

Entire front half of roof and front cross gable will be refinished with new architectural grade shingles. New roof created at rear to be finished with standing steam metal due to shallow slope.

New exterior walls at attic need to be aligned with existing exterior walls below. Existing roof rake, wood siding and decorative brackets to remain, giving the appearance that the rear attic addition is a dormer.

Existing awning window in attic gable on each end will be replaced with similar design awning window.

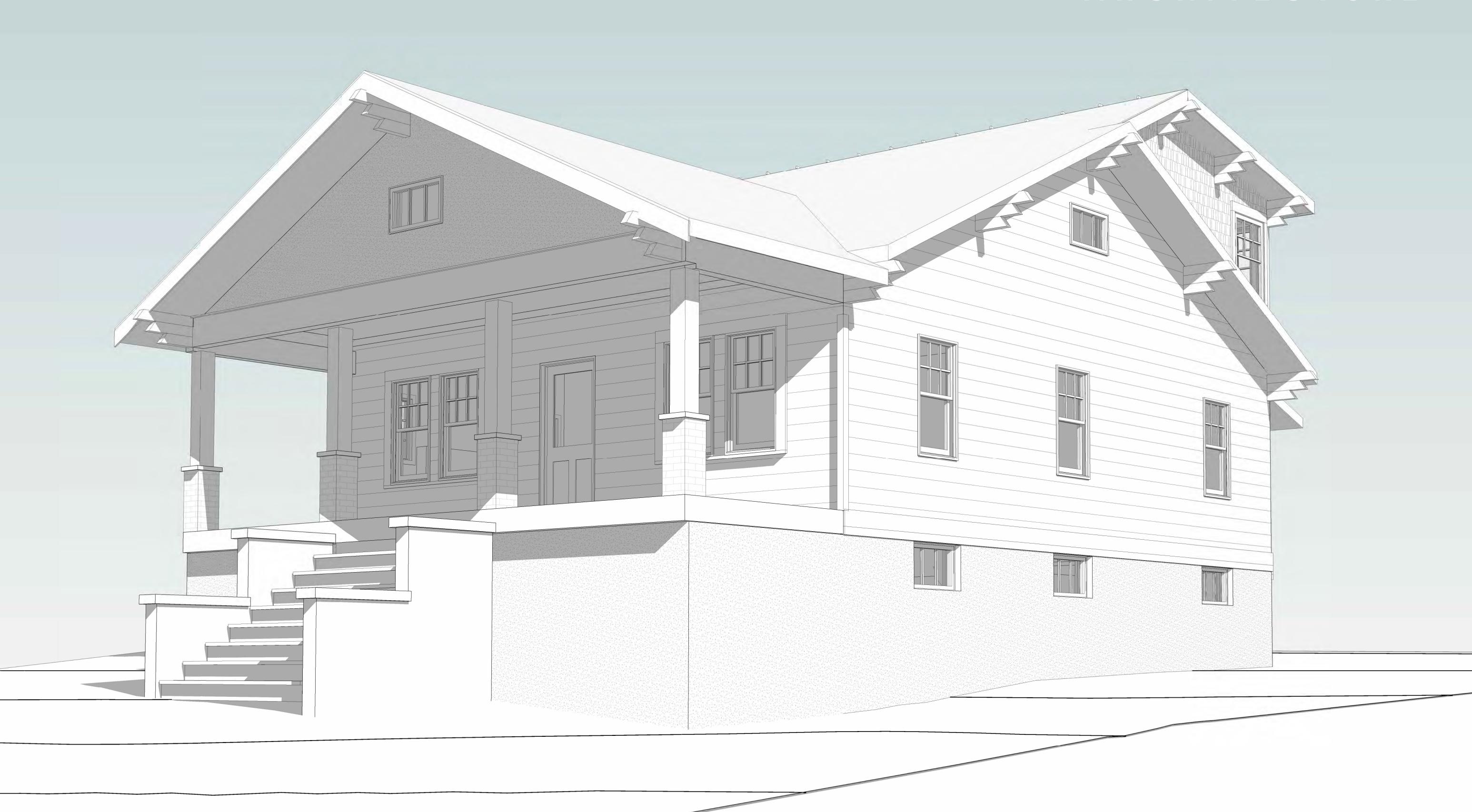
Interior work includes sistering all existing attic joists with new dimensional lumber and creating a new stair to the attic.

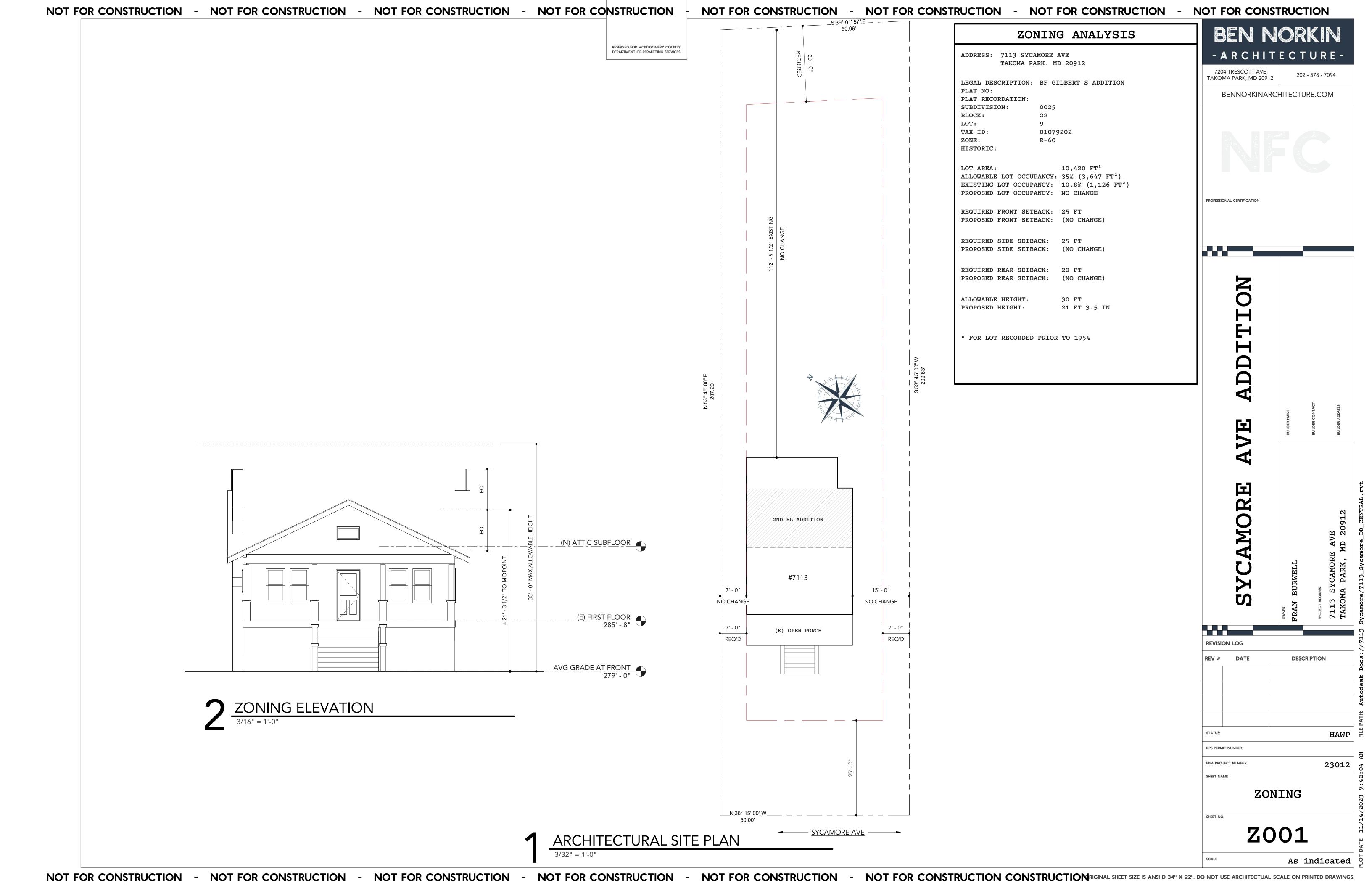
Work Item 1: ROOF FRAMING	Ţ
Description of Current Condition:	Proposed Work:
2x4 @ 24" o.c. is not structural sufficient and does not allow enough depth to adequately insulate the attic.	Reinforce existing framing with larger dimensional lumber for strength and increased depth for insulation.
Work Item 2: ROOF FINISH	
Work Item 2: ROOF FINISH Description of Current Condition:	Proposed Work:

Work Item 3: REAR SHED DORMER	
Description of Current Condition:	Proposed Work:
Does not exist	New habitable space at rear of attic to be constructed to appear as a shed dormer. Finish will be cedar shake or shingles, painted to match existing house. New Casement windows will have same lite pattern as existing double hunge windows.

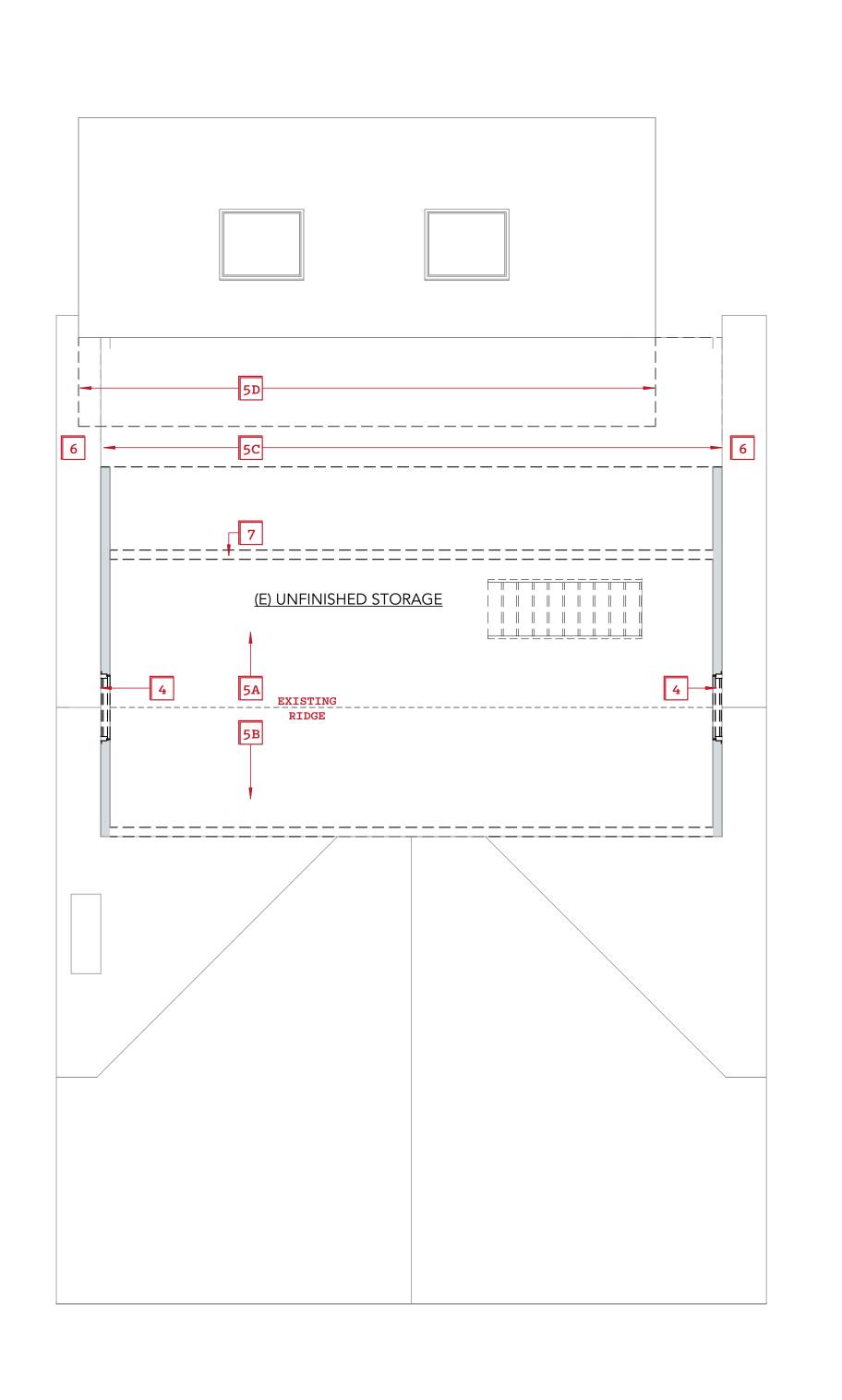
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Work Item 4	
Description of Current Condition:	Proposed Work: Existing non-compliant stair to attic to be
	removed and replaced with new stair with code required tread and risers.
	Partial demoltiion of wall on first floor adjacent to stair in order to create new open rake railing.
	Existing attic floor framing to remain in order to preserve existing ceiling. Attic floor joists to be sistered with new 2x10.
Work Item 5 STRUCTURE	
Description of Current Condition:	Proposed Work: In addition to roof structural repairs listed above, new posts and footers will be required within the house and cellar. Minor interior demolition may be required to set posts. No exterior walls will be affected.
Work Item 3:	
Description of Current Condition:	Proposed Work:

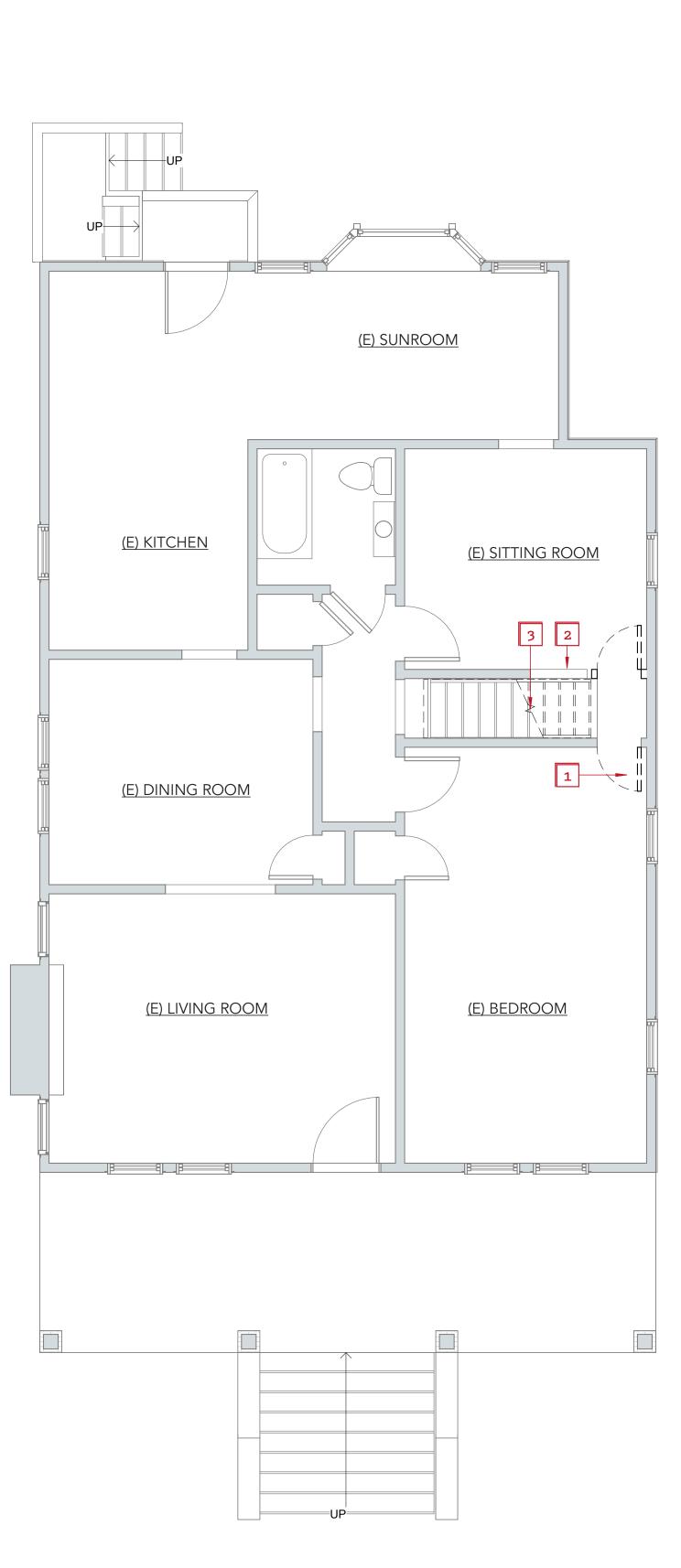
BEN NORKING - ARCHITECTURE-





DEPARTMENT OF PERMITTING SERVICES





- ARCHITECTURE -7204 TRESCOTT AVE TAKOMA PARK, MD 20912 202 - 578 - 7094 BENNORKINARCHITECTURE.COM TION TO BE REMOVED ADD EXISTING TO REMAIN NE **DEMOLITION KEYNOTES** 1 REMOVE DOOR AND PATCH OPENING IN WALL. REMOVE DOOR AND PORTION OF WALL TO CREATE NEW RAKE WAL ALONG NEW STAIR REMOVE EXISTING STAIR TO ATTIC REMOVE EXISTING WINDOW, PREPARE WALL FOR NEW WINDOW RE 5A REMOVE EXISTING ROOF FROM RIDGE TO REAR OF HOUSE 5B EXISTING ROOF FROM RIDGE TO FRONT OF HOUSE TO REMAIN. SISTER EXISTING RAFTERS WITH NEW 2X PER STRUCTURAL 5C REMOVE EXISTING ROOF WITHIN EXTENTS OF EXISTING EXTERIOR WALLS. RAKE PORTION OF EXISTING ROOF TO 5D REMOVE PORTION OF EXISTING SUNROOM ADDITION ROOF 6 RAKE PORTION OF EXISTING ROOF TO REMAIN 7 REMOVE EXISTING KNEE WALL **REVISION LOG** REV # DATE **DESCRIPTION** DPS PERMIT NUMBER: EXISTING AND DEMO **PLANS** A001

DEMO GENERAL NOTES

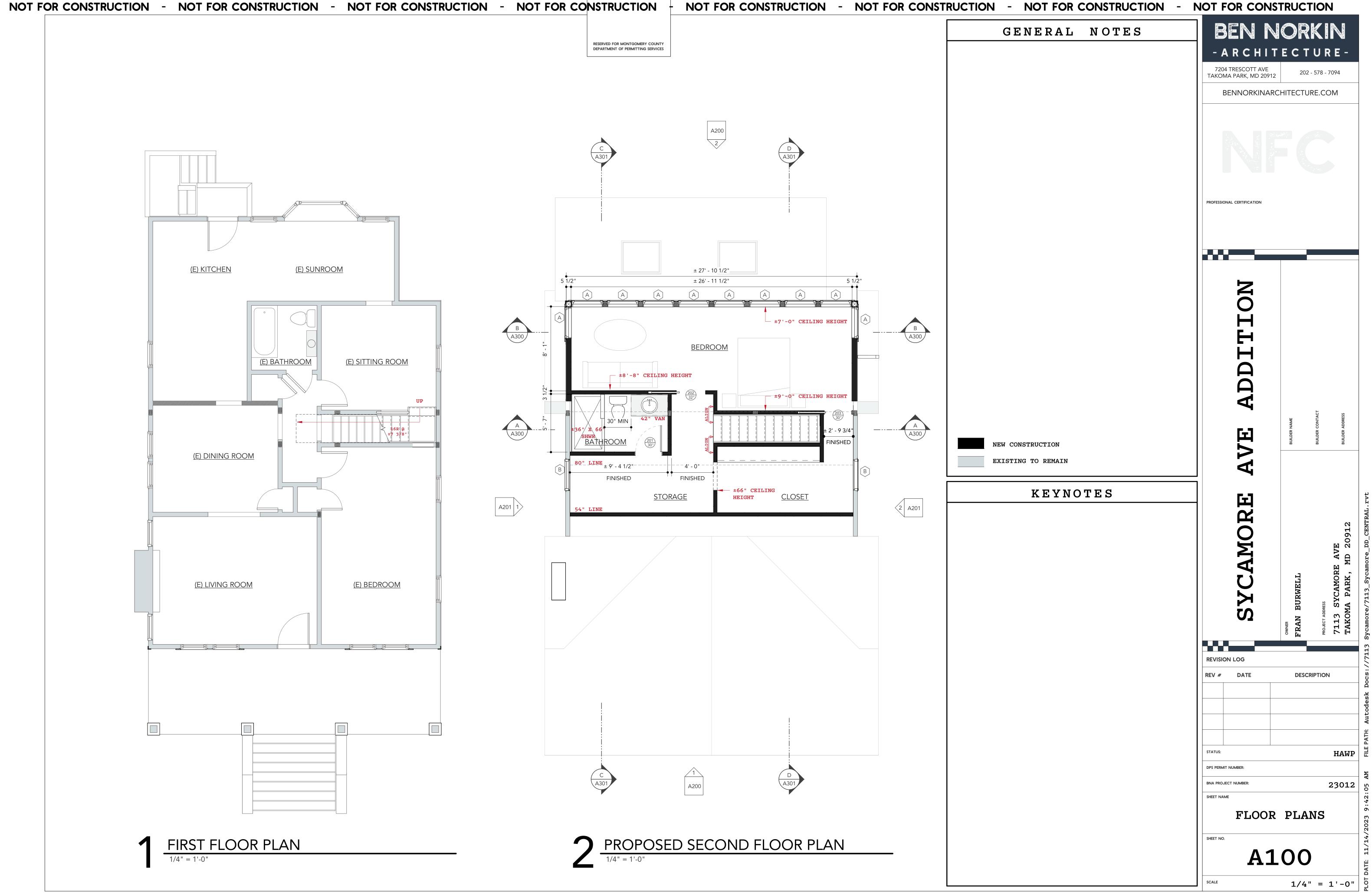
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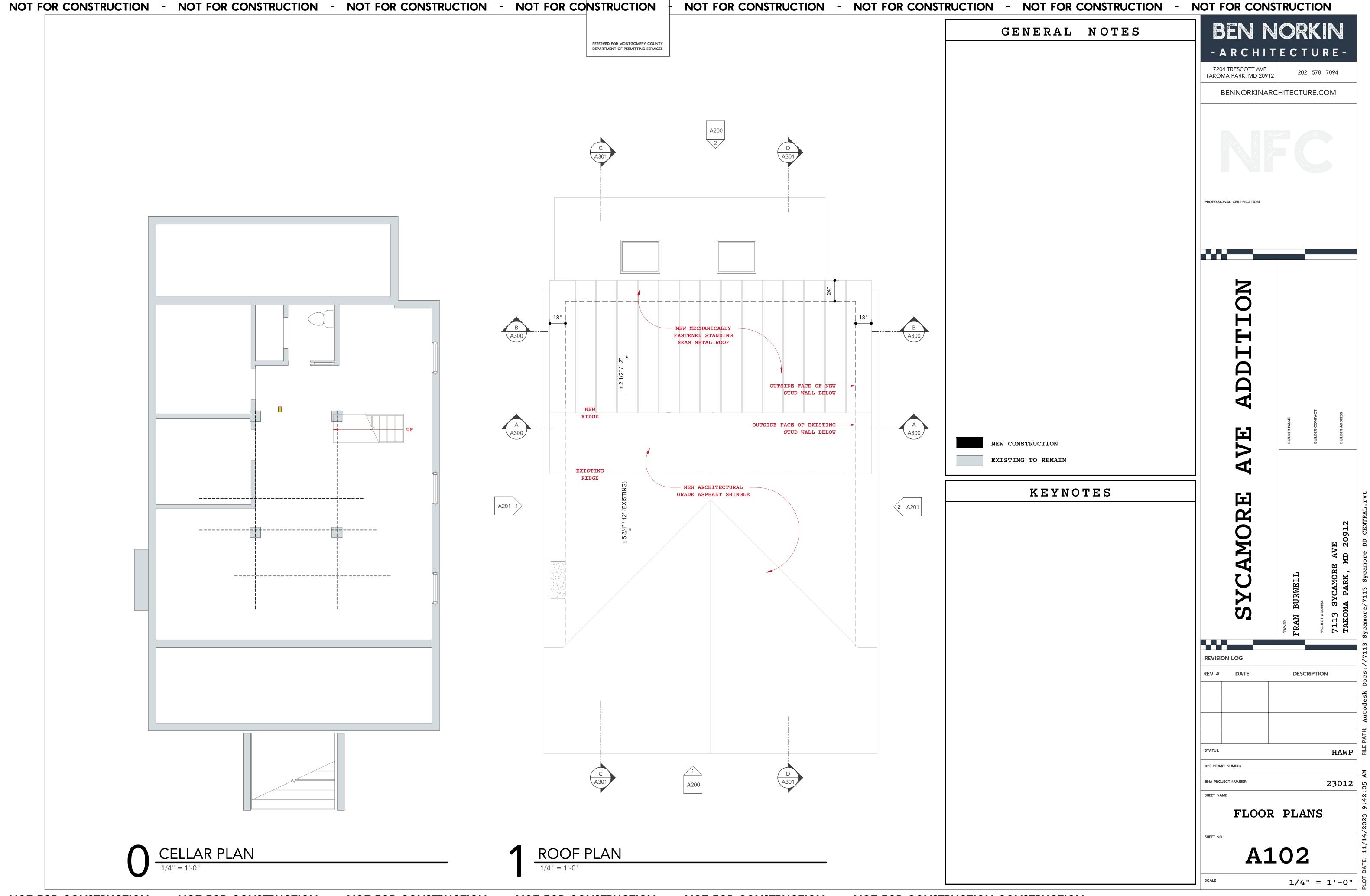
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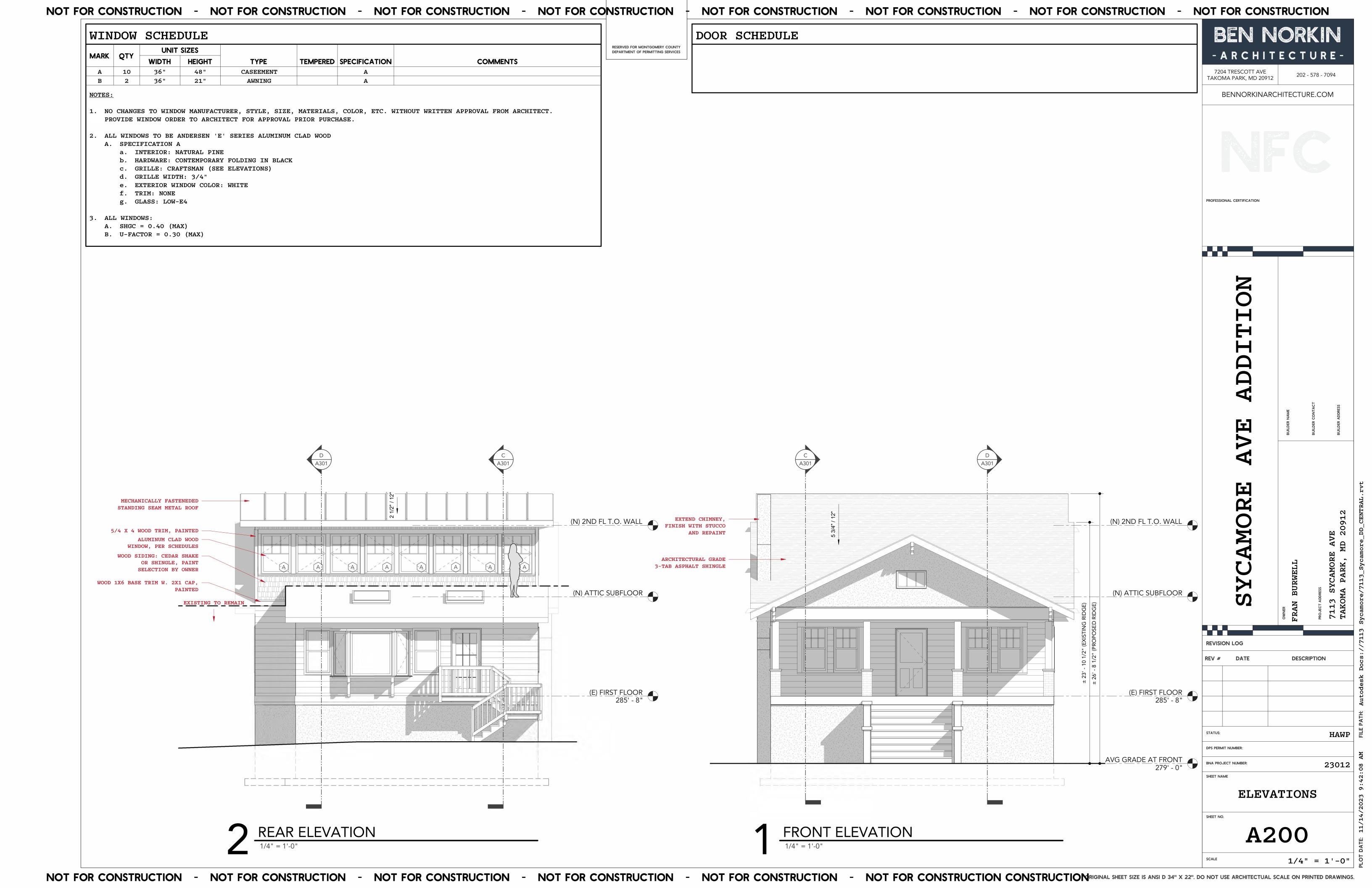
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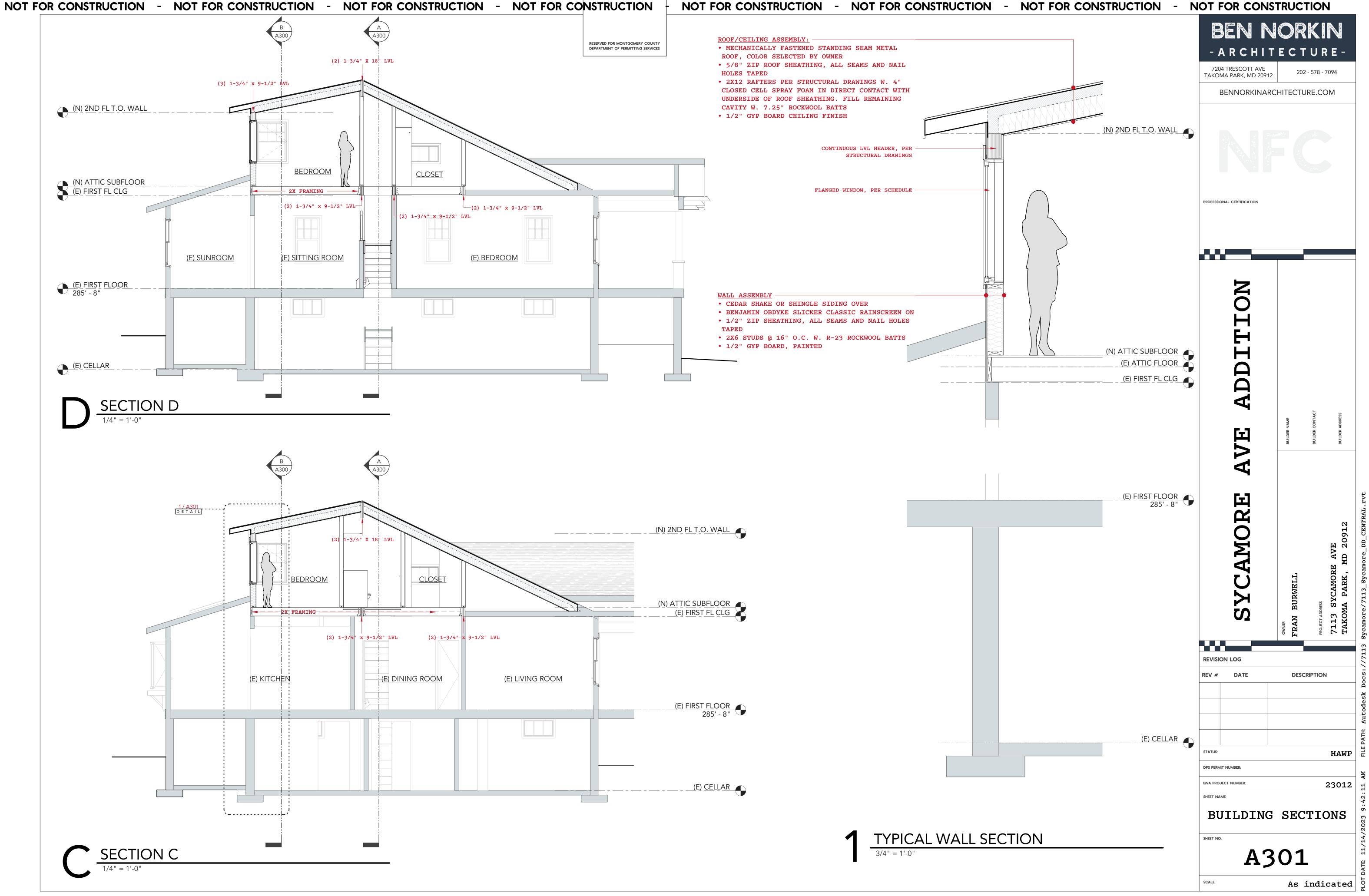
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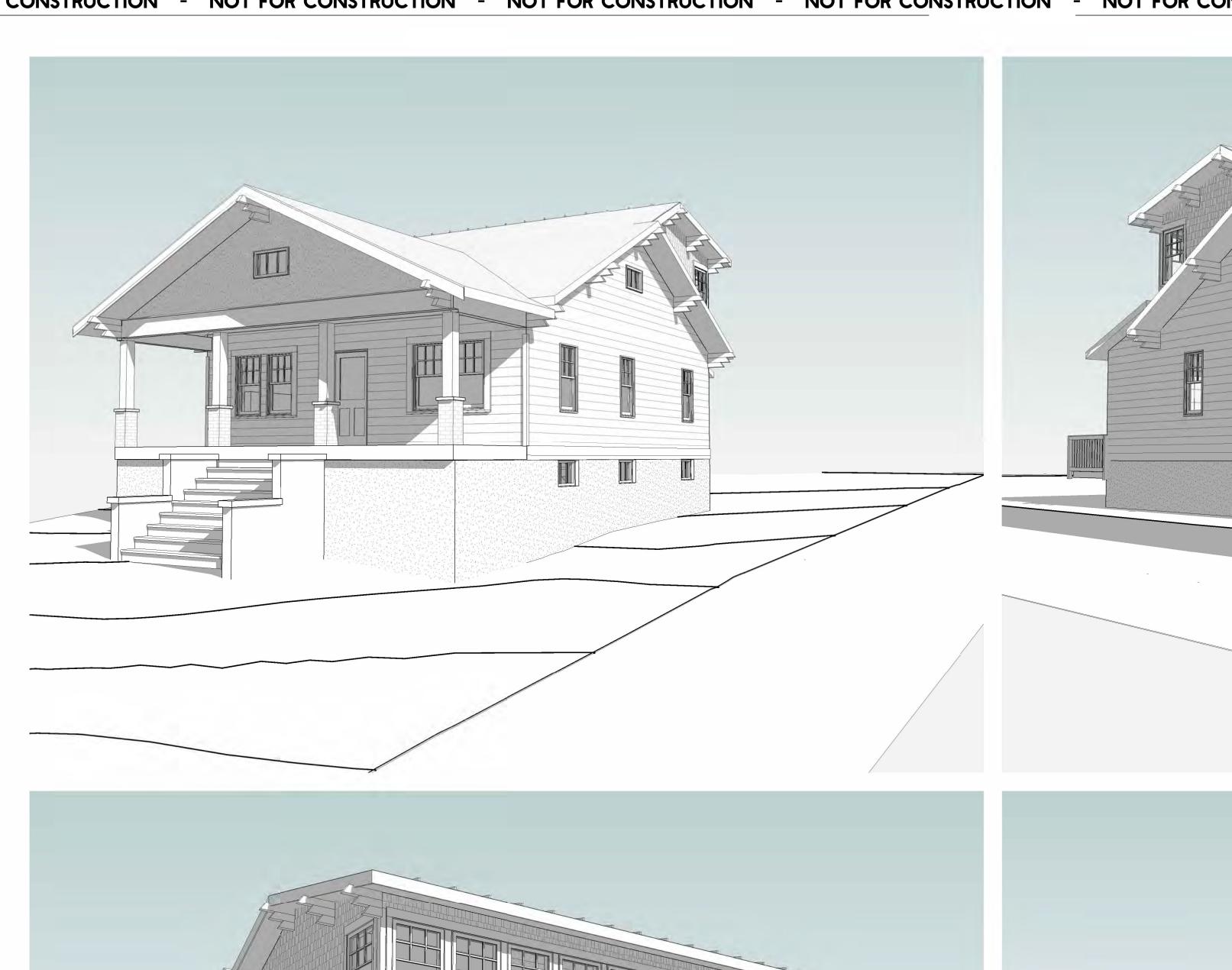
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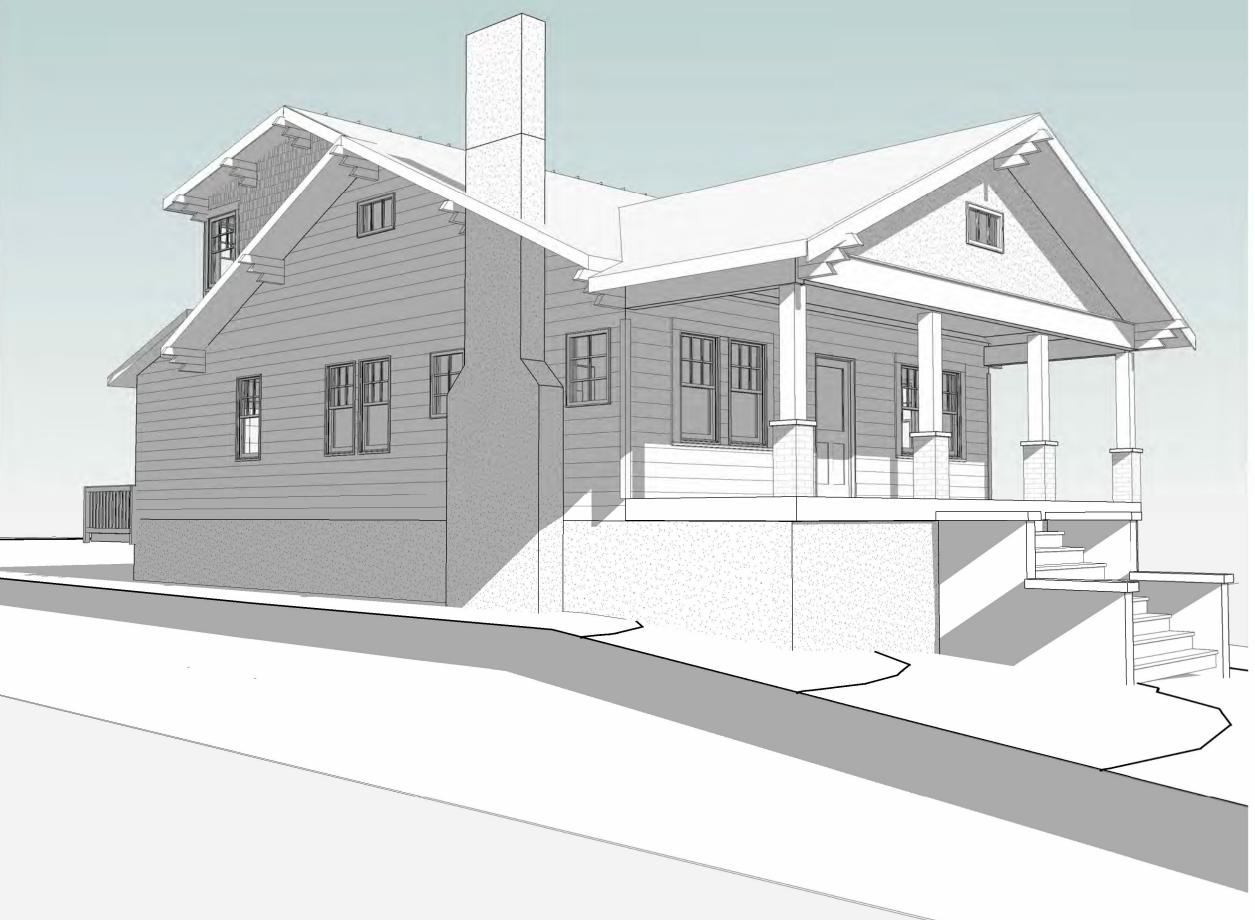




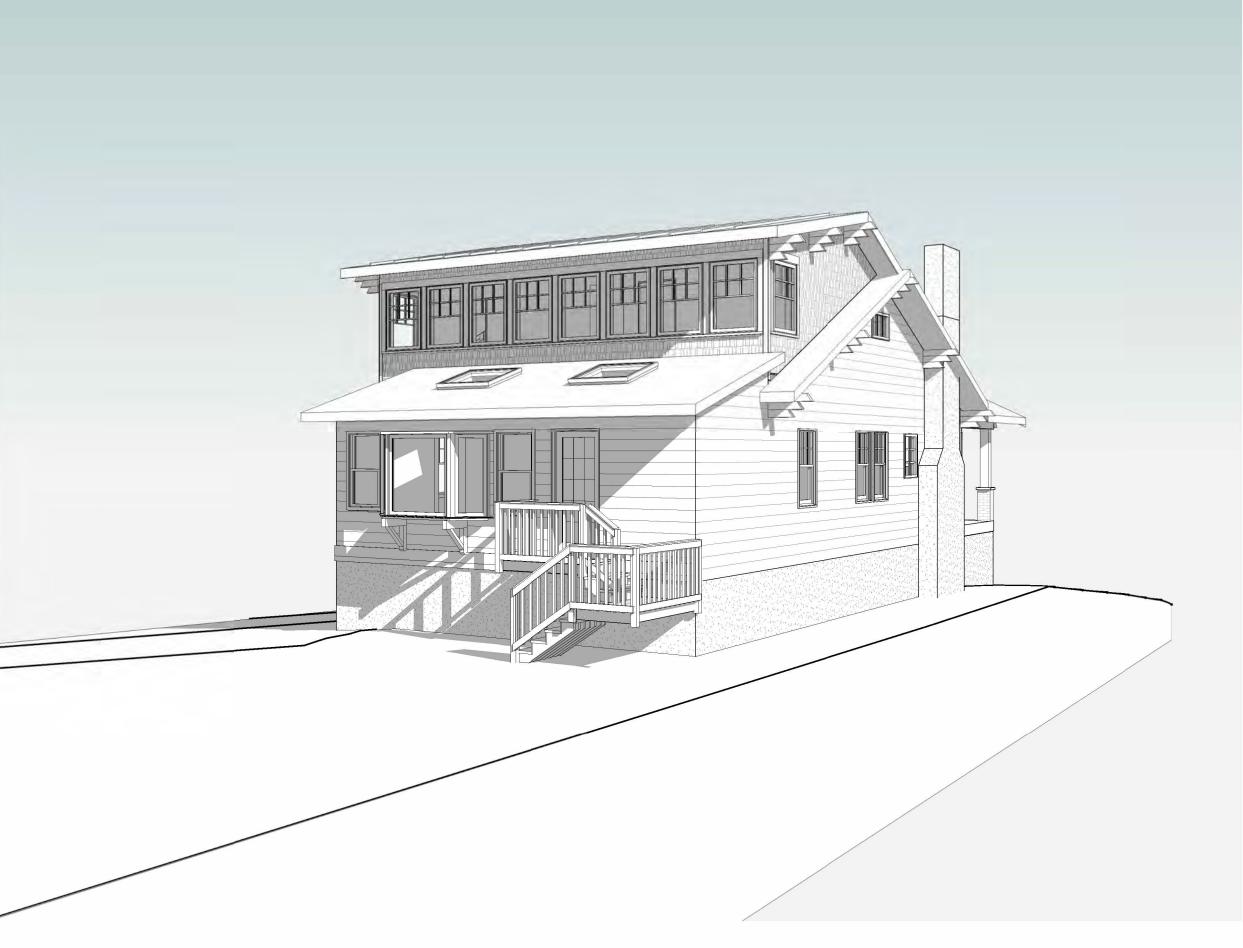














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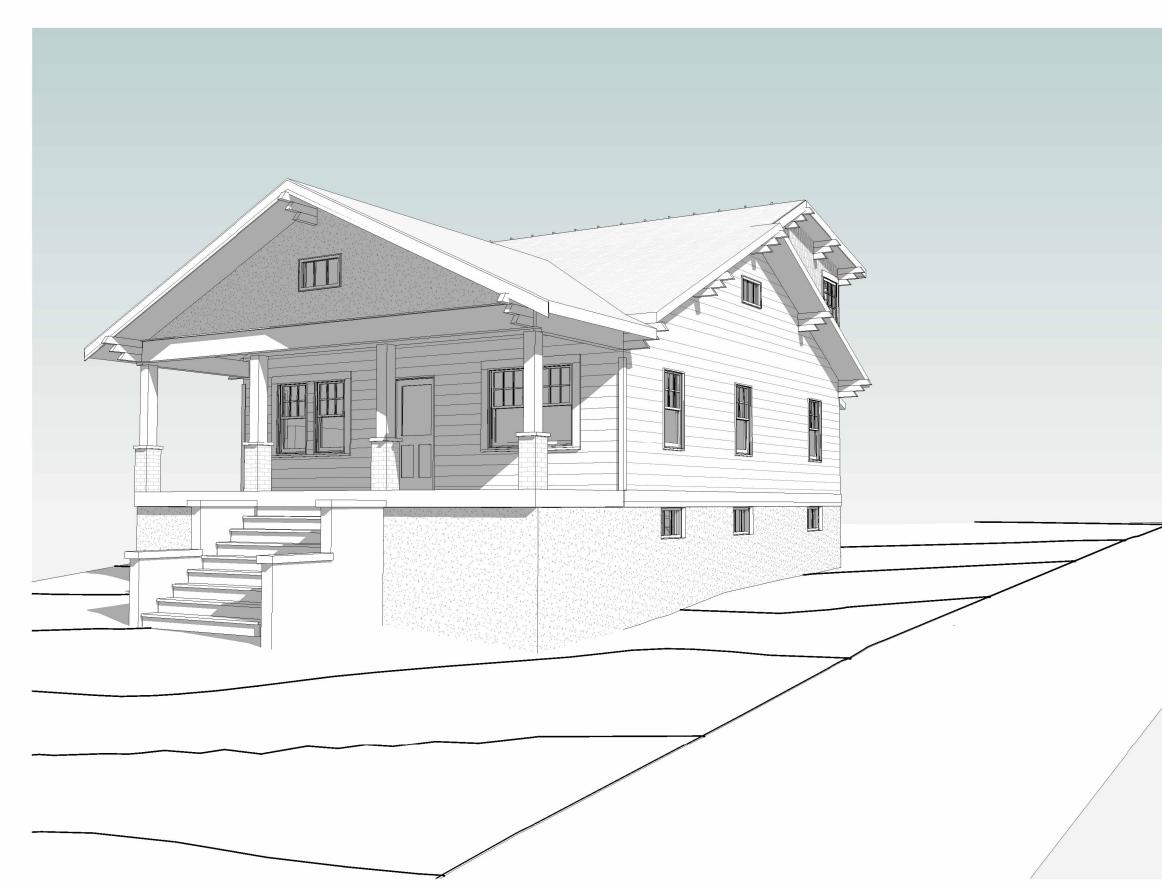
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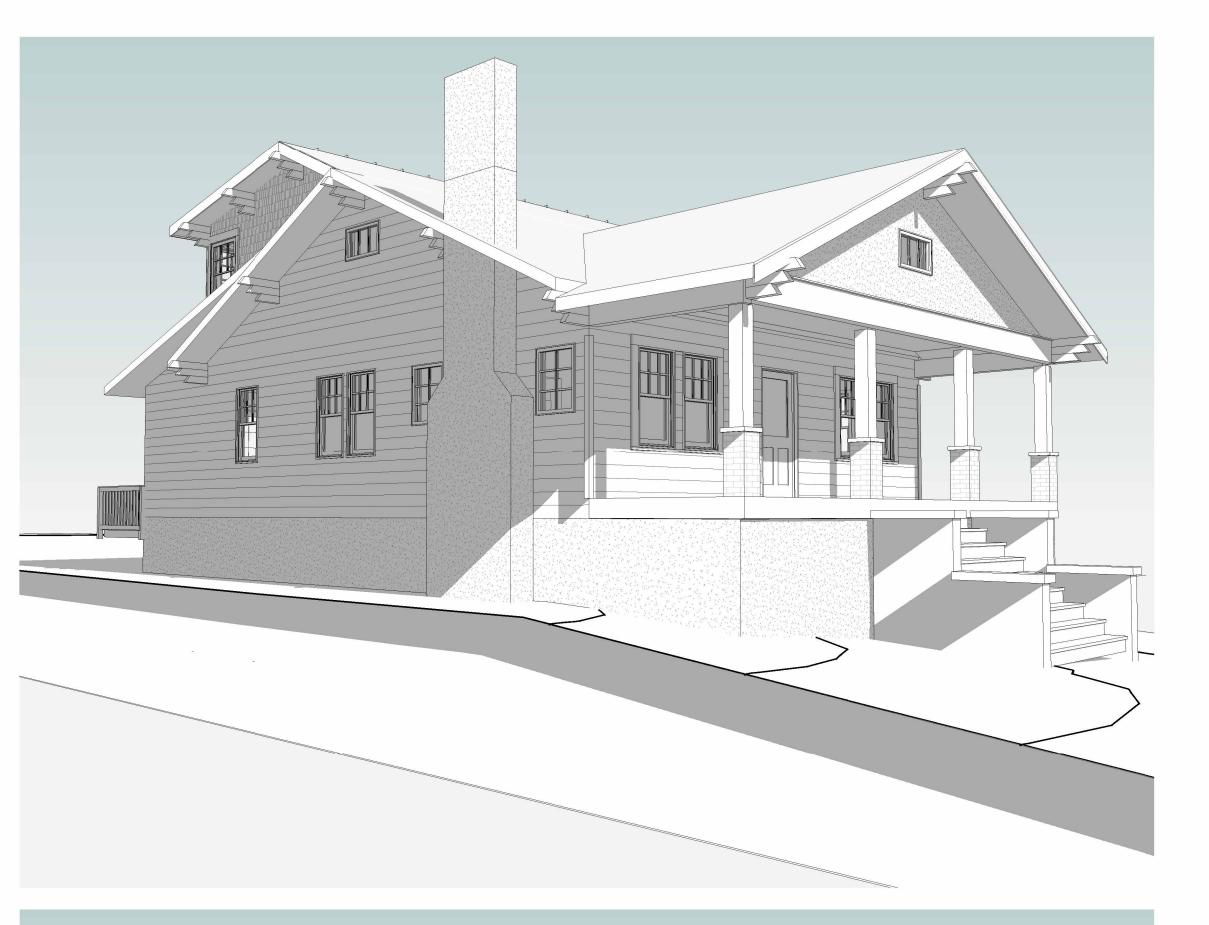
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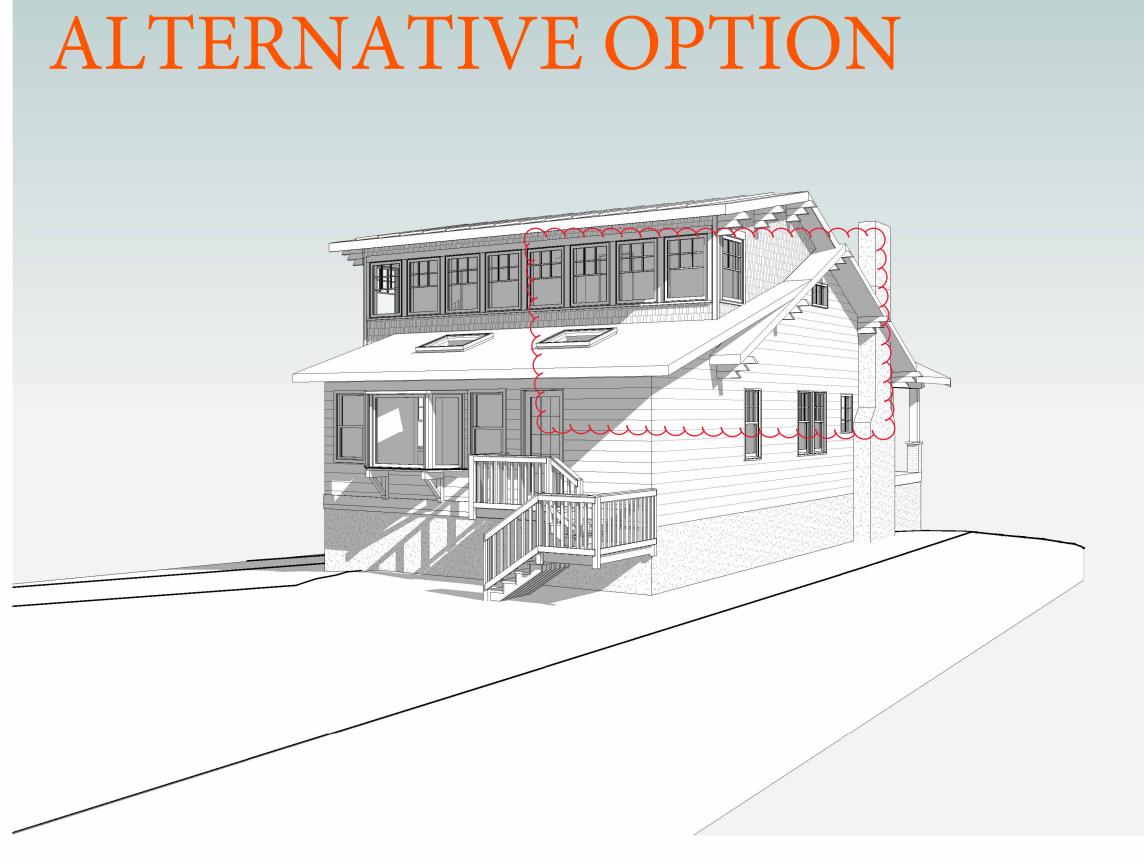
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