

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	22 West Irving Street, Chevy Chase	Meeting Date:	11/15/2023
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	11/8/2023
Applicant:	Andrew and Katie Herman (Luke Olson, Architect)	Public Notice:	11/1/2023
Review:	HAWP	Tax Credit:	No
Permit Number:	1048008	Staff:	John Liebertz

PROPOSAL: Partial demolition, construction of new side entrance, new two-story rear addition, hardscape alterations, accessory structure alterations and new storm door.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with eight (8) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant shall submit specifications for the brackets, roof, and door for the proposed single-leaf door with canopy/hood on the west elevation.
2. The applicant shall submit specification for all the aluminum-clad, wood doors proposed on the house and garage.
3. The applicant shall install the optional “chamfer nosing” trim on all solid extruded polyvinyl chloride tongue and groove decking.
4. The applicant shall submit additional details and specifications for the stone retaining wall.
5. The applicant shall label the material of the extended driveway on the site plan.
6. The applicant shall conduct a survey of any trees impacted by construction efforts. The location of all existing trees greater than 3.5” diameter at breast height shall be marked on a site plan. Staff may require replacement trees based on the findings.
7. The applicant shall submit specifications for all fence materials.
8. The applicant shall move the privacy fence to the south and align it at the rear wall plane of the original house.

ARCHITECTURAL DESCRIPTION



SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District

STYLE: Craftsman

DATE: Ca. 1927

Figure 1: The subject property (noted with the yellow star) is located mid-block on the south side of West Irving Street.

PROPOSAL

The applicant proposes the following alterations to the house: 1) partially demolish the south (rear) elevation of the non-historic 2011 addition; 2) infill windows on the east (side) elevation of the existing addition; 3) construct an 18' x 16' rear addition with an adjoining 16' x 13'4"x deck; and 4) add a stoop on the west (side) elevation of the non-historic addition.

The applicant proposes the following alterations to the garage: 1) replace the metal lap siding with smooth cementitious fiberboard lap siding; 2) replace the existing garage door with a three-leaf, aluminum-clad, wood sliding door; 3) add a new three-leaf, aluminum-clad, wood sliding door to the east elevation; 4) infill two six-over-one, double-hung, wood-sash windows on the rear elevation; 5) install new painted poly-ash trim; and 6) replace the corrugated metal roof with asphalt shingle.

The applicant proposes the following alterations to the landscape and hardscape: 1) remove approximately 450 sq. ft. of the asphalt driveway; 2) expand the driveway from 10' to 12' wide from the street to the front porch; 3) demolish the brick retaining wall along the eastern edge of the driveway to allow for the expansion of the driveway and construct a new, 2"-tall, retaining wall of the same length; 4) install a 28' x 16' rear flagstone patio; and 5) install a picket fence and privacy fence on the western and eastern side yards, respectively.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Chevy Chase Village Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny if they are visible from the public right-of-way. Addition of compatible storm doors should be encouraged.
- Fences should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. If an existing garage or accessory building has any common wall with, or attachment to, the main residence, then any addition to the garage or accessory building should be subject to review in accordance with the Guidelines applicable to "major additions." Any proposed garage or accessory building which is to have a common wall with or attachment to the main residence should also be reviewed in accordance with the Guidelines applicable to "major additions."
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.
- Lot coverage should be subject to strict scrutiny in view of the critical importance of preserving the Village's open park-like character.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny. Addition of compatible exterior storm windows should be encouraged, whether visible from the public right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged. Addition of security bars should be subject to lenient scrutiny whether visible from the public right-of-way or not.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Property History

The subject property located mid-block on West Irving Street is a Contributing Resource to the Chevy Chase Village Historic District. The site features a two-story, Craftsman-styled house constructed ca. 1916-1927. The three-bay, two-pile, wood-frame house rests on a stone foundation. The walls are clad with wood shingles on the first story and stucco on the second story. The asphalt-shingle, hipped roof with overhanging eaves is pierced by hipped-roof dormers on its eastern and western slopes. The façade is adorned with a full-width, wood-frame porch with Doric columns that support an asphalt-shingle, hipped roof. Typical fenestration consists of four-over-one and six-over-one, double-hung, wood-sash windows. The property includes an original, wood-frame, two-car garage in the southwest (rear) corner of the lot.

A 1928 real estate advertisement described the house as follows:

“This attractive home is in a Chevy Chase neighborhood of social distinction; is sheltered by wide spreading shade trees and will appeal to any discriminating family seeking a permanent residence. Lot 60x125 feet is artistically landscaped. Dwelling has seven rooms and bath, is sturdily built of shingle and stucco, has a slate roof and is designed to give a century of service. Double garage.”

There have been few alterations to the house since its initial construction with the majority of the changes on the rear elevation. In 2011, the HPC approved HAWP #35/13-11C for the demolition of the existing rear addition and construction of a nearly full-width, two-story, rear addition set on a concrete pier foundation. The new addition’s materials and fenestration patterns matched the original house.

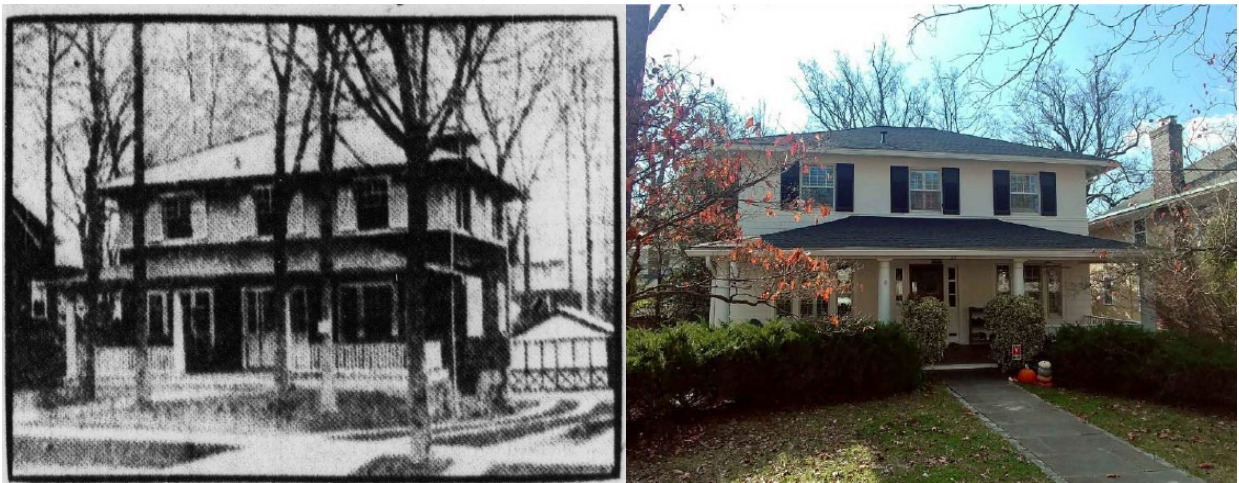


Figure 2: View off the subject property, 1928 (left) and 2023 (right). Note the existing garage in the background of the historic photograph.

Source: Evening Star and Applicant.

Proposal – Partial Demolition, New Foundation, and Fenestration Alterations of the Existing Rear Addition

Staff finds that the partial demolition, fenestration alterations, and new foundation on rear addition meets the applicable guidelines and recommends approval with conditions. The HPC approved the construction of the non-historic addition in 2011. The partial demolition of its south (rear) elevation, new foundation, foundation-level windows and doors on its east and south elevations, new single-leaf door and window with canopy/hood on the west elevation, and infill of second-story windows on its east elevation would have no adverse effect to the individual resource or to the surrounding streetscape. The design and materials of the proposed new fenestration all match the existing conditions. Staff requests clarifications on the materials for the first story, single-leaf door with canopy/hood on the west elevation. This includes specifications for the brackets, roof, and door.

Proposal – New Rear Addition (Massing, Scale, and Form)

Staff finds that the proposed massing, scale, and form of the rear addition meet the applicable guidelines and recommends approval. The two-story with full basement, hipped roof, addition (18’ x 16’) is smaller than the adjoining non-historic addition and has a lower ridge. The proposed addition is setback 5’1½” and 10’6½” on its eastern and western elevations, respectively. As a result, the addition would have no to limited visibility from the public rights-of-way. The form, scale, and massing of the addition is compatible with the historic house and would have no adverse effect to the streetscape.

Proposal – New Rear Addition (Design and Materials)

Staff finds that the proposed design and materials meet the applicable guidelines and recommends approval with conditions. The proposed addition continues the design and materials approved for the 2011 addition including cedar shingle and stucco siding, four-over-one, six-over-one, and eight-over-one, double-hung, aluminum-clad, wood windows, and 15-light, single-leaf, aluminum-clad, wood doors. While the design of the addition closely matches the historic house, it is clearly differentiated in its scale and massing and its parged concrete foundation (compared to the stone foundation). Staff requests specifications for all the proposed aluminum-clad, wood doors.

Proposal – New Deck

Staff finds that the proposed deck meet the applicable guidelines and recommends approval with a condition. The deck would have limited visibility from the public rights-of-way as the stair extends beyond the east elevation of the existing addition. In addition, the deck adjoins an existing and proposed non-historic addition (not the historic house). The applicant proposes the installation of Aeratis Traditions (solid extruded polyvinyl chloride) tongue and groove decking and cellular polyvinyl chloride posts and balustrades. The HPC has approved the use of Aeratis Traditions in similar circumstances when the material is not highly visible from the public rights-of-way and abuts non-historic additions.¹ Staff requests that the applicant include a detail that shows the installation of the optional “chamfer nosing” trim piece that covers the end joints of the boards (*Figure 3*). This condition aligns with previous approvals for use of the product. Similarly, staff finds that the proposed use of cellular polyvinyl chloride railing system is compatible due to its minimal visibility and, more importantly, location on and adjacent to new construction.

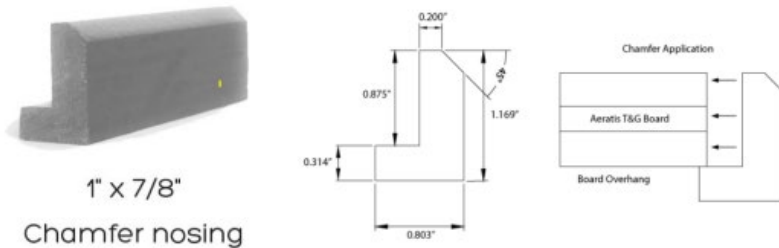


Figure 3: Detail of the chamfer nosing trim.

¹ For more information see, <https://montgomeryplanning.org/wp-content/uploads/2023/03/I.D-7212-Cedar-Avenue-Takoma-Park-997563-REVISION.pdf>.

Proposal – New Stoop/Side Entrance and Stair

Staff finds that the proposed stoop (side entrance) and stair meet the applicable guidelines and recommends approval with conditions. Most of the stoop and stair would be located on the west (side) elevation of the existing 2011 addition. A very small section of the stair (approximately two treads) would be adjacent to the historic section of the house. The applicant proposes the installation of Aeratis Traditions—solid extruded polyvinyl chloride—tongue and groove decking and cellular polyvinyl chloride posts and balustrades. While the proposed stoop and stair (and substitute materials) would have greater visibility from the public rights-of-way than the rear deck, its distance from the street and location adjacent to new construction minimizes adverse effects to the individual resource or the surrounding district. Per the *Guidelines*, the stoop/stair should be reviewed under “moderate scrutiny” which permits for the use of compatible materials when appropriate. Similar to the rear deck, staff requests that the applicant include a note or detail that shows the installation of the optional “chamfer nosing” trim piece that covers the end joints of the boards.

Proposal – Garage Alterations

Staff finds that the proposed alterations to the two-car garage meet the applicable guidelines and recommends approval with conditions. The garage was built concurrently with the house and is a contributing resource to the historic district. The *Guidelines*, however, stipulate the detached garages should be reviewed with “lenient scrutiny” with a focus on massing, scale, and compatibility by the commission. The proposal would retain the location, scale, form, and footprint of the resource which maintains its relationship to the historic house and streetscape. All the changes to the design and materials should be approved as a matter of course as these do not adversely affect the individual resource or surrounding historic district. Staff requests the applicant submit specifications for the proposed aluminum-clad, wood sliding glass doors.

Proposal – Driveway Alterations and Retaining Wall

Staff finds that the proposed alterations to the driveway meet the applicable guidelines and recommends approval with conditions. The extension of the front of the driveway an additional 2’ (from 10’ to 12’ wide) and removal of approximately 450 sq. ft. of asphalt driveway at the rear of the property would have no adverse effect to the individual resource or the park-like character of the district and should be approved as a matter of course. The extension of the driveway in the front yard would require relocation of the retaining wall. The proposed demolition of the non-historic brick retaining wall and its replacement with a stone retaining wall would have no adverse effect to the individual historic resource. The wall is not evident in the historic photograph of the property from the 1920s (*Figure 2*). Staff requests additional details/specifications for the stone retaining wall, that the site plan notes the material of the extended driveway, and an analysis of any trees that may be impacted by these efforts. Staff may require replacement trees as part of the approval dependent on the findings.

Proposal – Rear Flagstone Patio and Walkway

Staff finds that the proposed flagstone patio and walkway meet the applicable guidelines and recommends approval with conditions. These elements would have no visibility from the public right-of-way and would not adversely affect the park-like setting of the historic district. Staff requests an analysis of any trees that may be impacted by the installation of the rear patio. Staff may require replacement trees as part of the approval dependent on the findings.

Proposal – New Fencing

Staff finds that the proposed picket fence and privacy fence meet the applicable guidelines and recommends approval with conditions. The 4’-tall picket fence and gate would be located at the terminus

of the driveway (adjacent to the proposed side entrance). Staff requests the applicant label all fence materials (boards, post caps, etc.). The privacy fence on the eastern side of the property would match the design and materials of the neighbor's adjoining privacy fence. Staff requests additional information about this fence including the proposed dimensions and materials (boards, post caps, etc.). In addition, staff recommends that the applicant move the fence to the rear wall of the historic house as stipulated by the commission in the approval of privacy fences. This condition maintains the park-like setting of the historic district as direct by the *Guidelines*.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with *the Secretary of the Interior's Standards for Rehabilitation #2, #5, #9, and #10, Chevy Chase Historic District (Guidelines)*, as outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with eight (8) conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall submit specifications for the brackets, roof, and door for the proposed single-leaf door with canopy/hood on the west elevation.
2. The applicant shall submit specification for all the aluminum-clad, wood doors proposed on the house and garage.
3. The applicant shall install the optional "chamfer nosing" trim on all solid extruded polyvinyl chloride tongue and groove decking.
4. The applicant shall submit additional details and specifications for the stone retaining wall.
5. The applicant shall label the material of the extended driveway on the site plan.
6. The applicant shall conduct a survey of any trees impacted by construction efforts. The location of all existing trees greater than 3.5" diameter at breast height shall be marked on a site plan. Staff may require replacement trees based on the findings.
7. The applicant shall submit specifications for all fence materials.
8. The applicant shall move the privacy fence to the south and align it at the rear wall plane of the original house.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Chevy Chase Historic District (Guidelines)*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #5, #9 and #10*.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1048008 DATE ASSIGNED

APPLICANT:

Name: Andrew and Katie Herman E-mail: herman.katie@gmail.com Address: 22 West Irving Street City: Chevy Chase Zip: MD Daytime Phone: 202-258-2362 Tax Account No.: 00455417

AGENT/CONTACT (if applicable):

Name: LUKE OLSON E-mail: LOLSON@GTMARCHITECTS.COM Address: 7735 OLD GEORGETOWN RD STE 700 City: BETHESDA Zip: 20814 Daytime Phone: 240-333-2021 Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? X Yes/District Name Chevy Chase Village No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 22 Street: West Irving Town/City: Chevy Chase Nearest Cross Street: Magnolia Parkway Lot: P15 & P16 Block: 29 Subdivision: 0009 Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other: DRIVEWAY MODIFICATION

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date 10/23/2023

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

ANDREW AND KATIE HERMAN
22 WEST IRVING STREET
CHEVY CHASE MD 20815

Owner's Agent's mailing address

Luke Olson
7735 Old Georgetown Rd Ste 700
Bethesda, MD 20814

Adjacent and confronting Property Owners mailing addresses

EMILY LEOB & SARAH FELDMAN
20 W IRVING ST
CHEVY CHASE MD 20815

DAVID & CK WILLIAMS
24 WEST IRVING STREET
CHEVY CHASE MD 20815

DEANNE OTTAVIANO & DAVID EVANS
15 HESKETH STREET
CHEVY CHASE MD 20815

MICHAEL & ADENA FRIEDMAN
16 MAGNOLIA PARKWAY
CHEVY CHASE MD 20815

AMANDA BERNSTEIN
25 WEST IRVING STREET
CHEVY CHASE MD 20815

23 West Irving Street, Chevy Chase MD 20815

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

THE EXISTING HOUSE IS A 2-STORY + BASEMENT CRAFTSMAN STYLE HOME CIRCA 1916-1927, CLAD IN STUCCO AND CEDAR SHINGLE WITH AN ASPHALT SHINGLE HIP ROOF. THE REAR 2-STORY WING, DECK AND BELOW-GRADE COVERED PATIO IS A LATER ADDITION TO THE HOME APPROVED IN 2011 AS HPC CASE #35/13-11C. THERE IS A SHARED ASPHALT DRIVEWAY LEADING TO AN EXISTING DETACHED GARAGE IN THE REAR. THE GARAGE ROOFING AND SIDING APPEARS TO BE NON-ORIGINAL, WITH CORRUGATED METAL ROOFING AND METAL LAP SIDING. BOTH THE HOUSE AND GARAGE ARE CONTRIBUTING RESOURCES INT HE HISTORIC DISTRICT.

Description of Work Proposed: Please give an overview of the work to be undertaken:

THE SCOPE OF WORK INCLUDES A NEW REAR 2-STORY SUNROOM AND OWNER'S BEDROOM ADDITION WITH A 1ST FLOOR DECK AND AREAWAY TO BASEMENT BELOW. WE'VE HELD THE ADDITION IN FROM THE SIDES OF THE PREVIOUS ADDITION AND HELD THE ROOF LINE BELOW THE CURRENT RIDGE SO THE ADDITION IS SUBORDINATE IN SCALE AND MASSING. FINISHES ON ADDITION TO MATCH THOSE OF 2011 ADDITION TO BE CONSISTENT WITH THE HISTORIC RESOURCE (PTD STUCCO AND CEDAR SHINGLE SIDING, PTD. COMPOSITE TRIM, ASPHALT SHINGLE ROOFING, CLAD-WOOD SDL WINDOWS AND DOORS).

THE NEW STOOP/STAIRS ON THE RIGHT SIDE AND DECK PROJECTION ON THE LEFT SIDE ARE SEMI-TRANSPARENT 1-STORY MASSES THAT IMPACT THE PREVIOUS ADDITION RATHER THAN THE HISTORIC MASS OF THE HOUSE. THEY ARE SET FAR BACK FROM THE STREET AND WILL BE MINIMALLY VISIBLE GIVEN THE SLOPE OF THE LOT AND THE EXISTING BAY WINDOWS PROJECTING OUT FROM EACH SIDE OF THE HISTORIC HOUSE. THE NEW CANOPY OVER THE RIGHT SIDE STOOP IS DETAILED TO EMULATE THE EXISTING BAY WINDOW ROOF FOR CONSISTENCY. WE ARE PROPOSING PAINTED COMPOSITE DECKING AND RAILINGS FOR BOTH THE STOOP AND THE UNCOVERED DECK.

THE EXISTING DETACHED GARAGE WILL BE CONVERTED TO A LOUNGE/OUTDOOR ENTERTAINING SPACE, AND AS SUCH, WE ARE PROPOSING TO REMOVE APPROX. 450 SF OF THE EXISTING DRIVEWAY LEADING FROM THE END OF THE SHARED DRIVE BACK TO THE GARAGE. THIS WILL OFFSET THE APPROX. 450 SF OF NEW FLAGSTONE PATIO SPACE PROPOSED IN THE REAR YARD.

WE PROPOSE TO WIDEN THE SHARED DRIVEWAY IN THE FRONT YARD BY 2' TO ALLOW SPACE FOR A CAR TO PARK OFF OF THE STREET WITH ENOUGH ROOM FOR ANOTHER CAR TO PASS BY. THIS WOULD REQUIRE REMOVING THE EXISTING BRICK RETAINING WALL AND REPLACING IT WITH A NEW STONE RETAINING WALL TO BE MORE CONSISTENT WITH THE EXISTING HOUSE STONE FOUNDATION. THE WALL HEIGHT WILL BE APPROX. 2' AT THE HIGHEST POINT.



EXISTING CONDITIONS PHOTOS

HERMAN RESIDENCE

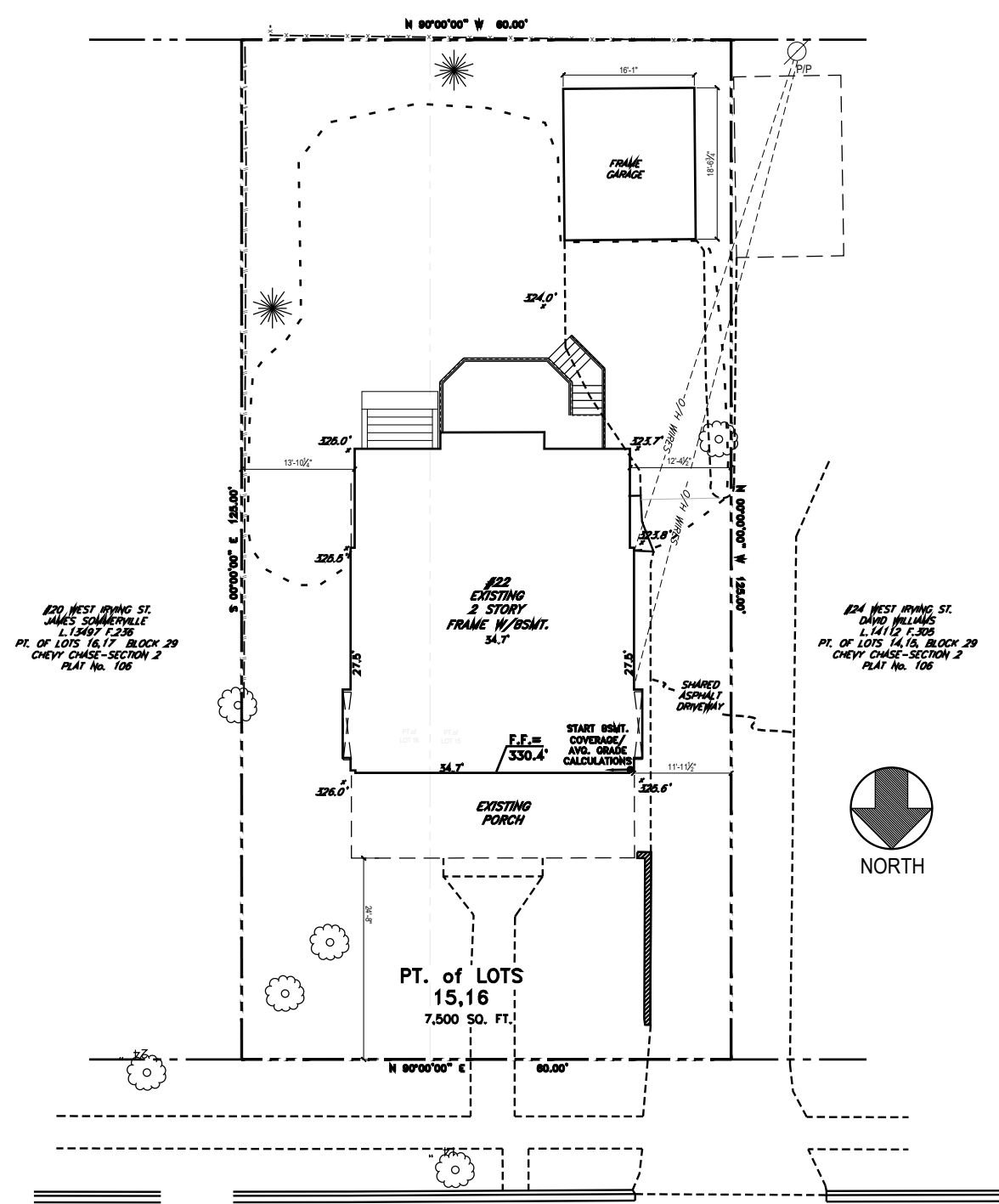
22 IRVING STREET CHEVY CHASE, MD #22.0436 OCT 25, 2023

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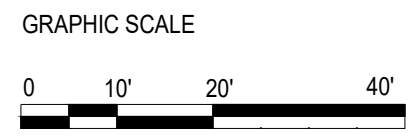
7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001

GTM

GTM ARCHITECTS



EXISTING SITE PLAN
SCALE = 1:20



ZONED: R-60 ZONING DATA
STRUCTURE BUILT 1914

LOT AREA 6,000 S.F. MIN. (7,500 SF PROVIDED)
LOT COVERAGE 35% MAX (2,625 SF)
FRONT YARD SETBACK 25' MIN.
SIDE YARD SETBACK 5' MIN (BEFORE 1928) 7' MIN. PER CHEVY CHASE VILLAGE REGS
REAR YARD SETBACK 20.0' MIN.
LOT FRONTAGE 60.0' MIN.
BUILDING HEIGHT 2 1/2 STORIES, 35' MAX (TO PEAK) 30' MAX (MEAN OF ROOF)

EXISTING LOT COVERAGE (MONTG. COUNTY)
EXST. HOUSE = 1,763 SF GARAGE = 298 SF TOTAL = 2,061 SF

EXISTING LOT COVERAGE (CHEVY CHASE VILLAGE)
INCLUDES STEPS, DECK, BAYS, GARAGE & PORCHES
EXST. HOUSE = 1,994 SF GARAGE = 298 SF TOTAL = 2,292 SF

PROPOSED LOT COVERAGE (MONTG. COUNTY)

MAIN HOUSE:	± 2,037 SF
GARAGE:	± 298 SF
TOTAL PROPOSED	= ± 2,335 SF

PROPOSED LOT COVERAGE (CHEVY CHASE VILLAGE)

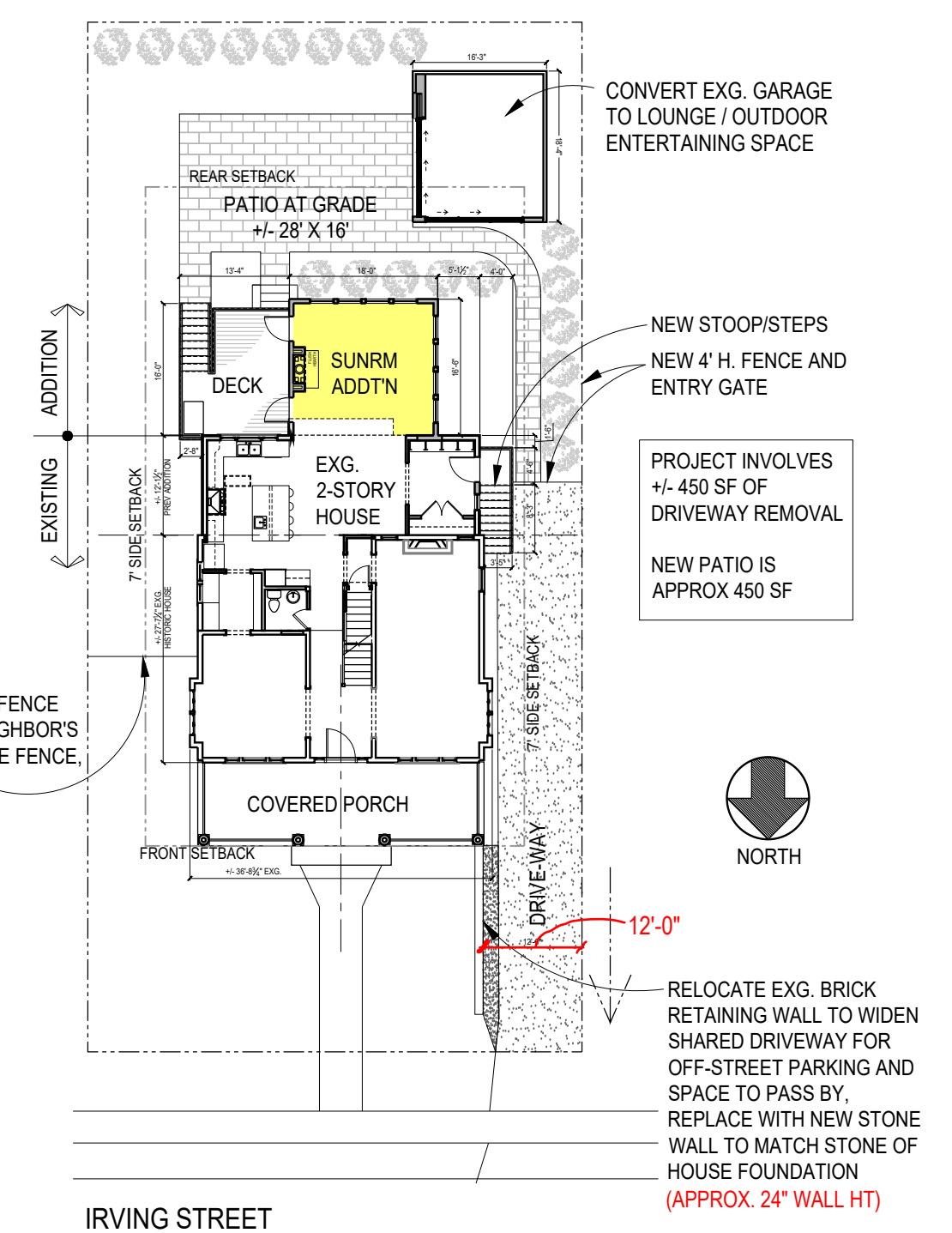
MAIN HOUSE:	± 2,323 SF
GARAGE:	± 298 SF
TOTAL PROPOSED =	± 2,621 SF



SAMPLE PHOTO OF FENCE/GATE ON DRIVEWAY SIDE



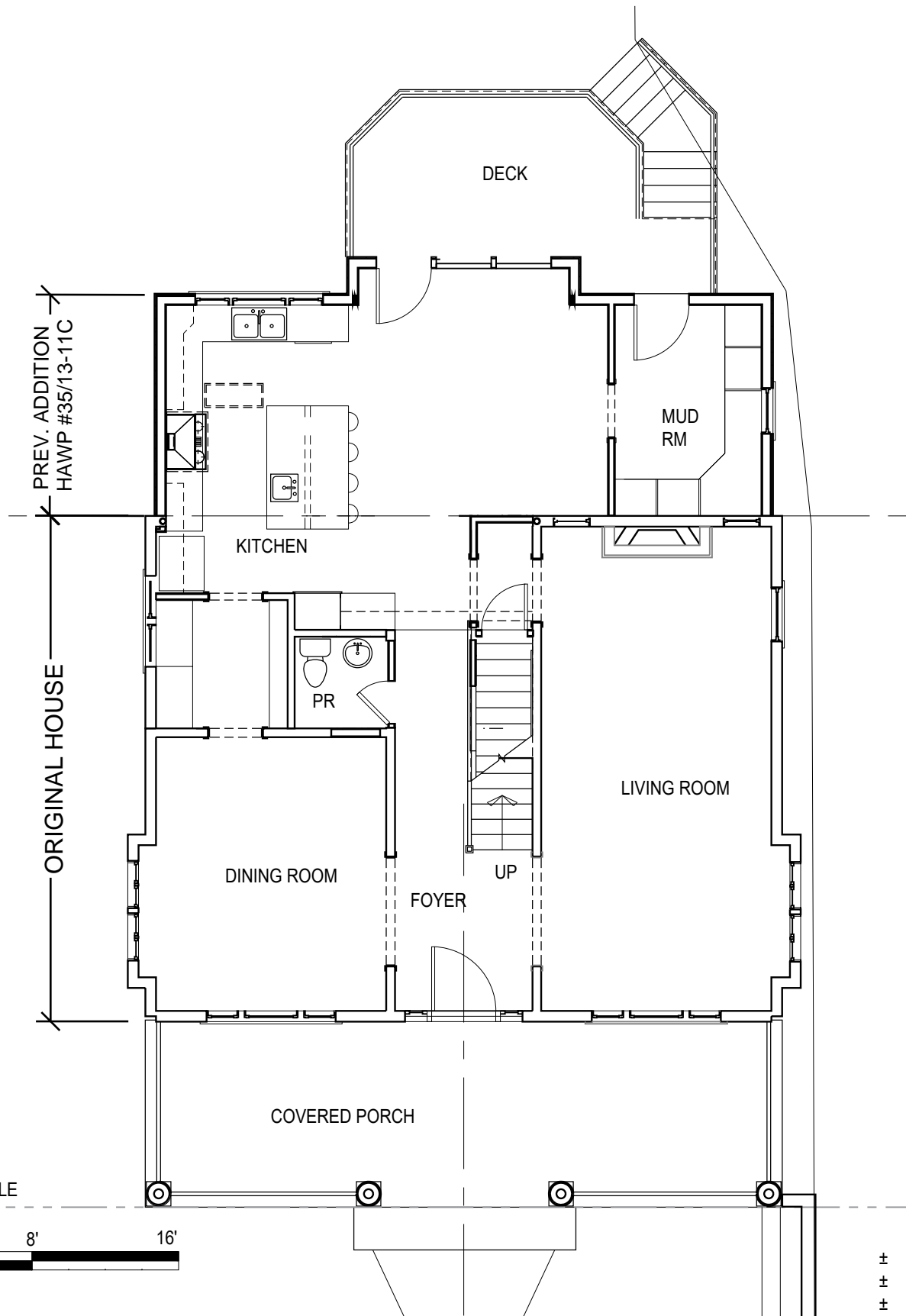
FENCE ON EAST SIDE TO MATCH NEIGHBORING FENCE



PROPOSED SITE PLAN
SCALE = 1:20

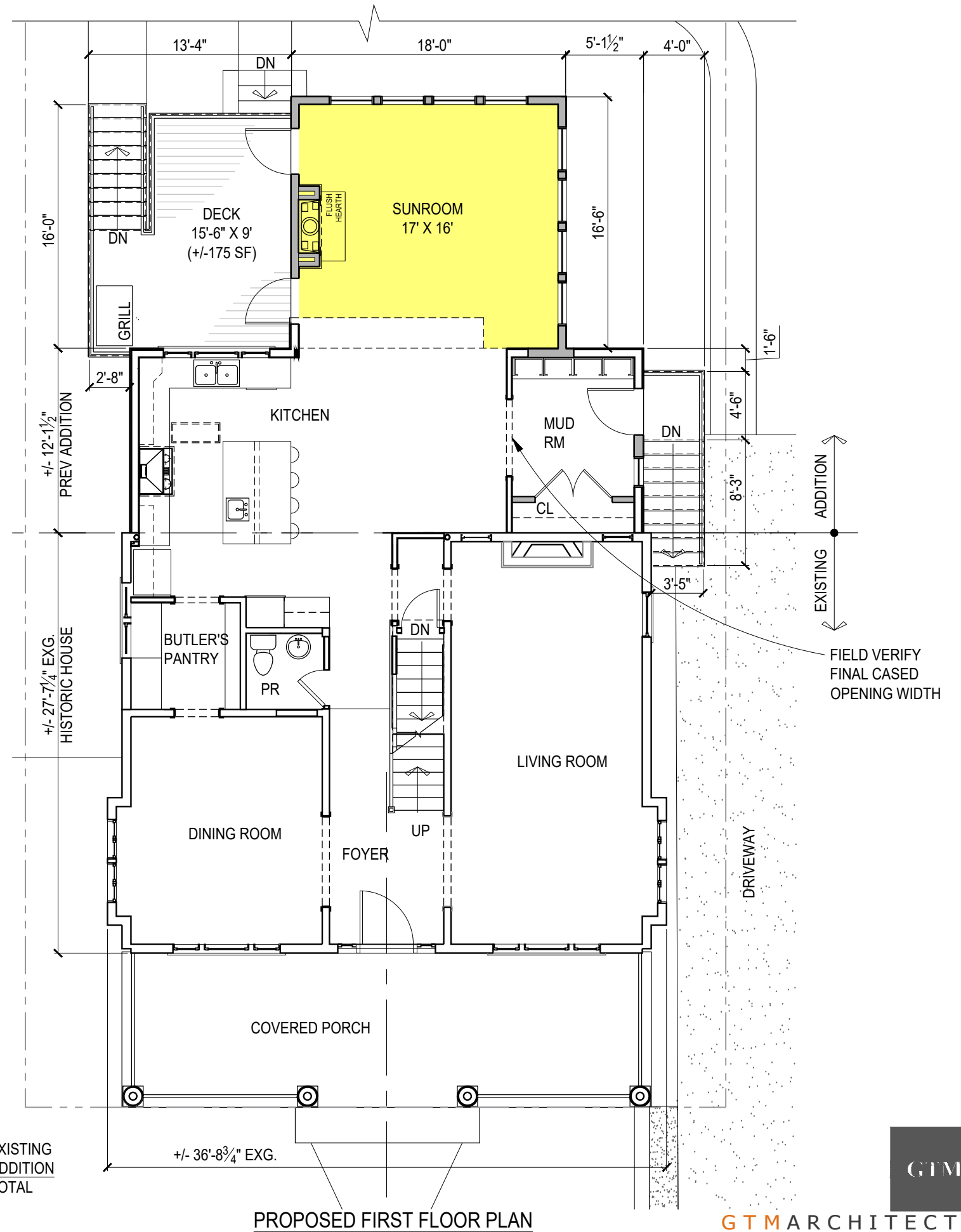
HERMAN RESIDENCE





±	1,410 SF	EXISTING
±	274 SF	ADDITION
±	1,684 SF	TOTAL

HERMAN RESIDENCE EXISTING FIRST FLOOR PLAN

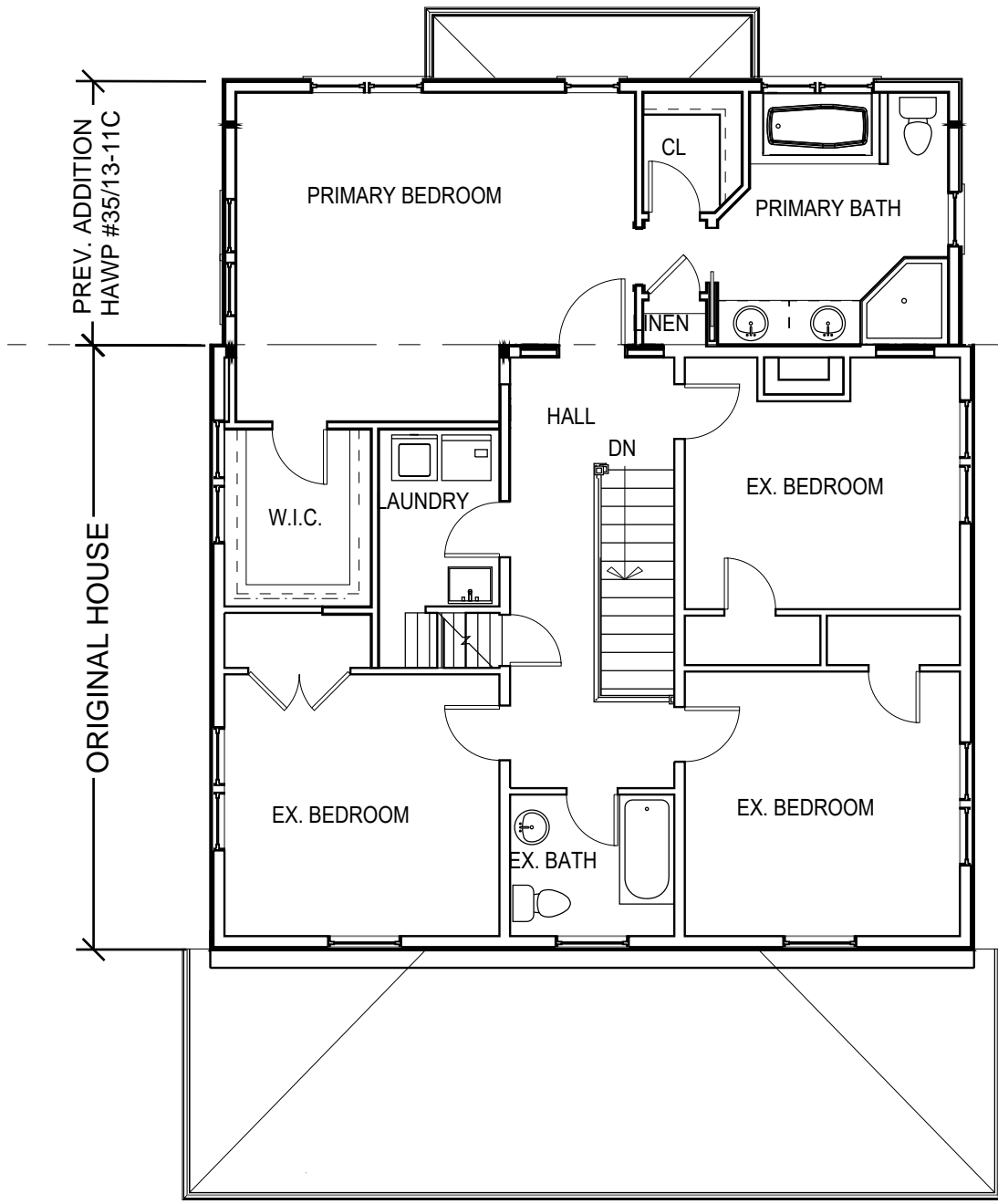


+/- 36'-8³/₄" EXG.

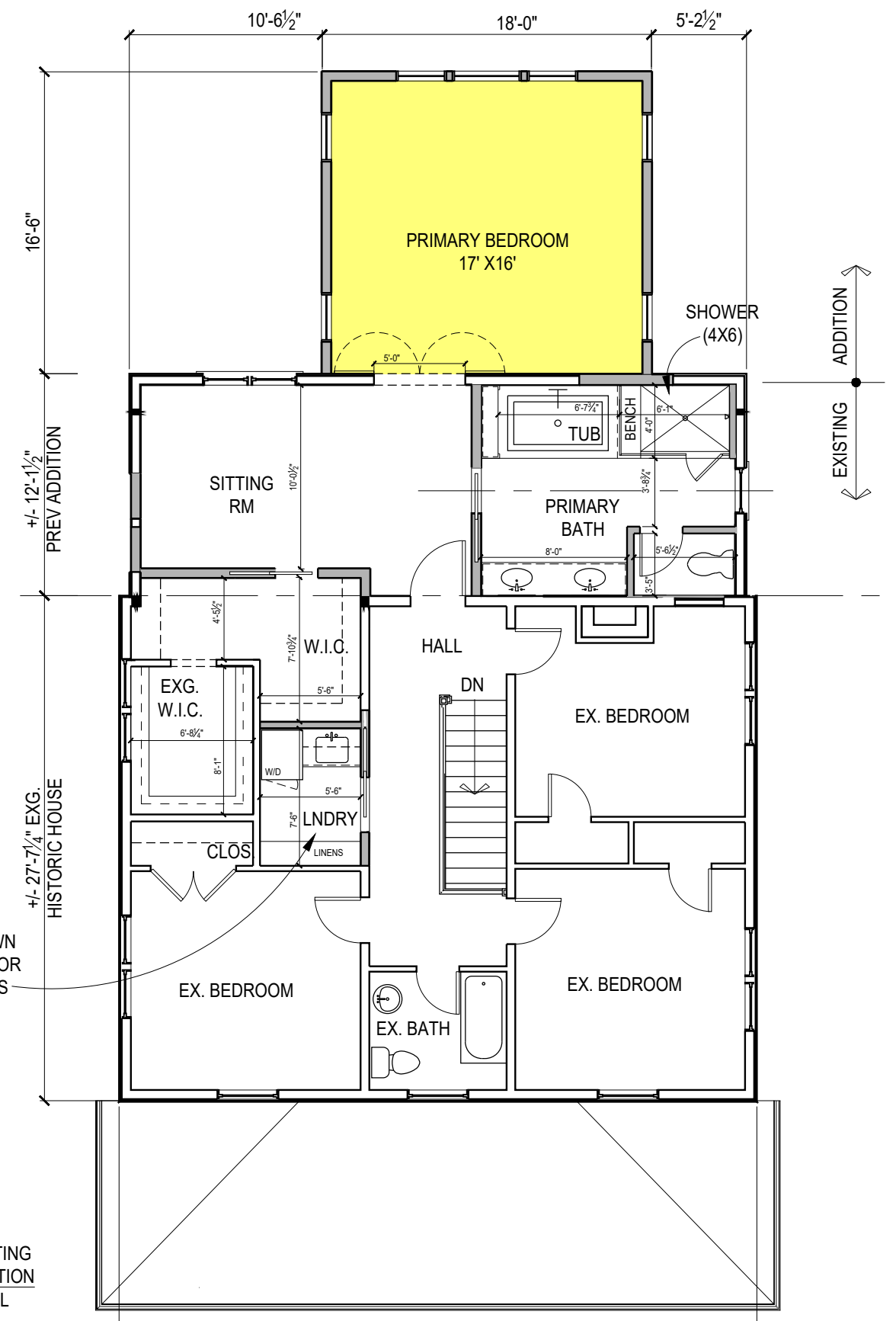
PROPOSED FIRST FLOOR PLAN



GTM ARCHITECTS

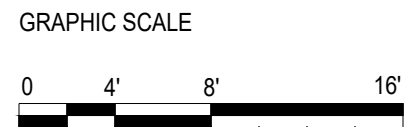


EXISTING SECOND FLOOR PLAN



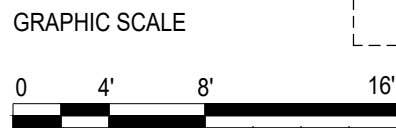
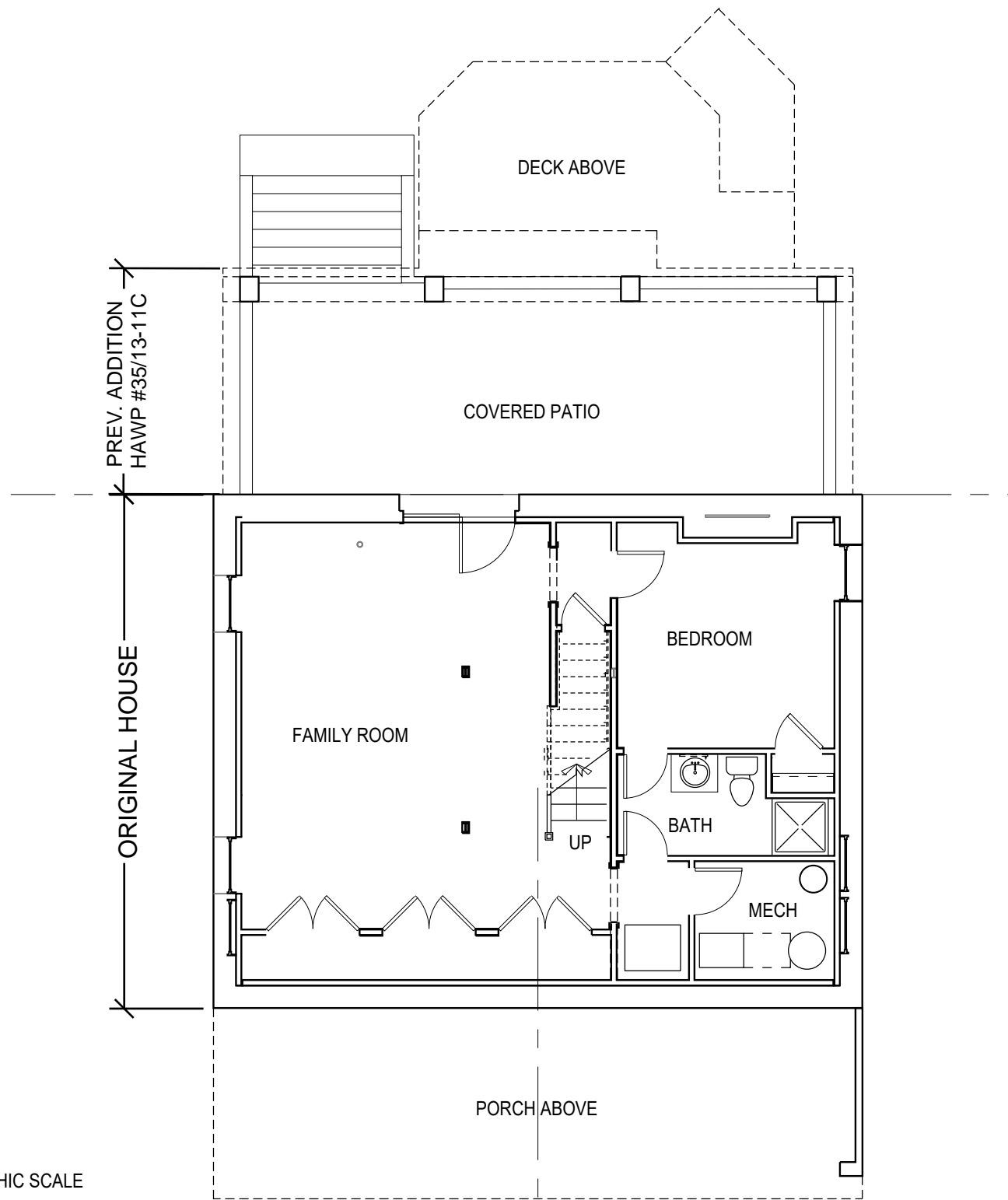
PROPOSED SECOND FLOOR PLAN

±	1,369 SF	EXISTING
±	299 SF	ADDITION
±	1,668 SF	TOTAL



HERMAN RESIDENCE

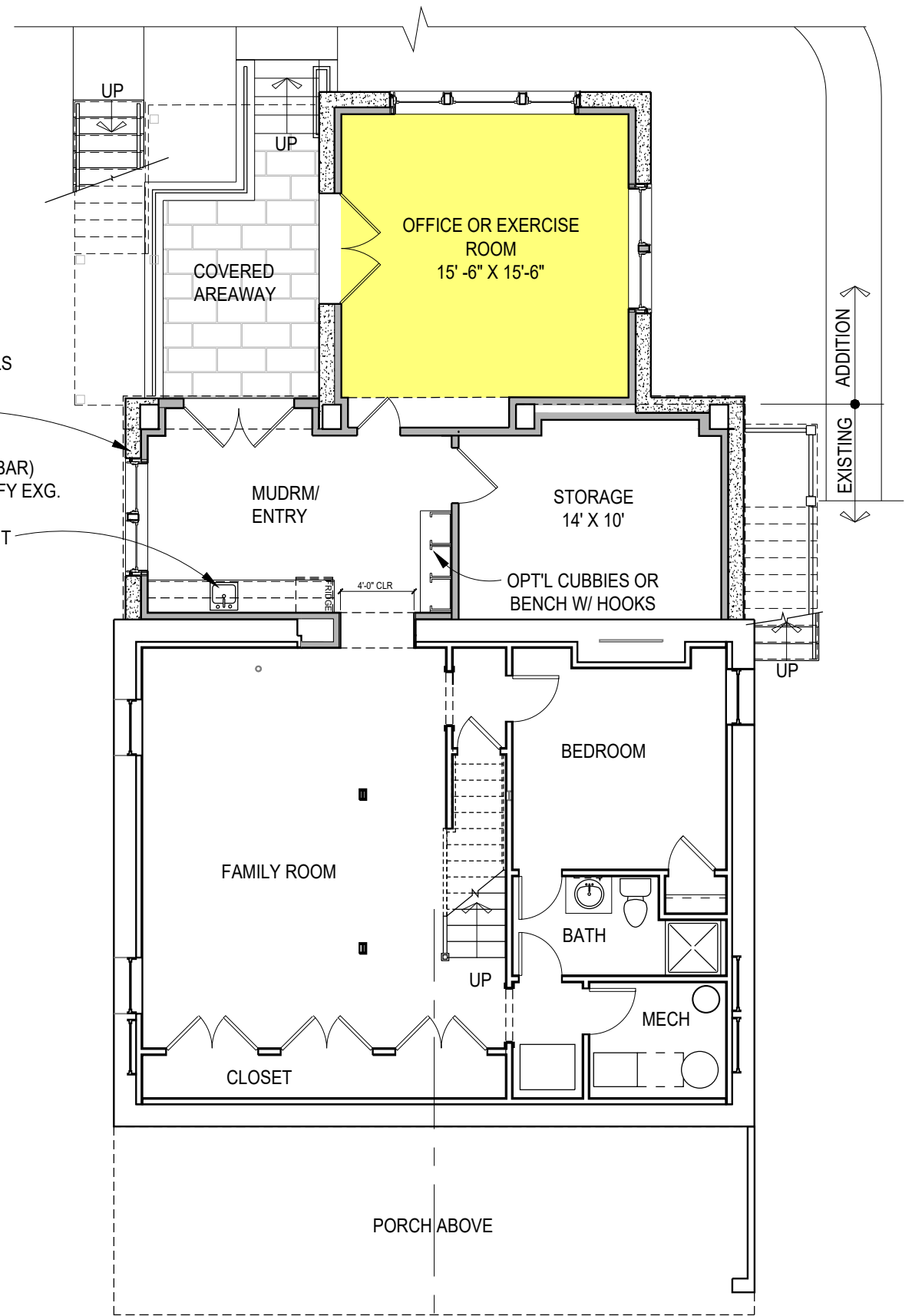




EXISTING BASEMENT PLAN

ALIGN FOUND. WALLS WITH EXG. FRAME WALLS ABOVE

KITCHENETTE (WET BAR) W/ OPT'L SINK, VERIFY EXG. SANITARY LINE LOCATION(S) IN BSMT



±	956 SF	EXISTING
±	702 SF	ADDITION
±	1,658 SF	TOTAL

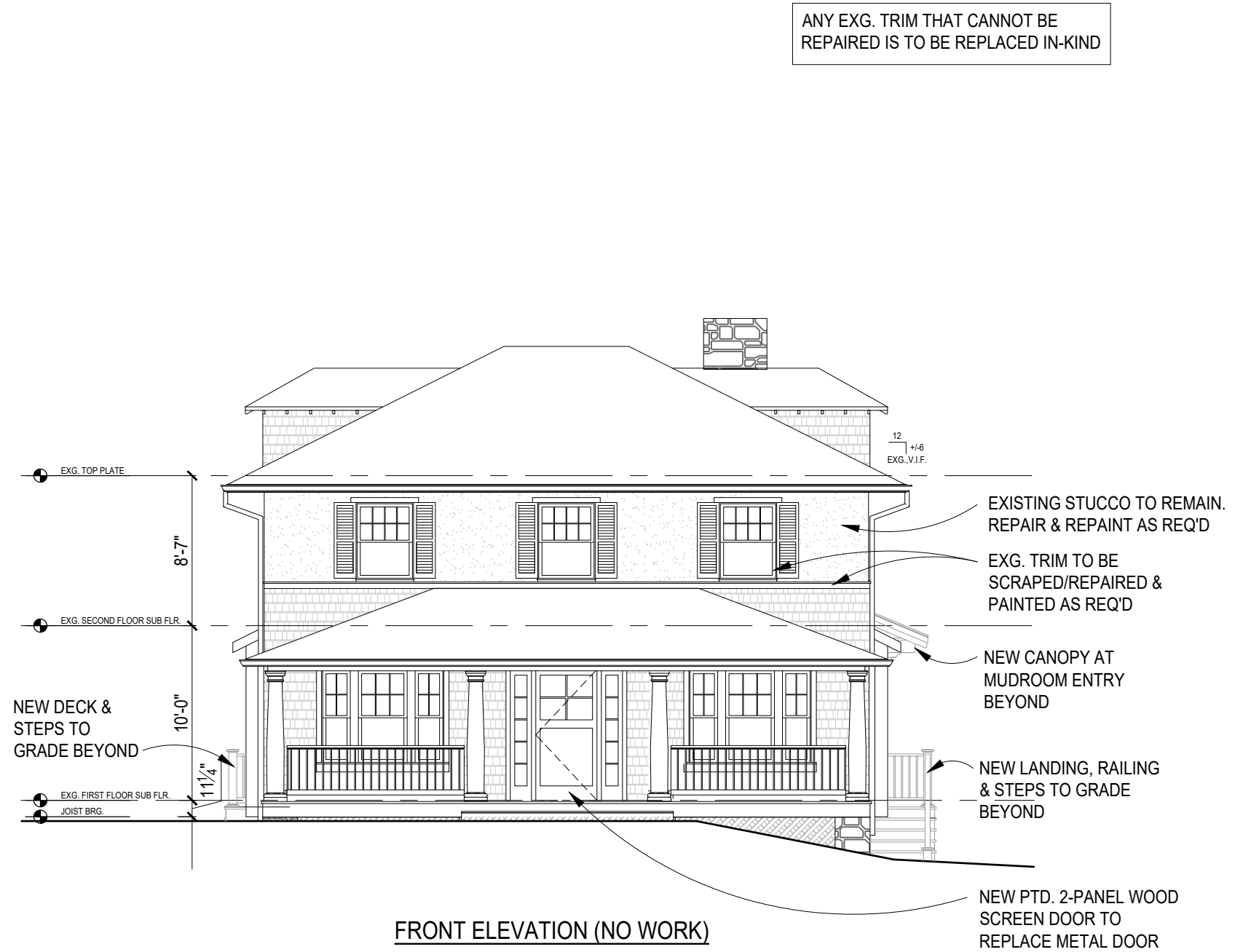
PROPOSED BASEMENT PLAN

HERMAN RESIDENCE



FRONT VIEW

GRAPHIC SCALE



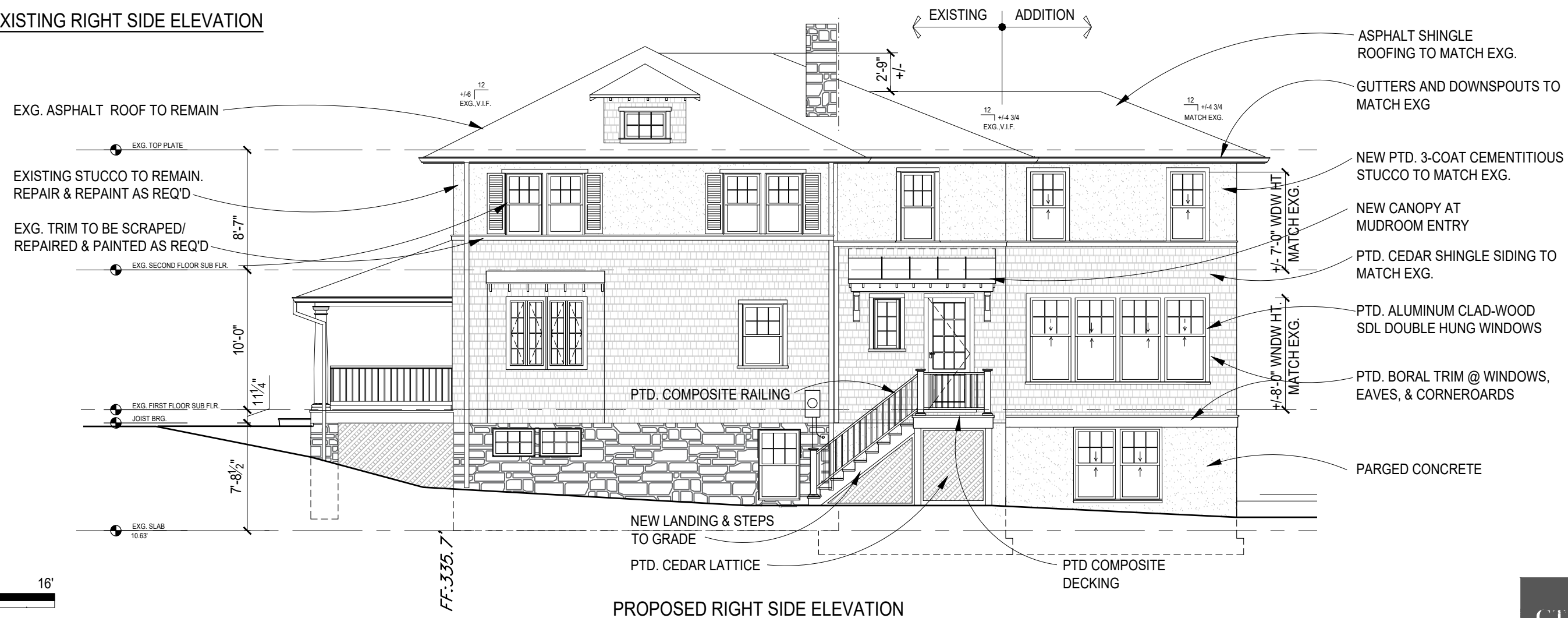
FRONT ELEVATION (NO WORK)

HERMAN RESIDENCE

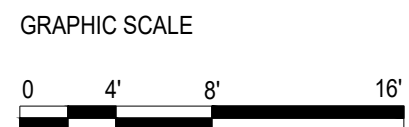




EXISTING RIGHT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION

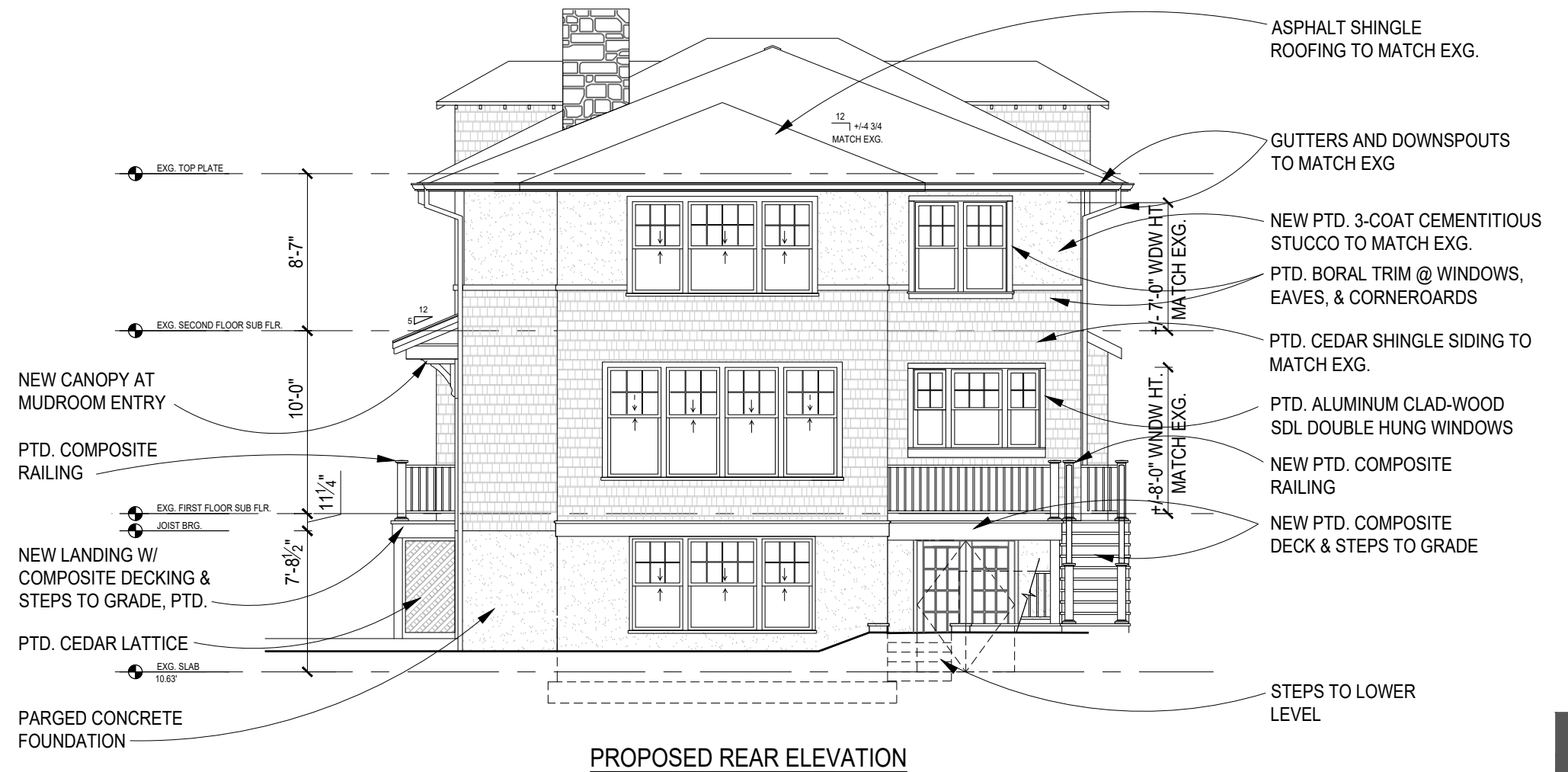


HERMAN RESIDENCE



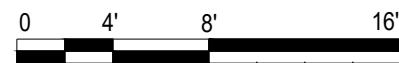


EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

GRAPHIC SCALE





EXISTING LEFT SIDE ELEVATION

ASPHALT SHINGLE ROOFING TO MATCH EXG.

GUTTERS AND DOWNSPOUTS TO MATCH EXG.

NEW PTD. 3-COAT CEMENTITIOUS STUCCO TO MATCH EXG.

ALUMINUM CLAD-WOOD SDL DOUBLE HUNG WINDOWS

PTD. BORAL TRIM @ WINDOWS, EAVES, & CORNERBOARDS

MTL VENT CAP FOR DIRECT-VENT FP

CLAD-WOOD SDL PATIO DOOR

PTD. CEDAR SHINGLE SIDING TO MATCH EXG.

PTD. COMPOSITE RAILING

NEW COMPOSITE DECK/STEPS, PTD.

PARGED CONCRETE

NEW STEPS TO LOWER LEVEL

PARTIAL HEIGHT RETAINING WALL W/ PTD. MTL GUARDRAIL

ADDITION EXISTING

2'-9" +/-

+/-4 3/4" 12" MATCH EXG.

+/-4 3/4" 12" EXG. V.I.F.

12" +/-6" EXG. V.I.F.

STUCCO INFILL WHERE EXG. NON-HISTORIC WINDOWS HAVE BEEN REMOVED, MATCH EXG.

EXG. ASPHALT ROOF TO REMAIN

EXISTING STUCCO TO REMAIN. REPAIR & REPAINT AS REQ'D.

EXG. TRIM TO BE SCRAPPED/ REPAIRED & PAINTED AS REQ'D

EXG. TOP PLATE

8'-7"

EXG. 2ND FLR SUBFLR.

10'-0"

EXG. 1ST FLR SUBFLR.

11 1/4"

JOIST BRG.

7'-8 1/2"

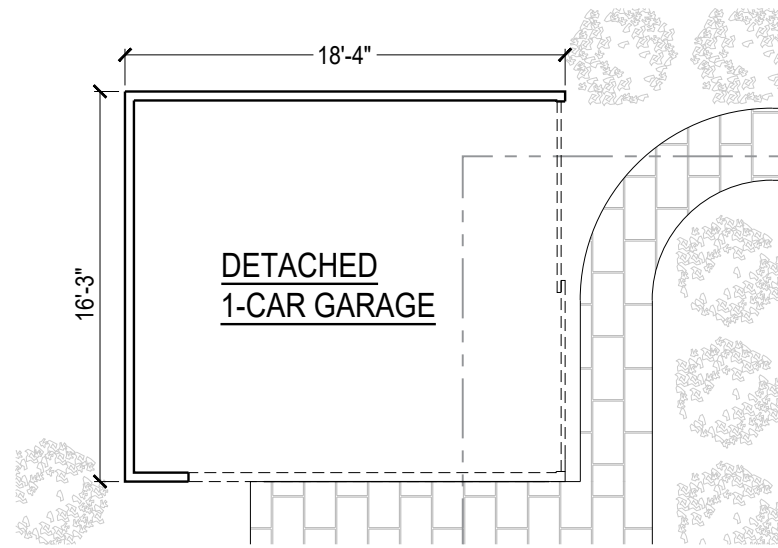
EXG. SLAB 10.63'

ENCLOSE EXG. PORCH AND PROVIDE NEW WINDOWS

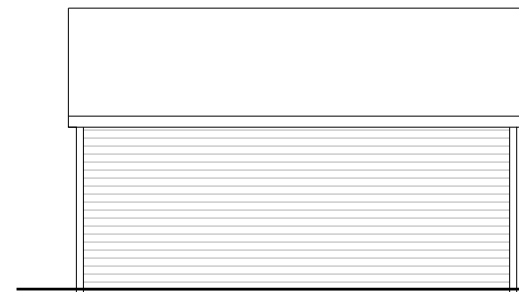
PROPOSED LEFT SIDE ELEVATION

GRAPHIC SCALE

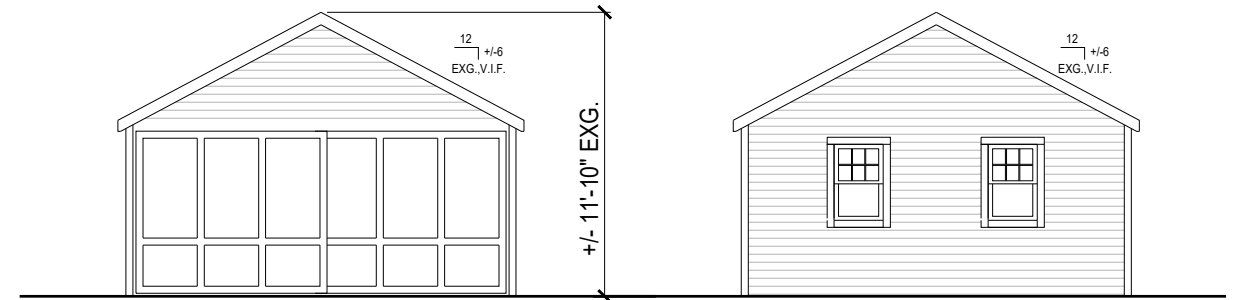




EXG. GARAGE PLAN

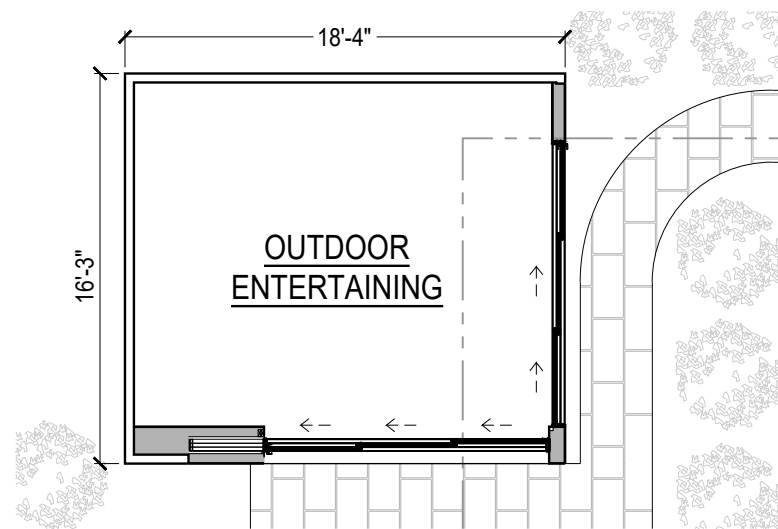


EXISTING GARAGE SIDES

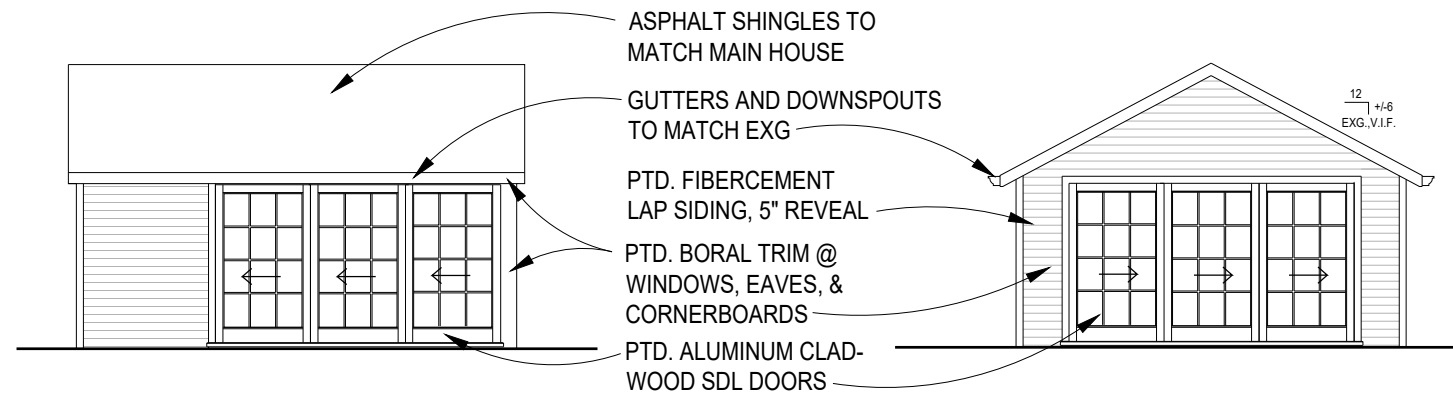


EXISTING GARAGE FRONT

EXISTING GARAGE REAR

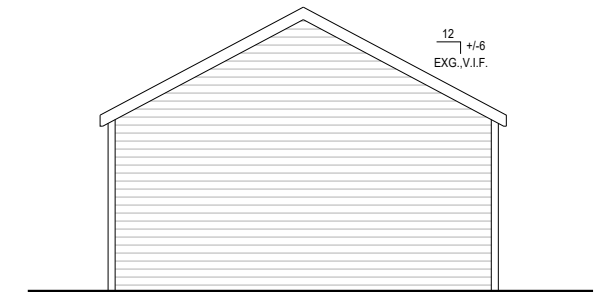


PROPOSED GARAGE PLAN

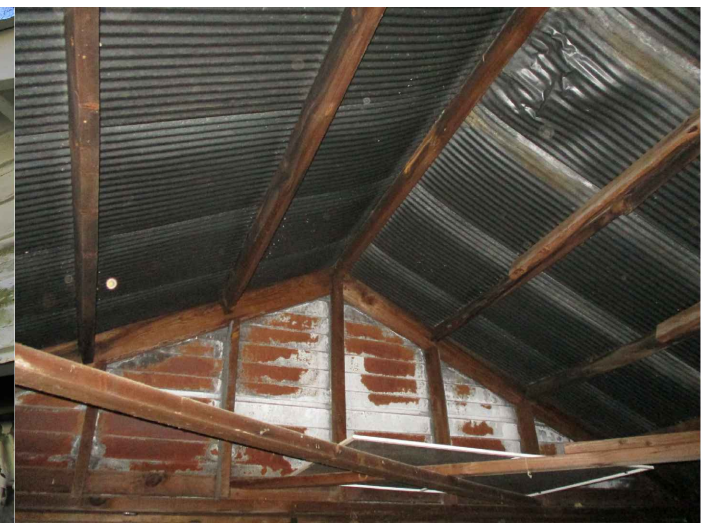


PROPOSED GARAGE LEFT SIDE

PROPOSED GARAGE FRONT

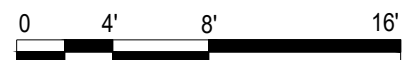


PROPOSED GARAGE REAR



REFERENCE PHOTOS

GRAPHIC SCALE

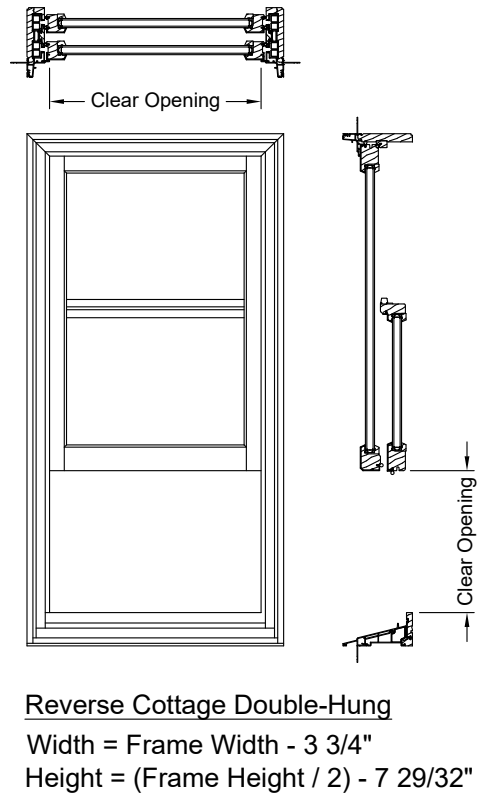
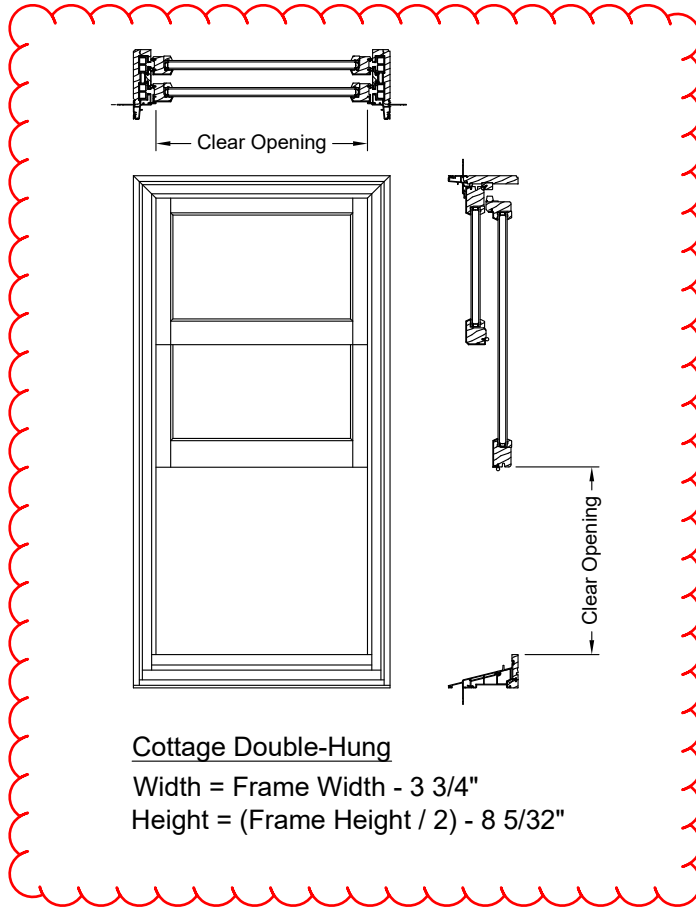
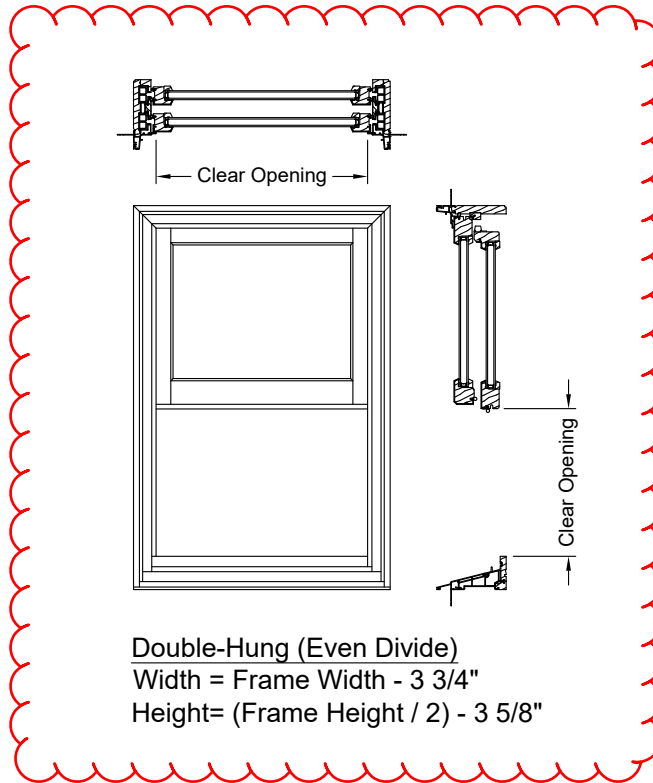


HERMAN RESIDENCE

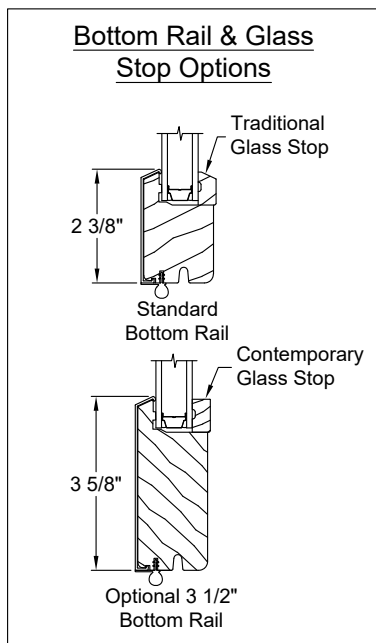
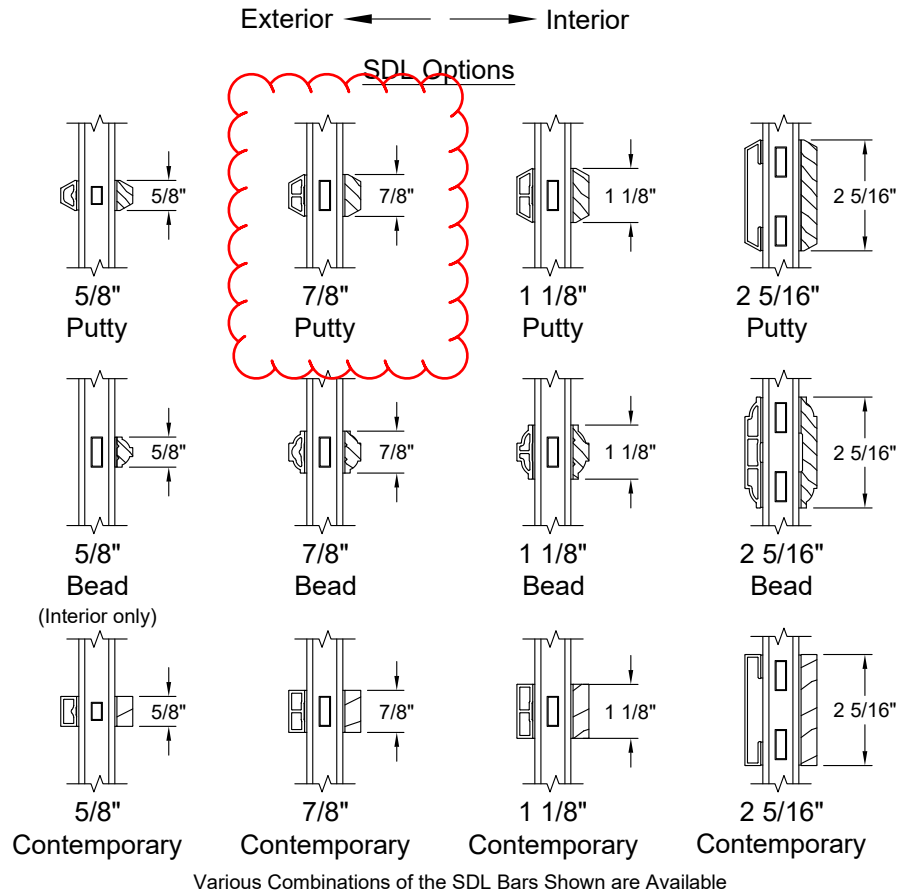
GTM

GTM ARCHITECTS

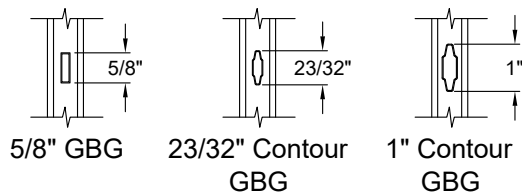
CLEAR OPENING LAYOUT



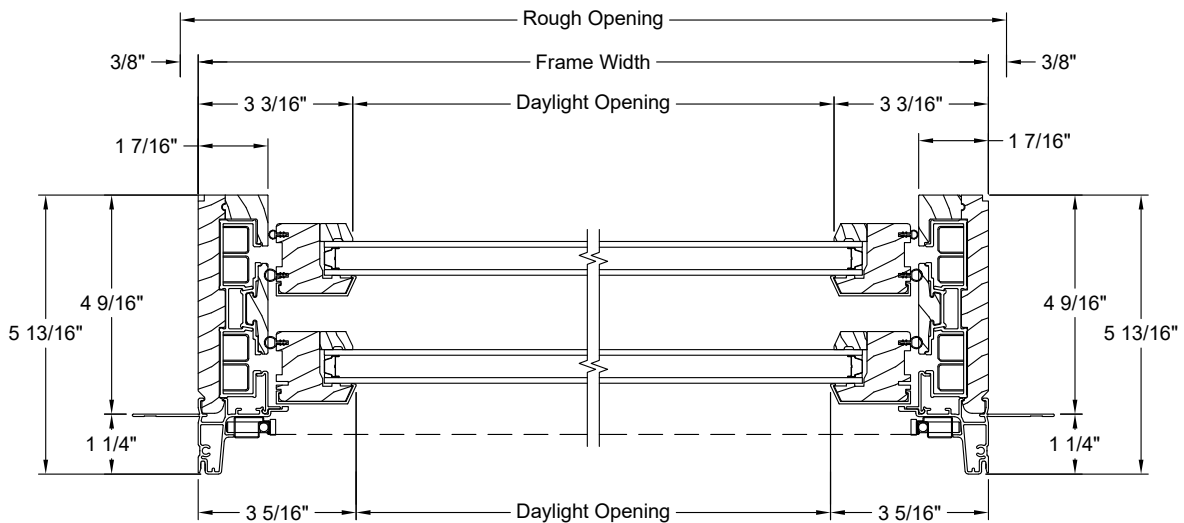
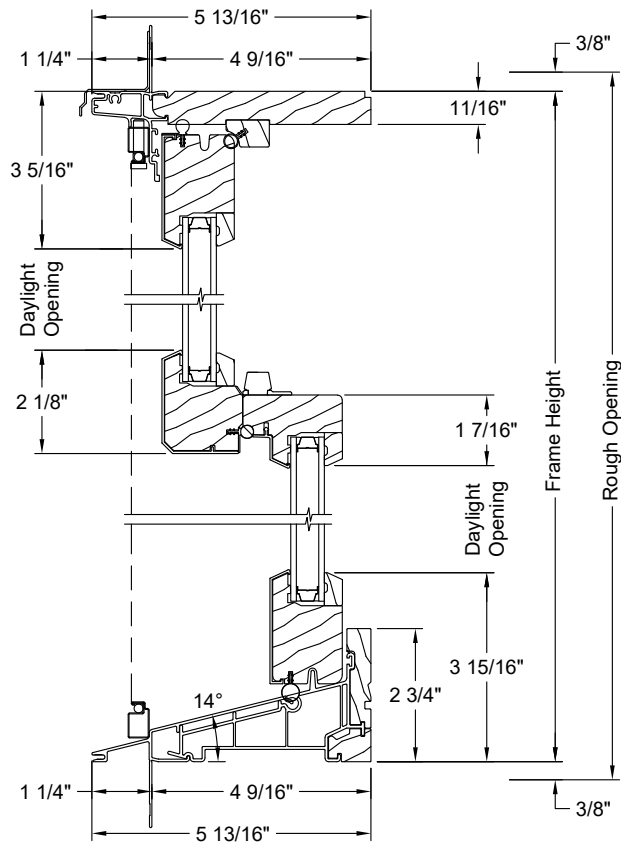
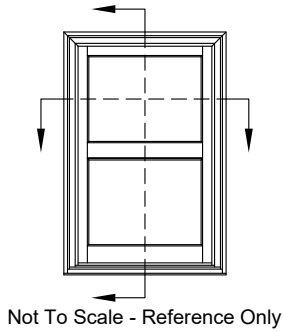
GRID, BOTTOM RAIL & GLASS STOP OPTIONS



GBG Options



OPERATOR SECTIONS



HardiePlank®

HardiePlank® Lap Siding Product Description

HardiePlank® lap siding is factory-primed fiber-cement lap siding available in a variety of styles and textures. Please see your local James Hardie® product dealer for product availability. HardiePlank lap siding comes in 12-ft. lengths. Nominal widths from 5 1/4 in. to 12 in. create a range of exposures from 4 in. to 10 3/4 in.

HardiePlank lap siding is also available with ColorPlus® Technology as one of James Hardie's prefinished products. ColorPlus® Technology is a factory applied, oven-baked finish available on a variety of James Hardie siding and trim products. See your local dealer for details and availability of products, colors, and accessories.

The HZ5® product line is right at home in climates with freezing temperatures, seasonal temperature variations, snow and ice. HZ5® boards are the result of our generational evolution of our time-tested products. We've evolved our substrate composition to be specifically designed to perform in conditions found in these climates. To ensure that its beauty matches its durability, we've engineered the surface for higher performance, giving it superior paint adhesion and moisture resistance. In addition, we've added a drip edge to the HardiePlank® HZ5® lap siding product to provide improved water management in conditions specific to HZ5® climates.



Cedarmill®



Smooth



Beaded Cedarmill®



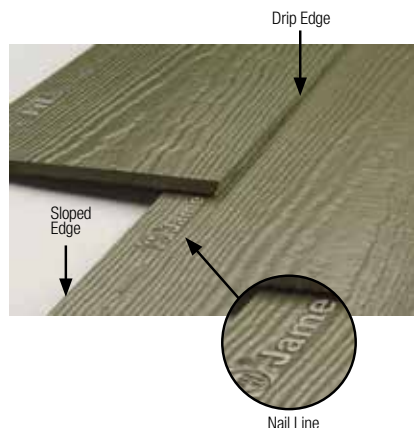
Beaded Smooth



Colonial Roughsawn



Colonial Smooth



HardiePlank®

Thickness 5/16 in
Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

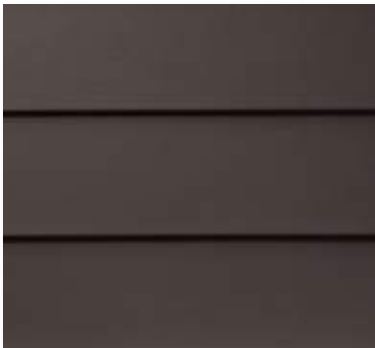
	Width	5.25 in*	6.25 in	7.25 in	8.25 in
Exposure	4 in		5 in	6 in	7 in
Prime Pcs/Pallet	360		308	252	230
ColorPlus Pcs/Pallet	324		280	252	210
Pcs/Sq	25.0		20.0	16.7	14.3

SELECT CEDARMILL®



	Width	5.25 in*	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™					✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓

SMOOTH



	Width	5.25 in*	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™					✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME	✓	✓	✓	✓	✓

BEADED CEDARMILL®

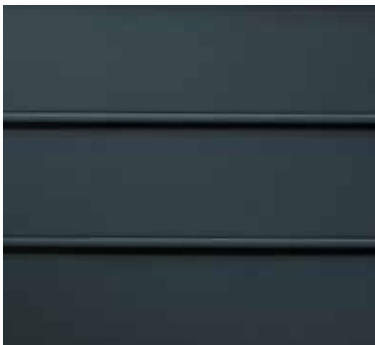


BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3

STATEMENT COLLECTION™	_____
DREAM COLLECTION™	✓
PRIME	_____

BEADED SMOOTH



*5.25 in widths not available in Virginia District for HZ5® product zones.



Charcoal

Charcoal is the most neutral of shades, and works wonderfully with blues, grays, whites, yellow, gold, sage, and green.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

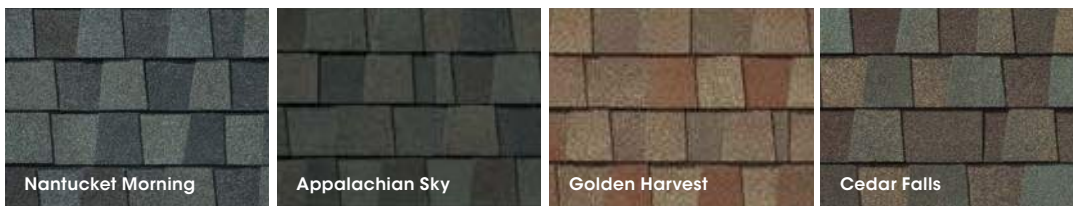
Color Availability



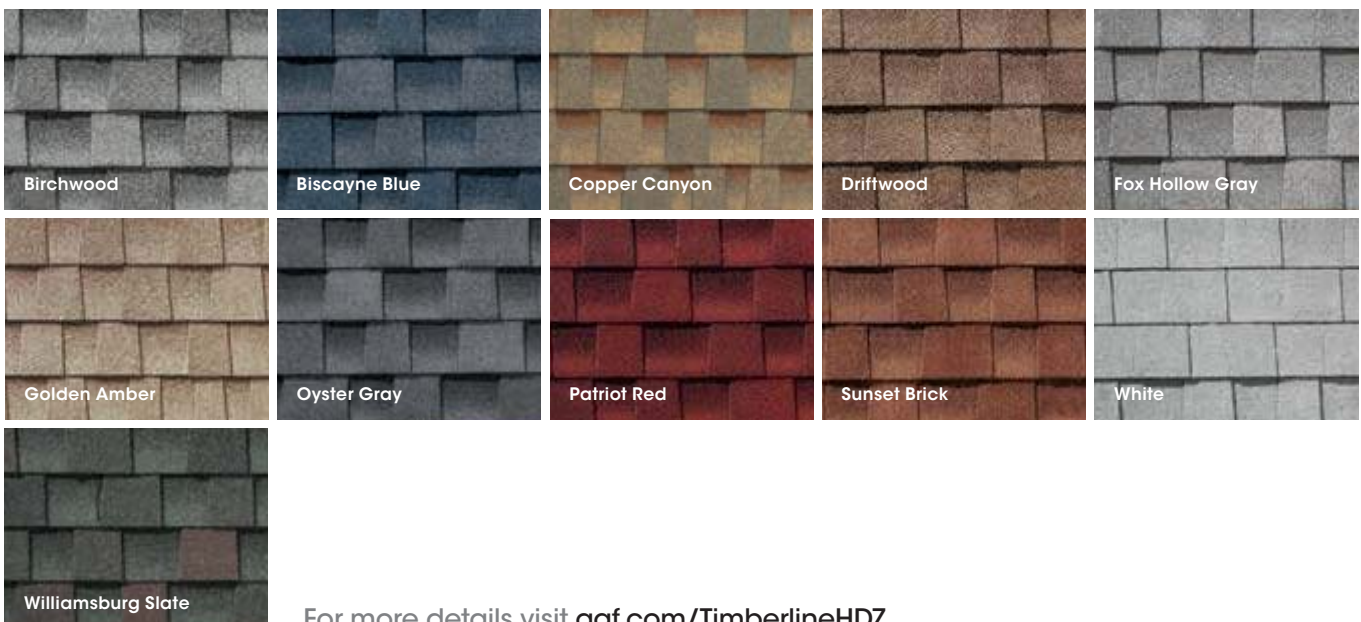
Nationally Available Colors



Harvest Blend Colors



Regionally Available Colors (See next page for details.)



For more details visit gaf.com/TimberlineHDZ

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

TimberTex® and TimberCrest® Premium Ridge Cap Shingles



Hip & Ridge Cap Shingles accentuate the natural beauty of your architectural shingle roof. They're the perfect finishing touch that helps defend against leaks at the hips and ridges. gaf.com/ridgecaps



TimberTex® Premium Ridge Cap Shingles



TimberCrest® Premium SBS-Modified Ridge Cap Shingles

TimberTex® and TimberCrest® Premium Ridge Cap Shingles are designed to complement the color of your Timberline® Shingles. To ensure the closest color consistency for your roof, ask your contractor to use genuine TimberTex® or TimberCrest® Premium Ridge Cap Shingles.¹

- Accentuate the beauty of your newly installed shingle roof
- Protect against leaks and blow-offs at the hip and ridge areas of your roof
- Complement the color of your GAF Shingles with hip and ridge cap shingles manufactured by GAF
- 25-year StainGuard Plus™ Algae Protection Limited Warranty² against blue-green algae discoloration uses GAF Time-Release Algae-Fighting Technology to help protect your ridge cap shingles from unsightly stains.

Also available¹



Seal-A-Ridge®



¹ These products are not available in all areas. See gaf.com/ridgecapavailability for details.

² 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.

Trim

Designed to be used in non-load-bearing applications, TruExterior Trim is suitable for ground and masonry contact and moisture-prone areas, which makes it ideal for exterior trim applications such as fascia, door trim, soffits, rake boards and a variety of other applications. There is no need to prime ends or field cuts. Plus, it can be painted any color. TruExterior Trim accepts common high-quality, exterior-grade fasteners and can be installed using standard woodworking tools and methods.





5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

BOARD-AND-BATTEN SIDING

Whether a Modern Farmhouse design or creating accents on a gable, board-and-batten is one of the hottest trends in home exterior design. And it's easy to create the board-and-batten look using just TruExterior Trim.



TruExterior Trim comes pre-primed and does require paint.

Beadboard

Including single and double profiles, TruExterior Beadboard is ideal for porch ceilings, soffits and decorative wall applications, and allows for a variety of installations, as it can be attached in either parallel or perpendicular directions.

Its “tongue-and-groove” design results in a clean look that can be reversed to offer a contemporary “V-groove” appearance.

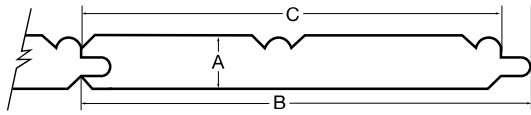


Pictured: V-Groove Pattern



Pictured: Beaded Pattern

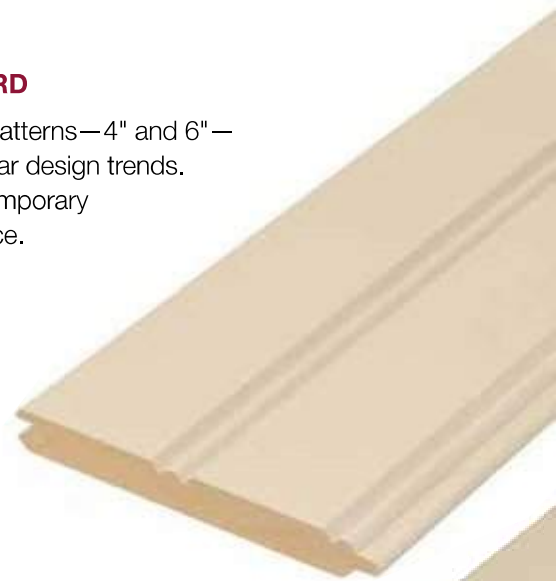
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
5/8 x 4	5/8"	3-15/32"	3-5/32"
5/8 x 6	5/8"	5-5/16"	4-15/16"



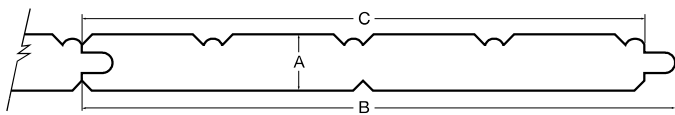
SINGLE BEADBOARD

Two distinct beaded patterns—4" and 6"—to suit the most popular design trends. Reversible for a contemporary “V-Groove” appearance.

Smooth Finish



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
5/8 x 8	5/8"	6-9/16"	6-7/32"
5/8 x 12	5/8"	10-1/4"	9-29/32"



DOUBLE BEADBOARD

The same appearance as the single-profile products, but with twice the coverage. Reversible for a contemporary “V-Groove” appearance.

Smooth Finish



TruExterior Beadboard comes pre-primed and does require paint.

Accessories

TruExterior Siding & Trim Accessories make it easy to create polished, professional-looking siding and trim installations. Decorative yet functional, the poly-ash accessories are designed to go where other materials can't, making them the perfect complement to cedar, fiber cement and other traditional siding products, as they are suitable for ground and masonry contact.



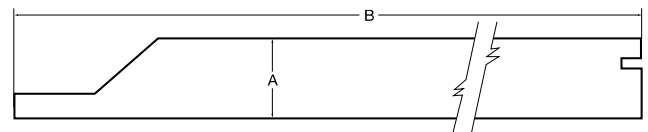
SKIRT BOARD

Provides a decorative yet functional way to create the required clearance between siding and grade.

Available Finishes:

- Smooth
- Woodgrain

Nominal Size	Actual Thickness (A)	Actual Width (B)
1 x 6	3/4"	5-1/2"
1 x 8	3/4"	7-1/4"
5/4 x 6	1"	5-1/2"
5/4 x 8	1"	7-1/4"



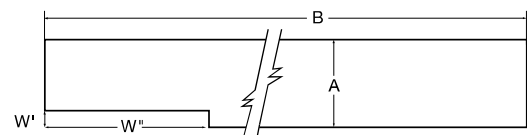
WINDOW POCKET RABBETED TRIM

The rabbeted groove helps trim to sit flush over the window's nailing flange, eliminating the need for cuts or shims.

Available Finishes:

- Smooth
- Woodgrain

Nominal Size	Actual Thickness (A)	Actual Width (B)	Window Pocket (W' x W'')
5/4 x 4	1"	3-1/2"	3/16" x 1-7/8"
5/4 x 6	1"	5-1/2"	3/16" x 1-7/8"
5/4 x 8	1"	7-1/4"	3/16" x 1-7/8"



TruExterior Accessories come pre-primed and do require paint.



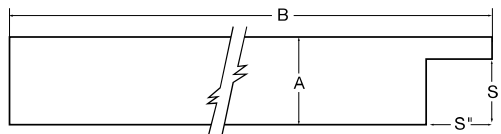
Nominal Size	Actual Thickness (A)	Actual Width (B)	Siding Pocket (S' x S'')
5/4 x 3	1"	2-1/2"	3/4" x 3/4"
5/4 x 4	1"	3-1/2"	3/4" x 3/4"
5/4 x 5	1"	4-1/2"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/4" x 3/4"

SIDING POCKET RABBETED TRIM

Perfect for end wall terminations, this trim with a 3/4" siding pocket accepts all TruExterior Siding profiles.

Available Finishes:

- Smooth
- Woodgrain



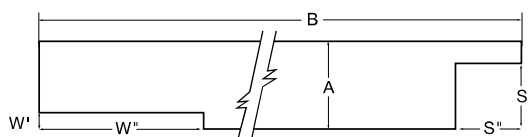
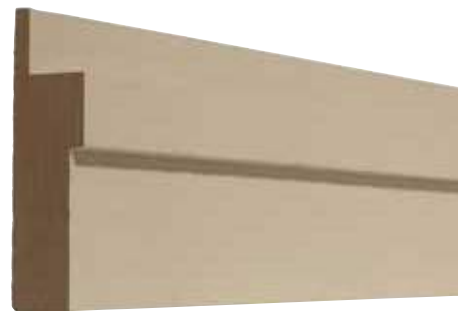
Nominal Size	Actual Thickness (A)	Actual Width (B)	Window Pocket (W' x W'')	Siding Pocket (S' x S'')
5/4 x 4	1"	3-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/16" x 1-7/8"	3/4" x 3/4"

WINDOW AND SIDING POCKET RABBETED TRIM

The ultimate accessory to build a neat, professional-looking window surround.

Available Finishes:

- Smooth
- Woodgrain



TruExterior Accessories come pre-primed and do require paint.

TruExterior Siding & Trim Reference Guide

SUSTAINABILITY

The sustainable properties of TruExterior Siding & Trim are a result of a combination of proprietary polymer chemistry and highly refined, recovered coal combustion products (fly ash), which are endorsed by the U.S. Green Building Council (USGBC) for use in construction materials.

- Contains a minimum of 70% recycled content—verified by SCS Global Services



CODE LISTINGS

TruExterior Siding & Trim have undergone rigorous internal and third-party testing to provide building officials, architects, contractors, specifiers, designers and others with reliable, high-performing products.

- California's Wildland-Urban Interface (WUI) listed—Beadboard and Trim
- Intertek CCRR-0300

Trim

5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

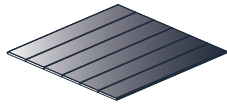
Beadboard

Single		Double	
Nominal Size	Actual	Nominal	Actual
5/8 x 4	5/8" x 3-15/32"	5/8 x 8	5/8" x 6-9/16"
5/8 x 6	5/8" x 5-5/16"	5/8 x 12	5/8" x 10-1/4"

Accessories

Skirt Board		Window Pocket Rabbeted Trim		Siding Pocket Rabbeted Trim		Window and Siding Pocket Rabbeted Trim	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
1 x 6	3/4" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 3	1" x 2-1/2"	5/4 x 4	1" x 3-1/2"
1 x 8	3/4" x 7-1/4"	5/4 x 6	1" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 6	1" x 5-1/2"
5/4 x 6	1" x 5-1/2"	5/4 x 8	1" x 7-1/4"	5/4 x 5	1" x 4-1/2"	5/4 x 8	1" x 7-1/4"
5/4 x 8	1" x 7-1/4"			5/4 x 6	1" x 5-1/2"		
				5/4 x 8	1" x 7-1/4"		

Note: All TruExterior Trim, Beadboard, and Accessory products are available in a standard 16' length.



TRADITIONS

PAINT-READY PORCH FLOORING

Aeratis Traditions is an uncolored board that can be painted or stained in any color. Unlike the Heritage line, which can also be painted, Traditions must be painted in order to take advantage of the industries' unparalleled warranty. When painted or stained, Aeratis Traditions maintains a 5-A paint adhesion, the strongest paint adhesion in the industry (no priming needed). This means that you can enjoy the same low-maintenance porch that matches the look and feel of your home in a color that's right for you, with a 20-year warranty. See Aeratis.com for complete painting and staining instructions.

Notice the dramatic difference between the wood for the early 1900's compared to the wood from today. Notice the growth rings or the lack thereof from the wood harvested in 2018. This is the result in quick cut timber practices. This is why wood porches have to be maintained and replaced so often. These costs can add up very quickly. Aeratis has introduced Aeratis Traditions as a true wood replacement. Competitively



Photo by: Zack Deltmore

priced to wood at the time of install, can be painted any color with an average repaint cycle of 7-10 years, FREE paint in the form of a rebate and is backed by a Lifetime Limited warranty. Stop trying to use wood on your porch and turn to the Performance Leader in Exterior Living Space and stop worrying about your porch.



Paint-Ready T&G Porch Flooring

What is Traditions?

Aeratis Traditions is a paintable or stainable line of porch products priced competitively to wood while providing the superior performance of a PVC product. Once painted or stained, Traditions products are indistinguishable from traditional wood, offering you greater design flexibility at a competitive price with a far superior paint or stain adhesion (5-A adhesion - the highest possible within ASTM standards).



TRADITIONS TWENTY-FOUR

Porch Ceiling & Wainscoting

Aeratis Traditions Twenty-Four beaded ceiling/ Wainscoting is a historically accurate, double sided, paint-ready PVC ceiling product. The Traditions Twenty-Four ceiling board dimensions are 5" x 3/8" x 16'. What makes the Traditions-24" ceiling board unique is the fact that it is the only synthetic that can be installed with the ceiling joist 24" OC. Further, the ceiling board can be painted any color due to the nature of our proprietary paint grade formulation (see paint instructions and paint rebate at Aeratis.com). The Traditions-24" ceiling board not only saves time and money during the installation process, it dramatically reduces the overall construction cost due to the significant advantage of the 24" OC span rating over every other synthetic on the market (the only 24" OC install in it's class).



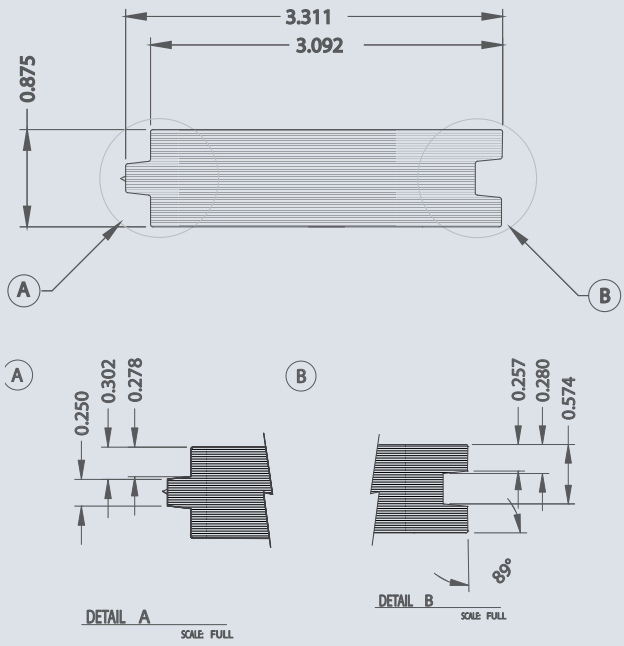
1-1/4" beaded plank (side 1)



2" beaded plank (side 2)



Aeratis Traditions Profiles



Traditions Trim

Aeratis also offers paint-ready traditional trim profiles to finish the edge of the porch and hide termination points. These trim pieces include quarter-round, half-round nosing, and chamfer nosing in 8' lengths. When using trim pieces to finish up your Traditions paint-ready porch floor, any color of trim will work. Everything made by Aeratis can be painted or stained and a 5-A

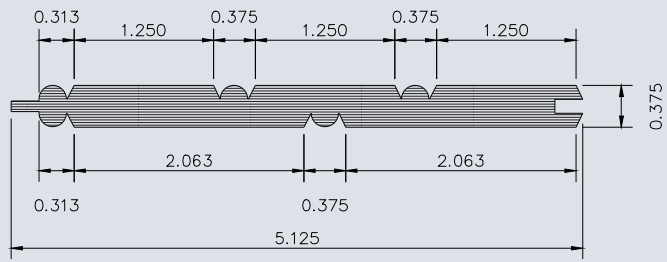
paint adhesion can be achieved. Simply, clean the trim pieces (and porch flooring) with acetone after all caulking and holes are filled and paint with an Aeratis approved paint (see aeratis.com for complete painting instructions and list of approved paints).

Traditions Universal Porch Plank

The Aeratis Traditions paint-ready Universal Porch Plank is perfect for picture framing your Traditions installation, using on stairs, or even as a stand alone wide-plank porch application. Follow the same painting instructions as the porch planks (see painting instructions at Aeratis.com).



Traditions - 24" Ceiling Profile



Aeratis Traditions Testing Data

Performance Characteristic	ASTM Method	Results
Flame Spread	ASTM E84	Class B or better
Coefficient of Expansion	ASTM D696	191 x 10 ⁻⁵ in/in/°F
Compression Parallel	ASTM D198	2605 psi
Shear	ASTM 143	2939 psi
Screw Withdrawal	ASTM D1761	806 lbs
Decay Resistance	ASTM D1413	No Decay
Termite Resistance	ASTM D3345	10 - Highest Rating
Water Absorption	ASTM 570	1.21%
Modulus of Rupture	ASTM D6109	16" O.C. - 3,100
Modulus of Elasticity	ASTM D6109	16" O.C. - 362,000

Hampton RS40 EXTRUDED RAIL



An Economical Rail Solution with Performance Superior to Composite Railing



Hampton Flat with Chamfered Newel & Column Wraps

UNIQUE HAMPTON RAIL FEATURES

- Standard kits ship with solid 1 1/4" square-edge balusters
- FSC Certified Mahogany Cap upgrade available for both hampton profiles!



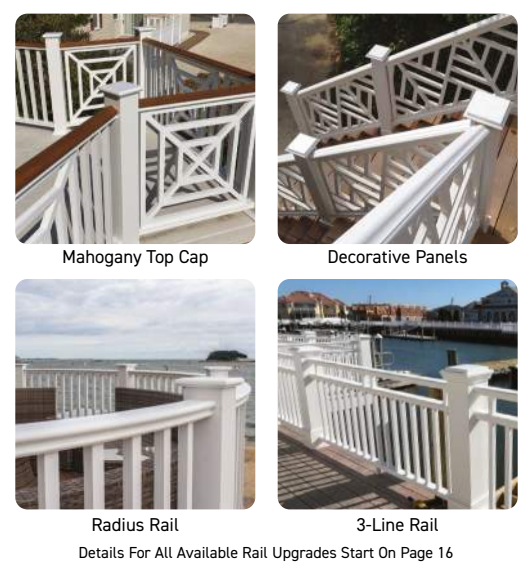
RAIL ASSEMBLY JIG

Our reusable rail assembly jig is designed specifically to help reduce installation times and labor cost. The Assembly Jig makes it easier to align, center and space balusters.

LONGER, CODE COMPLIANT SPANS

Meets commercial requirements of International Building Code (IBC) and International Residential Code (IRC) for level spans up to 10 feet and stair spans up to 8 feet.

POPULAR UPGRADES FOR HAMPTON:



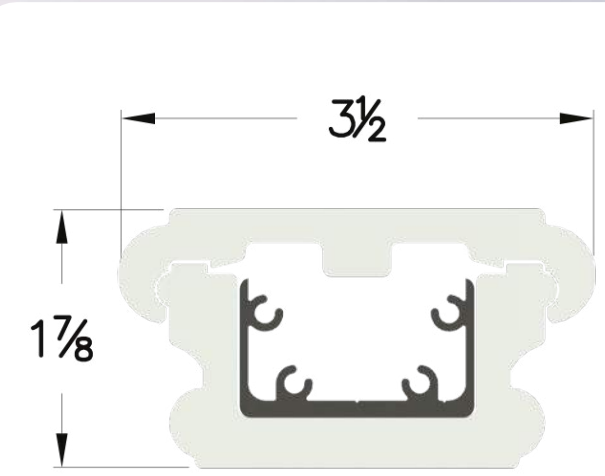
Mahogany Top Cap

Decorative Panels

Radius Rail

3-Line Rail

Details For All Available Rail Upgrades Start On Page 16



HAMPTON RS40350F Beverage Friendly Top

Hampton Flat is our most popular profile in a beverage-friendly detail. This profile is available as our standard Cellular PVC flat profile or a Mahogany flat profile upgrade.

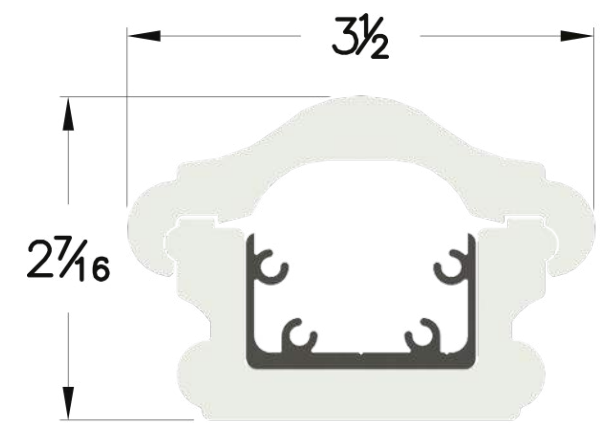
PRICE RANGE: \$ \$ \$ \$

Installation: ✂ ✂ ✂ ✂



RS40 Hampton Kits	6' Length	8' Length	10' Length	12' Length
36" Height	✓	✓	✓	✗
42" Height	✓	✓	✓	✗
Stair Application	✓	✓	✗	✗

 GET AN INSTANT QUOTE!
INTEXMILLWORK.COM



HAMPTON RS40350P Traditional Rail Style

Our Peaked Hampton profile brings an added touch of historic detail with its rounded design. This profile is available as our standard Cellular PVC peaked profile or a Mahogany peaked profile upgrade.

PRICE RANGE: \$ \$ \$ \$

INSTALLATION: ✂ ✂ ✂ ✂



Radius Rail RAIL UPGRADES

Guaranteed Custom Radius Fit with Our Radius Rail Template Kit!



Nautilus 20500 3-Line Rail with Radius Bends, Chamfered 2" Balusters, Recessed Panel Newel Wraps

CUSTOM IN-HOUSE RADIUS BENDS

We are proud to offer in-house Radius Rail arcs from 6ft, 8ft, and 10ft rail spans. For stairway applications 6ft and 8ft spans are available

THE INTEX GUARANTEE

We guarantee the Radius Rail fit when the INTEX Radius Rail Template Kit is used. Call 856-293-4100 to order a Radius Rail Template Kit!

RADIUS RAIL AVAILABILITY

	Level Rail			Stair Rail	
	6'	8'	10'	6'	8'
Liberty	✓	✓	✓	✓	✓
Hampton	✓	✓	✓	✓	✓
Providence	✓	✓	✓	✓	✓
Dartmouth	✓	✓	✓	✓	✓
Nautilus	✓	✓	✓	✗	✗



SCAN FOR VIDEO GALLERY!
Then scroll to the "Rail Templating" section for Radius Rail tutorials!

Gates RAIL UPGRADES

Gates for INTEX Rail Systems are reinforced with welded aluminum frames, crafted with no open cells and are available using any of our standard rail profiles. Available as single or double gates. INTEX Gates cannot be trimmed or cut to size.



Liberty Gates



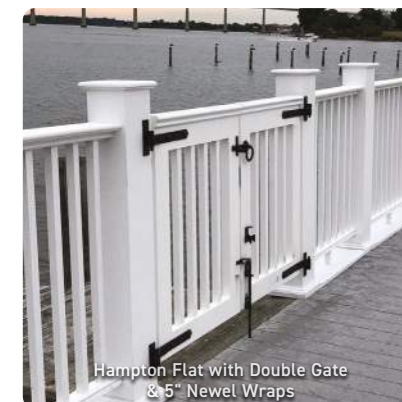
**Hampton Gates
Providence Gates**



Dartmouth Gates



Nautilus Custom Gates

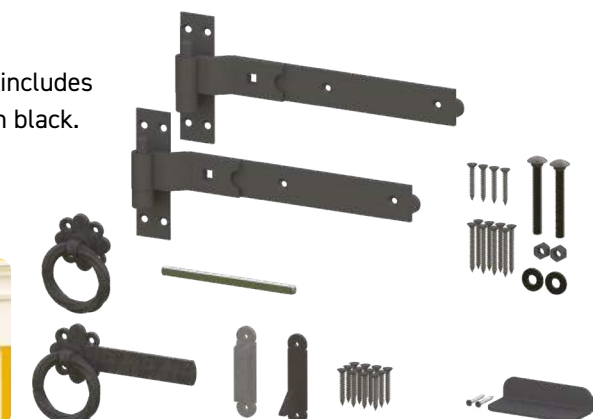


Hampton Flat with Double Gate & 5" Newel Wraps

GATE HARDWARE

INTEX Rail Gate Mounting Hardware set includes Two 12" Band Hinges, Latch & Stop, all in black.

- A. Face-Mount Hardware Application**
- B. In-Line Hardware Application**



Structural Posts NEWEL WRAPS

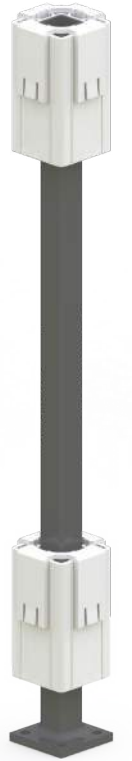


Fabricated & Extruded NEWEL WRAPS



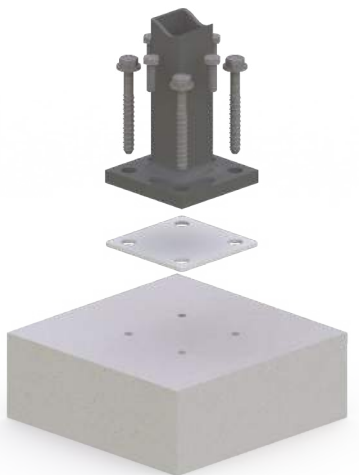
POST-MOUNT & HARDWARE

- Structural Post System requires 2 items to complete; NEWELPOST36/42 (Structural Post) along with one of the following:
 - NEWELMOUNT-W (through bolt detail) **OR**
 - NEWELMOUNT-C (lag bolt detail)
- Includes #10 x 1-1/2" Rail Attachment Screws for proper fastening of rail to post
- Works for 36" & 42" level rail heights, and 36" stair rail heights
- Includes Injection Molded Compression Shims for easy use with NEWEL5 & NEWEL5-EX
- Salt Spray tested for coastal application



NEWELPOST36/42
POST MOUNT WITH GUIDES

	Liberty	Hampton	Providence	Dartmouth	Nautilus
Structural Posts	✓	✓	✓	✓	✓



NEWELMOUNT-C
POST MOUNT HARDWARE KIT FOR CONCRETE APPLICATION



NEWELMOUNT-W
POST MOUNT HARDWARE KIT FOR WOOD APPLICATION



IMPC5 works with NEWEL5-EX & NEWEL5



NCFLAT5 works with NEWEL5-EX & NEWEL5



NCPYRAMID5 works with NEWEL5-EX & NEWEL5



NCHAR5 works with NEWEL5-EX & NEWEL5

NCFLAT6.5 works with NEWEL6.5

NCPYRAMID6.5 works with NEWEL6.5

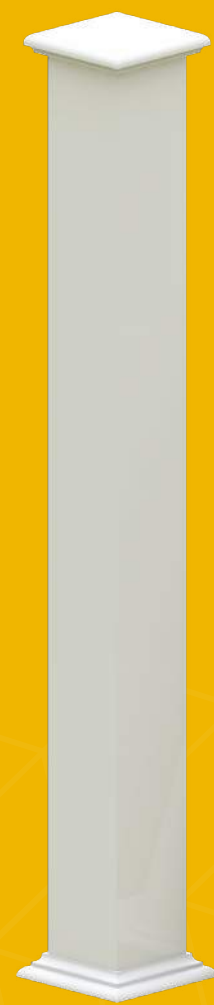
NCHAR6.5 works with NEWEL6.5



NEWEL SHAFT ONLY



NEWEL5-EX WITH IMPC5 & IMTR5



NEWEL5 WITH NCFLAT5 & NBTR5



NEWEL6.5 WITH NCPYRAMID6.5 & NBTR6.5

NOTE: Newel Wraps, Caps and Trim Rings are sold separately. These renders depict common Cap & Trim Ring scenarios/compatibility for Fabricated & Extruded Newel Wraps.



IMTR5 works with NEWEL5-EX & NEWEL5



NBTR5-EX works with NEWEL5-EX
NBTR5 works with NEWEL5
NBTR6.5 works with NEWEL6.5