

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	4 East Irving Street, Chevy Chase	Meeting Date:	11/15/2023
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	11/8/2023
Applicant:	Katie Fulton (Potomac Garage Solutions, Agent)	Public Notice:	11/1/2023
Review:	HAWP	Tax Credit:	Partial
		Staff:	John Liebertz

Permit Number: 1047919

PROPOSAL: Garage door and roof replacement.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with one (1) condition** the HAWP application with final approval of all details delegated to staff:

1. The applicant shall submit specifications for any substitute materials utilized on the project (door and window trim, corner boards, siding, etc.).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: Ca. 1907-1910

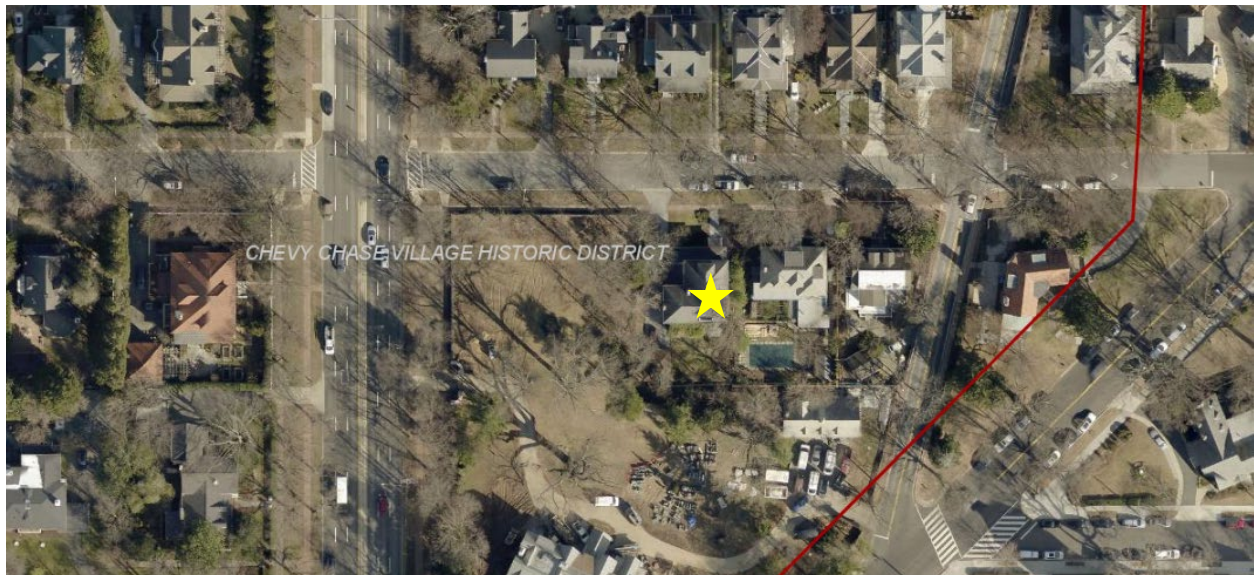


Figure 1: The subject property (noted with the yellow star) is located mid-block on the south side of East Irving Street. The red outline is the boundary of the Chevy Chase Village Historic District.

PROPOSAL

The applicant proposes the following alterations to the garage: 1) the in-kind replacement of the existing asphalt shingle roof; 2) the replacement of the parallel sliding, 12-light, two-panel, garage doors with a single overhead, 16-light, 12-panel, steel garage door; 3) the replacement of the existing garage door frame; and 4) the replacement of deteriorated wood eaves and trim (as needed).

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Chevy Chase Village Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. If an existing garage or accessory building has any common wall with, or attachment to, the main residence, then any addition to the garage or accessory building should be subject to review in accordance with the Guidelines applicable to "major additions." Any proposed garage or accessory building which is to have a common wall with or attachment to the main residence should also be reviewed in accordance with the Guidelines applicable to "major additions."

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The applicable *Standards* are as follows:

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION

Property History

The subject property located mid-block on East Irving Street is a Contributing Resource to the Chevy Chase Village Historic District. The site features a two-and-a-half-story, Colonial Revival-influenced Four Square dwelling constructed ca. 1907-1910.¹ The wood-frame house rests on a brick foundation, is clad with wood lap siding, and supports an asphalt shingle, hipped roof. The façade is adorned with a full-width, wrap-around, wood-frame porch with Doric columns that support an asphalt-shingle, hipped roof. Typical fenestration consists of three-over-one, double-hung, wood-sash windows. The subject two-car garage is in the southwest corner of the property.

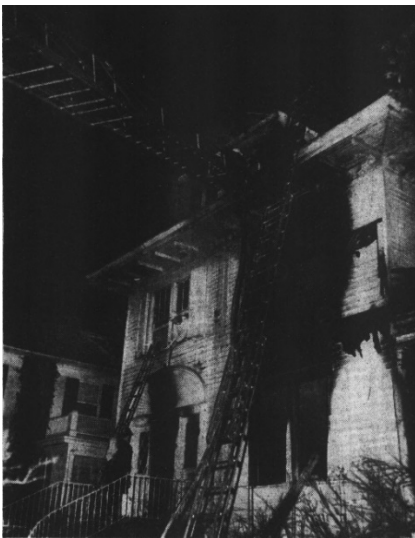


Figure 2: View of the façade of the subject property, early twentieth century (upper left), 1940 (upper right), and 1953 showing fire damage (lower left).

Source: Evening Star and Montgomery Planning.

The house has undergone numerous alterations since its initial construction and recent restoration efforts by the current property owners. In 1940 real estate advertisement described the house as follows:

¹ Earlier staff reports and applications dated the construction of the house to 1907. The later construction date is based on an article in the *Evening Star* on September 30, 1916, that noted the construction of the dwelling six year prior by Mary V. Withers.

“A lovely family home.... There are 8 exceptionally comfortable rooms, 4 bedrooms on the second floor, 2 fireplaces, attic with finished room, covered porches, AUTOMATIC HEAT. 2-car garage. Beautiful lot 68x125. Entire property in perfect condition.”

On January 1, 1953, the house suffered substantial damage from a major fire (*Figure 2*). Photographs from that period indicate the removal of the wraparound wood porch between 1940 and 1953. Later property owners constructed a one-story addition on the west elevation in 1996. In 1999, the Historic Preservation Commission (HPC) approved HAWP 35-13-99U for the restoration of the front porch.² In 2007, the HPC approved HAWP 35-13-08LL for the construction of a second-story on the ca. 1996 one-story addition, and restoration of the three-over-one, double-hung, wood-sash windows in the second story of the house.³

The property includes the subject two-car garage in the southwest corner of the lot. The earliest Sanborn Fire Insurance Maps (1903-1916) do not document a garage on the property.⁴ By 1927, the Sanborn Fire Insurance Maps noted the garage (*Figure 3*). The design and form of the subject garage with its hipped roof and parallel sliding doors was typical of garages found in the mid-1920s (*Figure 4*). There are no HAWPs related to the subject garage.

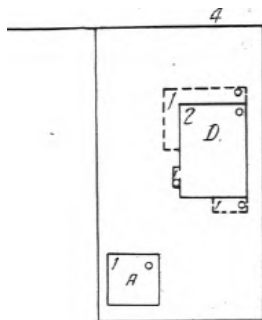


Figure 3: View off the 1927 Sanborn Fire Insurance Map for the subject property, 1927 (left).

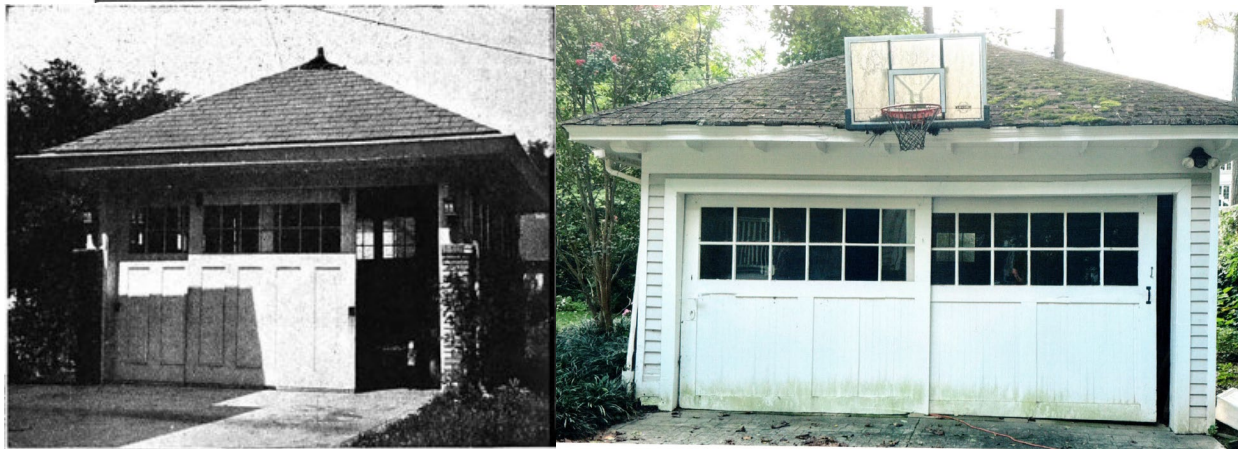


Figure 4: An example of a garage from “A Well Designed Private Garage Makes the Home Complete,” American Builder, June 1925 (left) and the subject garage, 2023 (right). Source: American Builder and Applicant.

² For more information, see https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640002/Box009/35-13-99U_Chevy%20Chase%20Village%20Historic%20District_4%20East%20Irving%20Street_08-18-1999.pdf.

³ For more information, see https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640008/Box064/35-13-08LL_Chevy%20Chase%20Historic%20District_4%20East%20Irving_02-06-2008.pdf.

⁴ Staff has found numerous examples of the surveyors missing the secondary resources. In addition, this property was on the periphery of the survey.

Proposal – Replacement of the Garage Door

Staff finds that the replacement of the garage door meets the applicable guidelines and recommends approval with conditions. The *Guidelines* stipulate that the HPC should review detached garages with “lenient scrutiny” and focus on massing, scale, and compatibility. The proposal limits alterations to the replacement of the parallel sliding wood doors with an overhead steel door. The location, scale, form, and footprint of the resource that maintains its relationship to the historic house and streetscape remains intact. All the changes to the design and materials should be approved as a matter of course as these do not adversely affect the individual resource or surrounding historic district. Staff requests that the applicant submit material specification for the garage door trim if it would be replaced with a substitute material such as cellular polyvinyl chloride. This material is regularly approved by the HPC on detached garages in the historic district.

Proposal – Replacement of the Garage Roof

Staff finds that the replacement of the asphalt shingle roof meets the applicable guidelines and recommends approval. The Historic Preservation staff regularly consults with property owners for the in-kind replacement of asphalt shingle roofs and approves HAWPS for the replacement of three-tab asphalt shingles with architectural asphalt shingles. This work will also qualify for the county’s rehabilitation tax credit.

Proposal – Replacement of Damaged Wood Eaves, Siding, and Trim

Staff finds that the in-kind replacement of damaged wood eaves, siding, and trim meets the applicable guidelines and recommends approval. The in-kind replacement of these items with wood does not require a HAWP. If the applicant selects a substitute material due to an extensive amount of damage, staff requests the submission of specifications. This work will also qualify for the county’s rehabilitation tax credit.

After full and fair consideration of the applicant’s submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with *the Secretary of the Interior’s Standards for Rehabilitation #2, #5, and #9, Chevy Chase Historic District (Guidelines)*, as outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one (1) condition** the HAWP application with final approval delegated to staff:

1. The applicant shall submit specifications for any substitute materials utilized on the project (door and window trim, corner boards, siding, etc.).

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Chevy Chase Historic District (Guidelines)*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior’s Standards for Rehabilitation #2, #5, and #9*.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1047919
DATE ASSIGNED _____

APPLICANT:

Name: Kate Fulton
Address: 4 East Irving Street
Daytime Phone: 646-684-5703

E-mail: katefulton09@gmail.com
City: Chevy Chase Zip: 20815
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Potomac Garage Solutions/Connie Greene
Address: 19200 Chennault Way, Suite J
Daytime Phone: 240-314-0280

E-mail: connie@potomacgaragesolutions.com
City: Gaithersburg Zip: 20879
Contractor Registration No.: 133731

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 35/13

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name Corby Mansion

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input checked="" type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Connie Greene

10/16/2023

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address		Owner's Agent's mailing address	
4 East Irving St Chevy Chase MD 20815		19200 Chennault Way, Suite J Gaithersburg MD 20879	
Adjacent and confronting Property Owners mailing addresses			
Adrienne Arsht 9 Chevy Chase Circle Chevy Chase MD 20815		Elise Hoffman 6 East Irving St Chevy Chase MD 20815	
5 East Irving Street, Chevy Chevy MD 20815 3 East Irving Street, Chevy Chase MD 20815 1 East Irving Street, Chevy Chase MD 20815			

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The structure to be renovated is a garage.

Description of Work Proposed: Please give an overview of the work to be undertaken:

- Remove and replace existing garage roof
- Remove and replace existing garage door
- Remove and replace existing damaged wood eaves and wood frame and trim boards
- Paint existing garage siding to match the exterior of the adjacent home.

Work Item 1: Garage Roof

Description of Current Condition:
The garage roof is in poor condition. Shingles missing and/or have significant damage

Proposed Work:
Remove existing roof and replace with 25 yr shingles in style/color to match existing as close as possible

Work Item 2: Garage Door

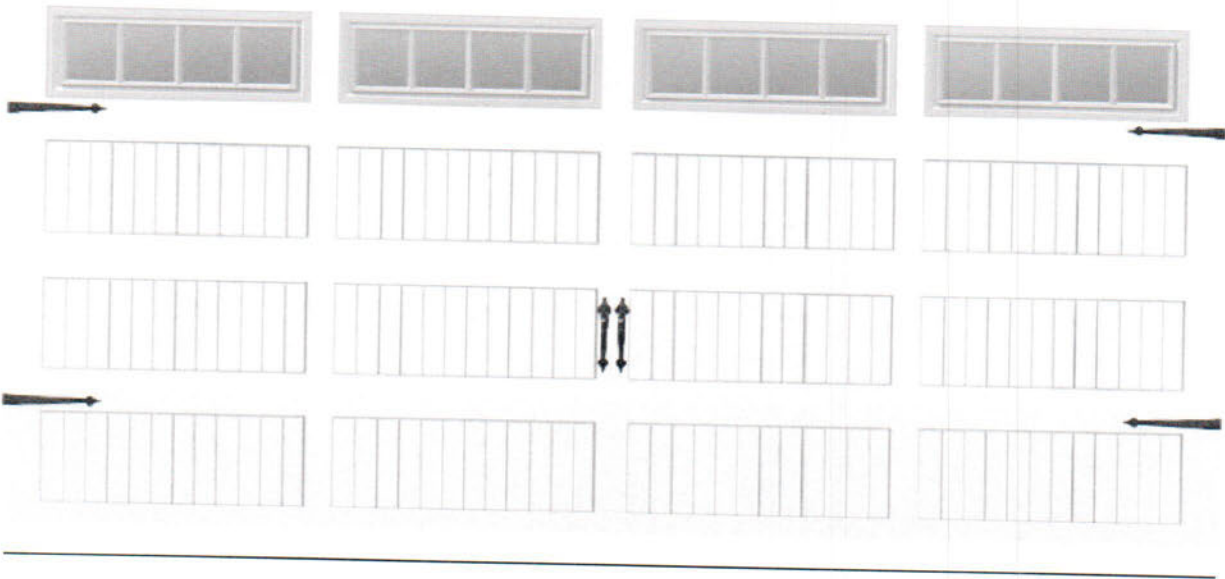
Description of Current Condition:
The garage door and door frame is in poor condition. The wood has warped and been impacted by the elements.

Proposed Work:
Remove and replace garage door with an insulated steel door (R-9.6) in stamped carriage house style, in white, with windows.
The existing garage door frame will be removed and replaced.

Work Item 3: Garage Siding/Wood Trims

Description of Current Condition:
The paint on the garage siding is worn off and discolored in many areas. The wood eaves and wood trim are damaged/missing in some areas.

Proposed Work:
The garage siding will be repainted to match the adjacent home. The damaged wood eaves and trim will be removed and replaced as needed and all will be repainted in white to match existing.



Product Summary

Model 5983

Size

Width: 16' 0" X Height: 7' 0"

Products

Timeless: Stamped Carriage House

Design

Long Panel

Thermal Requirements / Construction

R-9.65 / 2", Medium Duty, 2-Sided Steel Sandwich, Polystyrene Insulation - 1-13/16" Thick

Color

Solid Color: White

Windows

Position: FIRST ROW

Glass: Plain

Window Inserts: Madison

Exterior Hardware

Standard Spade Handles And Hinges

Please Note: These woodtones, colors, and door panels are to be used as an indication only. Some sizes not available in all models and configurations. Refer to your local C.H.I. Dealer for the exact look of your garage door and availability.

From: Kate Fulton katefulton09@gmail.com
Subject: Contact info adjacent property owners to 4 E Irving
Date: October 13, 2023 at 12:27 PM
To: Connie Greene connie@potomacgaragesolutions.com
Cc: Robert Kyle robert.kyle@hoganlovells.com

Hi Connie,
As we discussed, here is the contact info for the owners adjacent to our property:

Adrienne Arsht
9 Chevy Chase Circle
Chevy Chase, MD 20815
aa@arsht.com

Elisse Hoffmann
6 East Irving Street
Chevy Chase, MD 20815
eliseh@marshfield.com

I will send you other background material on our house/garage early next week.

Thank you and would you please confirm you received this?

Kate
Sent from my iPhone

On Oct 13, 2023, at 12:04 PM, Connie Greene <connie@potomacgaragesolutions.com> wrote:

Connie Greene
Office Manager



Potomac Garage Solutions

19200 Chennault Way, Suite J
Gaithersburg, MD 20879
Office: 240-314-0280, Fax: 240-314-0281
www.potomacgaragesolutions.com



From: Kate Fulton katefulton09@gmail.com
Subject: Fwd: Our garage renovation
Date: October 16, 2023 at 8:52 AM
To: Connie Greene connie@potomacgaragesolutions.com

Approval from neighbor at 6 E Irving.
Thanks,
Kate
Sent from my iPhone

Begin forwarded message:

From: Elise Hoffmann <eliseh@marshfieldinc.com>
Date: October 15, 2023 at 6:09:33 PM EDT
To: Kate Fulton <katefulton09@gmail.com>
Cc: Robert Kyle <robert.kyle@hoganlovells.com>
Subject: Re: Our garage renovation

Hi Kate,
Thanks for letting us know! We will obviously have no issue with that (either the call or the renovation). Hopefully it won't take us as long as our crazy house painting project.
Best,
Elise

On Oct 15, 2023, at 5:59 PM, Kate Fulton <katefulton09@gmail.com> wrote:

Hi Elise,
Bob and I wanted to alert you and Chris that CT Village may contact you regarding our plans to renovate our garage - it dates back to 1911 and we plan to update it with no change to the footprint, including a new roof, door (to resemble the original sliding door), door, interior walls and chargers for 2 EVs. When we're finished, we may actually use it for our car! :)
Thank you
Kate and Bob
Sent from my iPhone

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From: Kate Fulton katefulton09@gmail.com
Subject: Neighbor approval for garage renovation
Date: October 16, 2023 at 8:51 AM
To: Connie Greene connie@potomacgaragesolutions.com
Cc: Robert Kyle robert.kyle@hoganlovells.com

Hi Connie,
Forwarding here approval from our neighbor adjacent to the garage (Adrienne Arsht, 9 Chevy Chase Circle) if you would like to forward to CC Village. Will also forward next door neighbor's approval,
Thanks,
Kate
Sent from my iPhone

Begin forwarded message:

From: Adrienne Arsht <aa@arsht.com>
Date: October 15, 2023 at 7:50:31 PM EDT
To: Kate Fulton <katefulton09@gmail.com>
Cc: Robert Kyle <robert.kyle@hoganlovells.com>
Subject: Re: Our garage renovation

I will approve whatever you ask for. Thanks for heads up

Sent from my iPhone

On Oct 15, 2023, at 5:57 PM, Kate Fulton <katefulton09@gmail.com> wrote:

Hi Adrienne,
Hope you're doing well -
Bob and I wanted to alert you that CC Village may contact you regarding our plans to renovate our garage - it dates back to 1911, and we plan to update it with no change to the footprint, including a new roof, door (to resemble the original sliding doors), floor, interior walls and chargers for 2 EVs. When we're finished, we may actually use it for our cars! :)
Thank you,
Kate and Bob

Sent from my iPhone













Specifications



Nominal Product Length (ft.)

4 ft

[See Similar Items](#)

Board Joint Type

Square Edge

[See Similar Items](#)

Finish Type

Unfinished

[See Similar Items](#)

Coverage Area (sq. ft.)

1.833 sq ft

[See Similar Items](#)

Nominal Product Thickness (in.)

1

[See Similar Items](#)

Material

Wood

[See Similar Items](#)

Features

Paintable

Stainable

Dimensions

Actual Product Length (ft.)	4 ft	Actual Product Thickness (in.)	.75 in
Actual Product Width (in.)	5.5 in	Coverage Area (sq. ft.)	1.833 sq ft
Nominal Product Length (ft.)	4 ft	Nominal Product Thickness (in.)	1
Nominal Product Width (in.)	6 in		

Details

Appearance Board Type	Softwood Boards	Board Joint Type	Square Edge
Fastener recommendation	N/A	Features	Paintable, Stainable
Finish Type	Unfinished	Lumber Grade	Premium
Material	Wood	Moisture content	Kiln Dried
Number Of Boards Per Pack	1	Texture	Smooth



Roofing Product Type

3-Tab Shingle

[See Similar Items](#)

Warranty

25 Year Limited Warranty

[See Similar Items](#)

Material

Asphalt

[See Similar Items](#)

Features

Algae Resistant
Energy Star Rated
High Wind Resistant

[Show More](#) ▼

Number of pieces per bundle

26

[See Similar Items](#)

Fire Rating (UL 790)

Class A

[See Similar Items](#)

Product Thickness (in.)

2.4 in

[See Similar Items](#)

Dimensions

Coverage Area (sq. ft.)	33.33 sq ft	Product Length (in.)	36 in
Product Thickness (in.)	2.4 in	Product Width (in.)	12 in

Details

Color Family	Brown	Color/Finish	Golden Cedar
Features	Algae Resistant, Energy Star Rated, High Wind Resistant, Stainguard Protection	Fire Rating (UL 790)	Class A
Material	Asphalt	Number of bundles per 100 sq. ft. (Square)	3
Number of pieces per bundle	26	Requirements	Attic Ventilation, Underlayment
Roofing Product Type	3-Tab Shingle	Shingle Exposure (in.)	5
Shingle Type	3-Tab Shingle	Warranty	25 Year Limited Warranty
Weight Per Bundle (lb.)	62		

Specifications



Nominal Product Length (ft.)

8 ft

[See Similar Items](#)

Features

Paintable

Pressure Treated

Stainable

Contact Type Allowed

Ground Contact

[See Similar Items](#)

Dimensions

Actual Product Length (ft.)	8 ft	Actual Product Thickness (in.)	0.75
Actual Product Width (in.)	5.5	Approximate Weight (lb)	15
Nominal Product Length (ft.)	8 ft	Nominal Product Length (in.)	8 in
Nominal Product Thickness (in.)	1	Nominal Product Width (in.)	6 in
Nominal Width (in.)	6 in		

Details

Chemical retention (lb./cu. ft.)	.15 lb/ft ³	Contact Type Allowed	Ground Contact
Features	Paintable, Pressure Treated, Stainable	Lumber Grade	Pressure Treated;Stainable;Paintable
Pressure treatment chemical	MCA - Micronized Copper Azole	Total Linear Feet Covered	8