

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	46 Philadelphia Ave., Takoma Park	<b>Meeting Date:</b>	12/20/2023
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	12/13/2023
<b>Applicant:</b>	David Bates & Anne LeVeque Brian McCarthy, Architect	<b>Public Notice:</b>	12/6/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	1051682	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Partial Demolition, Rear Addition, Fenestration Alteration, and Roof Replacement		

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**RECOMMENDATION**

Staff recommends that the Historic Preservation Commission **approve with seven (7) conditions** the HAWP application with final approval of all details delegated to staff:

1. An arborists report shall be submitted for review. Any recommendations for tree protection, staging and storing of materials, and all protective measures shall be shown on amended plan sheets as necessary.
2. Specifications for all motion sensors/exterior lighting shall be submitted. The lighting should be of a fixture type that points downward/away from neighboring properties to the mazimum extent practicable.
3. Window muntin dimensions shall be called out in a revised Window Schedule. Catalogue sheets denoting the muntin profiles, jamb, sill, and header details shall also be submitted.
4. Asphalt shingle specifications shall be submitted.
5. Create a scale detail for the plan set noting the dimensions of the wood bracket that will be replicated on the addition.
6. All elevation and plan drawings shall be updated to note the porch and stair floorboards shall be wood or Aeratis. If Aeratis is chosen, specification sheets shall be submitted as part of the revised set of drawings.
7. All elevation and plan drawings shall be updated to note the handrail system shall be wood. If a substitute material is shown, specification sheets shall be submitted as part of the revised set of drawings and approval of the material is delegated to staff.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource to the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c.1928



predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

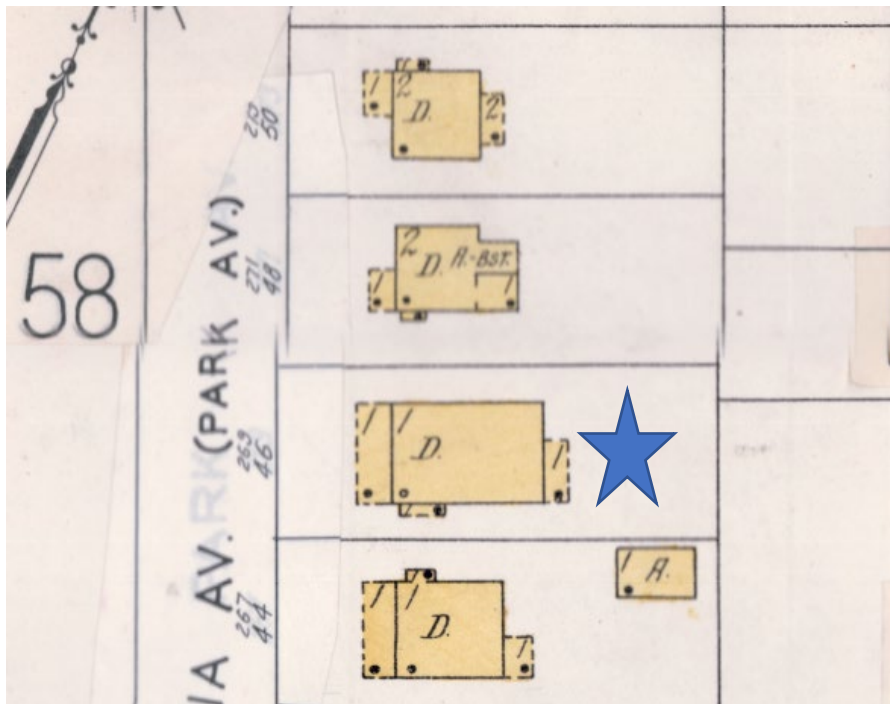
***Secretary of the Interior's Standards for Rehabilitation***

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### STAFF DISCUSSION

The subject property is a one-story, front-gable, stucco-sided Craftsman bungalow with an enclosed front gable porch. At the rear, there is a one-story shed roof addition constructed on wood peirs. Based on the 1963 Sanborn Map, the front and rear porches are non-historic alterations to the house. The applicant proposes to demolish the existing rear addition and construct a new addition in its place. Additionally, the applicant proposes to remove an existing window on the left elevation as part of the proposed rehabilitation. Lastly, the applicant is proposing to remove the existing asphalt shingle roof and install a new asphalt shingle roof over the entire house plus the new addition.



*Figure 2: 1963 Sanborn Map showing a full width front porch and a partial-width rear addition.*

#### **Partial Demolition**

The existing rear addition is 8' (eight feet) deep, with T1-11 siding, a shed roof, and casement windows supported by wood peirs. The project architect identified the existing porch as, "in disrepair, unsafe and unoccupied." The applicant proposes to demolish the existing rear addition.

Staff finds the existing addition is not a historic feature and is not at all visible from the public right-of-way. Additionally, Staff finds the addition does not contribute to the historic character of the house or surrounding district and its removal should be allowed as a matter of course.

#### **Building Addition**

In the same footprint of the existing building addition, the applicant proposes to construct a new addition. The proposed addition will be two-stories tall built on peirs. The basement level will be the full width of the house and the first floor is approximately 2/3's of the house width. The first floor portion has a gable

roof covered in architectural shingles that matches the pitch of the principal gable. Design elements including, wood brackets, exposed rafter tails, and six-over-one windows all match historic details on the historic house. To differentiate the addition from the historic construction, the applicant proposes to side the addition in fiber cement clapboard siding. The final change proposed is a small wood porch in the southeast corner of the proposed addition, to provide direct access to the basement.

Staff finds the size and massing of the proposed addition will not overwhelm the character of the house. It is only 8' (eight feet) deep and is inset from the historic corners. The addition's narrow depth and pair foundation will avoid any impact on an existing large tree directly behind the house.

Staff finds the proposed addition's design is architecturally compatible with the design of the historic house and surrounding district. The brackets, exposed rafter tails, and window configuration replicate elements from the historic house. Staff finds The fiber cement siding on the addition helps to differentiate the new construction from the historic, as required by Standard 9.

Finally, Staff finds the proposed materials including fiber cement siding, aluminum clad windows and doors, and architectural shingles are compatible with the character of the resource and surrounding district. Staff notes these materials have consistently been found to be compatible by the HPC for new construction and building additions in the Takoma Park Historic District. Staff recommends the HPC approve the addition under the *Design Guidelines*; Standards 2, 9, and 10; and 24A-8(b)(2) and (d).

### **Window Removal**

On the left elevation of the historic house, near the rear corner, the applicant proposes to remove an existing four-light fixed window and patch the opening with stucco to match the existing siding. The window appears to be a historic opening. The window removal is proposed to accommodate the new interior layout.

The *Design Guidelines* state original size and shape of window and door openings should be preserved. Staff finds the placement and limited visibility of this window will not substantially change the character of the resource or the surrounding district and recommends the HPC approve the window removal under 24A-8(d).

### **Roof Replacement**

The existing roof is a three-tab asphalt shingle roof. The applicant proposes to replace the existing roof with architectural shingles.

Staff finds an architectural shingle roof is an compatible replacement for three-tab shingles and recommends the HPC approve the proposed roof under the *Design Guidelines* and 24A-8(b)(2) and (d).

While the proposal is generally compatible with the District, the application is missing several details regarding materials, tree protection, and there is information missing from the drawings. In particular, the tree protection plan measures, while shown in the Key on the cover sheet, are not detailed on the lot plan, nor is there an arborist's report accompanying the project. Staff has proposed several conditions asking for additional information and annotation of the plans prior to release of the approval.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with seven (7) conditions** the HAWP application with final approval of all details delegated to staff:

1. An arborists report shall be submitted for review. Any recommendations for tree protection, staging and storing of materials, and all protective measures shall be shown on amended plan sheets as necessary.
2. Specifications for all motion sensors/exterior lighting shall be submitted. The lighting should be of a fixture type that points downward/away from neighboring properties to the mazimum extent practicable.
3. Window muntin dimensions shall be called out in a revised Window Schedule. Catalogue sheets denoting the muntin profiles, jamb, sill, and header details shall also be submitted.
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7. All elevation and plan drawings shall be updated to note the handrail system shall be wood. If a substitute material is shown, specification sheets shall be submitted as part of the revised set of drawings and approval of the material is delegated to staff.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.





**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# 1051682  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: David Bates & Anne LeVeque E-mail: batesdavide@cs.com  
Address: 46 Philadelphia Ave. City: Takoma Park Zip: 20912  
Daytime Phone: 301-585-2222 Tax Account No.: 13-01081078

**AGENT/CONTACT (if applicable):**

Name: Brian McCarthy E-mail: brian@bfmarch.com  
Address: 1400 Spring St., Suite 320 City: Silver Spring Zip: 20910  
Daytime Phone: 301-585-2222 Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name Takoma Park  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 46 Street: Philadelphia Avenue  
Town/City: Takoma Park Nearest Cross Street: Maple Avenue  
Lot: 7 Block: \_\_\_\_\_ Subdivision: PT H Parcel: P730

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> New Construction    | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure       |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                                 |
| <input type="checkbox"/> Demolition          | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                 |
| <input type="checkbox"/> Grading/Excavation  | <input checked="" type="checkbox"/> Roof     | <input checked="" type="checkbox"/> Window/Door                |
|  |  | <input checked="" type="checkbox"/> Other: <u>Landing/ramp</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

11/29/2023

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**  
46 Philadelphia Avenue  
Takoma Park, MD 20912

**Owner's Agent's mailing address**  
Brian McCarthy  
Bennett Frank McCarthy Architects, Inc.  
1400 Spring Street, #320  
Silver Spring, MD 20910

**Adjacent and confronting Property Owners mailing addresses**

Erin Elizabeth Keplinger  
48 Philadelphia Avenue  
Takoma Park, MD 20912

Elliott C. Ponte & Heather A. Dorsey  
44 Philadelphia Avenue  
Takoma Park, MD 20912

Lauren K. & Samuel G. Greenberg  
47 Philadelphia Avenue  
Takoma Park, MD 20912

Jose S. Melgan et al.  
132 Grant Avenue  
Takoma Park, MD 20912

Carla I. Perlo & Richard Pilkinson, Jr.  
134 Grant Avenue  
Takoma Park, MD 20912

Nathaniel & Kimberly Cole  
45 Philadelphia Avenue  
Takoma Park, MD 20912



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Please see Memorandum dated 11.29.23, addendum a.**

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

**Please see Memorandum dated 11.29.23, addendum b.**

Work Item 1: Remove existing rear

Description of Current Condition:  
Ramshackle 8-foot deep porch enclosure on posts. Steps to the existing basement.

Proposed Work:  
Remove rear steps. Remove the porch for replacement with a comparably deep two-story addition, as described in the memorandum, the drawings and below.

Work Item 2: Construct two-story re

Description of Current Condition:  
Ramshackle 8-foot deep porch enclosure on posts, with adjacent rear steps.

Proposed Work:  
Construct two-story rear addition, one story over a basement, as described in the memorandum and the drawings. The basement level of the addition will be a sunroom/storage area. The main level will be an expanded kitchen.  
  
Construct new rear/side yard steps, as shown in the drawings.

Work Item 3: Remove and replace r

Description of Current Condition:  
Existing shingle roof.

Proposed Work:  
Remove existing roof shingles and underlayment  
Replace with roofing as described in the memorandum and the drawings.

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**Existing Property Condition Photographs (duplicate as needed)**



Detail: 46 PHILADELPHIA AVE. SOUTHERN APPROACH



Detail: 46 PHILADELPHIA AVE. FRONT



**Existing Property Condition Photographs (duplicate as needed)**



Detail: 46 PHILADELPHIA AVE. SOUTH-EAST SIDE



Detail: 46 PHILADELPHIA AVE. NORTH-WEST SIDE



Existing Property Condition Photographs (duplicate as needed)



Detail: 46 PHILADELPHIA AVE. REAR-NORTHERN CORNER



Detail: 46 PHILADELPHIA AVE. REAR-EASTERN CORNER



**Existing Property Condition Photographs (duplicate as needed)**



Detail: 46 PHILADELPHIA AVE. REAR EXTENSION DETAIL



Detail: CONTEXT: 44 PHILADELPHIA AVE.



Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 48 PHILADELPHIA AVE.



Detail: CONTEXT: 45 PHILADELPHIA AVE.



**Existing Property Condition Photographs (duplicate as needed)**



Detail: CONTEXT: 47 PHILADELPHIA AVE



Detail: CONTEXT: 51 PHILADELPHIA AVE

# BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

## Memorandum

29 November 2023

To: Historic Preservation Commission (HPC)  
Maryland-National Capital Park & Planning Commission  
c/o Department of Permitting Services, Montgomery County

From: Brian McCarthy

Re: Historic Area Work Permit for  
46 Philadelphia Avenue, Takoma Park Historic District  
Addenda to HAWP: **Written Description of Project**

### **Addendum a.**

The property is a 1-story wood frame Bungalow-Craftsman with a finished walk-out basement, located at 46 Philadelphia Avenue on a hilly 4,880 square foot lot. The house, built circa 1920s, is designated as a contributing resource in the Takoma Park Historic District. The form is generally rectangular with the short side fronting Philadelphia Avenue to the west. The front façade is embellished by an enclosed, gabled entry that was likely a former covered porch. The main house mass is also differentiated by a pair of bay windows; one on each side. The main roof, like the porch, is a simple gable with deep eaves, exposed rafter tails with support brackets under the rake fly rafters. The east facing rear façade is largely obscured by an enclosed porch on tall, spindly wood posts. The porch is in disrepair, unsafe and unoccupied.

The exterior is finished in stucco of varied textures. The wood framing on the first floor is clad in a lightly textured pea-gravel stucco. Smooth stucco covers the terracotta tile foundation and chimney. The roofing material is three-tab fiberglass composition shingles. The wood windows are predominantly 6 over 1 double hungs, though the front entry windows are casements.

### **Addendum b.**

The scope of work is limited to the rear. Our intent is to remove the ramshackle, 8 ft deep porch enclosure and replace it with a comparably deep two-story addition. The basement level of the addition will be roughly the width of the current porch but the upper portion of the addition will be only 2/3rds of the house width. That upper element will have a matching gabled roof with exposed rafters and support brackets. The uncovered portion of the lower level will have a shed roof similar to the existing rear porch.

The new roof eaves, rakes, and timber brackets will match the existing features. New windows will be aluminum clad wood double hungs where possible and casements (with faux check rails) where required for egress. Roofing will be laminated fiberglass composition shingles and the scope will include the entire house. Siding on addition will be cement fiberboard clapboard w/ smooth side facing out.

The only impact on the primary resource that isn't on the rear is our proposal to remove one small kitchen window near the back left corner to accommodate the placement of a refrigerator. That notwithstanding, we feel the proposed expansion is consistent with and sympathetic to the resource, and the historic district at large.



# BATES-LEVEQUE ADDITION

46 Philadelphia, Takoma Park, MD 20912 - Project # 2319

## PROJECT DESCRIPTION

THE PROJECT INVOLVES REMODELING AN EXISTING 1-STORY WOOD FRAME BUNGALOW (W/ WALK-OUT BASEMENT) AND BUILDING A TWO-LEVEL ADDITION ON THE REAR OF THE HOUSE. THE ADDITION CONSISTS OF A KITCHEN (128 SF) OVER AN UNCONDITIONED SUNROOM/STORAGE AREA (204 SF) AND A MODEST LANDING AND RAMP TO THE BACKYARD. REMODELING SCOPE INCLUDES THE EXISTING KITCHEN.

## BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

### OWNER

David Bates & Anne LeVeque  
46 Philadelphia Ave  
Takoma Park, MD 20912 (301) 270-4007

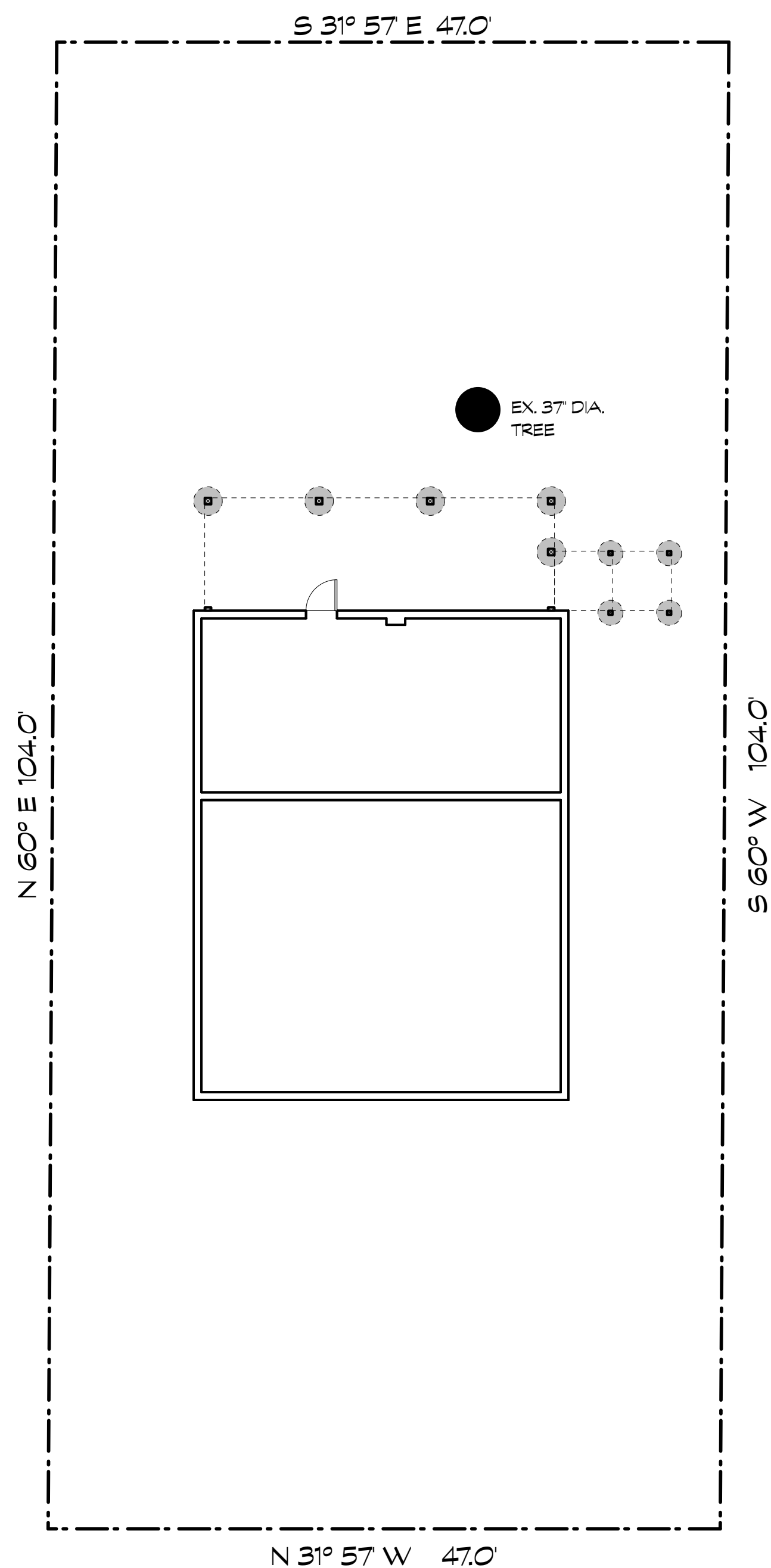
### STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc  
8555 16th St, Suite 200  
Silver Spring, MD 20910 (301) 565-0543

## SPECIFICATIONS

## TREE PROTECTION PLAN

SCALE: 1/8" = 1'-0"



PHILADELPHIA AVE.

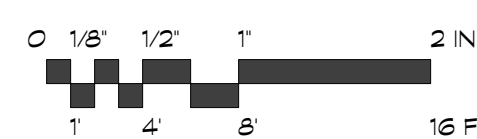
SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT AREA	4888 SF		100.0%
EXISTING LOT COVERAGE	1314 SF		26.9%
PROPOSED LOT COVERAGE	1318 SF		27.0%
PROPOSED INCREASE	4 SF		0.1%
2. BUILDING FLOOR AREA - STORES			
LEVEL	EX. AREA (SF)	NEW AREA	TOTAL AREA
BASEMENT	880 SF	196 SF	1076 SF
FIRST	1244 SF	64 SF	1308 SF
TOTALS	2124 SF	192 SF	2266 SF
3. BUILDING HEIGHT (ABOVE AVE. FRONT GRADE)			
EDGE	EXISTING	ADDITION	
MEAN	12'-3"	13'-8 3/4"	
EAVE	8'-11 1/4"	8'-3 1/4"	

SITE PLAN BASED ON SURVEY BY K.W.L. DATED FEBRUARY 2, 2023, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 7, BLOCK TAKOMA PARK SUBDIVISION: RT. HODGES TRACT MONTGOMERY COUNTY, MD DISTRICT: 13 PARCEL: P730 ZONE: R-60

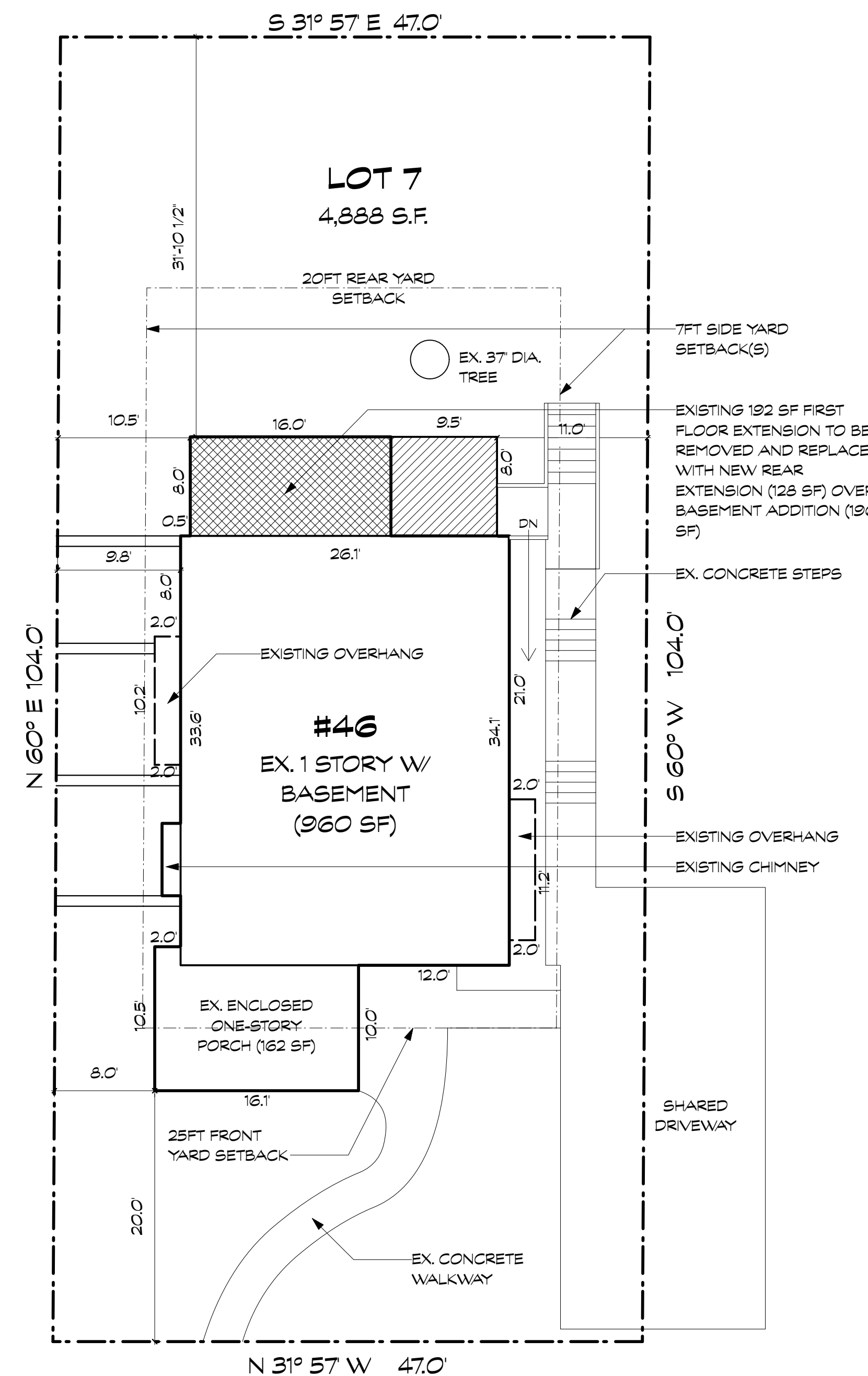
LEGEND	
WOOD FENCE	--- --- --- ---
SETBACK LINE	- - - - -
PROPERTY LINE	— — — — —
EXISTING FOOTPRINT	▭
BASEMENT ADDITION	▨
FIRST FLOOR ADDITION	▩

TREE PROTECTION PLAN LEGEND	
TREE PROTECTION FENCE (4 FT. TALL ORANGE HOPE PLASTIC SAFETY BARRIER)	+++++
STAGING AREA / MATERIAL STORAGE	
SILT FENCE	.....
ROOT PRUNING (RP)	---x---x---x---x---
ROOT PROTECTION (1/2" OSB PANELS OVER 6" LAYER OF WOOD CHIPS)	▩
EDGE OF FOOTING	- - - - -
AREAS OF EXCAVATION	▭
NEW WALLS	▭
EXISTING WALLS	▭
TREES	●



## ZONING SITE PLAN

SCALE: 1/8" = 1'-0"



PHILADELPHIA AVE.

## DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	SPI00	SPECIFICATIONS
	D100	DEMOLITION PLANS
	D200	DEMOLITION ELEVATIONS
	A100	PROPOSED FLOOR PLANS
	A200	PROPOSED ELEVATIONS
	A300	BUILDING SECTIONS & INTERIOR ELEVATIONS
	A301	WALL SECTIONS
	S100	FOUNDATION & LOWER LEVEL FRAMING PLAN
	S101	FIRST FLOOR & ROOF FRAMING PLAN
	M100	MECHANICAL PLANS
	E100	ELECTRIC PLANS

## VICINITY MAP



DATE	ISSUE
11/28/2023	PROGRESS SET

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## ABBREVIATIONS

AND	COND	CONDITION	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
AT	CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER LUMBER	PLAM	PLASTIC LAMINATE PLYWOOD	STL	STEEL
ABOVE	CONT	CONTINUOUS	EQ	EQUAL	MARB	MARBLE	PTD	PRESSURE TREATED	TBD	TO BE DETERMINED
FINISHED FLOOR	D	DRYER	ETR	EXISTING TO REMAIN	MATL	MATERIAL	PLYWD	PLYWOOD	TEG	TONGUE AND GROOVE
APART	DH	DOUBLE HUNG	EX	EXISTING	MAX	MAXIMUM	PT	PAINTED	TOS	TOP OF SLAB
BLDG	DIA	DIAMETER	FF	FINISH FLOOR	MDO	MEDIUM DENSITY OVERLAY	PTD	PAINTED	TYP	TYPICAL
BSMT	DN	DOWN	FRN	FRESH	RD	ROUGH OPENING	R	RISER	UNO	UNLESS NOTED OTHERWISE
CJ	DR	DOOR	GA	GALVE	MIN	MINIMUM	REF	REFRIGERATOR	VIF	VERIFY IN FIELD
CAB	DB	DOWNSPOUT	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	RQD	REQUIRED	W	WASHER
CL	DTL	DETAIL	HB	HOSE BIB	MTL	METAL	RM	ROOM	W	WITH
CLG	DW	DISHWASHER	HC	HOLLOW CORE	MECH	MECHANICAL	SC	SOLID CORE	WC	TOILET / WATER CLOSET
CLR	DWG	DRAWING	HT	HEIGHT	NIC	NOT IN CONTRACT	SHT	SHEET	WD	WOOD
CMU	EIFS	EXTERIOR INSULATION FINISHING SYSTEM	HDWR	HARDWARE	NTS	NOT TO SCALE	SHWR	SHOWER	W/O	WITHOUT
	EL	ELEVATION	JB	JUNCTION BOX	OC	ON CENTER	SIM	SIMILAR	W/M	WELDED WIRE MESH
			LB	LOAD BEARING	OH	OPPOSITE HAND	SPEC	SPECIFICATION		

## SYMBOLS

☉	CENTERLINE	X A-X	DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE
1	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)	X A-X	ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE
A	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)	X A-X	ELEVATION CALL-OUT: DRAWING NUMBER SHEET REFERENCE
1	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)	X A-X	ELEVATION CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
		X A-X	SHEET REFERENCE DIRECTION OF VIEW

## PROJECT DATA

JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	5B - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

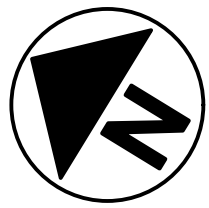
## CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_

#2319 BATES-LEVEQUE





DATE	ISSUE - REMARKS

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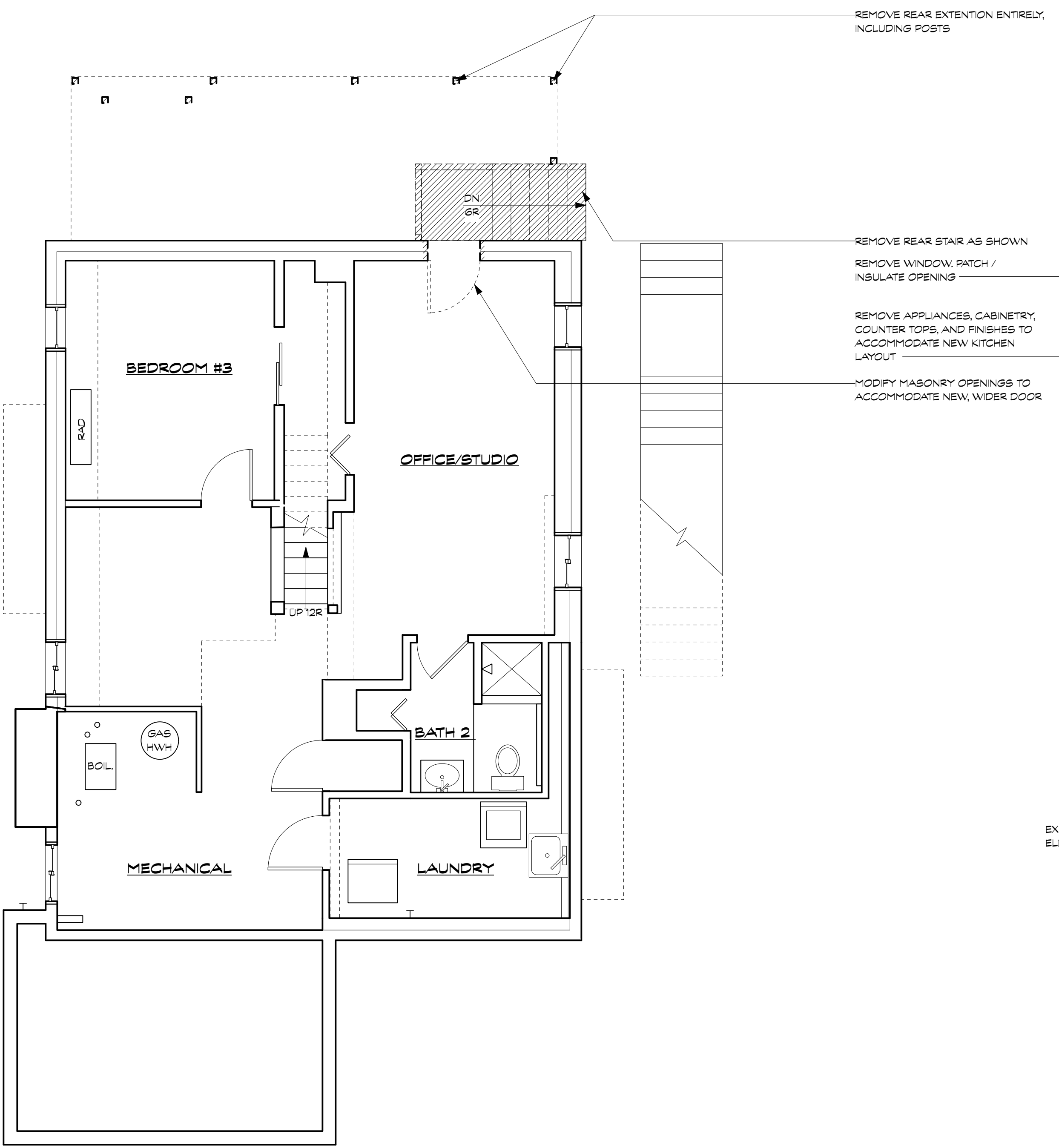
LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

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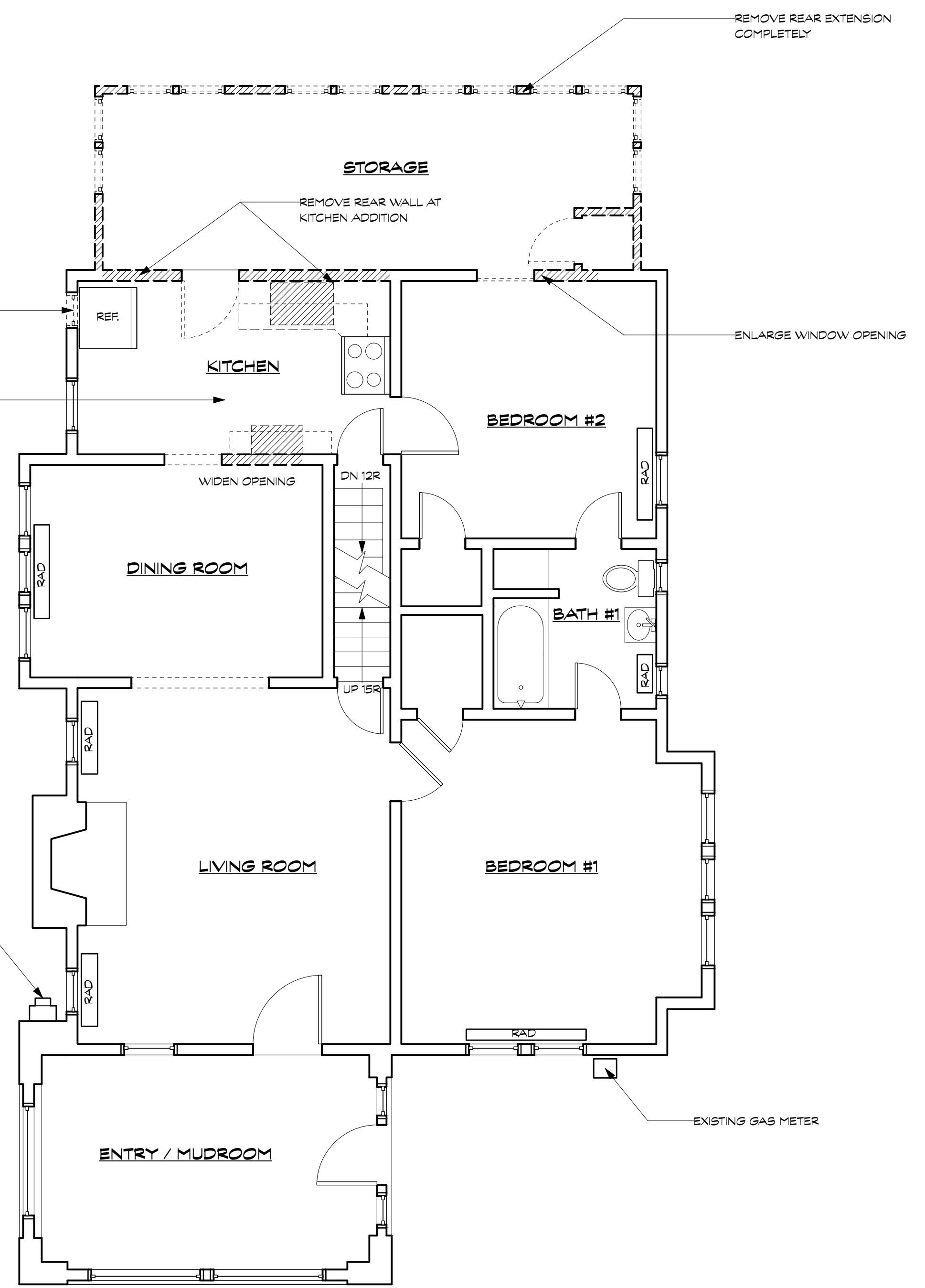
**WALL LEGEND**

	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
  - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O.)
  - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O.)



**1 BASEMENT DEMOLITION PLAN**  
Scale: 1/4" = 1'-0"



**2 FIRST FLOOR DEMOLITION PLAN**  
Scale: 1/4" = 1'-0"

ROOM	FLOORING	BASE	WALLS	PAINT	CEILING	PAINT	TRIM	REMARKS	
CELLAR	MECHANICAL	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	LAUNDRY	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	BATH #2	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	OFFICE / STUDIO	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	BEDROOM #3	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	SUNROOM / STORAGE		1x4	G.W.B.	EGGSHELL	G.W.B.	EGGSHELL	SEMI-GLOSS	
FIRST FLOOR	ENTRY / MUDROOM	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	LIVING ROOM	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	BEDROOM #1	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	DINING ROOM	E.T.R.	NOTE 4	NOTE 4	FLAT	E.T.R.	FLAT	SEMI-GLOSS	
	BEDROOM #2	E.T.R.	NOTE 4	NOTE 4	FLAT	E.T.R.	FLAT	SEMI-GLOSS	
	BATH #1	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	KITCHEN	NEW TILE	WOOD	G.W.B.	EGGSHELL	G.W.B.	EGGSHELL	SEMI-GLOSS	NOTE 3

**NOTES:**

- PATCH TO MATCH EXISTING WOOD FLOOR AS NECESSITATED BY NEW WORK. SAND / REFINISH ENTIRE FLOOR TO UNIFORM APPEARANCE. TAKE CARE TO MINIMIZE BANDING AT ALL ORIGINAL / HISTORIC WOOD FLOORS.
- TILE SHOWER BURROUND
- TILE BACKSPLASH
- PATCH / RESTORE / EXTEND EXISTING WHERE DISTURBED BY NEW WORK
- REVIEW OPTIONS FOR LEVELING UNEVEN FLOOR WITH OWNER AND ARCHITECT
- APPLY NEW G.W.B. VENEER TO CEILING
- REMOVE / REPLACE CROWN MOULDING

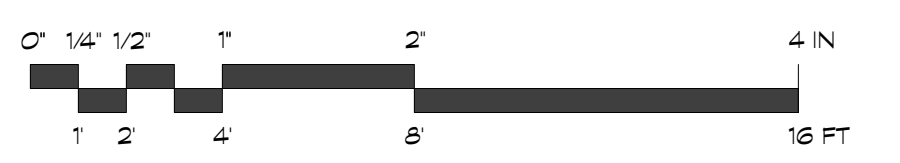
E.T.R. = EXISTING TO REMAIN  
G.W.B. = GYPSUM WALLBOARD (DRYWALL)

**BATES-LEVEQUE ADDITION**  
46 Philadelphia Avenue, Takoma Park, MD 20912  
Project # 2319

28 NOVEMBER 2023 - PROGRESS SET

DEMOLITION PLANS

**D100**







DATE	ISSUE - REMARKS

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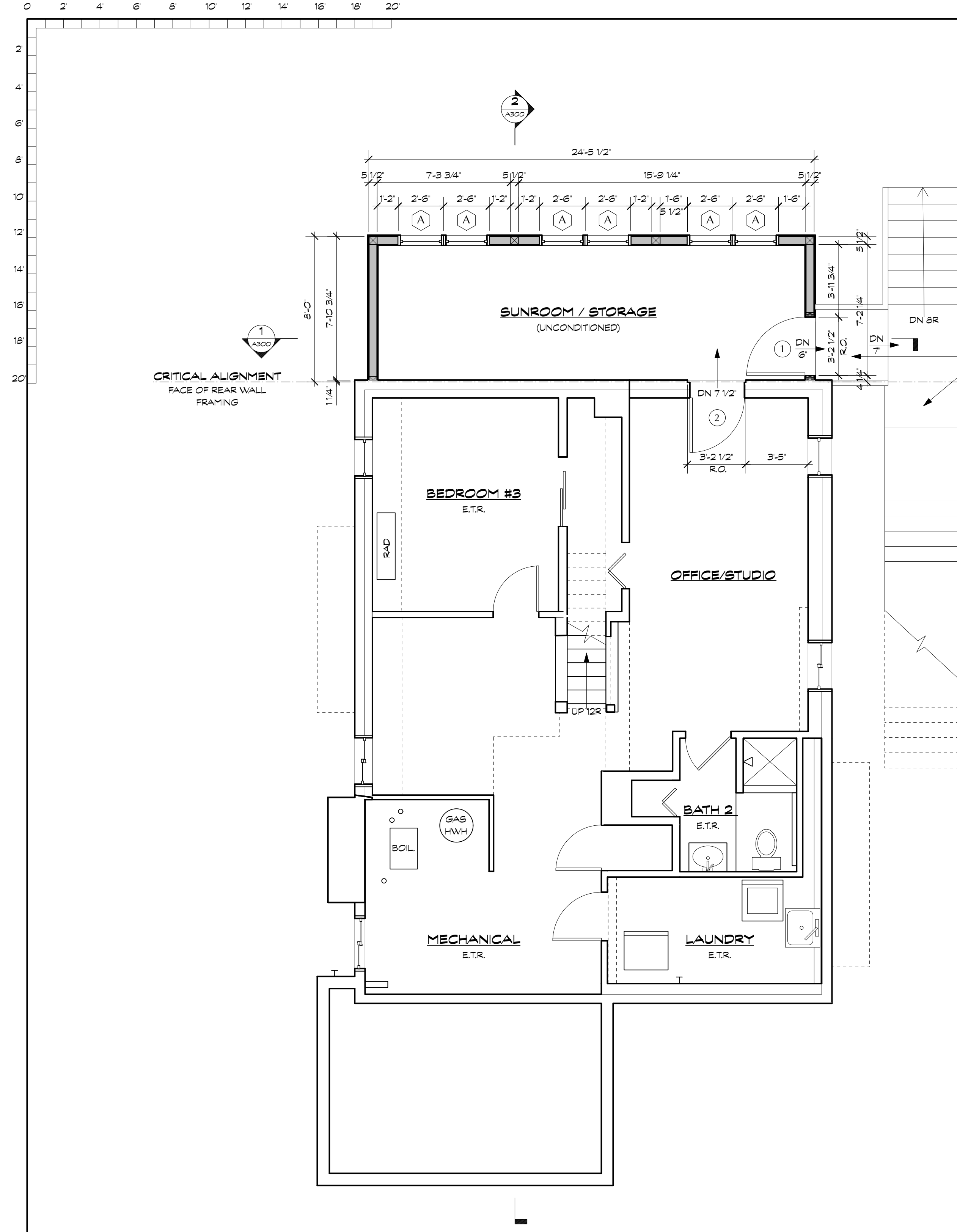
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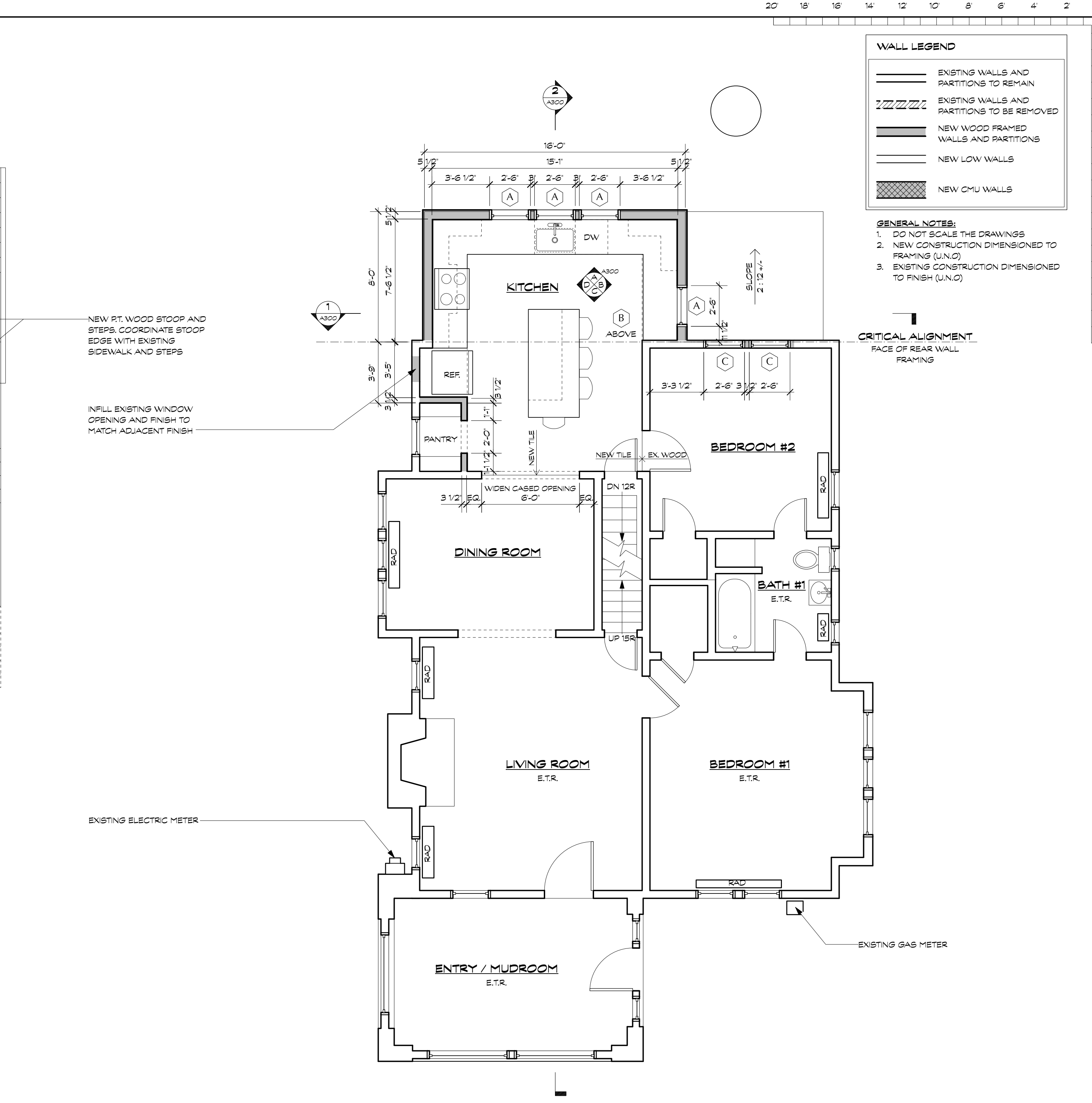
**WALL LEGEND**

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	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
  - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
  - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)



**1 PROPOSED BASEMENT PLAN**  
Scale: 1/4" = 1'-0"



**2 PROPOSED FIRST FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**WINDOW SCHEDULE**

MARK	WEATHER SHIELD SIG. SERIES MODEL NO.	TYPE	UNIT SIZE (W x H)	ROUGH OPENING (W x H)	OPER.	EGRESS	GLAZING	REMARKS	MARK
A	2640 (8122)	DOUBLE HUNG	2-5 1/2' X 3-11 1/2'	2-6' X 4'-0"	Y	N	LOW-E		A
B	2420 (8219)	AWNING	2-3 1/2' X 1-11 1/2'	2-4' X 2'-0"	Y	N	LOW-E		B
C	2650 (8122)	CASEMENT	2-5 1/2' X 4-11 1/2'	2-6' X 5'-0"	Y	Y	LOW-E		C
D									D
E									E
F									F

**NOTES:**

- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.
- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.
- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATHTUB & SHOWER ENCLOSURES.
- PROVIDE ONE EMERGENCY EGRESS WINDOW CONFORMING W/ CODE IN EACH SLEEPING AREA & BEDROOM.  
THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET. THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES. THE MAXIMUM BILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR.
- SEE ELEVATIONS FOR MUNTIN / GRILLE PATTERNS, AND UNIT OPERATION

**DOOR SCHEDULE**

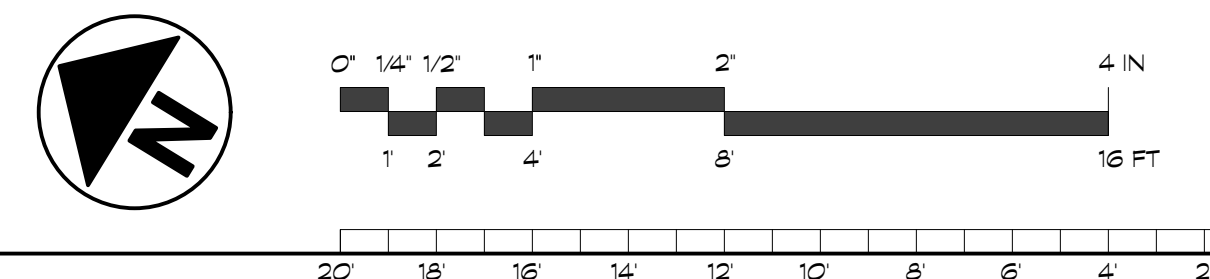
NO.	LOCATION	SIZE	THICKNESS	MATERIAL		TYPE/STYLE	CONFIG	OPER.	HARDWARE	REMARKS	NO.
				DR	FR						
1	SUNROOM / STORAGE	3'-0" X 6'-8"	1 3/4"	WD/GL	WD	HALF-LITE	SWING	SINGLE	LOCKSET & DEADBOLT		1
2	OFFICE / STUDIO	3'-0" X 6'-8"	1 3/4"	WD/GL	WD	HALF-LITE	SWING	SINGLE	LOCKSET		2
3											3
4											4
5											5
6											6
7											7

**BATES-LEVEQUE ADDITION**  
46 Philadelphia Avenue, Takoma Park, MD 20912  
Project # 2319

28 NOVEMBER 2023 - PROGRESS SET

**BASEMENT & FIRST FLOOR PLANS**

**A100**

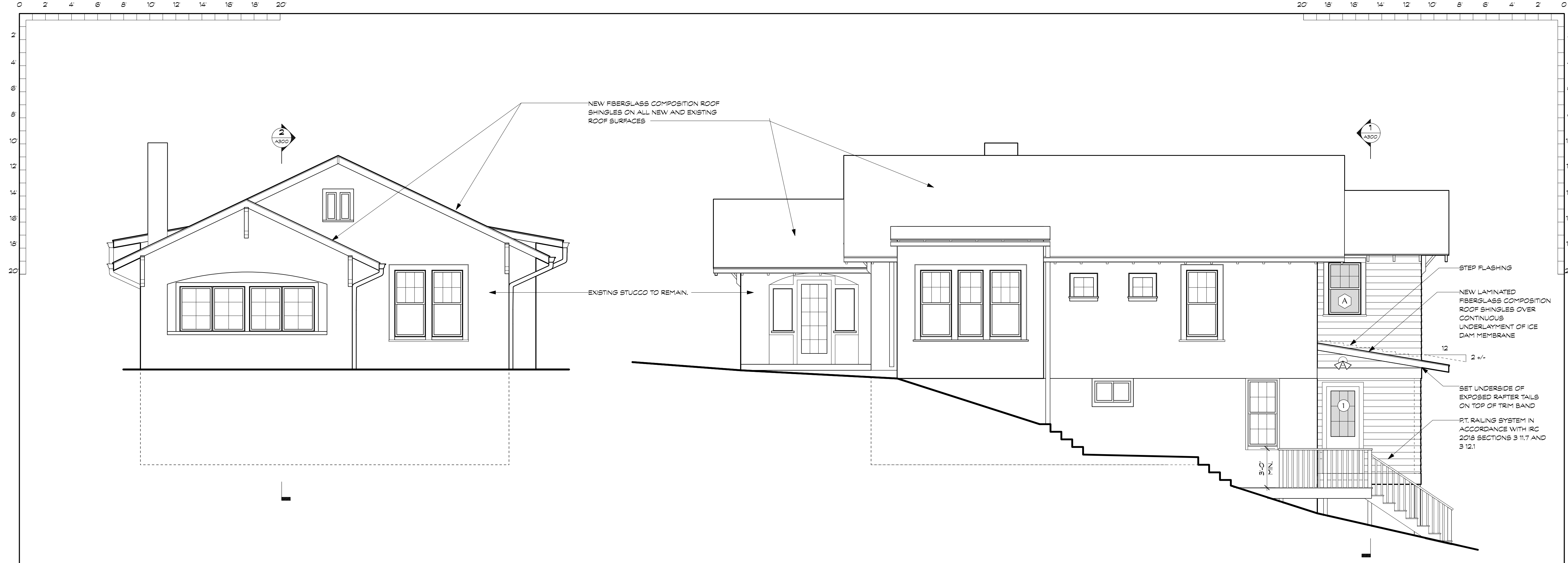


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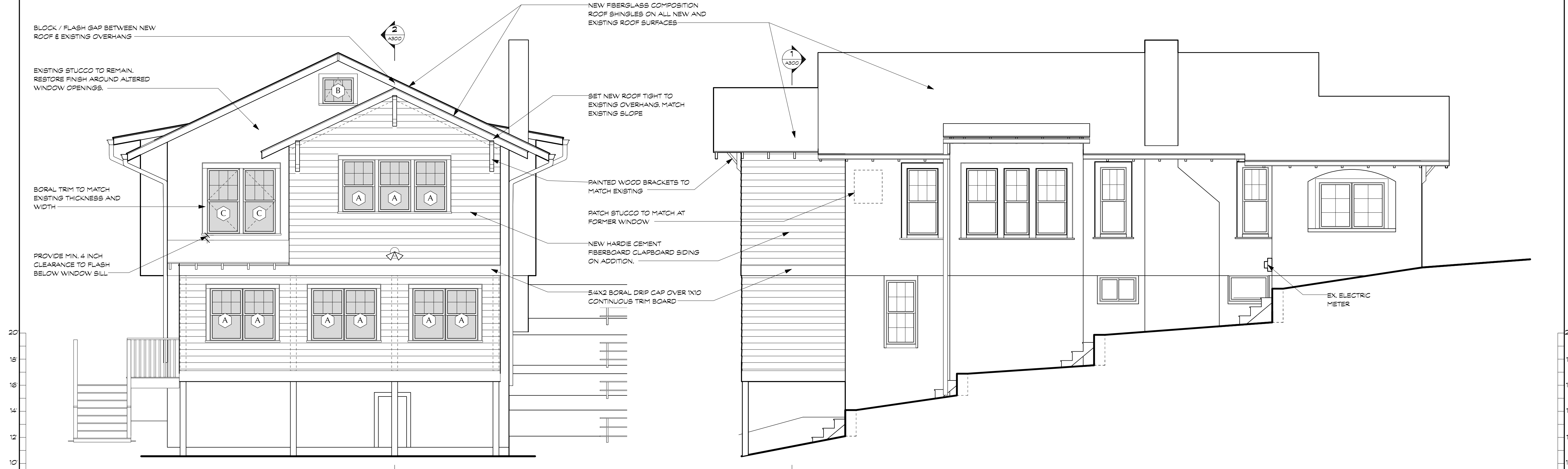
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**1 PROPOSED FRONT ELEVATION**  
Scale: 1/4" = 1'-0"

**2 PROPOSED SIDE ELEVATION**  
Scale: 1/4" = 1'-0"



**3 PROPOSED REAR ELEVATION**  
Scale: 1/4" = 1'-0"

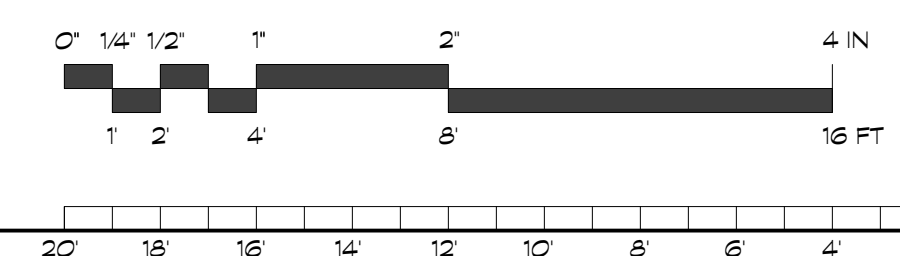
**4 PROPOSED SIDE ELEVATION**  
Scale: 1/4" = 1'-0"

**BATES-LEVEQUE ADDITION**  
46 Philadelphia Avenue, Takoma Park, MD 20912  
Project # 2319

28 NOVEMBER 2023 - PROGRESS SET

ELEVATIONS

**A200**







DATE	ISSUE - REMARKS

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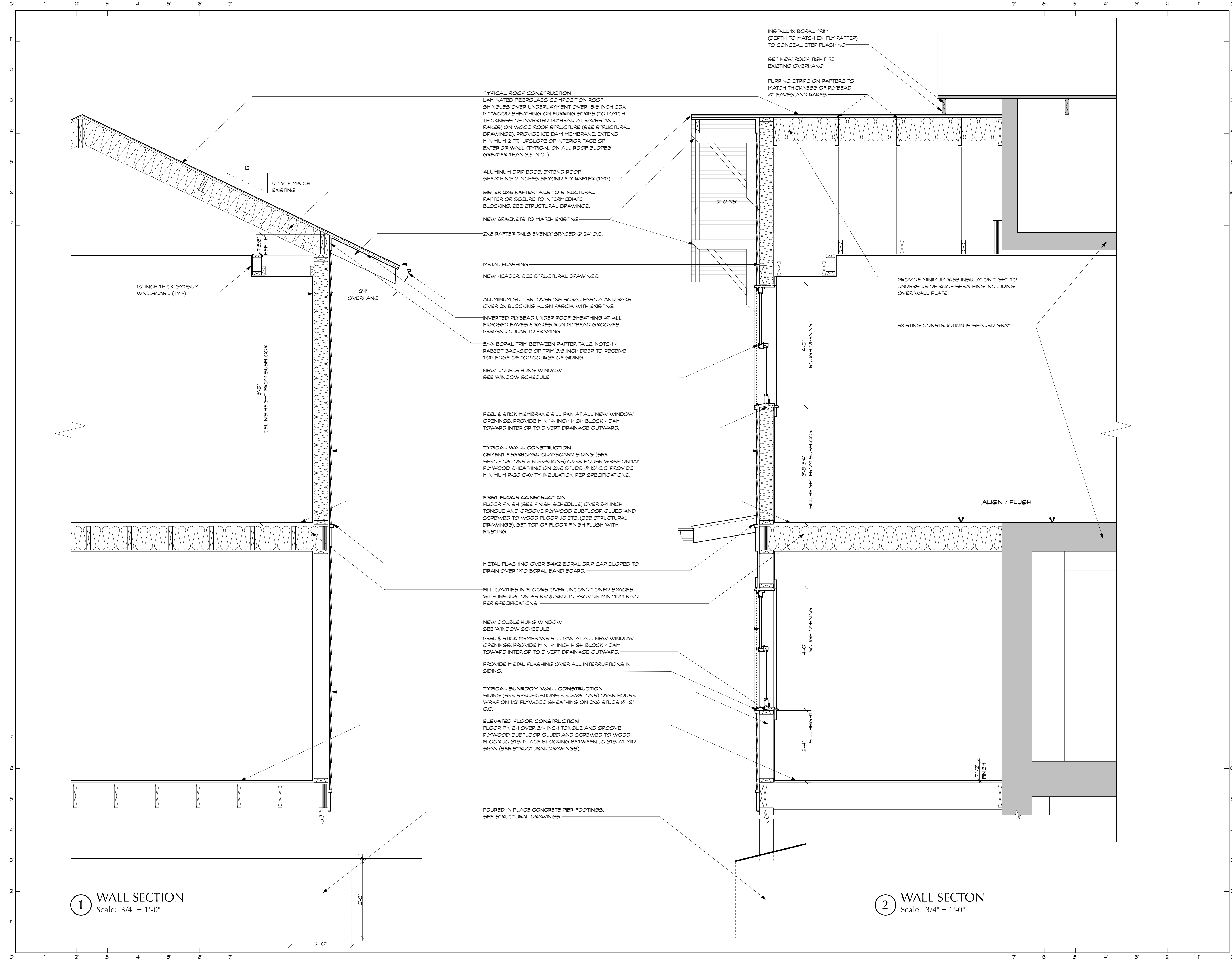
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**BATES-LEVEQUE ADDITION**  
46 Philadelphia Avenue, Takoma Park, MD 20912  
Project # 2319

28 NOVEMBER 2023 - PROGRESS SET

WALL SECTIONS  
**A301**



**1 WALL SECTION**  
Scale: 3/4" = 1'-0"

**2 WALL SECTION**  
Scale: 3/4" = 1'-0"

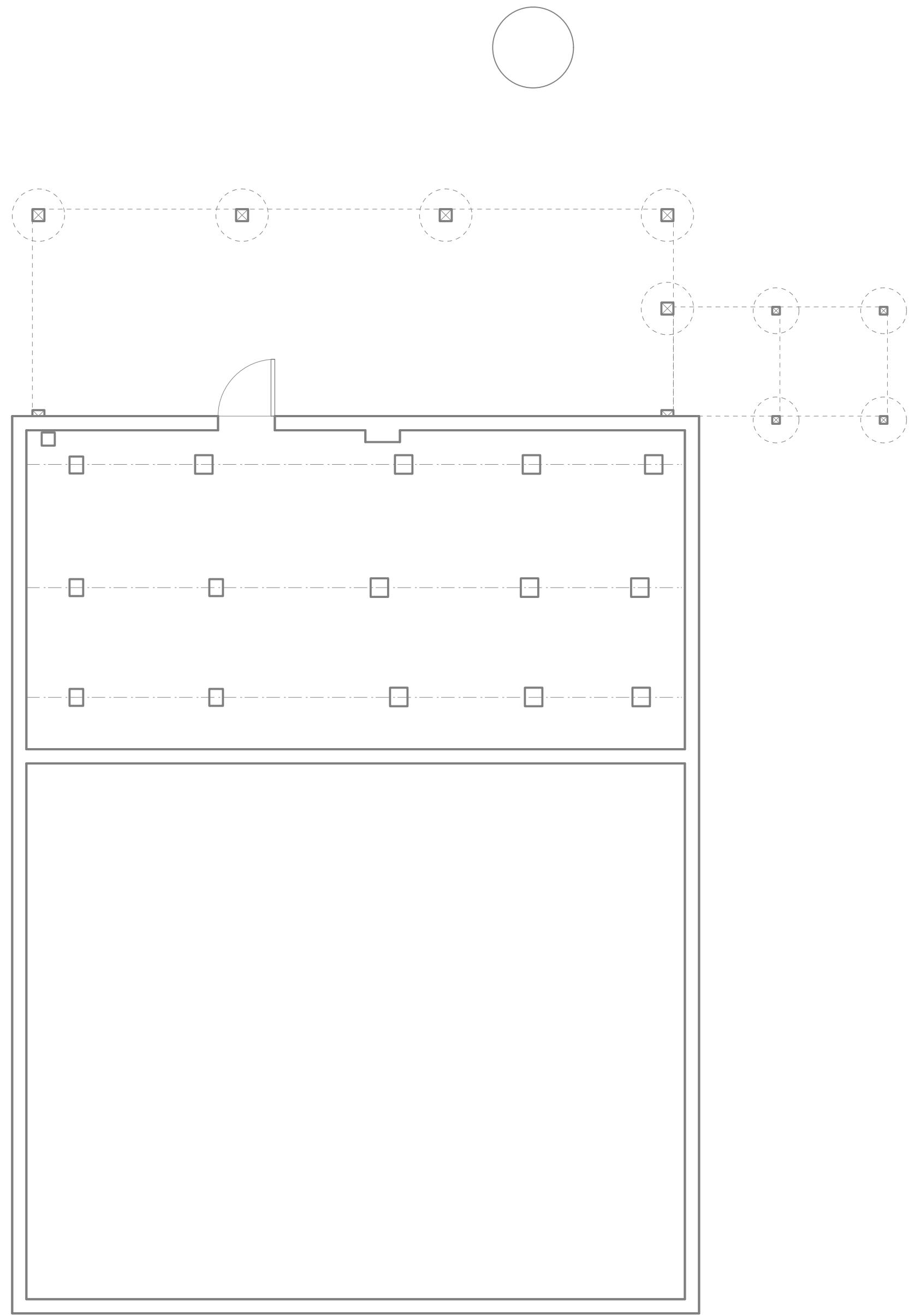


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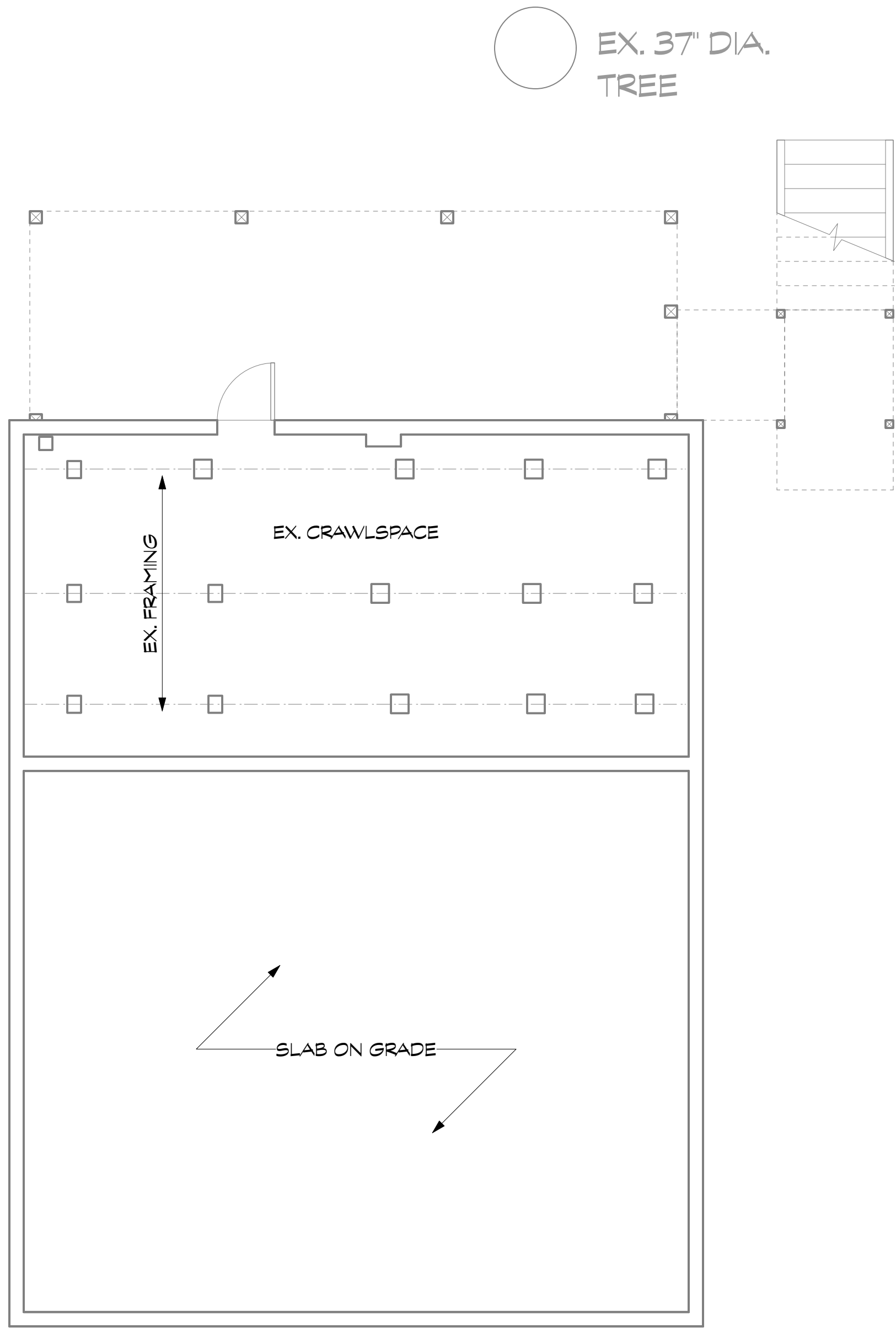
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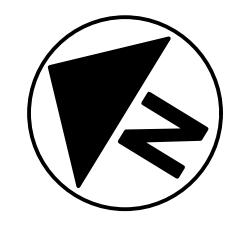
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1 FOUNDATION PLAN  
Scale: 1/4" = 1'-0"



2 LOWER LEVEL FRAMING PLAN  
Scale: 1/4" = 1'-0"



**BATES-LEVEQUE ADDITION**  
 46 Philadelphia Avenue, Takoma Park, MD 20912  
 Project # 2319

FOUNDATION &  
 LOWER LEVEL  
 FRAMING PLANS  
**S100**

28 NOVEMBER 2023 - PROGRESS SET







