

# Silver Spring Downtown Design Advisory Panel (DAP)

## Submission Form

Revised February 2023

### PROJECT INFORMATION

Project Name	Ellsworth Place Residential
File Number(s)	TBD
Project Address	8661 Colesville Road, Silver Spring, Maryland 20910

Plan Type     Concept Plan         Sketch Plan         Site Plan         Consultation w/o Plan

### APPLICANT TEAM

	Name	Phone	Email
Primary Contact	VIKA Maryland, LLC	301-619-4100	duke@vika.com
Architect	Gresham Smith	615-770-8626	brandon.bell@greshamsmith.com
Landscape Architect	VIKA Maryland, LLC	301-619-4100	soytutan@vika.com

### PROJECT DESCRIPTION

	Zone	Proposed Height	Proposed Density (SF/FAR)	Requested Additional Density (SF/FAR)	MPDU %
Project Data	CR8.0, C8.0, R8.0, H300	300'	825,056 SF / 8.0 FAR	None above maximum allowed per zone.	15%
Proposed Land Uses	High-rise multi-family residential development over existing Ellsworth Place commercial.				



## DESIGN ADVISORY PANEL SUBMISSION PROCESS & REQUIREMENTS

1. Schedule a Design Advisory Panel review date with the Design Advisory Panel administrator: Cashielle Nelson: [SSDAP@montgomeryplanning.org](mailto:SSDAP@montgomeryplanning.org)
2. At least two weeks prior to the scheduled Panel meeting, provide via email to the Design Advisory Panel administrator the completed Submission Form and required drawings in PDF format. Incomplete applications will be returned for revision. **Applications deemed incomplete by the DAP Liaison may result in the loss of the scheduled meeting date if not returned complete within the above time frame.**
3. Concept Plan and Sketch Plan applications must include the following, at a minimum:
  - Property location plan showing three-block context radius
  - Illustrative site plan showing two-block context radius
  - Perspective images of all building faces from a 3D model that show the proposal in the built context, as well as with nearby building massings as approved by the Planning Board. (Bring the 3D model to the Panel review.)
  - 3D building massing diagrams illustrating:
    - the maximum mapped density and height on site;
    - Design Guidelines conformance;
    - how the proposed design conforms to the Design Guidelines and where it does not conform, how it still meets the Guidelines' intent;
  - Precedent images showing scale, architectural character, materiality, etc. (Concept & Sketch Plans only).
4. Except as noted, Site Plan applications must include all of the above, as well as, at a minimum:
  - Site landscape plan;
  - Floor plans for parking level(s), ground floor, typical floor, roof, and unique conditions;
  - Building/site sections showing full adjacent street sections with opposite building face;
  - Elevations for each façade;
  - Key perspective views expressing character of the building elevations and streetscape.



## DESIGN GUIDELINES CONFORMANCE

The primary goal of the DAP is to provide advice and recommendations that will heighten design excellence and improve the quality of architecture, urban design, and landscape architecture in downtown Silver Spring. Simple compliance with the numerical standards in the Design Guidelines does not in itself achieve Design Excellence.

## STREETS

List the Street Types(s) that are part of this project and fill in the Active Zone Elements chart with the recommended dimensions from the Design Guidelines and the proposed provided dimensions. Streets that do not include separated bike facilities will not have a Pedestrian/Bike Buffer.

**STREET TYPE(S):** Downtown Boulevard (Colesville Rd) and Downtown Street Type A (Fenton St)

Active Zone Elements	Recommended	Provided	Justification
Frontage Zone			
Sidewalk / Sidepath	Existing condition varies depending on the portion along frontages (Generous and Typical sidewalk designations).	TBD	Existing condition meets the previous Silver Spring Streetscape Standards and has mature trees. Ground plane (building base) is not changing.
Pedestrian/Bike Buffer			
Separated Bike Lane (one-way or two-way)			
Street Buffer			

## BUILDING FORM

Fill in the chart below with the number of floors for each Building Massing Component and with the horizontal distance (in feet) of step-backs or tower separations. If a Building Massing Component is not provided, indicate with n/a.

Building Massing Components	# of Floors	Dimension Provided	Comments
Pedestrian Level	See comments	--	Existing conditions; no change
Base	See comments	--	Existing conditions; no change
Middle / Tower	16 stories	--	
Top	4 stories	--	
Cap		--	
Step-back above Base	--	15'-20' at Colesville Rd 15'-30' at Fenton St	
Step-back above Middle	--	20'-30' at Colesville Rd (Level 22) 30'-40' at Fenton St (Level 25)	
Tower Separation	--	n/a	



**DOES THE PROJECT INCLUDE A SECTOR-PLAN RECOMMENDED PARK OR OPEN SPACE?**

Yes  No

- If yes, please provide diagrams demonstrating conformance with Section 2.4.3.B of the Guidelines

**IS THE PROJECT ONE OF THE SITES IDENTIFIED IN CHAPTER 3 OF THE DESIGN GUIDELINES?**

Yes  No

- If yes, please provide diagrams demonstrating conformance with the Site-Specific Guidelines in Chapter 3.

**EXCEPTIONAL DESIGN POINTS REQUIREMENT:**

All projects are required to achieve the maximum 10 Public Benefit points for Exceptional Design. Below are the criteria from the [CR Implementation Guidelines](#). Project submissions should address the points below:

1. Provide innovative solutions in response to the immediate context.
2. Create a sense of place and serves as a landmark.
3. Enhance the public realm in a distinct and original manner.
4. Introduce materials, forms or building methods unique to the immediate vicinity or applied in a unique way.
5. Design compact, infill development so living, working and shopping environments are more pleasurable and desirable on a site.
6. Integrate low-impact development methods into the overall design of the site and building, beyond green building or site requirements.

Draft projection:

<b>Public Benefits Summary</b>	
<b>59-4.7.3.D: Diversity of Uses &amp; Activities</b>	<b>36</b>
(6) Moderately Priced Dwelling Units	36
<b>59-4.7.3.E: Quality Building &amp; Site Design</b>	<b>20</b>
(2) Exceptional Design	20
<b>59-4.7.3.F: Protection &amp; Enhancement of the Natural Environment</b>	<b>8</b>
(1) Building Lot Termination (BLT)	8
<b>59-4.7.3.G: Building Reuse</b>	<b>94</b>
Building Re-use	94
<b>Number of Categories</b>	<b>4</b>
	<b>PointsRequested</b>
	<b>158</b>





**SILVER SPRING DESIGN ADVISORY PANEL**

October 31, 2023

**ELLSWORTH PLACE RESIDENTIAL**

**8661 Colesville Road, Silver Spring, MD 20910**

**Architectural Narrative**

**Genuine Ingenuity**

222 Second Avenue South  
Suite 1400  
Nashville, TN 37201  
615.770.8100  
GreshamSmith.com



## SECTION 1: PROJECT INTRODUCTION

Ellsworth Place Residential is located in downtown Silver Spring, Maryland, at the southwest corner of Colesville Road and Fenton Street. The Project is a high-rise addition over the existing Ellsworth Place, consisting of for-rent residential apartments with indoor and outdoor amenities dedicated to resident use.

## SECTION 2: PROPOSED DESIGN

### 2.1 Overview and Property History

Ellsworth Place was developed in 1992, in the former Hecht's Department Store, a large department store chain that operated primarily in the mid-Atlantic and the South. The Silver Spring Hecht's location opened as a 3-story department store in 1947, with a 2-story expansion in 1950 to respond to the success of the development. The property is listed in the Design Guidelines as part of the Silver Spring Locational Atlas Historic District. The Guidelines note that the building "represents Silver Spring's transition to a destination commercial and regional business center."

GBT Realty Corporation, a real estate firm headquartered in Brentwood, Tennessee, acquired Ellsworth Place on July 20, 2018 as a mixed-use opportunity with an existing retail center and air rights zoned for office use. The Property was previously zoned as CBD3 (CR-8.0, C-6.0, R-7.5, H-200T). The prior owner, Petrie Richardson, had received approval to construct 647,497 SF of commercial GFA (6.0 FAR) and had constructed 399,463 SF of commercial GFA prior to GBT's acquisition. The remaining GFA was to be constructed in a later phase. In 2015, Petrie Richardson structurally reinforced the center, bringing the structure up to Code to allow for construction of a tower on top of the existing retail center.

The Property was rezoned as part of the 2022 Silver Spring Downtown & Adjacent Communities Plan to CR8.0, C8.0, R8.0 and H300. The remaining development to fully entitle the site at 8.0 FAR is 425,593 SF. The proposed development data for the fully entitled site is noted below:

- 300' building height
- 825,056 GFA
- 8.00 FAR

### 2.2 Building Form and Design

The Design Guidelines outline the basic building massing components and their impact of the public realm, both at the street level, in context of the broader area, significant view corridors and the building's relationship of the urban environment. The Base, Middle and Top forms shall be distinct from each other and contribute to the overall experience of the building.

#### Base

The Design Guidelines define the building base as the lowest 2-6 floors the building and includes the pedestrian zone. The existing Ellsworth Place commercial provides the Project's base building form. The building's classification within the historic district recommends preservation of the building's materiality, scale and massing. A new pedestrian entrance for the residential tower is located on Colesville Rd, at the location previously intended for an entrance to the entitled office tower. This frontage has long been



underutilized – the Project would activate this portion of the Colesville streetscape with a new residential lobby to encourage pedestrian activity and engagement.

#### Middle / Tower

The Design Guidelines define the building middle as those floors that occur between the base and top forms. The proposed Project is also defined as a tower per the Guidelines, as it exceeds the noted 120' building height. Above the building base, the middle tower form steps back a minimum of 15' as required by the Guidelines. A secondary step back occurs at a higher level of the tower, creating additional relief in the façade as well as a variety of views and amenity experiences for the building residents. The existing structural constraints result in multiple breaks in façade planes, and provide opportunities for logical material changes.

#### Top

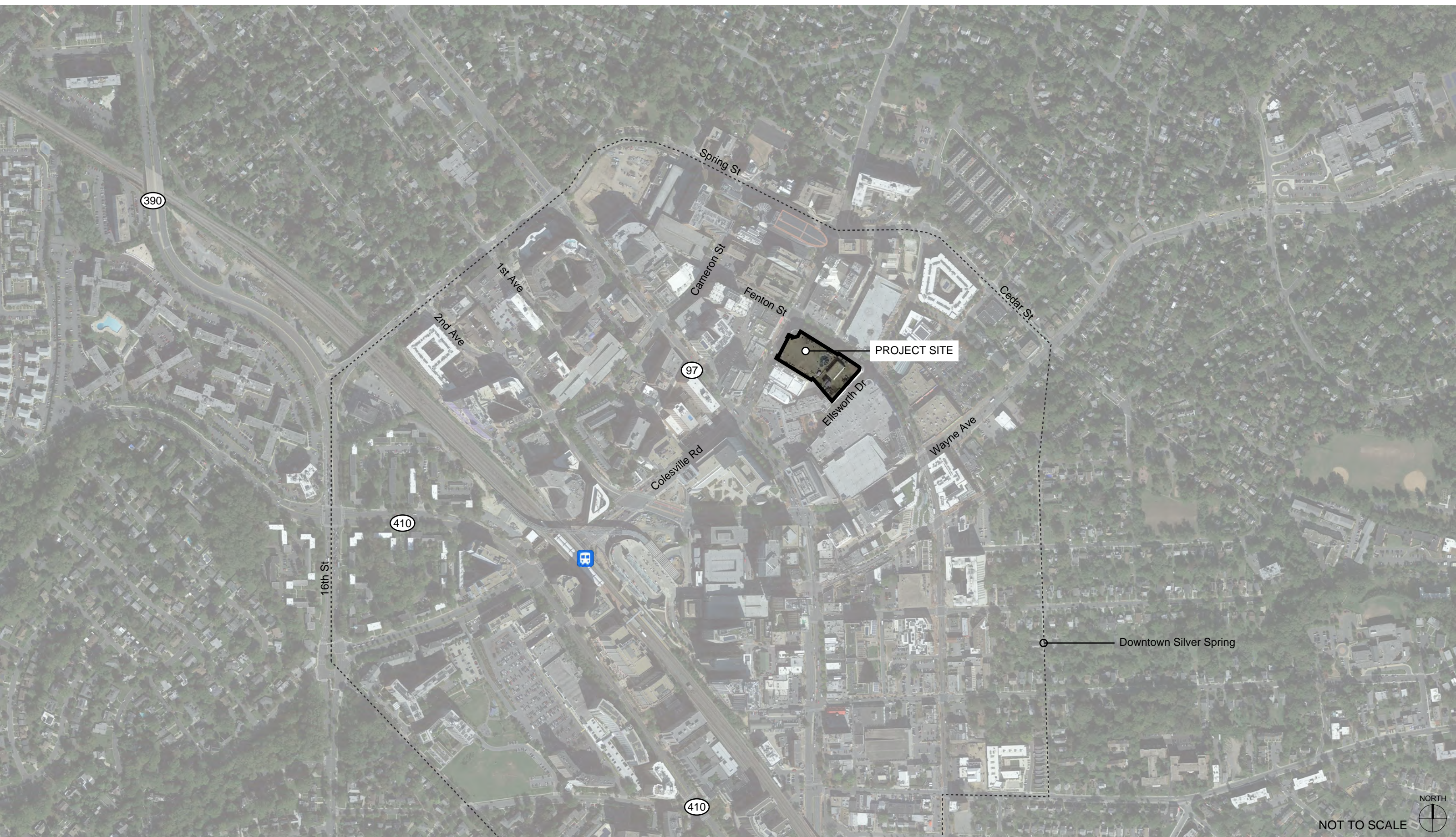
The Design Guidelines define the building top as those floors that complete the architectural form. The building top also includes the cap. The Project provides additional façade step backs at each leg of the tower, creating occupiable roof amenity space for resident use and further relief in the façade plane. The Project proposes the entirety of the top level serve as the building “top” – illustrated through changes in proportion, materials, transparency, texture, etc.

#### Roof

At the Ellsworth Place roof level, additional existing structure creates an opportunity for elevated green roof spaces to enhance the residents' views and integrate sustainable strategies into the Project.

#### Building Step Backs at Alley

Similar to the other façades, the building façade step back along the alley is constrained by the existing structural locations. The façade location is set based on these structural constraints and establishing viable multifamily floor plate metrics while also providing enough distance from the adjacent right-of-way to allow for a desirable quantity of openings in the facade.

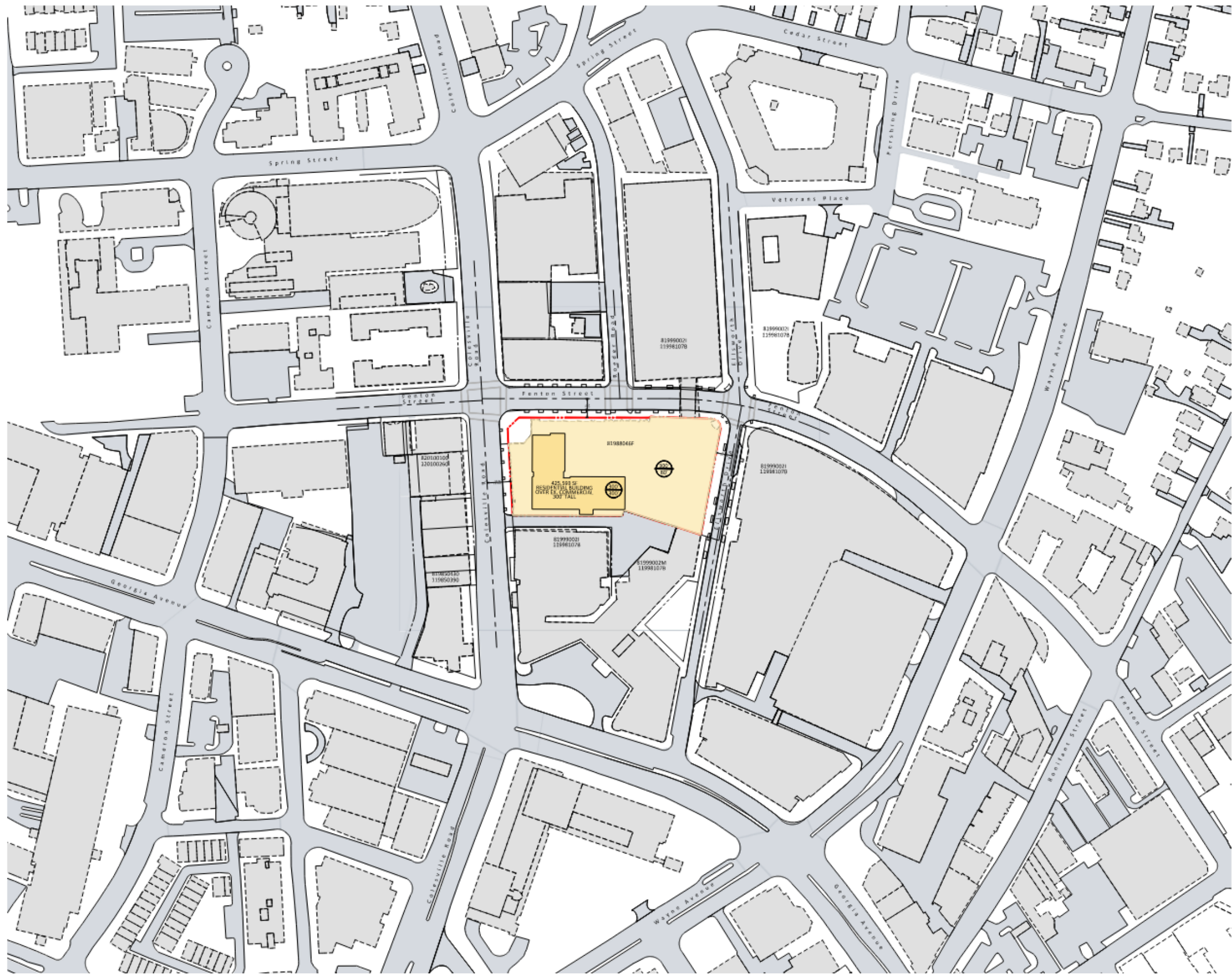


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NOT TO SCALE



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EXISTING BUILDING BELOW

EXISTING STRUCTURE EXTENDING ABOVE ROOF LEVEL

EXISTING VERTICAL CIRCULATION CORE

**BOUNDARY OF PROPOSED TOWER:**

- UTILIZES EXISTING STRUCTURE THAT EXTENDS ABOVE ROOF.
- MAINTAINS INDUSTRY-STANDARD "BAY-WIDTH" TYPICAL FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS.

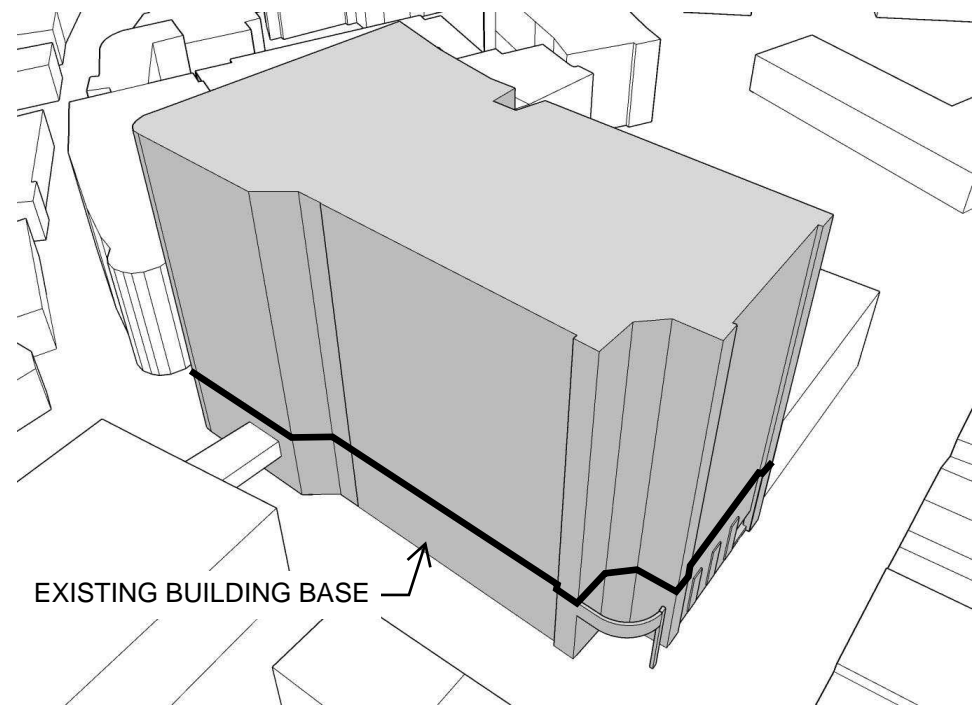
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Gresham Smith  
 GBT REALTY CORPORATION  
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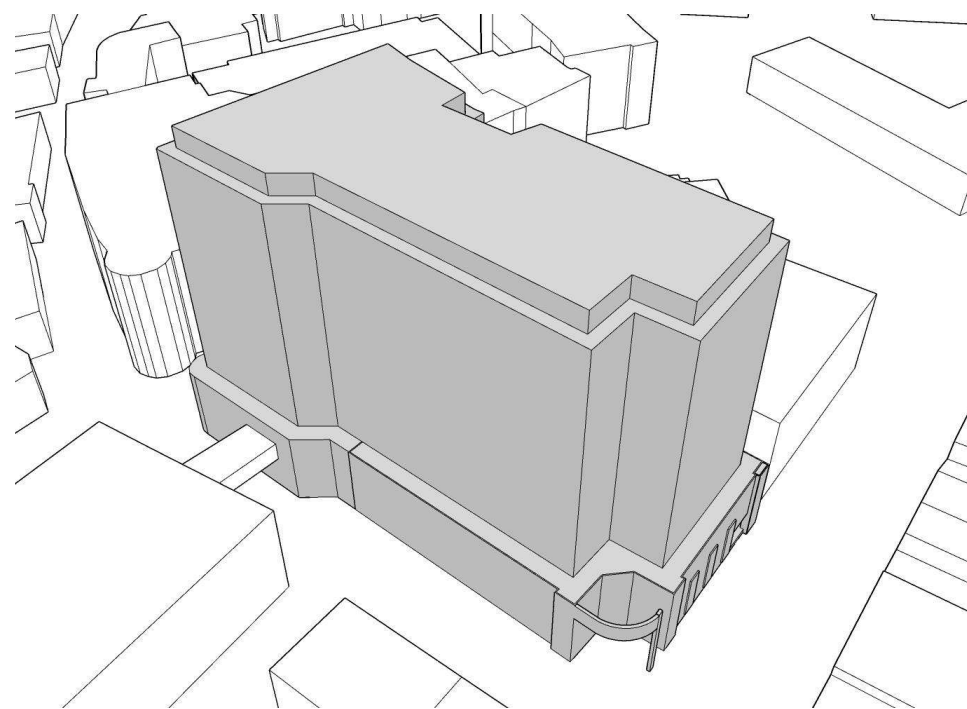
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Page 3  
 EXISTING CONDITIONS - ROOF PLAN

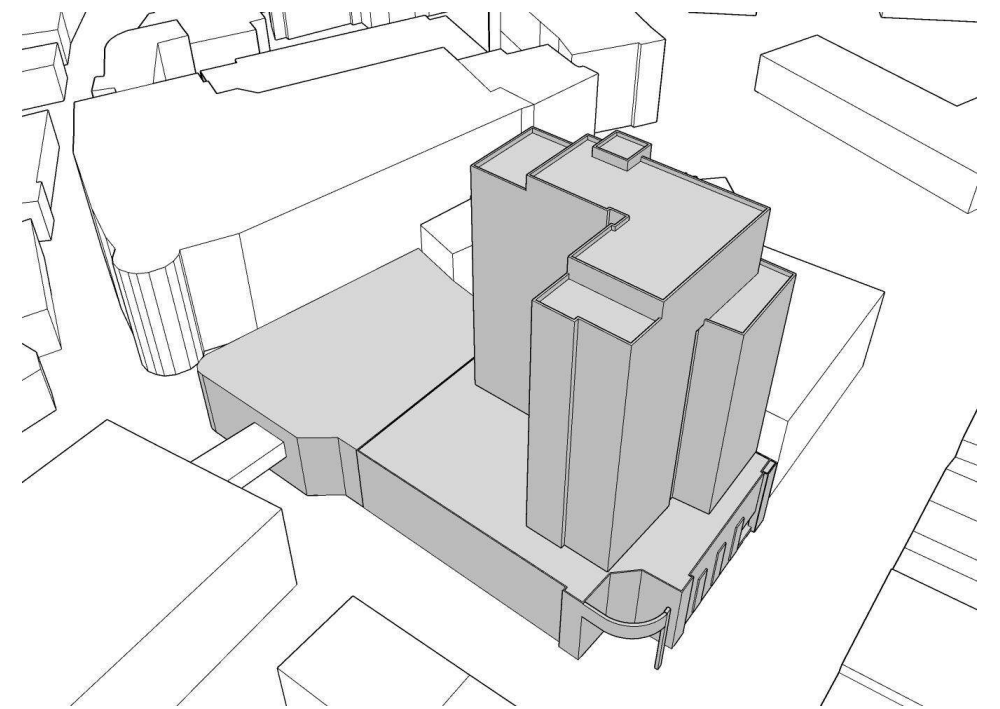


EXISTING BUILDING BASE ↗

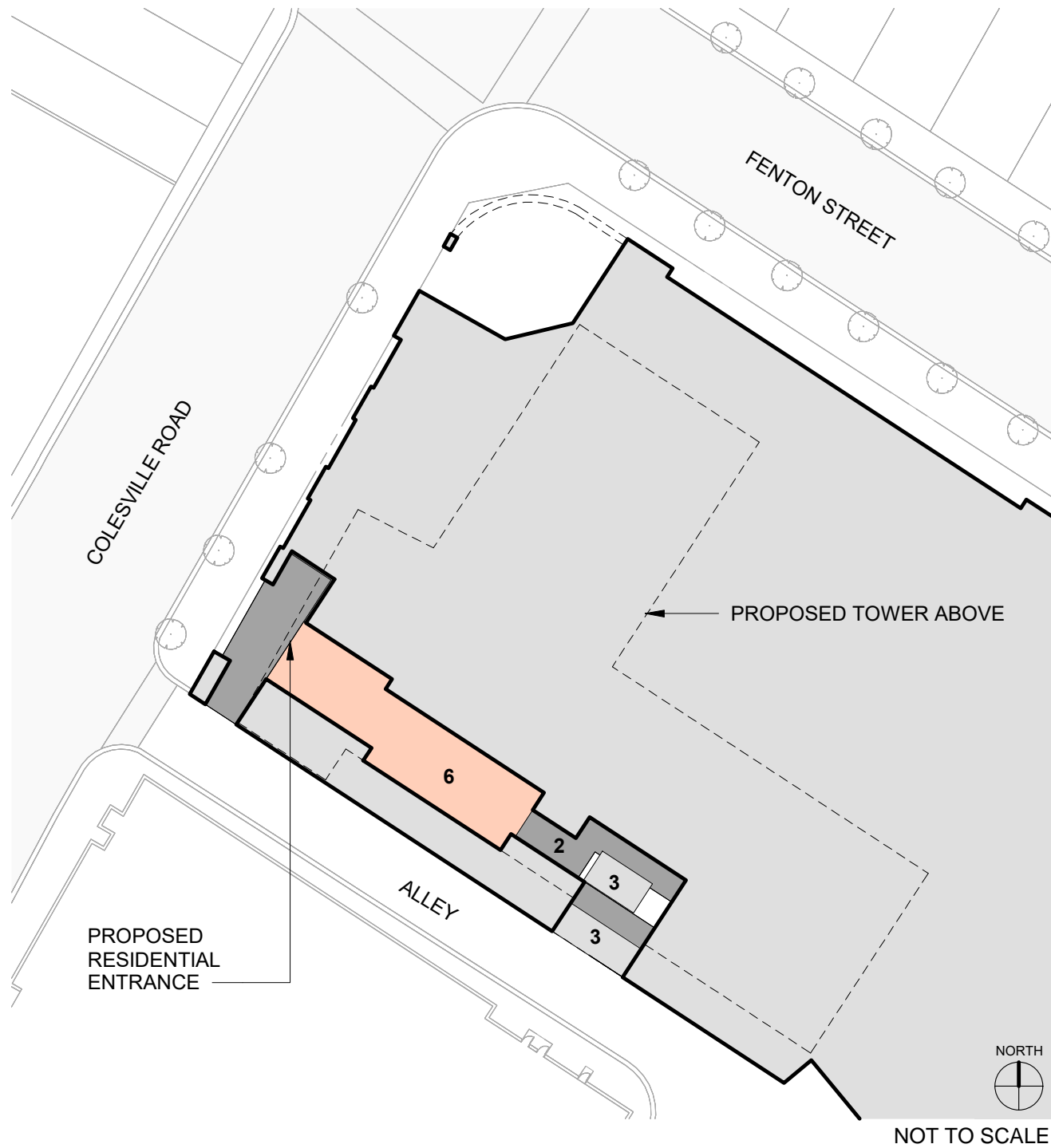
ALLOWABLE HEIGHT, FULL BOUNDARY



RECOMMENDED STEP BACKS



PROPOSED MASSING WITH ADDITIONAL STEP BACKS



**KEYNOTE LEGEND**

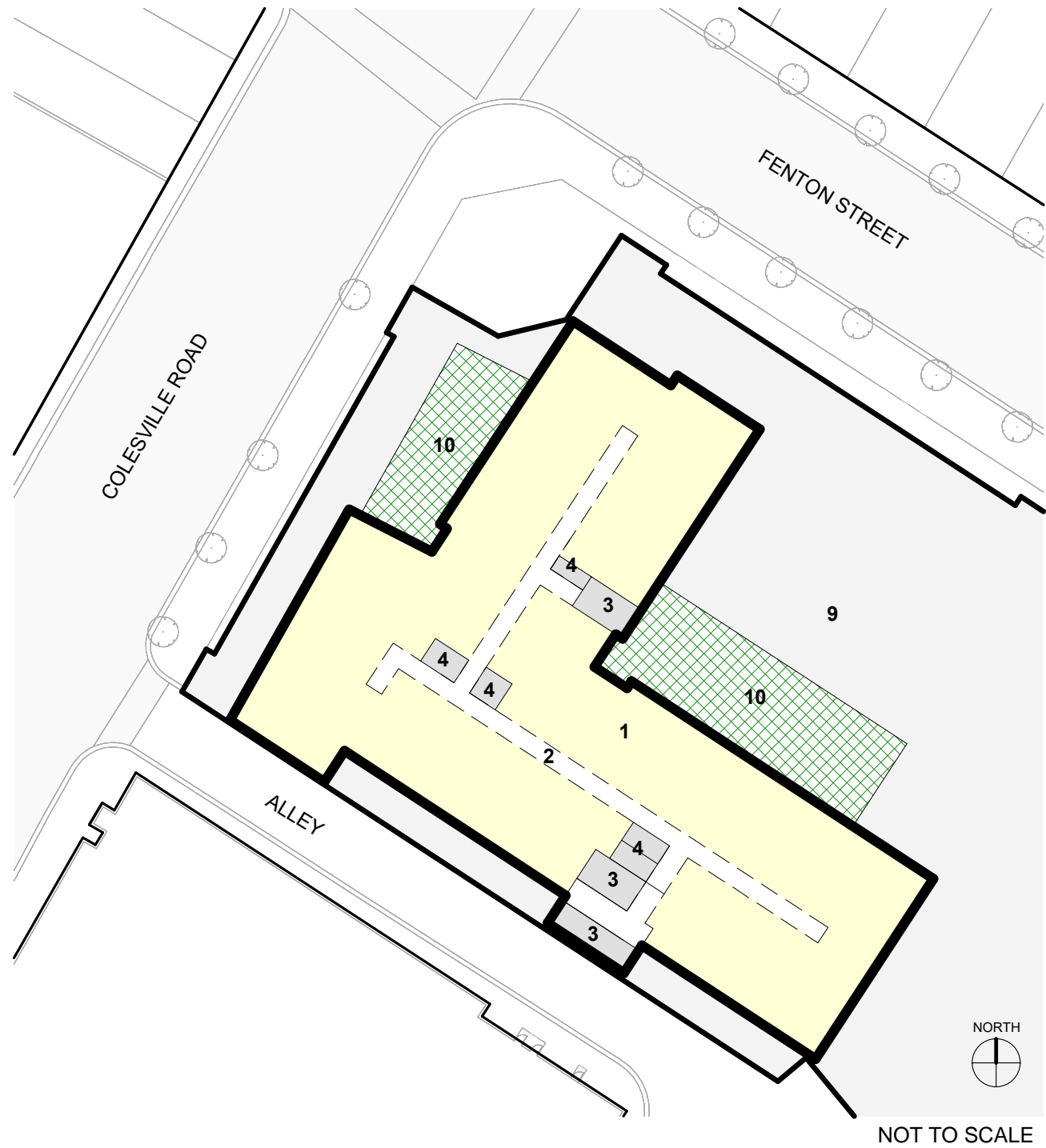
- 1 RESIDENTIAL UNITS
- 2 RESIDENTIAL CORRIDOR
- 3 VERTICAL CIRCULATION
- 4 BACK OF HOUSE / BUILDING SERVICES
- 5 RESIDENTIAL UNIT TERRACES
- 6 INDOOR RESIDENT AMENITY / LOBBY
- 7 OUTDOOR RESIDENT AMENITY
- 8 POOL
- 9 EXISTING ELLSWORTH PLACE MALL BELOW
- 10 GREEN ROOF AREA



**ELLSWORTH PLACE RESIDENTIAL**

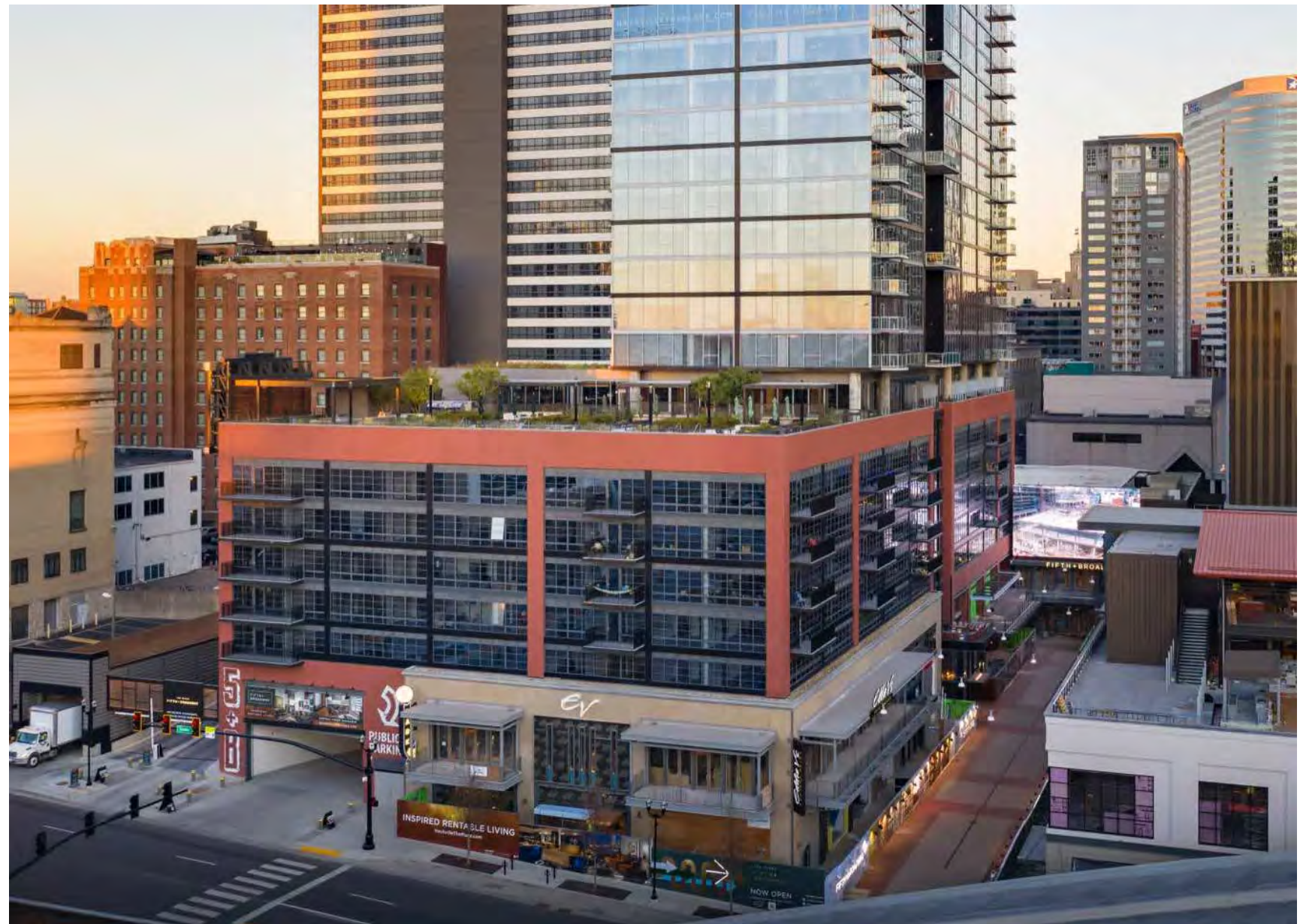
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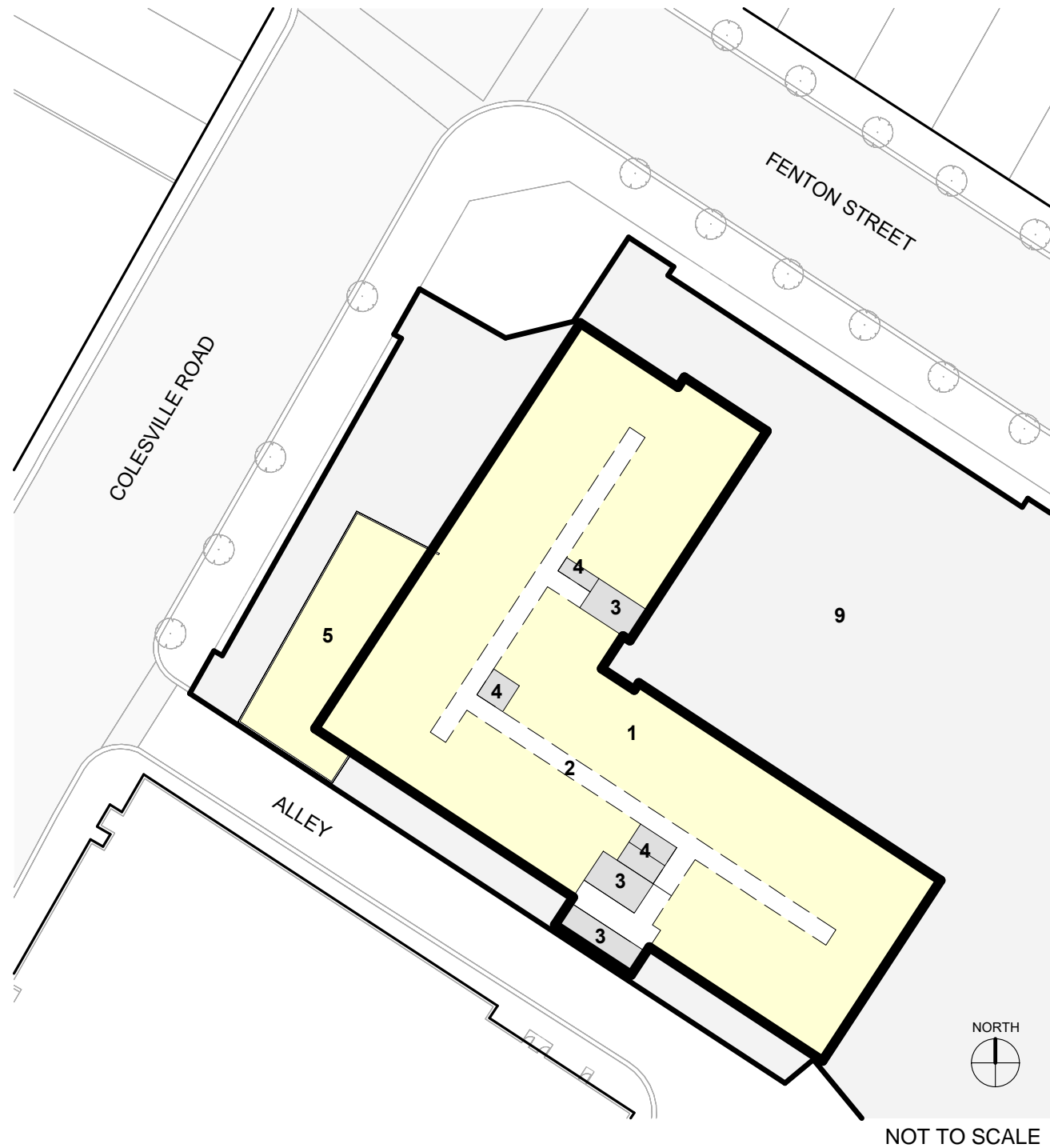


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Page 6  
TOWER FORM - PRIMARY STEP BACK



**KEYNOTE LEGEND**

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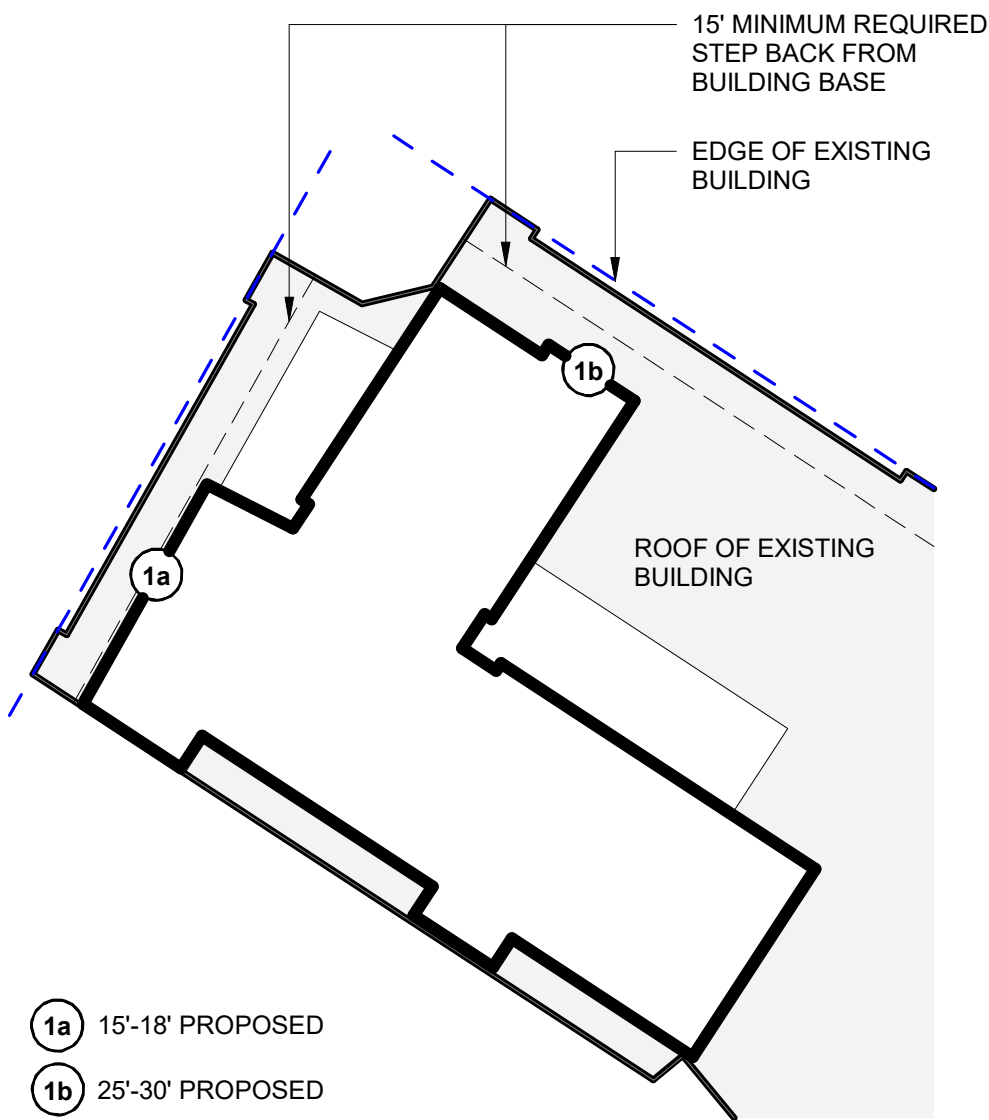
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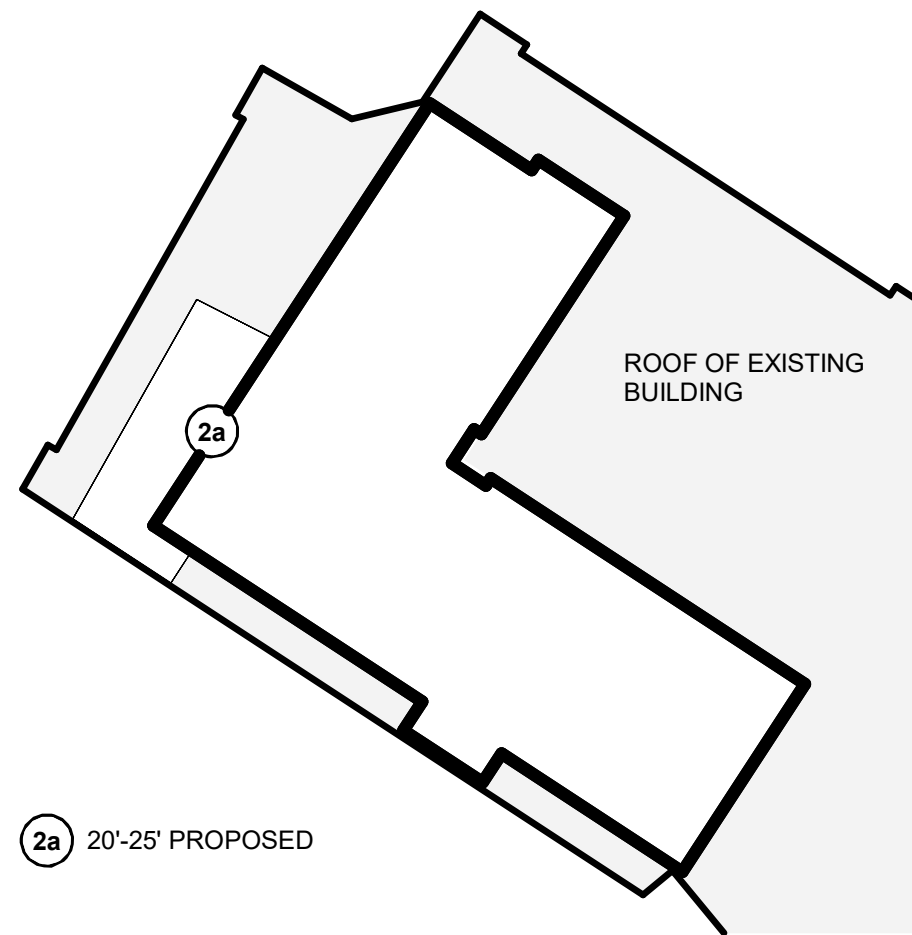
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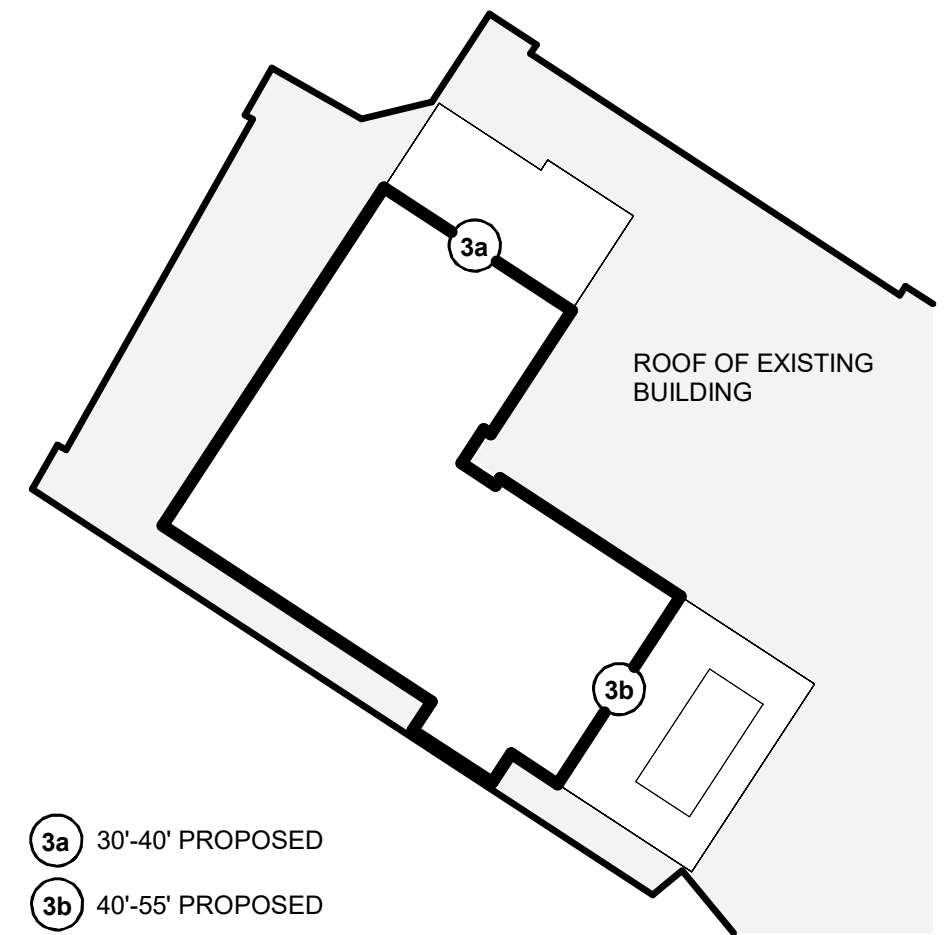
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PRIMARY STEP BACK FROM BASE



SECONDARY STEP BACK FROM MIDDLE

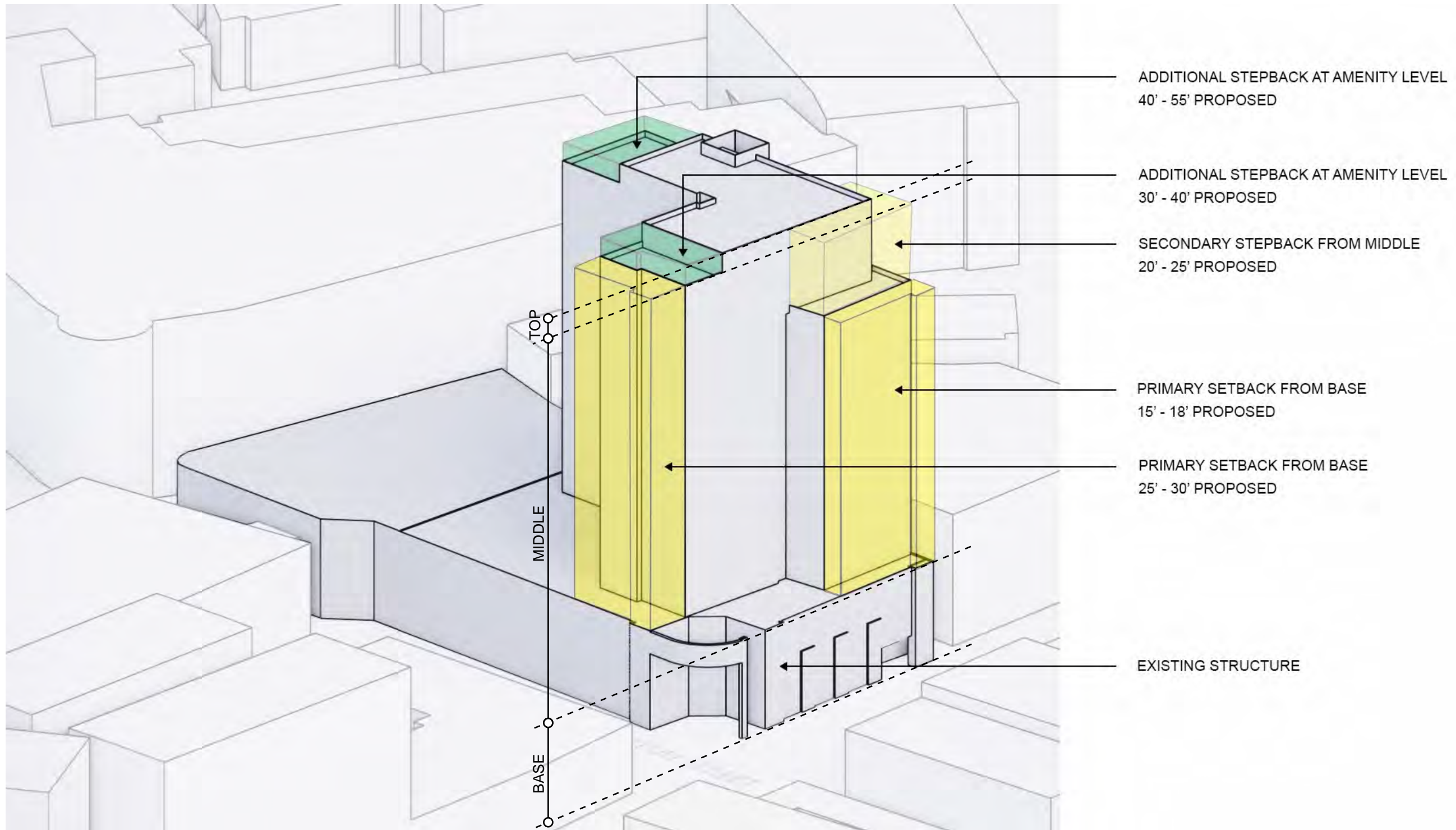


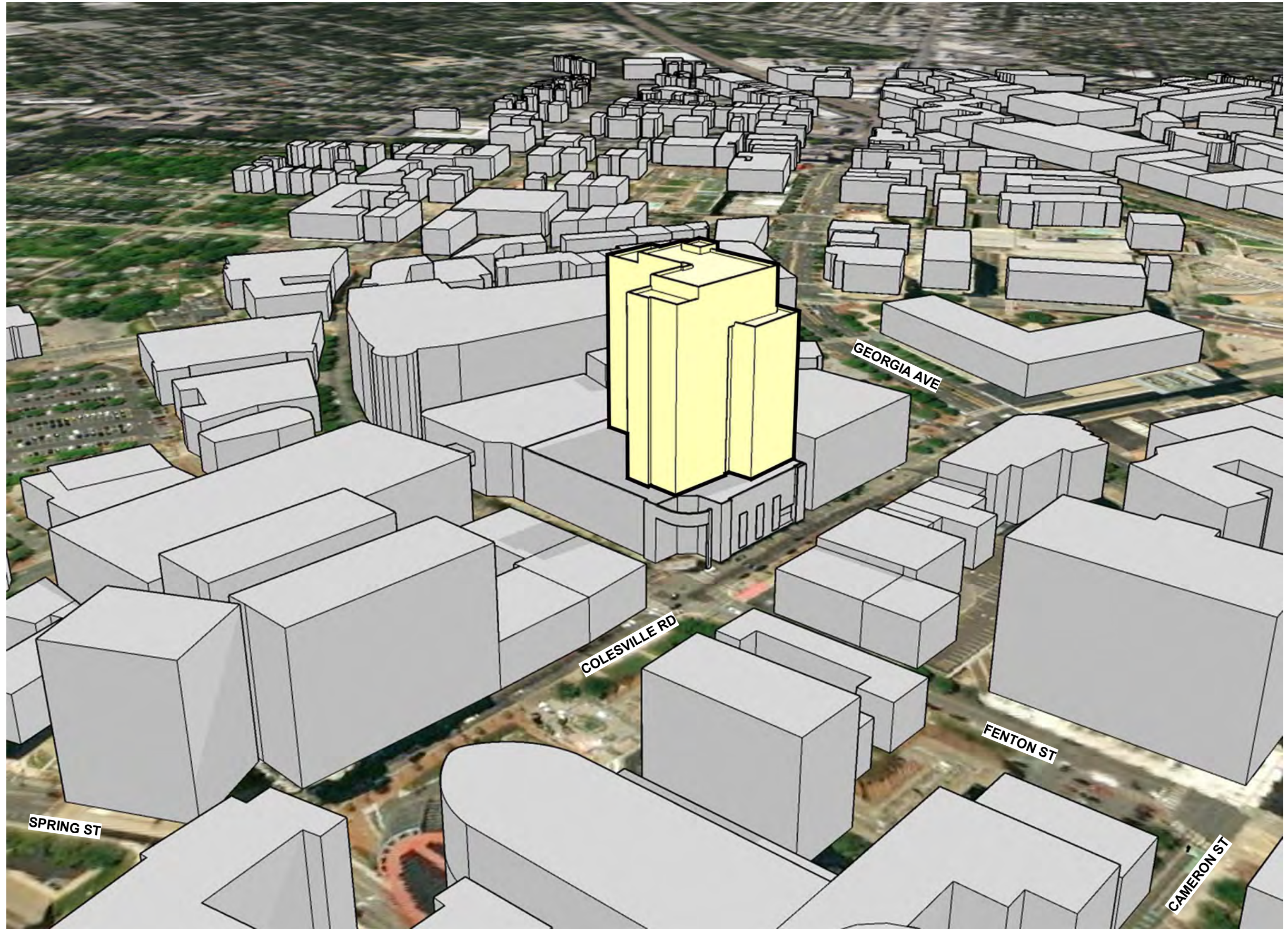
ADDITIONAL STEP BACK AT AMENITY LEVEL

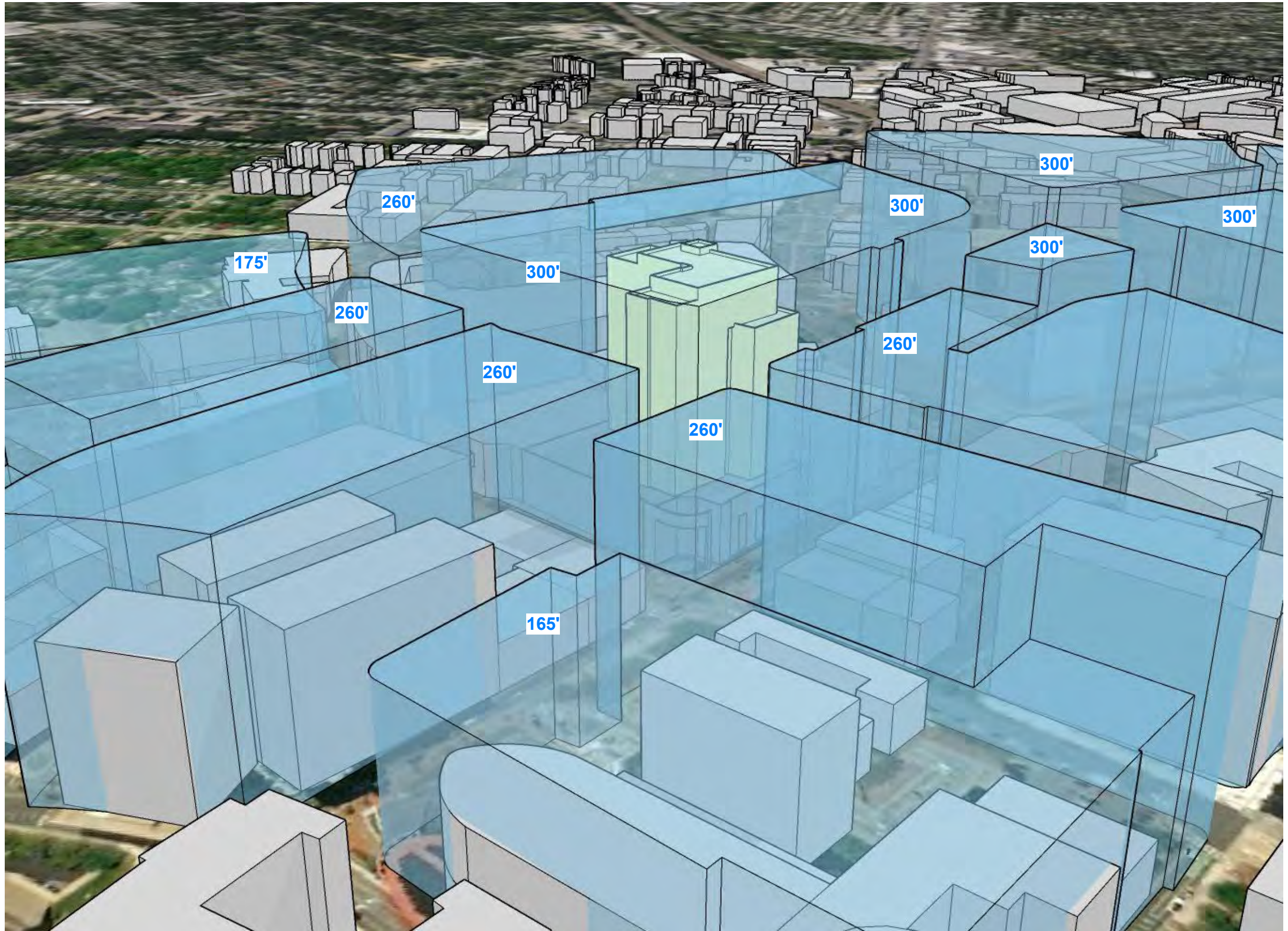
NORTH

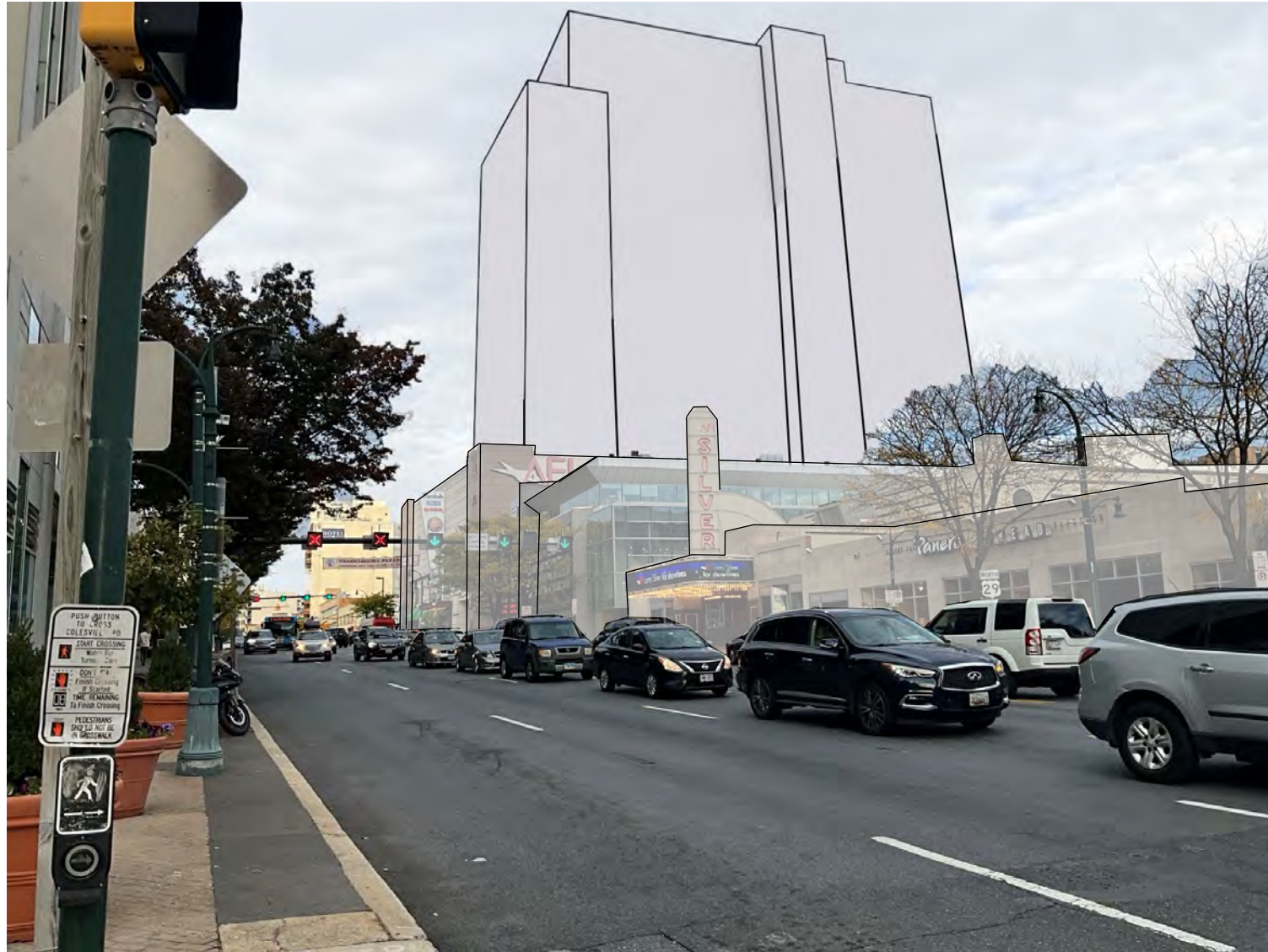
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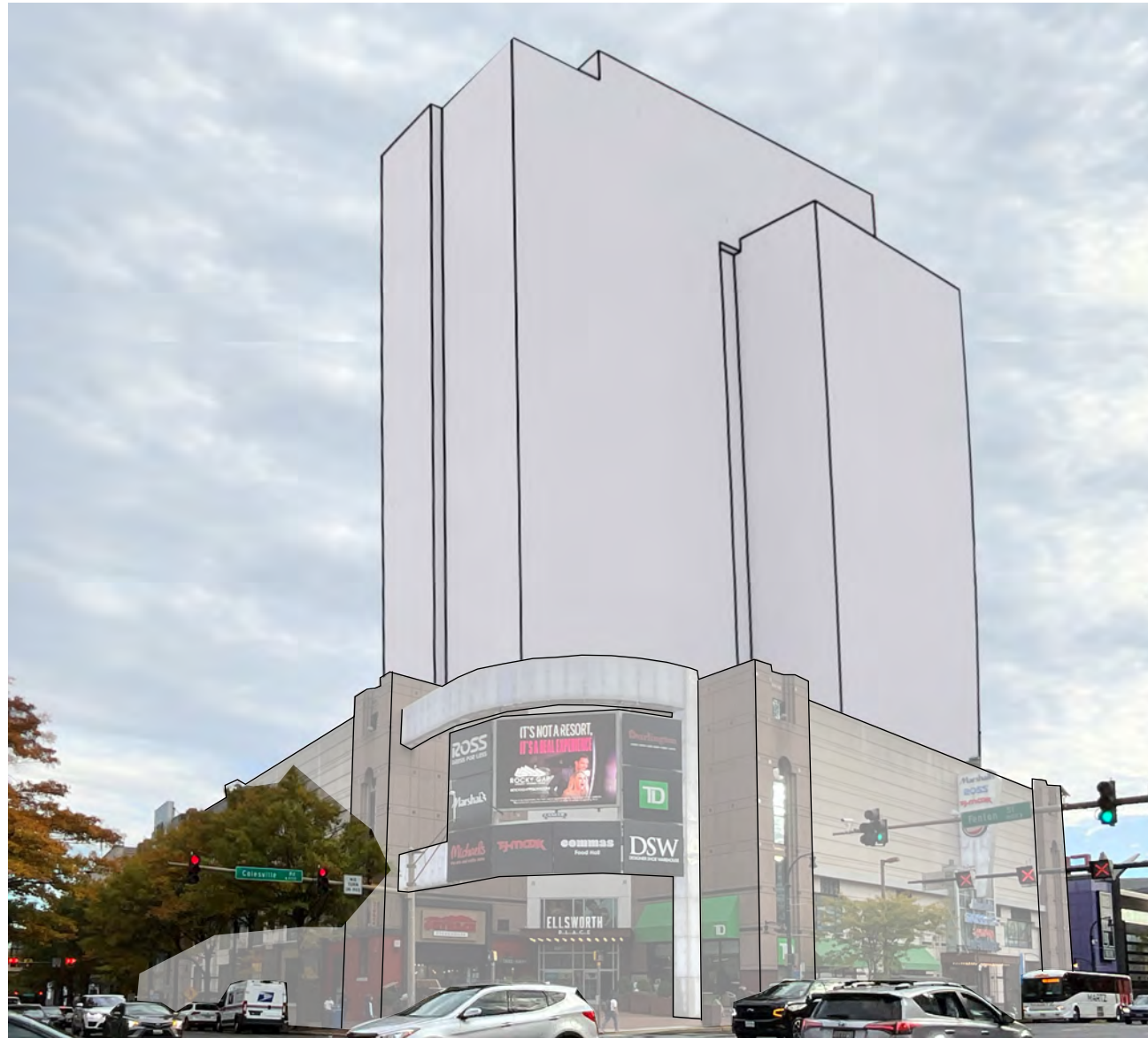




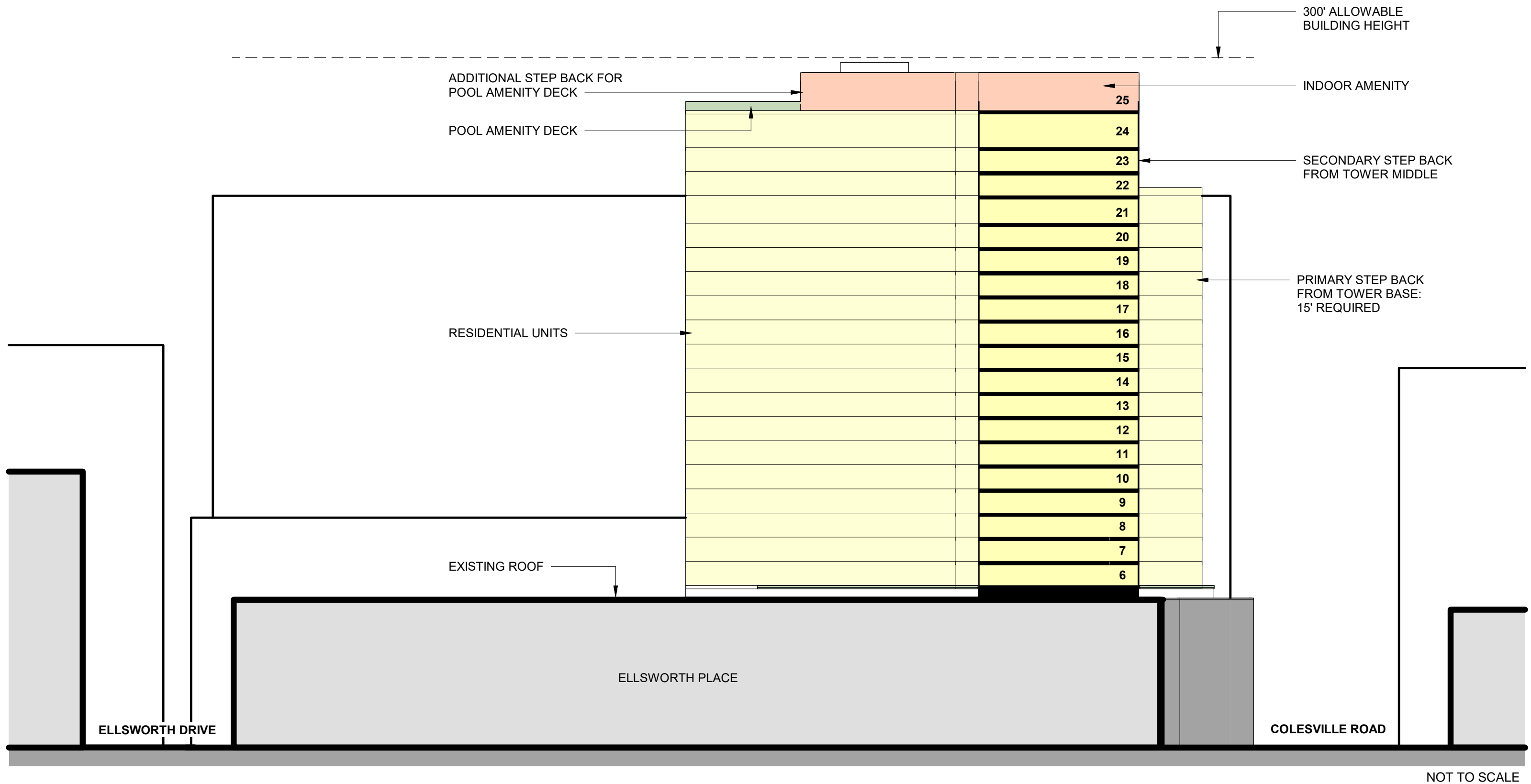












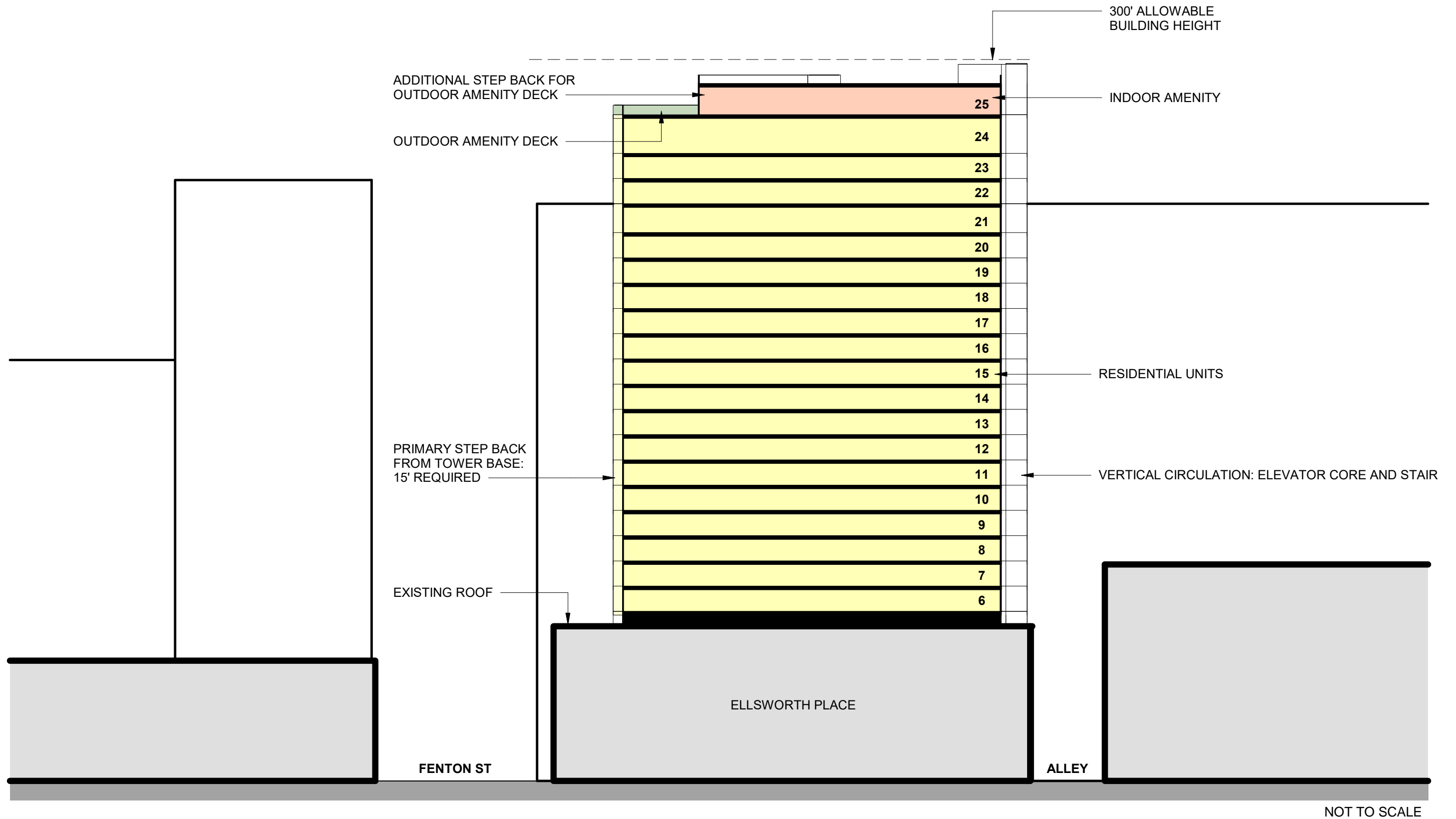
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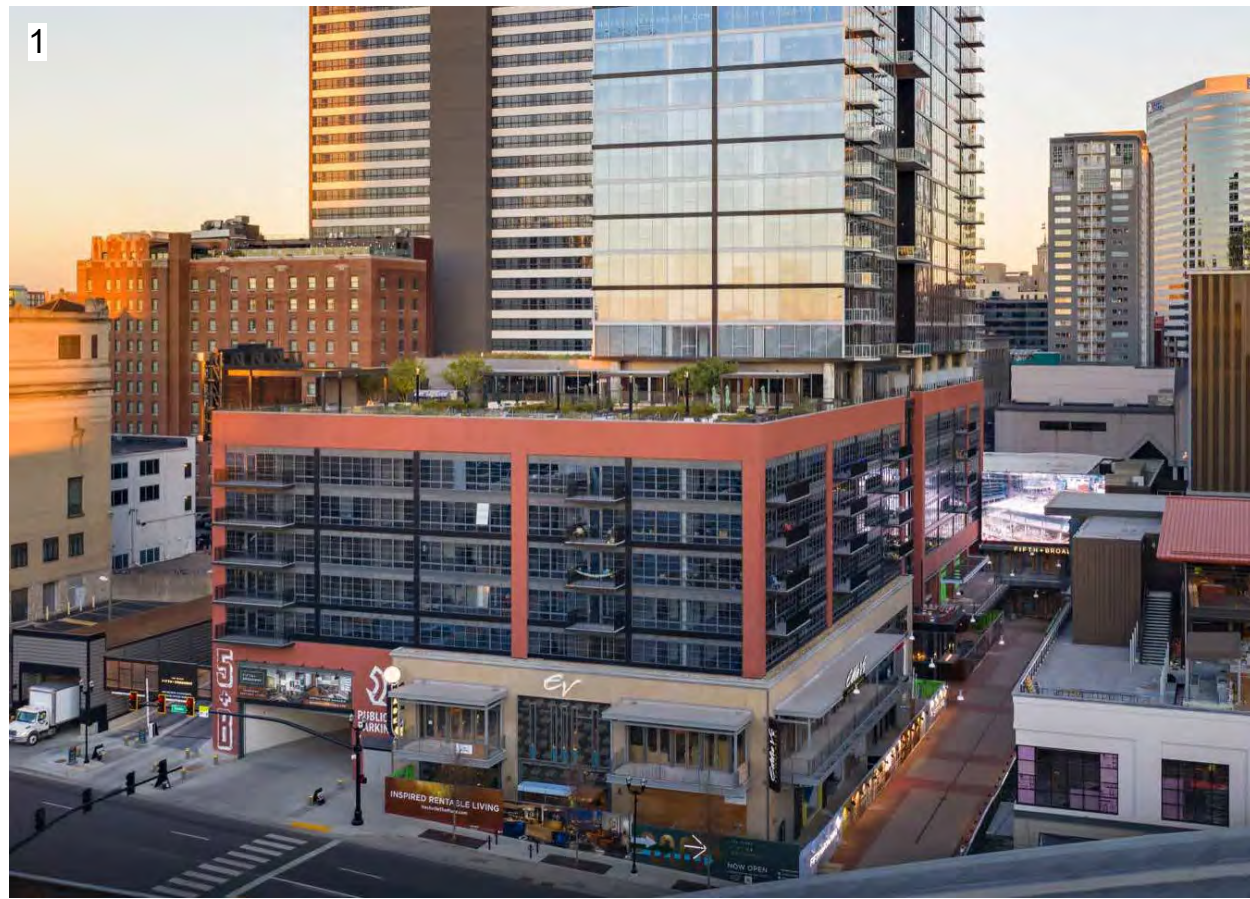
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- 1 STEPPED MASSING
- 2 INTERSECTION FORMS
- 3 VARIATION IN FACADE PLANE
- 4 ACCENTUATION OF BUILDING TOP
- 5 STEPPED MASSING



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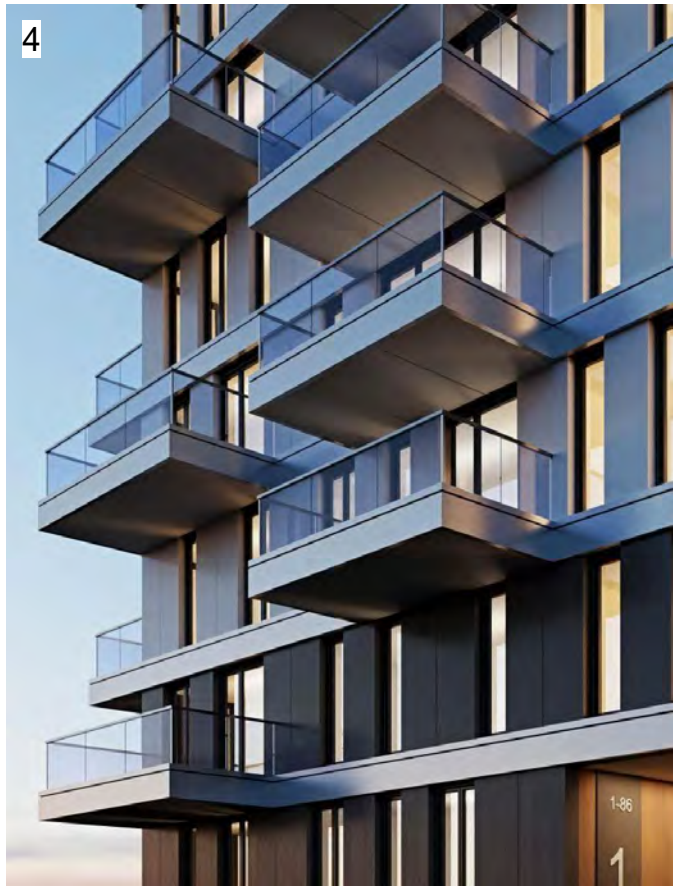
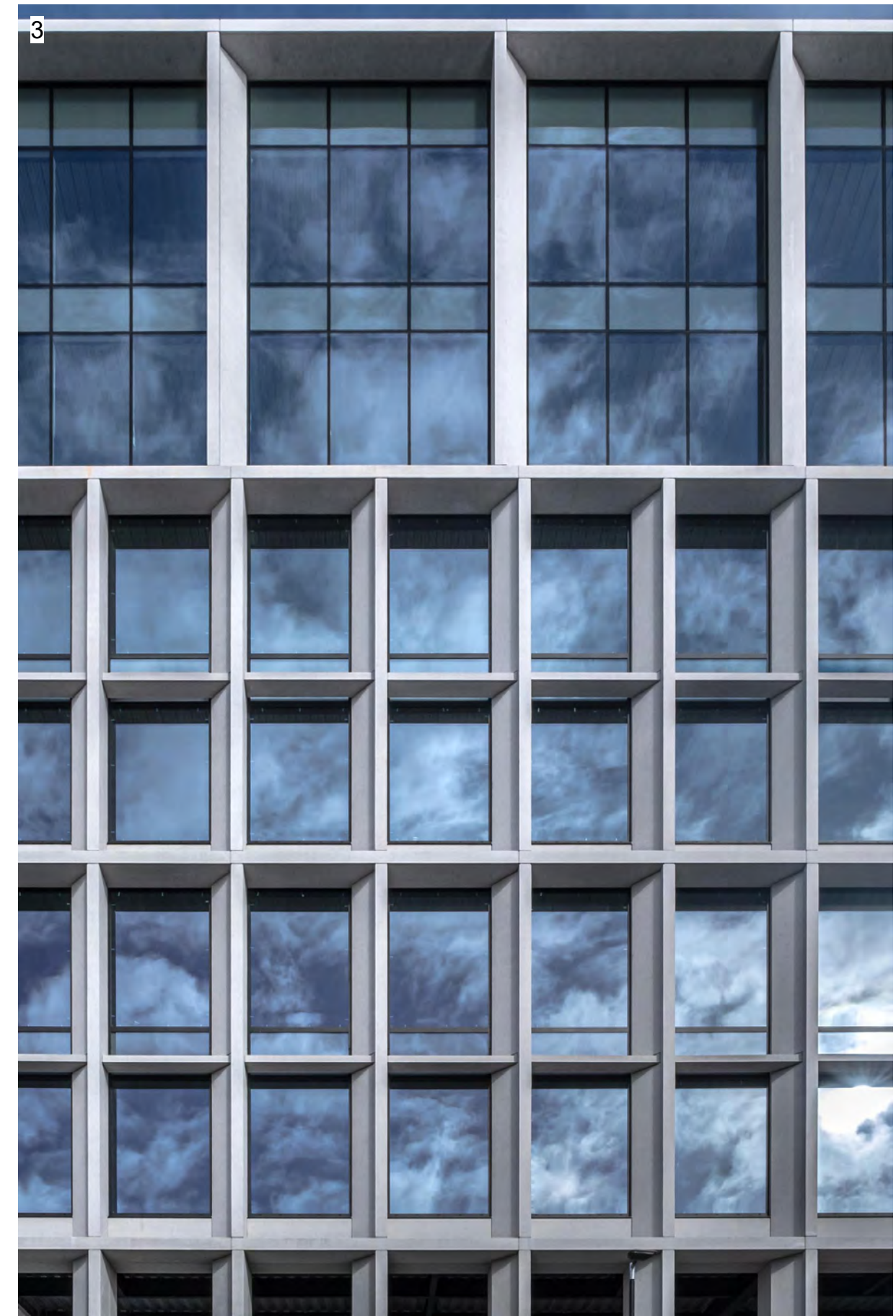
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ARCHITECTURAL PRECEDENT - FORM

- 1 CREATING TEXTURE WITH COLOR, MATERIAL AND SCALE
- 2 VARIATION IN FACADE ARTICULATION
- 3 VARIATION IN OPENING PROPORTIONS
- 4 BALCONY ARTICULATION
- 5 ADJACENCY OF HISTORIC AND NEW STRUCTURES



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ARCHITECTURAL PRECEDENT - DETAIL