

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	11 Montgomery Ave., Takoma Park	Meeting Date:	12/20/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	12/13/2023
Applicant:	Craig & Brandi Sharman	Public Notice:	12/6/2023
Review:	HAWP	Tax Credit:	no
Case Number:	1051631	Staff:	Dan Bruechert
Proposal:	Partial Demolition and Rear Addition Alteration		

RECOMMENDATION

Staff recommends that the Historic Preservation Commission **approve with six (6) conditions** the HAWP application with final approval of all details delegated to staff:

1. AZEK shall be noted in elevation in all locations where it is proposed.
2. The Hardi panel siding shall have a smooth finish and this shall be noted on all drawings and specification sheets.
3. The window and door schedules shall be annotated to note the chosen profiles and spacer bars.
4. The "Typical Exterior Trim- Half Size" detail shall be updated to show the precise dimensions of the AZEK backband.
5. The handrail details shall be updated to note that the railing caps will be wood.
6. All elevation and plan drawings shall be updated to note the porch and stair floorboards shall be wood or Aeratis. If Aeratis is chosen, specification sheets shall be submitted as part of the revised set of drawings.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c.1925



Figure 1: The subject property is located in the middle of the block on Montgomery Ave.

PROPOSAL

The applicant proposes to demolish sections of the rear non-historic addition, and install new siding, windows, door, and exterior stairs.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the

overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story, side gable Colonial Revival house with clapboard siding. At the rear, the historic sleeping porch has been reconfigured and enclosed, built on textured block piers, with multiple siding configurations. The windows in the addition are a mixture of steel casement, fixed light, and one over-one-sash. The applicant proposes to remove the existing walls, windows, and door from the addition and install new exterior siding, windows, and new rear doors. The applicant also proposes demolishing the exterior stairs and installing a new, code-compliant set of wood stairs.

Partial Demolition

All of the elements at the rear of the house are not historic and their removal will not impact the historic character of the house or surrounding district. Staff finds the demolition should be approved as a matter of course.

Proposed Exterior Treatment

The applicant proposes to reconstruct the rear addition to reconfigure the interior space. The space between the textured block piers at the basement level will be filled in with stuccoed Hardie Panels. Siding on the first and second floor will be fiber cement clapboards in a 6" (six inch) exposure with boral trim. New windows will be aluminum clad wood windows in a combination of one-over-one sash windows, six-over-one sash windows, and fixed light windows. The application materials indicate the multi-light windows will be SDLs. At the basement level, the applicant proposes to install a half-light aluminium clad door. The first floor door will be a full-light aluminium clad door.

Staff finds the proposed addition will not alter the size or massing of the existing construction. Staff additionally finds the proposed materials, are appropriate and consistent with the HPC's acceptable materials for additions and new construction in the Takoma Park Historic District. While the HPC typically prefers to see windows and doors stacked to better blend in with the historic character of the traditional architecture, Staff finds that is not necessary in this instance because these features will not be visible from the public right-of-way and will not detract from the character of the house or surrounding district, per the *Design Guidelines*.

New Exterior Stairs

At the rear, there is a set of wood stairs in a single run covered by a small enclosed porch. The applicant proposes to demolish these stairs and install a new, code-compliant, set of wood stairs. A shed roof will cover the entrance landing.

Staff finds the existing stairs are not original and do not contribute to the historic character of the house or surrounding district. Additionally, they do not comply with current code. Staff finds the proposed replacement stairs will be constructed out of an appropriate material (wood) and are simply detailed so as not to detract from the house's simple design. Additionally, the new stairs will not project beyond the side wall plane of the house or effect its massing. Staff finds the proposed stairs are an appropriate alteration and Staff recommends the HPC approve the HAWP.

While the proposal is compatible with the District, the application is missing several details regarding materials and there is information missing from the drawings. Staff has written a condition requiring that AZEK be noted in elevation in all locations where it is proposed, that the Hardi panel have a smooth

finish, that the window and door schedules be annotated to note the chosen profiles and spacer bars, that the “Typical Exterior Trim- Half Size” detail be updated to show the precise dimensions of the AZEK backband, and that the handrail details be updated to note that the railing caps will be wood. Additionally, the plans do not call out a material for the flooring for the new stairs and porch flooring. Per previous HPC approvals, wood or Aeratis are acceptable materials. A condition has been proposed requiring revision of the drawings to show this material detail.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with six (6) conditions** the HAWP application with final approval of all details delegated to staff:

1. AZEK shall be noted in elevation in all locations where it is proposed.
2. The Hardi panel siding shall have a smooth finish and this shall be noted on all drawings and specification sheets.
3. The window and door schedules shall be annotated to note the chosen profiles and spacer bars.
4. The “Typical Exterior Trim- Half Size” detail shall be updated to show the precise dimensions of the AZEK backband.
5. The handrail details shall be updated to note that the railing caps will be wood.
6. All elevation and plan drawings shall be updated to note the porch and stair floorboards shall be wood or Aeratis. If Aeratis is chosen, specification sheets shall be submitted as part of the revised set of drawings.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior’s Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff’s discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____
Date

Marianna Diggs

Ed Diggs

11 Montgomery Ave.

Takoma Park, MD 20912

Adjoining Property Owners

HAWP

James Ogorzalek

13 Montgomery Ave.

Takoma Park, MD 20912

Susan Huffman

9 Montgomery Ave.

Takoma Park, MD 20912

Philip Schuler

Rachel Schmidt

10 Montgomery Ave.

Takoma Park, MD 20912

Paul Miller

12 Montgomery Ave.

Takoma Park, MD 20912

112 Elm Avenue

Takoma Park, MD 20912

110 Elm Avenue

Takoma Park, MD 20912

108 Elm Avenue

Takoma Park, MD 20912

14 Montgomery Avenue

Takoma Park, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

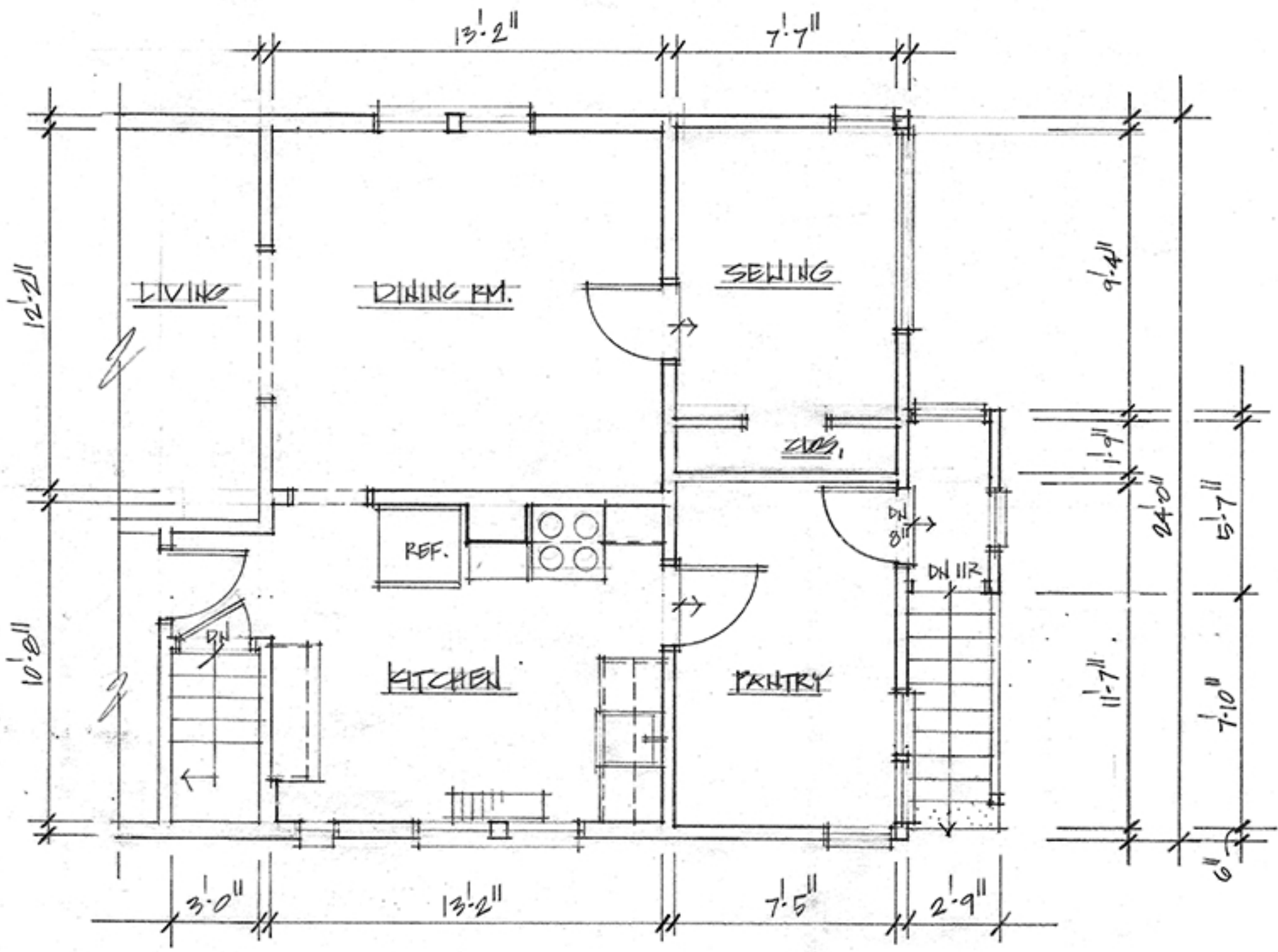
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*





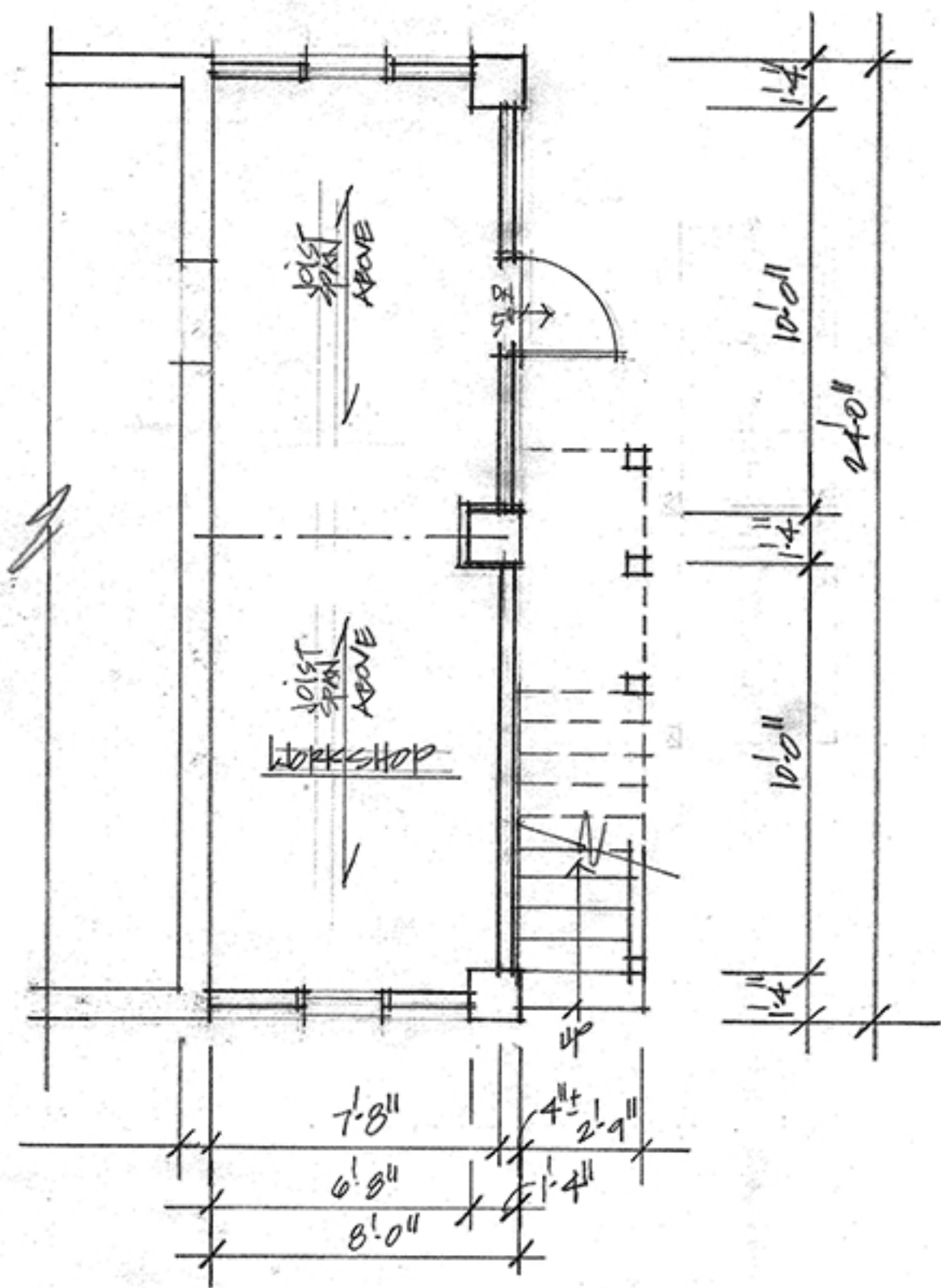
EXISTING FIRST FLOOR
 1/4" = 1'-0"

DIGGS RESIDENCE
 11 MONTGOMERY AVE.
 TAKOMA PARK, MD



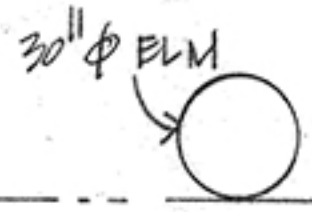
5

12



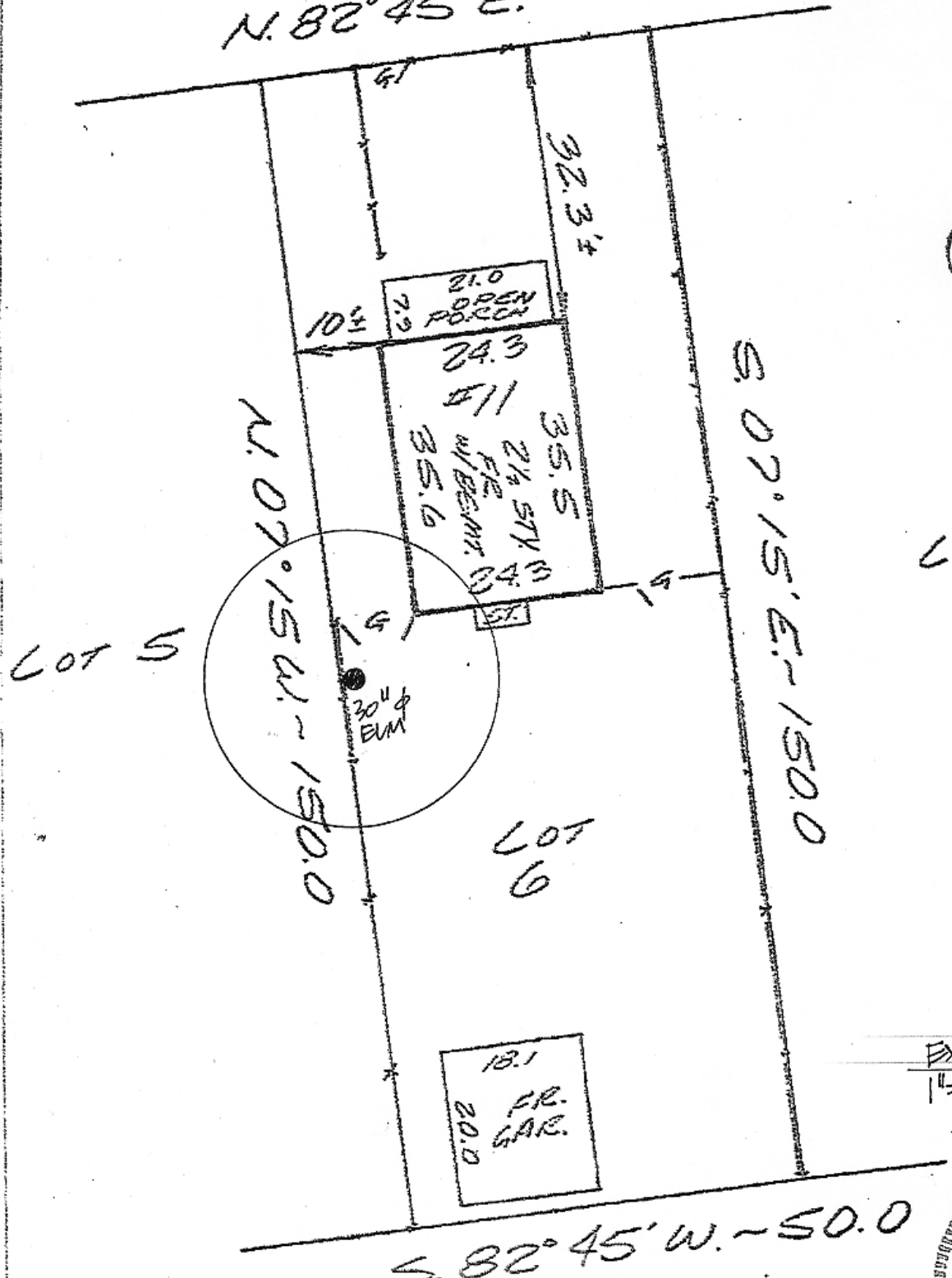
EXISTING BASEMENT

1/4" = 1'-0"



(4)

N. 82° 45' E. - 50.0



17

LOT 7

EXISTING SITE PLAN
1" = 20' 0"

CAPITOL SURVEYS



NOTE: This drawing is not intended to establish property lines nor is the existence of corner markers guaranteed. All information shown hereon taken from the land records of the county or city in which the property is located.

HOUSE LOCATION
 LOT - 6 BLOCK - 17
 B. F. GILBERT'S ADDITION
 TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

I hereby certify that the position of all of the existing measurements on the above described property have been established by a transit tape measurement and that unless otherwise shown there are no visible encroachments.

Louis Cohen
 LOUIS COHEN
 Registered Land Surveyor
 Maryland No. 1961

DATE: SEPT. 6, 1983

Recorded in Plat Book A Case: L-202

Plat 2 Scale 1" = 30' File: 15174



DESCRIPTION OF *EXISTING* STRUCTURE,
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES
AT:

11 Montgomery Ave., Takoma Park, MD 20912

This is an "Contributing Resource" Colonial Revival-style house, built in 1923, and it is located in the Takoma Park Historic District. It is a 2 -story house, rectangular in shape; the original house is 24'-4" wide x 28'-6" long, with a 24'-4" wide x 8'-0" long 2-story addition built on the rear at a later time, probably as a sleeping porch. There is an 8'-0" deep covered front porch across the front.

- a. Original House Structure:** *The main house structure is wood framed and is gabled (7+/-:12 slope), with the ridge parallel to Montgomery Ave.*
- b. Foundation:** *The main house foundation is rusticated CMU, and the rear addition has 3 rusticated CMU piers.*
- c. Exterior Finish:** *The exterior finish of the original house is 3-lap ogee wood siding. The rear addition has a combination of 10" asbestos siding, 3-lap ogee wood siding and vertical beadboard siding. The trim at windows and doors is a 1 x 4 with a wood backband at the perimeter.*
- d. Windows:** *The original windows are painted wood, most with a 6-over-1 muntin arrangement.*

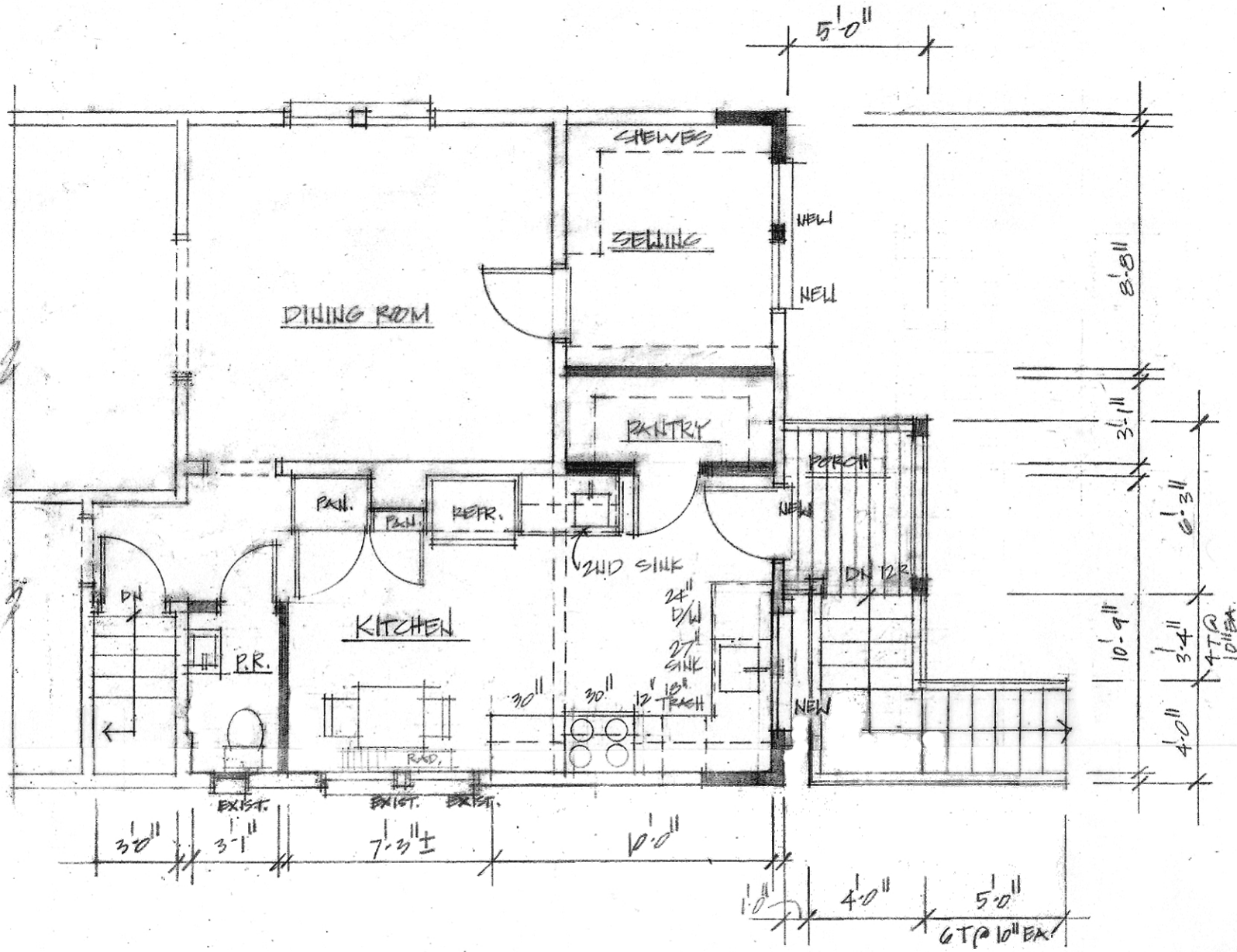
DESCRIPTION OF THE *PROPOSED* PROJECT AND ITS
EFFECT ON THE HISTORIC RESOURCE:

11 Montgomery Ave., Takoma Park, MD 20912

All of the exterior work on the house involves only the 24'-4" wide x 8'-0" long rear addition, as well as the new rear covered porch and stairs to grade.

It will be renovated/built using the following materials/details:

1. **Foundation/ Wall:** Existing CMU foundation to be painted/restored. The infill walls between CMU piers to be finished with Hardie panel with a painted stucco-type finish.
2. **Exterior Finish (1st & 2nd floors):** Painted fiber cement smooth lap siding with a 6" exposure.
3. **Exterior Trim:** Corner trim will be a 5/4 x 4 Boral trim, painted. Window and door trim will be a 1 x 4 Boral trim, with an Azek AZM-6931 PVC backband, all painted. Window subsills will be an Azek AZM-6930 Historic subsill, ptd..
4. **Roofing:** Asphalt shingles.
5. **Windows and Doors:** The new 1st Floor windows will be 2 aluminum-clad wood double-hung (6-over-1), and 1 aluminum-clad fixed window (in the kitchen). In the basement, the 4 double-hung windows will be 1-over-1 aluminum-clad wood windows. The door will be an aluminum-clad wood door with one large glass lite, divided with SDL muntins into 4 equal lites.

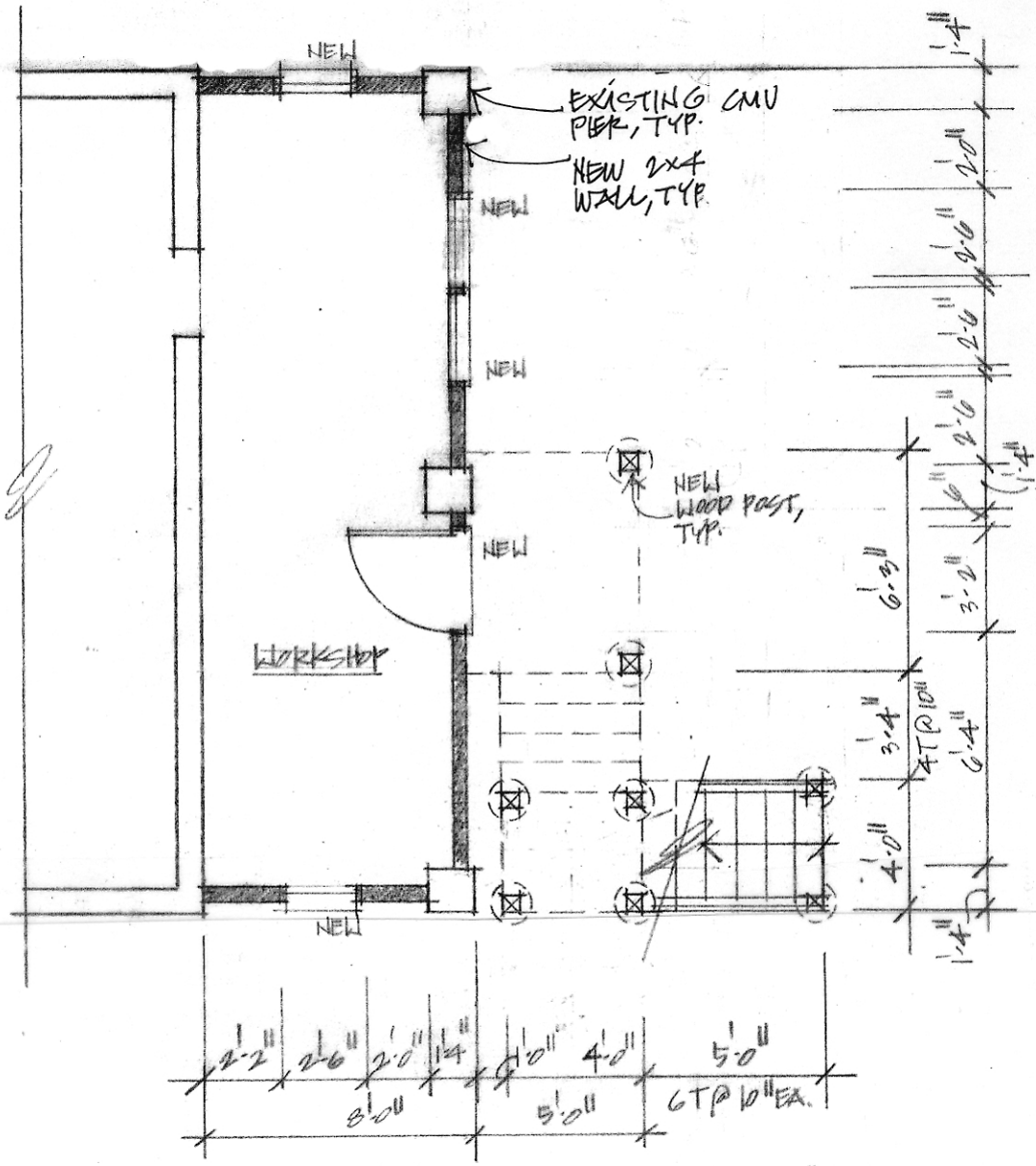


Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)806-6447 cell

PROPOSED FIRST FLOOR
 1/4" = 1'-0"

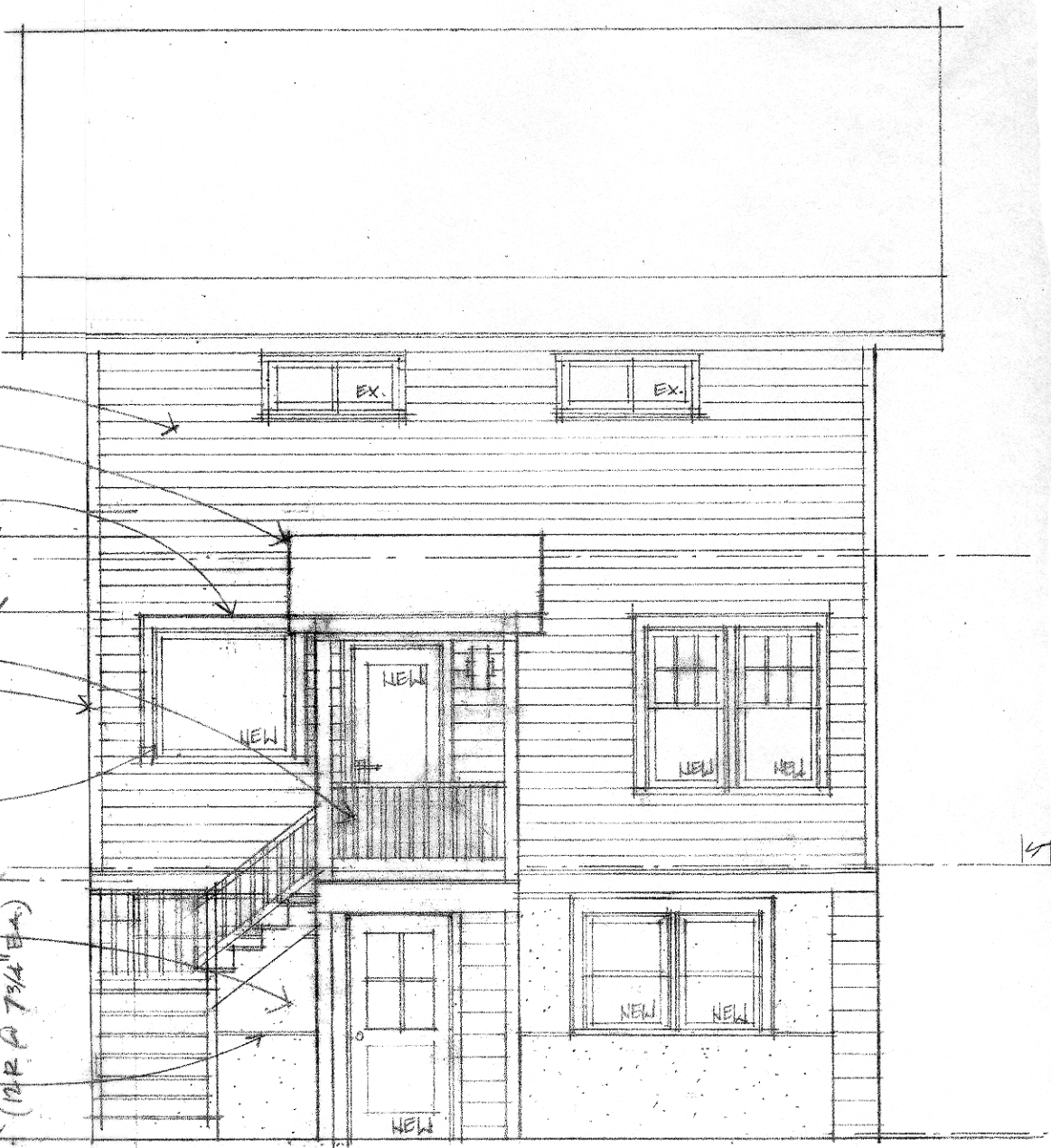
30" φ ELM
 11000 RESIDENCE
 11 MONT. AVE
 TAKOMA PARK

1



PROPOSED BASEMENT PLAN
 1/4" = 1'-0"

4



NEW 6" EXPOSURE
FIBER CEMENT
SIDING, PTD.

ASPHALT
SHINGLE SHED
ROOF

1x4 BOBOL
TRIM W/ AZEK
AZEK 6921
BACKLND, PTD.

NEW PTD.
WOOD RAILING
& WOOD PORCH

5/4 x 4 BOBOL
TRIM, PTD.

NEW
ALUM. CLAD WOOD
WINDOW, TYP.

PORCH 1ST

STUCCO ON
EXTER. PANEL,
PTD.

HORIZONTAL
ALUMINUM
PANEL TRIM
TYP.

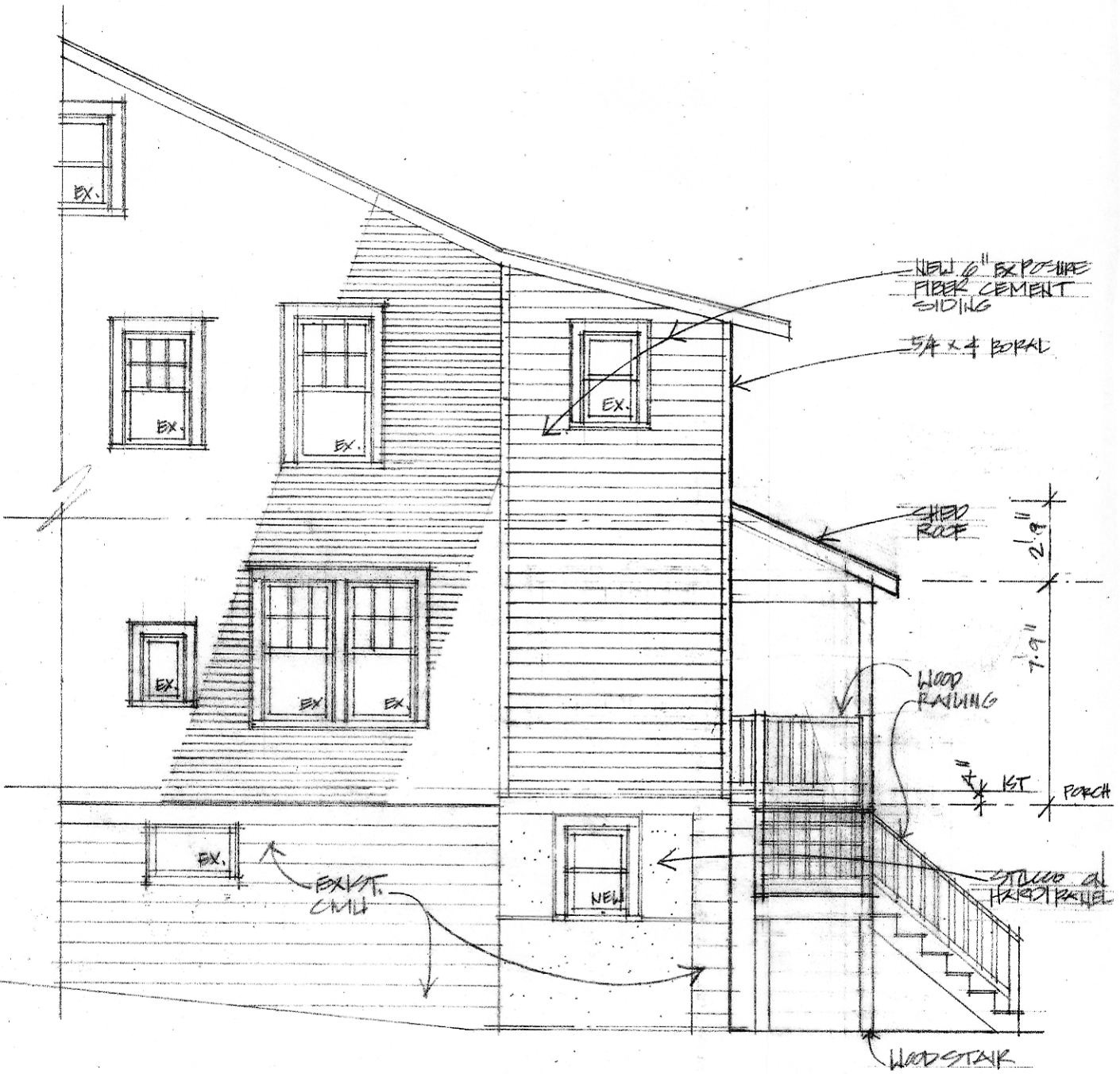
2'-0"

8'-0"

7'-9"
(OR A 7 1/4" DIA.)

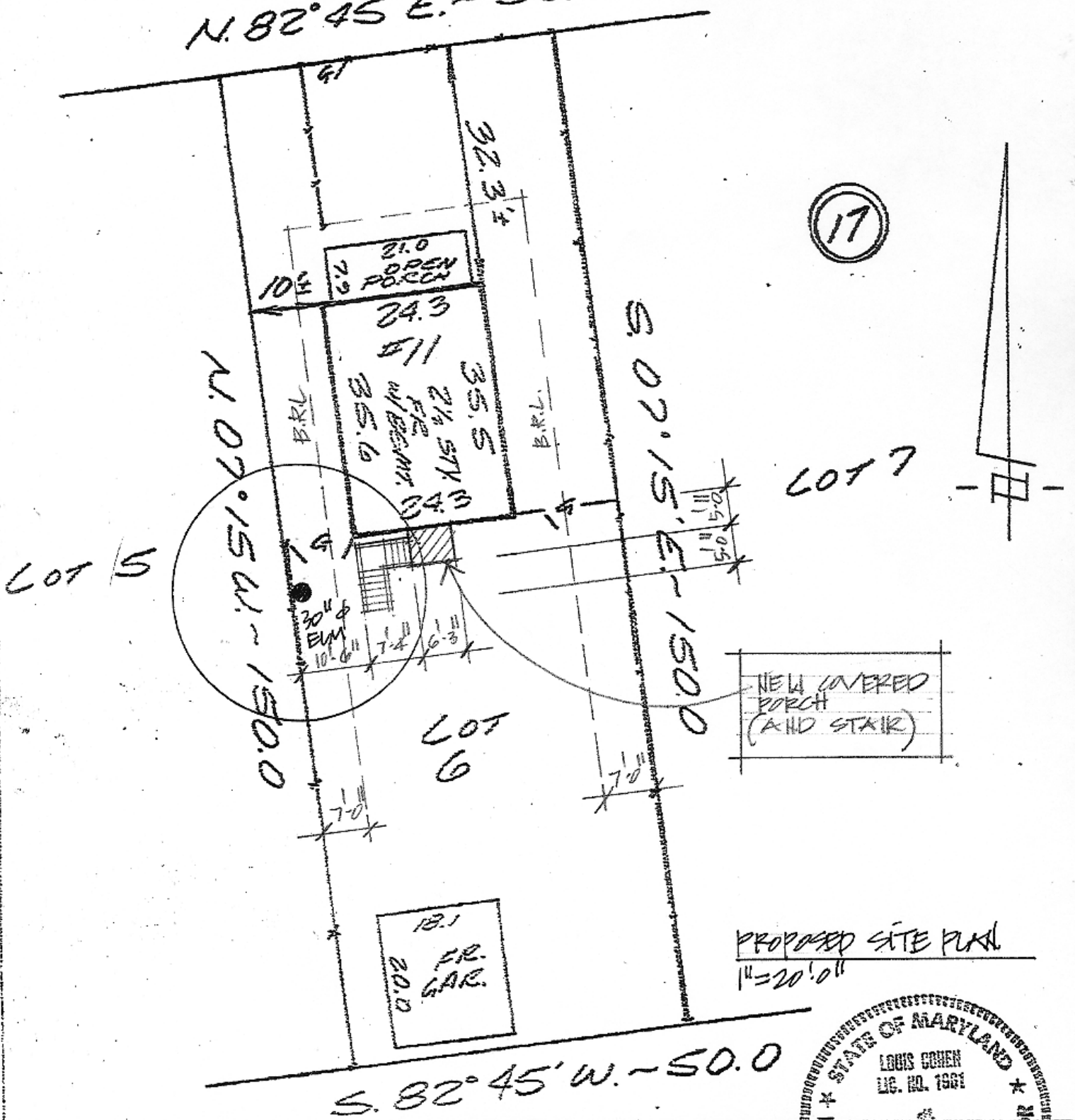
PROPOSED REAR ELEVATION

1/4"



PROPOSED SIDE ELEVATION
 $\frac{1}{4}'' = 1'-0''$

N. 82° 45' E. - 50.0



CAPITOL SURVEYS

NOTE: This drawing is not intended to establish property lines nor is the existence of corner markers guaranteed. All information shown hereon taken from the land records of the county or city in which the property is located.

HOUSE LOCATION
 LOT - 6 BLOCK - 17
 B. F. GILBERT'S ADDITION
 TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book A Plat 2 Scale 1" = 30'

DATE: SEPT. 6, 1983

CASE: L-202

FILE: 15174



I hereby certify that the position of all of the existing improvements on the above described property have been established by a transit tape measurement and that unless otherwise shown there are no visible encroachments.

LOUIS COHEN
 Registered Land Surveyor
 Maryland No. 1961









1X Trim Sizes**5/4 Trim Sizes****2X Trim Sizes**

Nominal

Actual

Nominal

Actual

Nominal

Actual

2 x 2

1-1/2" x 1-1/2"

1 x 3

3/4" x 2-1/2"

5/4 x 3

1" x 2-1/2"

1 x 4

3/4" x 3-1/2"

5/4 x 4

1" x 3-1/2"

2 x 4

1-1/2" x 3-1/2"

1 x 5

3/4" x 4-1/2"

5/4 x 5

1" x 4-1/2"

1 x 6

3/4" x 5-1/2"

5/4 x 6

1" x 5-1/2"

2 x 6

1-1/2" x 5-1/2"

1 x 8

3/4" x 7-1/4"

5/4 x 8

1" x 7-1/4"

2 x 8

1-1/2" x 7-1/4"

1 x 10

3/4" x 9-1/4"

5/4 x 10

1" x 9-1/4"

2 x 10

1-1/2" x 9-1/4"

1 x 12

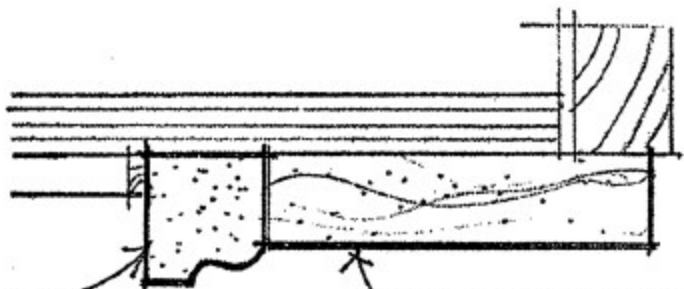
3/4" x 11-1/4"

5/4 x 12

1" x 11-1/4"

2 x 12

1-1/2" x 11-1/4"



AZEK
AZM-6931
BACKBAND
(PAINTED)

1 x 4 BOARD (PAINTED)



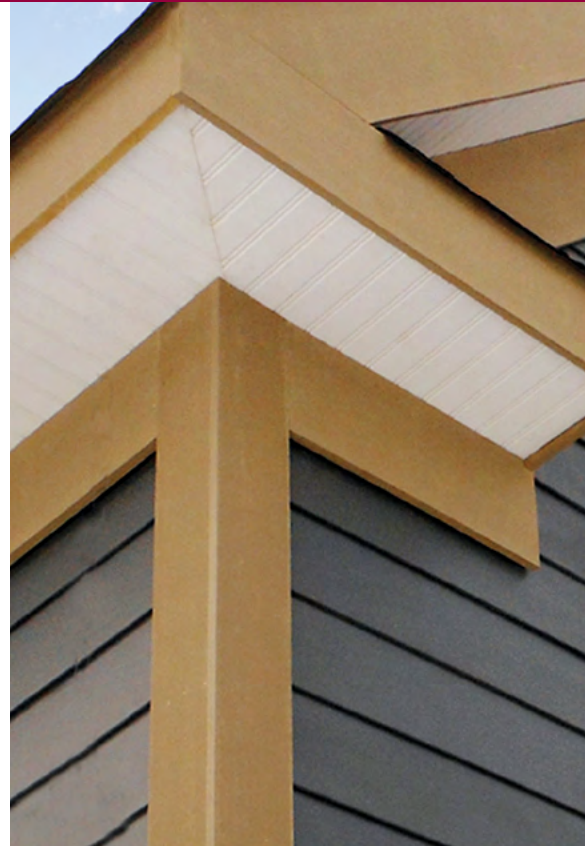
TYPICAL EXTERIOR TRIM
HALF SIZE

Boral TruExterior® Trim
Build something great™



Boral TruExterior® Beadboard

5/8 x 6 x 16 - Edge & Center Bead / V-Groove



Boral TruExterior® Beadboard

Boral TruExterior® Trim and its complimentary Beadboard profile are pioneering a new category of exterior trim that provides exceptional performance, superior workability and a lasting appearance.

Applications & Workability

Boral TruExterior® Beadboard offers the traditional look of wood beadboard without the detriments that plague wood products, such as rotting, cupping, and twisting. In addition to the benefits of Boral TruExterior® Trim's standard 1x and 5/4 trim profiles; this product is "tongue-and-grooved" which allows it to be fastened through the tongue, resulting in a clean look free from visible fasteners.

Ideal for porch ceilings, soffits, and decorative wall applications; Boral TruExterior® Beadboard allows for a variety of installations, as it can be installed in either parallel or perpendicular directions. The high level of dimensional stability† allows the product to be installed 24" on center without the need for additional backing for added support. As with other Boral TruExterior® Trim products, the Beadboard profile is not susceptible to moisture absorption† and does not require priming or sealing of cut ends.

Once installed and painted, Boral TruExterior® Beadboard offers the look of traditional wood beadboard or it can be reversed to offer a contemporary "V-groove" appearance, without the worry of issues associated with wood products, such as rotting, cupping or twisting.

With a variety of low maintenance applications, high level of dimensional stability† and ease of installation Boral TruExterior® Beadboard is truly "Like no other..."

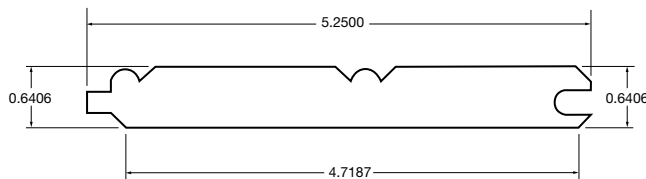


Boral TruExterior® Beadboard Facts

- Maintains high level of dimensional stability†
- No need to prime end or field cuts
- Easily accepts paint of any color
- Reversible edge & center bead and V-groove profiles
- Workability exceeds wood beadboard
- Resists rot and termite attacks†
- Installs with standard woodworking tools and methods
- No cracking or splitting from moisture
- Accepts a wide variety of fasteners
- Spans up to 24" on center and can be run parallel to the house for soffit applications
- Made in the USA
- 20-year limited warranty

Product Dimensions

5/8 x 6 x 16 (5/8" x 5 1/4" x 16' actual)



Boral TruExterior® Beadboard is designed for non-structural applications and is ideal for soffits, porch ceilings and other moisture-prone areas.



888-9BORAL9
www.BoralTruExterior.com

LIKE NO OTHER...

Boral TruExterior® Beadboard offers real workability that exceeds that of wood. It also maintains a high level of dimensional stability during periods of temperature and moisture change†. As a low maintenance product, Boral TruExterior® Beadboard provides contractors additional freedom, while resisting moisture related issues that typically plague wood such as cracking, splitting and rotting.

SUSTAINABILITY

Boral TruExterior® Trim's sustainable properties are a result of a combination of recycled polymers and highly refined recovered coal combustion products, which are endorsed by the US Green Building Council (USGBC) for use in construction materials.



- First and only exterior trim product to receive *Cradle to Cradle Certified*™ designation*



- Minimum 70% recycled content as certified by SCS. Highest amount among all exterior trim products

- Boards are produced in a new, state of the art LEED Silver certified commercial facility

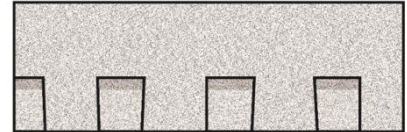
*Cradle to Cradle is a certification licensed by the Cradle to Cradle Products Innovation Institute.

†Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

Landmark® Shingles

PRODUCT INFORMATION

Landmark® shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark (and Algae Resistant-AR) shingles are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark is produced with the unique NailTrak® nailing feature.



Landmark algae-resistant (AR) shingles are algae-resistant and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae. AR shingles are not available in all regions.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

Applicable Standards

ASTM D3018 Type I	ICC-ES ESR-1389 and ESR-3537
ASTM D3462	CSA Standard A123.5 (Regional)
ASTM E108 Class A Fire Resistance	Miami-Dade Product Control Approved (Regional)
ASTM D3161 Class F Wind Resistance	Florida Product Approval # FL5444
ASTM D7158 Class H Wind Resistance	Meets TDI Windstorm Requirements
UL 790 Class A Fire Resistance	

Technical Data:

	Landmark (and AR)
Weight/Square (approx.)	217 to 229 lb *
Dimensions (overall)	13 1/4" x 38 3/4"
Shingles/Square (approx.)	66
Weather Exposure	5 5/8"

*Dependent on manufacturing location

INSTALLATION

Detailed installation instructions are supplied on each bundle of Landmark shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Hips and Ridges: For capping hip and ridge apply CertainTeed Shadow Ridge®, Cedar Crest® or Mountain Ridge® shingles of a like color.

MAINTENANCE

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Landmark (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects when applied to stated CertainTeed application instructions for this product. In addition, Landmark (and AR) carry up to 10-years of SureStart™ Protection. Landmark AR shingles carry a 10-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

TECHNICAL SUPPORT

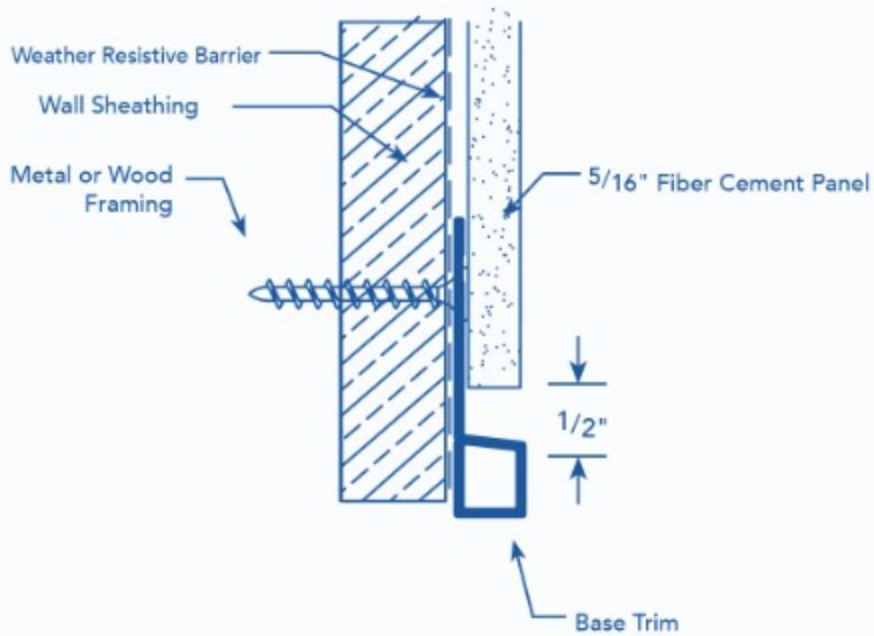
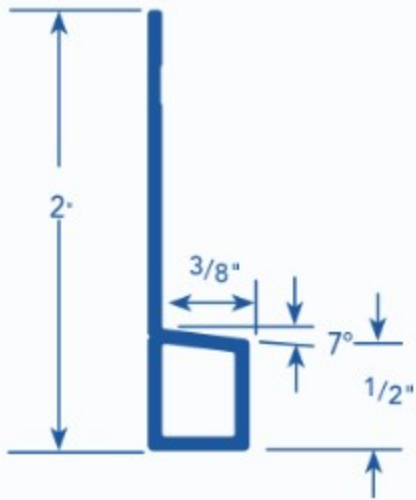
Technical Service Department: 800-345-1145
e-mail: RPG.T.Services@saint-gobain.com

FOR MORE INFORMATION

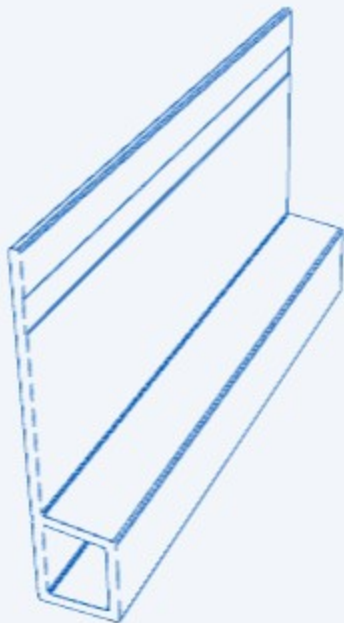
Customer Experience Team: 800-233-8990
e-mail: gethelp@saint-gobain.com
Web site: www.certainteed.com

CertainTeed
20 Moores Road
Malvern, PA 19355





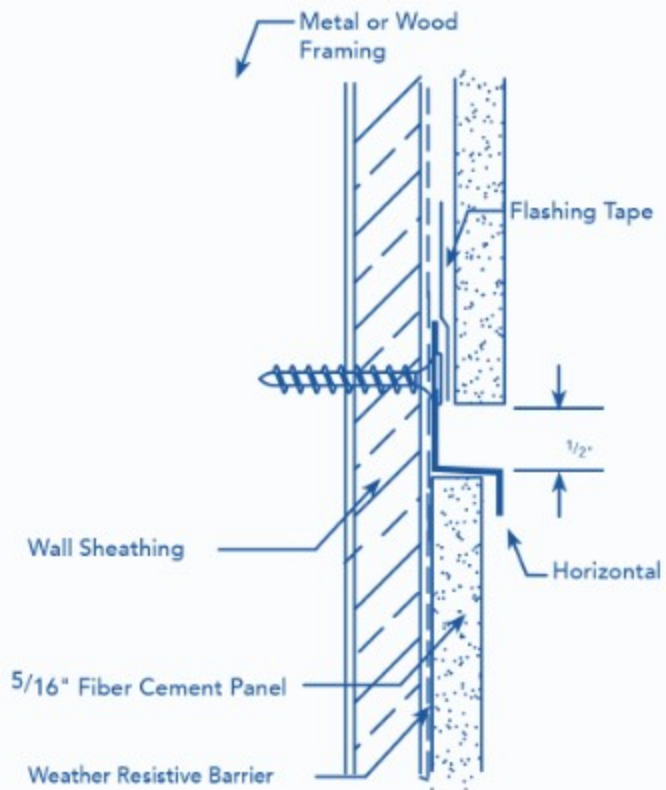
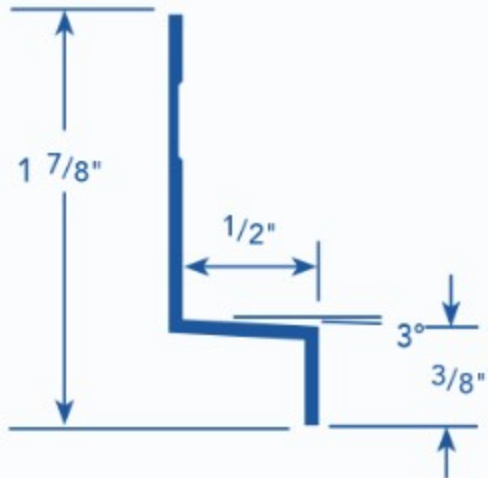
H10 Base

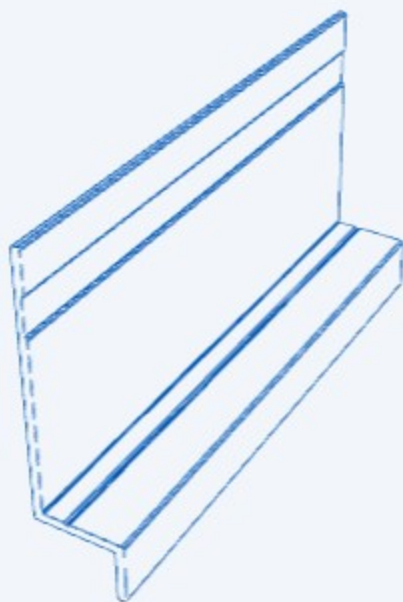


The Base creates a traditional reveal used as a starting, continuous horizontal ledge of 5/16" fiber cement siding. The exposed reveal is angled to channel moisture away from the building's envelope.

The Base is available in 10' lengths and a variety of finishes.







H1 | H2 Horizontal

The Horizontal creates a traditional reveal between horizontal ends of 5/16" fiber cement panels. The exposed flange is angled to channel moisture away from the building's envelope.

Additionally, the Horizontal provides a tucking element over vertical members, allowing for efficient and clean joinery details in the field.

The Horizontal is available in 10' lengths and a variety of finishes.



HARDIE® BACKER BOARD

500 CEMENT BOARD

Hardie® Backer Board 500 cement board is resistant to damage from moisture. Its smooth surface allows for finishing with paint, wallpaper or texture.

PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS: 0.42"

LENGTH: 60"

WIDTHS: 36"

[Warranty Information >](#)

Not finding the color you're looking for?

[+ See More Color Options](#)

PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS:	0.312"	
LENGTH:	144" boards	
WIDTHS:	6.25"	5.25"
EXPOSURES:	5"	4"
	7.25"	8.25"
	6"	7"

[Warranty Information >](#)

[Request a Quote >](#)

[Request a Sample](#)



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 11/28/2023

Application No: 1051631
AP Type: HISTORIC
Customer No: 1479171

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 11 MONTGOMERY AVE
TAKOMA PARK, MD 20912

Othercontact VITULLO

Homeowner Diggs (Primary)

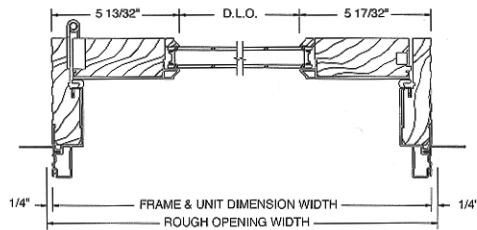
Historic Area Work Permit Details

Work Type ALTER

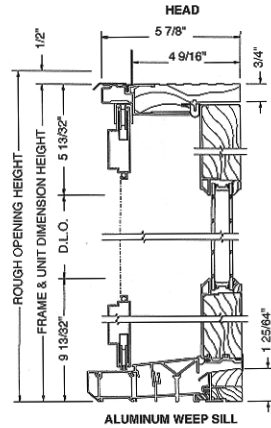
Scope of Work Demolish rear covered wood stoop and stair; build new covered wood porch and stair. Renovate rear basement workshop and 1st floor kitchen and storage room.

Inswing Doors | Cross Section Drawings

Horizontal Section

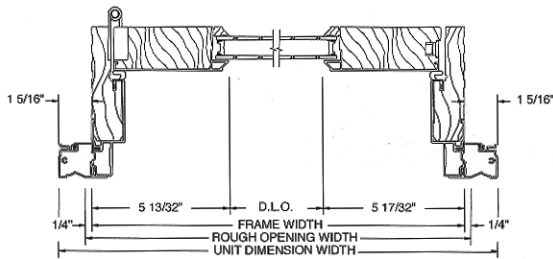


Vertical Section

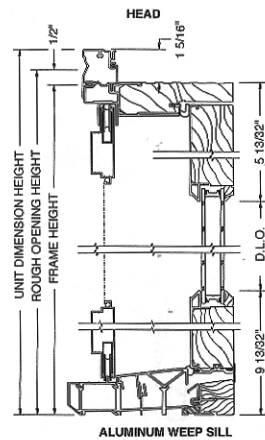


Inswing Door with 1-15/16" Brickmould

Horizontal Section

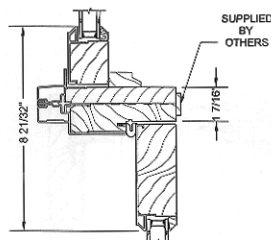


Vertical Section

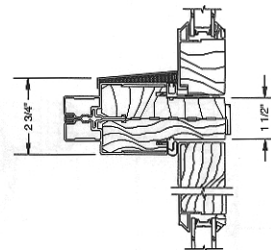


Transom Stacked Over Inswing Door

Standard



Optional

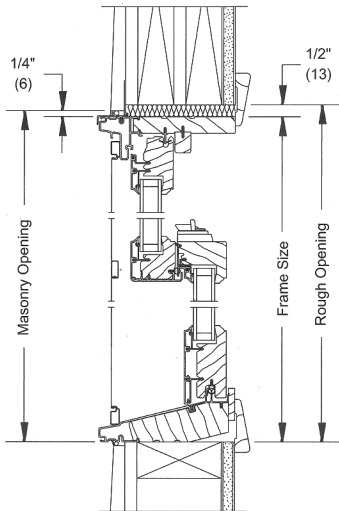


NOTE: Drawings are not to scale.

Brickmould is shown factory-applied. Brickmould may be shipped loose for field application.

Some units are shown with optional drip cap or nailing fin. For Ultra accessory or application drawings, see pgs. 198-204. Additional and the most current drawings are available at www.kolbewindows.com.

DOUBLE HUNG G2



HEAD JAMB AND SILL - OPERATOR

Authentic Divided Lite (ADL)



Separate pieces of glass are glazed between muntin bars - the way windows have been made since the beginning but with Marvin's updated design to increase energy efficiency.

Simulated Divided Lite (SDL)



An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

Simulated Divided Lite with Spacer Bar (SDLS)



Paired with SDL bars on the exterior of the glass, a spacer bar is installed between the glass, creating an even closer match to the Authentic Divided Lite look.

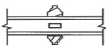
Grilles-between-the-Glass (GBGs)



Grilles are permanently installed between the glass panes for a low-maintenance, smooth exterior and easy cleaning. Choose from 6 exterior colors and 3 interior colors.

PRODUCT OPTIONS

MUNTIN PROFILES



WOOD 5/8" (16) SDL
WITH SPACER BAR



CLAD 5/8" (16) SDL
WITH SPACER BAR



WOOD 7/8" (22) SDL
WITH SPACER BAR



CLAD 7/8" (22) SDL
WITH SPACER BAR



WOOD 1 1/8" (29) SDL
WITH SPACER BAR



CLAD 1 1/8" (29) SDL
WITH SPACER BAR



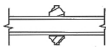
WOOD 1 15/16" (50) SDL
WITH SPACER BAR



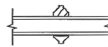
CLAD 1 15/16" (50) SDL
WITH SPACER BAR



WOOD OGEE INTERIOR 1 1/8" (29) SDL
CLAD EXTERIOR 1 1/8" (29) SDL
WITH SPACER BAR



WOOD 5/8" (16) SDL
WITHOUT SPACER BAR



CLAD 5/8" (16) SDL
WITHOUT SPACER BAR



WOOD 7/8" (22) SDL
WITHOUT SPACER BAR



CLAD 7/8" (22) SDL
WITHOUT SPACER BAR



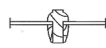
WOOD 1 1/8" (29) SDL
WITHOUT SPACER BAR



CLAD 1 1/8" (29) SDL
WITHOUT SPACER BAR



WOOD 1 11/16" (43) ADL*



WOOD 7/8" (22) ADL*

HANDRAIL

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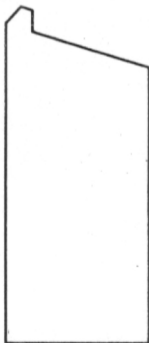
P
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SM-8840
1-1/2 X 3-1/2
TOP PORCH RAIL



LWM-237
1-1/4 X 1-1/4
BALUSTER STOCK

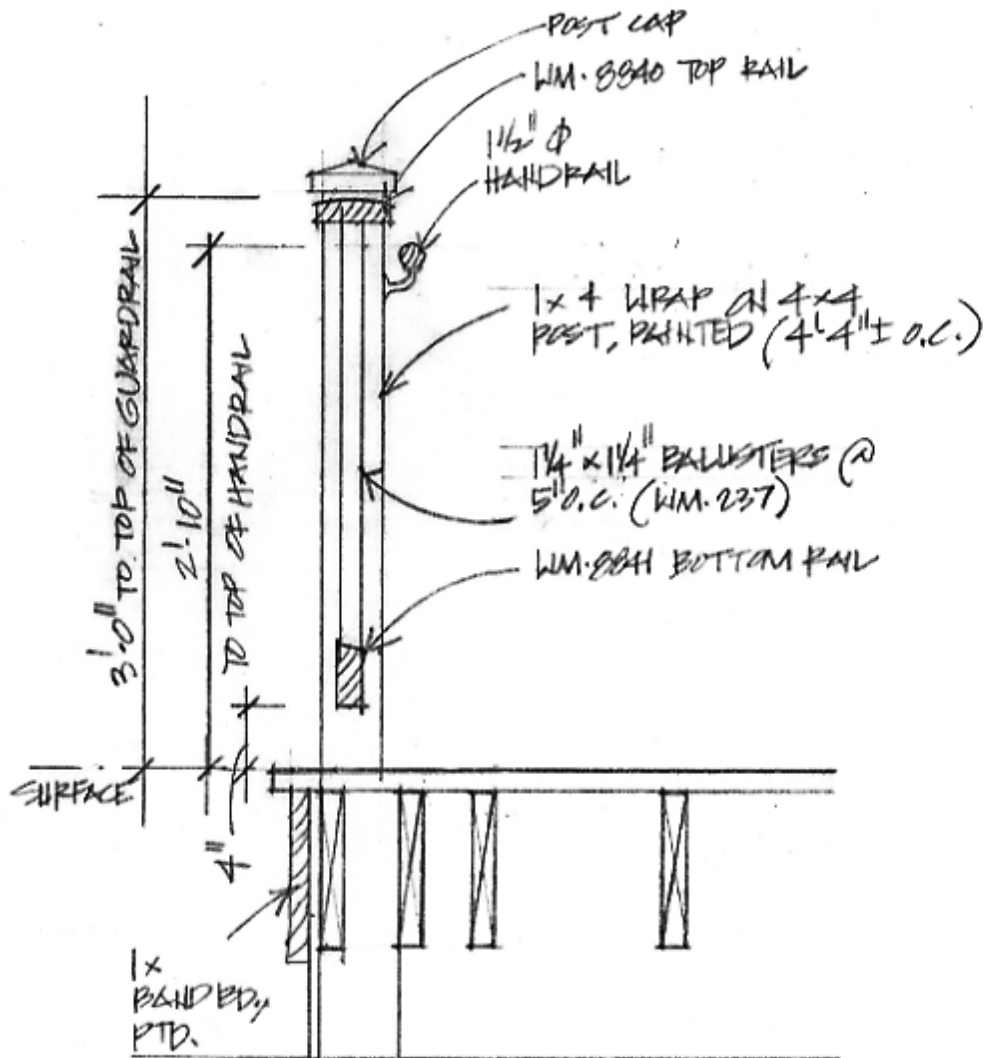


SM-8841
1-1/2 X 3-1/2
BOTTOM PORCH RAIL

SCALE: HALF SIZE

PAGE NO. A-54

BAR RAIL



RAIL SECTION
 1" = 1'-0"