

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7107 Carroll Avenue, Takoma Park	Meeting Date:	10/11/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	10/4/2023
Applicant:	Barrett Colombo (Richard J. Vitullo, Architect)	Public Notice:	9/27/2023
Review:	HAWP	Tax Credit:	Partial
		Staff:	John Liebertz
Permit Number:	1044477		

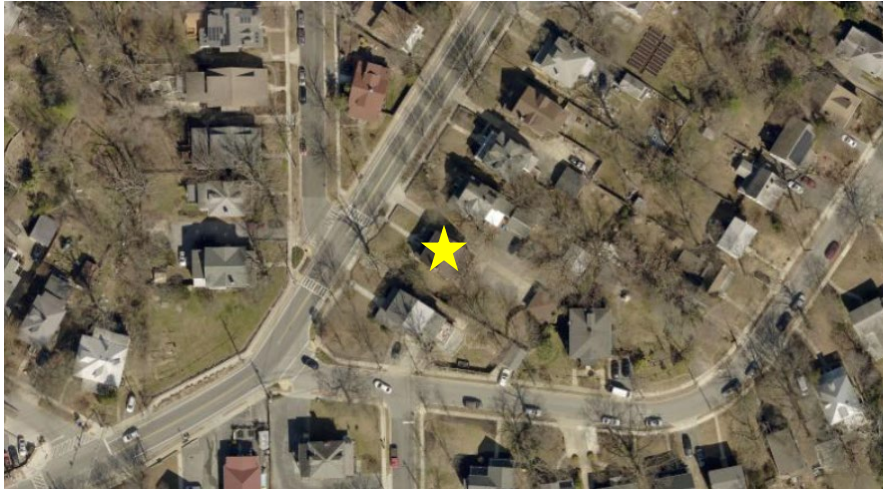
PROPOSAL: Partial demolition, alterations to the rear enclosed porch including roof, fenestration, and materials, front porch alterations, fenestration alterations on the basement level, and tree removal.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with seven (7) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant shall submit detailed drawings for the wood posts on the front porch.
2. The applicant shall contact staff during demolition of the front porch to review the three options for the front porch flooring. These options include:
 - a. restore the existing concrete floor;
 - b. restore or replace in-kind the existing wood porch floor if it remains; or
 - c. install a new 5/4 x 6", tongue-and-groove, IPE floor over a rubber membrane waterproof roofing layer on 3/4" plywood.
3. The applicant shall include a note that all window trim on the first story of the façade is wood.
4. The applicant shall submit specification and detailed drawings for the proposed window wells and steel railings at the egress windows.
5. The applicant shall submit specification sheets for all proposed doors (side and rear elevations).
6. The applicant shall submit a detailed description regarding the proposed pebble-dashed stucco infill installation method and how it will match the existing material.
7. The applicant shall contact the City of Takoma Park Urban Forester, follow all recommendations and requirements, and forward the correspondence to staff.

ARCHITECTURAL DESCRIPTION



SIGNIFICANCE:
Contributing Resource
within the Takoma Park
Historic District

STYLE Colonial Revival

DATE: Ca. 1916

Figure 1: The subject property (noted with the yellow star) is located mid-block on Carroll Avenue.

PROPOSAL

The applicant proposes the following: 1) restore the front porch and stair; 2) add egress windows to the basement; 3) replace the side-entry door; 4) infill an original window on the rear elevation; 5) raise the shed roof of the two-story enclosed rear porch; and 6) modify the fenestration patterns and siding materials on the two-story enclosed rear porch. The solar installation and alterations to the garage will be reviewed under a separate HAWP.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being "Contributing Resources." While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis.
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing.
- Original size and shape of window and door openings should be maintained, where feasible.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Property History

The subject property located mid-block on Carroll Avenue is a Contributing Resource to the Takoma Park Historic District. The site features a Colonial Revival house constructed ca. 1916. In all likelihood, Herman C. Heffner built the residence when he purchased the property that year.¹ The two-story, three-bay, wood-frame, side-gable house (*Figure 2*) rests on a brick foundation. The first and second stories are clad with pebble-dashed stucco and cedar shingles, respectively. The façade is adorned with an enclosed, wood-frame porch that rests on a concrete block foundation (probably installed at the time of its enclosure) and supports a flat roof. Between 1962 and 1977, previous owners enclosed the porch and created habitable space beneath it. On the first story, the original façade obscured by the porch retains the historic single-leaf, single-light, wood door and two window openings infilled with non-historic, single-light, fixed glass (*Figure 4*). The rear elevation features a two-story, shed roof enclosed sleeping porch. Sanborn Fire Insurance Maps (*Figure 3*) suggest that the rear porch is original to the house, but the precise date of enclosure in the mid-to-late twentieth century is unknown. Typical fenestration consists of

¹ Montgomery County Circuit Court, “James Lansburgh to Herman C. Heffner,” April 21, 1916, Liber 254, Folio 482.

four-over-one and six-over-one, double-hung, wood-sash windows. There are no relevant Historic Area Work Permits associated with the house.²



Figure 2: View of the façade/west elevation (upper left), east and north elevations (upper middle), and east and south elevations (upper right), 2022-2023. Detailed view of the original wall presently enclosed by the porch (lower left and right).

Source: Zillow and Applicant.

The two-car garage in the southeastern corner of the property was constructed between 1916 and 1927 based on Sanborn Fire Insurance Maps (*Figure 3*). The rusticated concrete block walls support an asphalt shingle, pyramidal roof. Fenestration consists of one-over-one, double-hung, wood-sash windows, a single-light, wood-sash casement window, and a single-leaf, four-panel, wood door. The building presently has no garage doors.

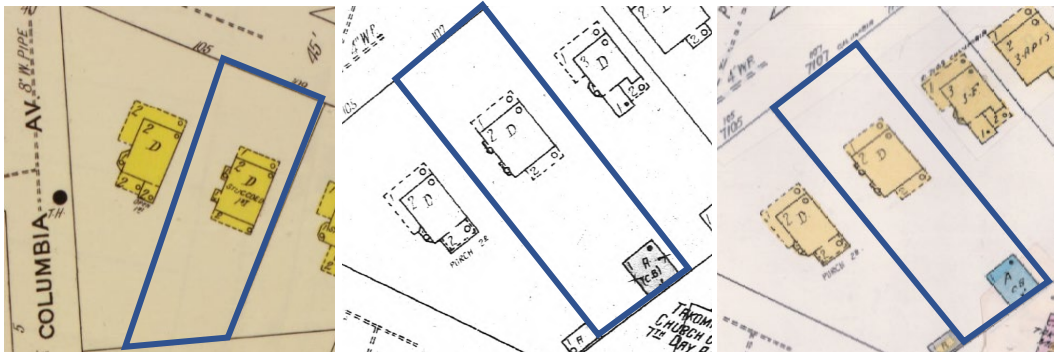


Figure 3: View off the Sanborn Fire Insurance Maps showing the subject property from 1903-1916 (left), 1927 (middle) and 1927-1962 (right). **Source:** Library of Congress and Montgomery Planning.

² For the approval of HAWP #37-3-97SS for a fence and storm windows, see https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640004/Box024/37-3-97SS_Takoma%20Park%20Historic%20District_7107%20Carroll%20Avenue_10-22-1997.pdf.

Proposal – Restoration of the Front Porch

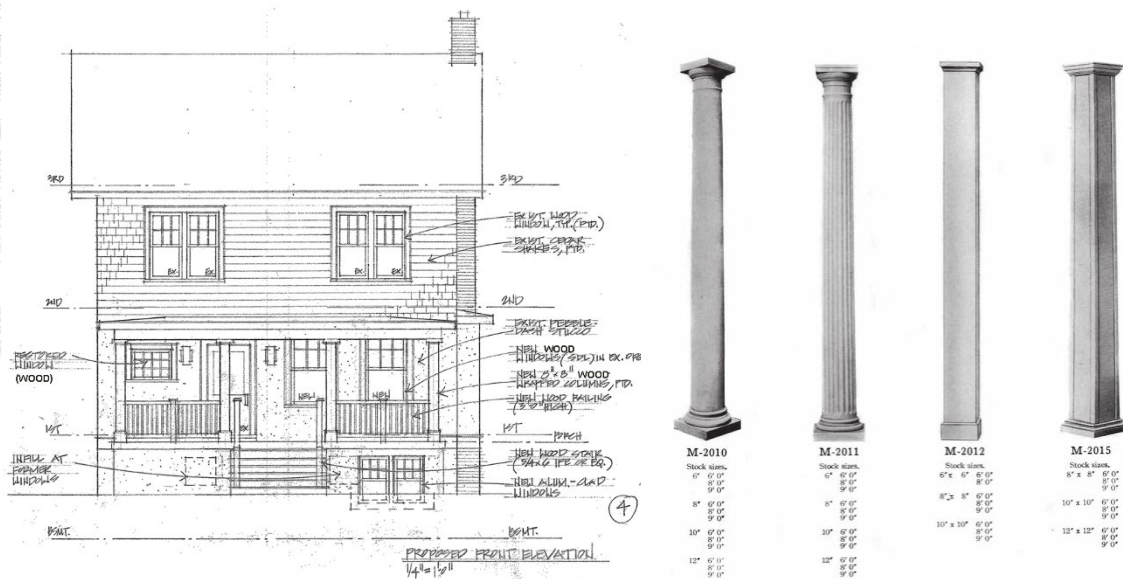


Figure 4: View off the proposed front elevation (left) and columns from a 1921 trade magazine (right).

Staff finds that the proposed restoration of the front porch to be consistent with the applicable guidelines and recommends approval with conditions. Previous property owners enclosed the porch between 1962 and 1977. This included the installation of the asbestos siding, one-over-one, double-hung, wood-sash windows, and single-leaf, front door. Therefore, the removal of these non-historic materials would have no adverse effect to the individual resource or the historic district. The original configuration of the wood-frame porch, however, remains unknown. The porch likely had a pier foundation, tongue-and-groove wood flooring, wood columns or posts, porch balustrade, and stair, and a shed roof of a similar pitch. The proposed porch consisting of four posts, balustrade, and wood stair is consistent with other houses of similar design aesthetic and period of construction (*Figure 4*). Staff considered the appropriateness of square posts in lieu of traditional columns Doric columns, but confirmed the use of both types of materials in early twentieth century Colonial Revival dwellings (*Figure 4*). Staff requests that the applicant submit a detail for the design of the proposed post.

The original wood porch flooring likely was removed and replaced with a concrete subfloor at the time of its enclosure. The existing material, however, will not be known until the applicant starts demolition as the space is occupied by tenants. Staff recommends approval of the following scenarios with respect to the porch flooring. The applicant shall: 1) restore the existing concrete floor; 2) restore or replace in-kind the existing wood porch floor if it remains; or 3) install a new 5/4 x 6", tongue-and-groove, IPE floor over a rubber membrane waterproof roofing layer on 3/4" plywood. These three options would be compatible with the character of the individual resource and surrounding historic district.

Staff recommends that the entire restoration of the front porch be eligible for the historic preservation tax credit.

Proposal – Alterations to the Fenestration on the Historic House

Staff finds the proposed restoration of the windows on the first story of the façade to be consistent with the applicable guidelines and recommends approval with conditions (*Figure 4*). The proposed six-over-one, double-hung windows under the front porch matches the original windows on other sections of the house. The windows would be installed within the original openings that presently hold non-historic, single-light, fixed windows. Similarly, staff recommends approval for the restoration of an infilled

window adjacent to the front door. The outline of the infilled window clearly is evident in the pebble-dashed stucco. The installation of a multi-light, fixed window at this location conforms with the design of the house. Staff requests that the applicant notes that all window trim is wood.

Staff finds the proposed alterations to the basement-level (foundation) of the historic house and front porch to be consistent with the applicable guidelines and recommended approval with conditions. The proposed infill of non-historic windows on the front porch would have no adverse effect to the resource. The replacement of existing foundation-level windows with aluminum-clad, wood-sash windows with simulated divided lights is regularly approved at the staff level for these locations on contributing resources. The proposed windows include: 1) two single-light, fixed windows; 2) a paired six-light casement window; 3) a four-light, awning windows; 4) a paired six-over-one, double-hung window; and 5) a one-over-one, double-hung windows. Staff requests that the applicant submit design and material specifications for any window wells and steel railings required at the proposed egress windows.

Staff finds the replacement of a non-historic, single-leaf, side-entry door with an aluminum-clad wood door and infill of a six-over-one, double-hung, wood-sash window to be consistent with the applicable guidelines and recommends approval with conditions. The design of the replacement door is compatible with the historic resource and the infill of the window would not be visible from the public rights-of-way and should be approved as a matter of course. Staff requests that the applicant submit a specification sheet for the proposed door and a detailed description of the proposed pebble-dashed stucco infill (installation method and how it will match the existing material).

Proposal – Partial Demolition and Alterations to Enclosed Rear Porch

Staff finds the partial demolition and alterations to the enclosed rear porch to be consistent with the applicable guidelines and recommends approval with conditions. This section of the house has minimal integrity due to numerous modifications to its materials and design. The proposal raises the shed roof by approximately 1', alters the fenestration pattern, replaces the asbestos siding with cementitious fiberboard and poly-ash trim, demolishes an existing non-historic stair, and adds a small wood stoop (5' x 8'). The design, however, retains the original scale and form of the enclosed porch. These proposed changes would have limited visibility from the public rights-of-way and no adverse effects to the individual resource or the historic district. Therefore, these alterations should be approved as a matter of course. Staff requests specifications for the proposed single-leaf, single-light, aluminum-clad wood door on the rear elevation.

Proposal – Trees

Staff finds the removal of the elm tree (adjacent to the rear porch) to be consistent with the applicable guidelines and recommends approval. Staff requests that the applicant contact the Urban Forester for the City of Takoma Park, follow all recommendations and requirements including any replacement trees, and forward the correspondence to staff.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* #2, #5, #6, #9, and #10, and *Takoma Park Historic District Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with seven (7) conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall submit detailed drawings for the wood posts on the front porch.
2. The applicant shall contact staff during demolition of the front porch to review the three options

for the front porch flooring. These options include:

- a. restore the existing concrete floor;
 - b. restore or replace in-kind the existing wood porch floor if it remains; or
 - c. install a new 5/4 x 6", tongue-and-groove, IPE floor over a rubber membrane waterproof roofing layer on 3/4" plywood.
3. The applicant shall include a note that all window trim on the first story of the façade is wood.
 4. The applicant shall submit specification and detailed drawings for the proposed window wells and steel railings at the egress windows.
 5. The applicant shall submit specification sheets for all proposed doors (side and rear elevations).
 6. The applicant shall submit a detailed description regarding the proposed pebble-dashed stucco infill installation method and how it will match the existing material).
 7. The applicant shall contact the City of Takoma Park Urban Forester, follow all recommendations and requirements, and forward the correspondence to staff.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #5, #6, #9, and #10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# DATE ASSIGNED

APPLICANT:

Name: E-mail: Address: City: Zip: Daytime Phone: Tax Account No.:

AGENT/CONTACT (if applicable):

Name: E-mail: Address: City: Zip: Daytime Phone: Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Owners:

Aimee Witteman

Barrett Colombo

7107 Carroll Ave.

Takoma Park, MD 20912

Adjoining Property Owners

HAWP

William Sims

7109 Carroll Ave.

Takoma Park, MD 20912

Jaime & Brittany Marschalk

7105 Carroll Ave.

Takoma Park, MD 20912

Brandi Roland

Craig Sharman

7114 Carroll Ave.

Takoma Park, MD 20912

Adriana & Pascal Echeverri

101 Park Ave.

Takoma Park, MD 20912

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

DESCRIPTION OF ***EXISTING*** STRUCTURE,
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES
AT:
7107 Carroll Ave., Takoma Park, MD 20912

This is an "Contributing Resource" 2 ½ -story Colonial Revival-style house with full basement, built in 1918, and it is located in the Takoma Park Historic District, and is near the corner at Columbia Avenue.

It is rectangular in shape; the original house is 27'-0" wide x 30'-0" long, with a 6'-0" x 20'-0" 2-story addition (probably a sleeping porch) at the rear which was possibly built in 2 different stages over the years as evidenced by the differing exterior finishes. A later pressure-treated wood stair was added in the rear as well.

In the front, the original 8'-0" wide x 25'-4" covered porch was later enclosed into a "Sunroom", with 2 bow windows at the front façade; a concrete stoop and stair was added as well. There is no remaining evidence of the original porch columns as the new wall enclosure is built with 2 x 4 construction.

- a. Original House Structure:** *The main house structure is wood framed and is gabled (8:12 slope), with the ridge parallel to Carroll Ave.. There is a shed roof over the later rear addition (4.5:12 slope).*
- b. Original Garage:** *The 20'-3" wide x 21'-8" garage structure at rear of property has a CMU wall structure with a wood-framed hip roof (5.5:12 slope).*
- c. Foundation:** *The foundation is a combination of brick and parged CMU, painted.*
- d. Exterior Finish:** *The exterior finish of the **original house**, at the 1st floor level is pebble-dash stucco with a 1 x 8 water table with a wood drip cap on top. The exterior finish of 2nd and 3rd floors is a 6" exposure cedar shake siding; there is a 1 x 6 bandboard, with a bed mould cap, separating the 1st and 2nd floor finishes. The exterior finish at the **sleeping porch addition at the rear** is a combination of 10" asbestos lap siding and pebble-dash stucco. The exterior finish at the enclosed **front porch** is 10" asbestos lap siding; the interior of this porch at the existing house still has the original pebble-dash stucco. Exterior trim at **doors and windows** is generally a 1 x 5" with a perimeter backband edge all around attached as a "frame".*
- e. Windows and Doors:** **Original house-***There are original painted wood windows, predominantly 6-over-1 and 4-over-1 double hung. **Rear addition-** All windows are painted wood windows, some possibly original, and are 6-over-1 and 4-over-1 and 1-over-1 double hung. There are half-lite wood doors at the 1st and 2nd floors. The side door off an intermediate landing at the driveway is a non-original door with a diamond-shape lite. **Front porch/ Sunroom-** All 1st floor windows are painted wood windows, either 1-over-1 double hung at the sides and*

bow windows at the front. There is a non-original 2-lite wood door at the front. On the interior wall at the original house, 2 large double-hung windows were replaced, at the time of the enclosure of the porch or later, with one large piece of fixed glass. The front door with glass transom, probably original (with a mail slot), is in good shape. There is evidence of another window to the left of the front door (approx. 3'-0" wide x 2'-6" high) that was closed in and finished with pebble-dash stucco. At the basement level, there are odd-shaped non-original aluminum windows. **Garage**-Wood windows and side door are all dilapidated. There are no extant garage doors.

f. Wood Stoop: There is a small wood stoop with 3 steps to grade at rear entry door.

DESCRIPTION OF THE ***PROPOSED*** PROJECT AND ITS
EFFECT ON THE HISTORIC RESOURCE:
7107 Carroll Avenue., Takoma Park, MD 20912

Existing Rear Addition: *The existing 2-story rear addition (former sleeping porch) will be renovated:*

- a. **1st floor, Rear:** *Existing space will be converted to a mudroom entry and extra space for the Kitchen expansion, with a new door and window pattern. A new 4'-0" x 6'-0" wood stoop, with a step to grade will be added at new rear entry door.*
- b. **2nd Floor, Rear:** *The existing space, and structure will be maintained, but converted functionally into a Closet and extra space for the Master Bedroom, with a new window pattern.*

"New" Covered Front Porch Structure:

- a. **Basement level, Front:** *The front of the basement area will be converted into an accessory apartment. Therefore, new egress and other windows (for light) will be replacing existing non-code-conforming sliding windows, with window wells added on the exterior for access.*
- b. **1st floor, Front:** *The existing 202 SF 1-story Sunroom will be restored to the original function: a covered front porch with a flat roof. It is unknown what the original materials of the front porch were, nor is it known what the column pattern and size was. But, observing other porches in the Historic District, we are proposing 4 wood columns, made of 6 x 6 wood posts wrapped with 1 x Boral, **with new wood railings** between the wood columns. **A wood stair, with wood railing**, to grade will be built at the midpoint of the front of the porch. On the wall of the original house, at the back of the new front porch, the existing stucco will be restored. The window trim around the windows will be painted and re-detailed to match the existing trim, with a new Azek AZM-6630 Historic subsill added.*

Existing Garage: *The existing 1-story 2-bay Garage will be renovated:*

- a. **At the east side of the garage,** *it will be renovated and restored as a functional garage, with a new upward swing garage door. New aluminum-clad wood double hung windows will replace the dilapidate wood windows within the existing masonry openings. Existing space will be converted to a mudroom entry and extra space for the Kitchen expansion, with a new door and window pattern. A new 4'-0" x 6'-0" wood stoop, with a step to grade will be added at new rear entry door.*
- b. **At the west side of the garage,** *the area will be enclosed as an office, with new aluminum-clad wood windows and side door (all within existing masonry openings). The existing exterior will be restored and painted CMU, and at the new walls in front, 6" exposure fiber cement lap siding, with 5/4 x 6 Boral trim, all painted.*
- c. **At the rear of the garage,** *the two existing windows will be infilled (for security) with CMU, parged and painted.*

The following materials/details will be used in the house and garage renovation/restoration:

1. Exterior Finish:

1st and 2nd Floor, Rear: Painted fiber cement smooth lap siding with a 6" exposure. Window, corner and intermediate trim will be a 5/4 x 4 Boral trim, ptd., with exterior trim at all **doors and windows** using 1 x 6 Boral with a perimeter backband edge all around attached as a "frame", to match existing. Window subsills will be an Azek AZM-6930 Historic subsill, ptd..

Separating the 1st and 2nd floor finishes (as well as the bottom of the 1st floor siding) will be an Azek AZM-197 drip cap, painted, over a 1 x 8 Boral bandboard. All trim, subsill, and siding will be painted.

2. Roofing: Existing 2-story rear addition, with new higher roof structure:

New EPDM roofing will be installed at new 2.5:12 sloped roof.

3. Windows and Doors:

1st and 2nd Floor, Rear: The new windows and door at the rear addition will be aluminum-clad wood double-hung sash windows (6-over-1 and 4-over-1 SDL); the muntins will be 5/8" wide with a traditional ogee profile, the minimum width available for SDL, that will approximately match the existing.

Exterior wall at the front porch: The new windows (two double-hung, one awning) at the new porch will be aluminum-clad wood double-hung sash windows (6-over-1 SDL); the muntins will be 5/8" wide with a traditional ogee profile, the minimum width available for SDL, that will approximately match the existing.

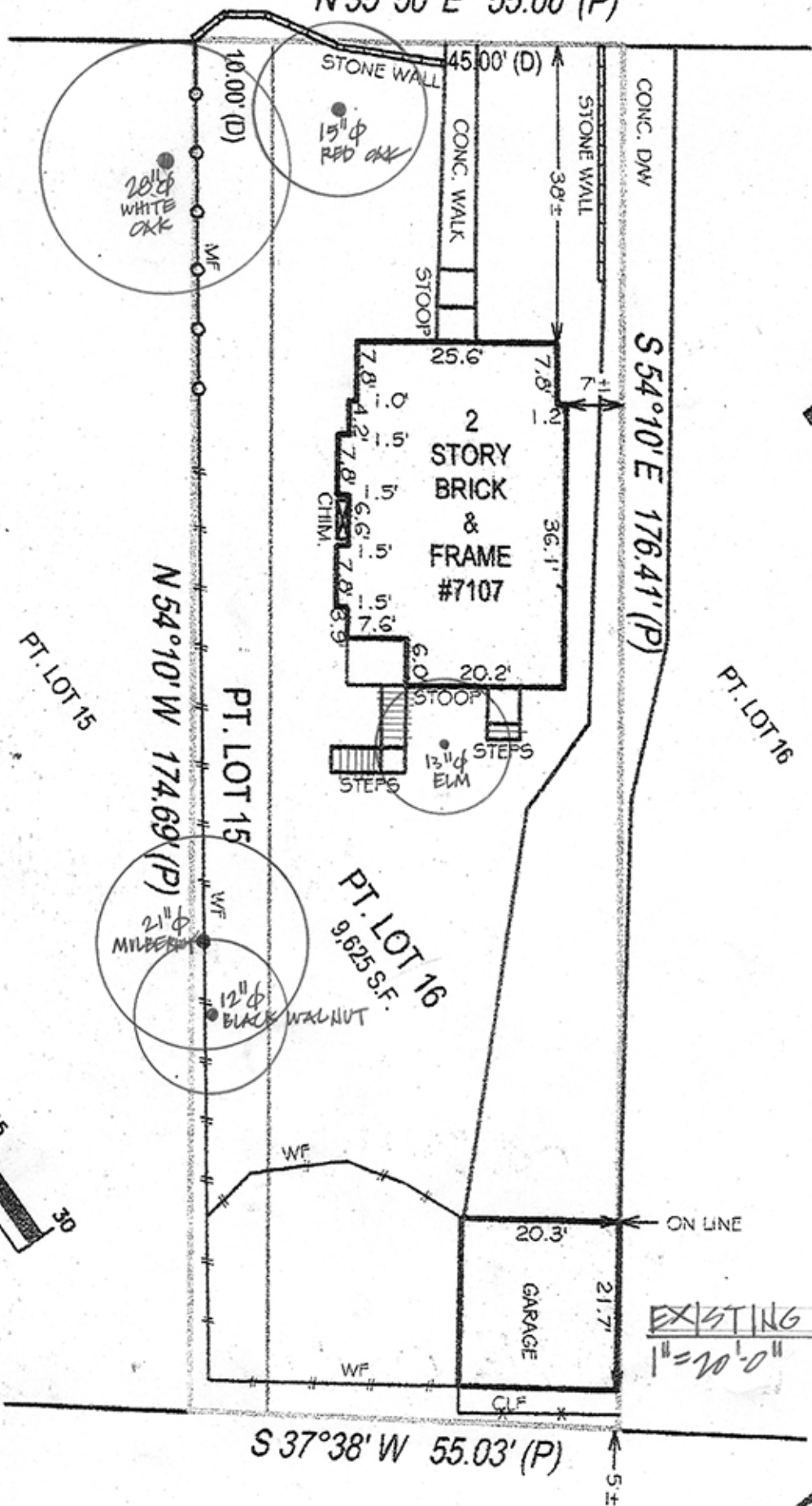
Basement windows: The new front and side windows, under new front porch, will each have a new shallow concrete window well. The new egress windows at the side of the original house will have a deeper concrete window well with a steel railing around.

Storm windows and Screens: There are currently no storm windows or insect screens on any window. The owners would like to eventually install both of these on all of the original single-pane windows that are being kept, but neither of these has been selected yet, so the owners will work with staff when they have selected their choice.

CARROLL AVENUE

N 35°50' E 55.00' (P)

AKOMA PARK, MARYLAND 20912-4500
1994



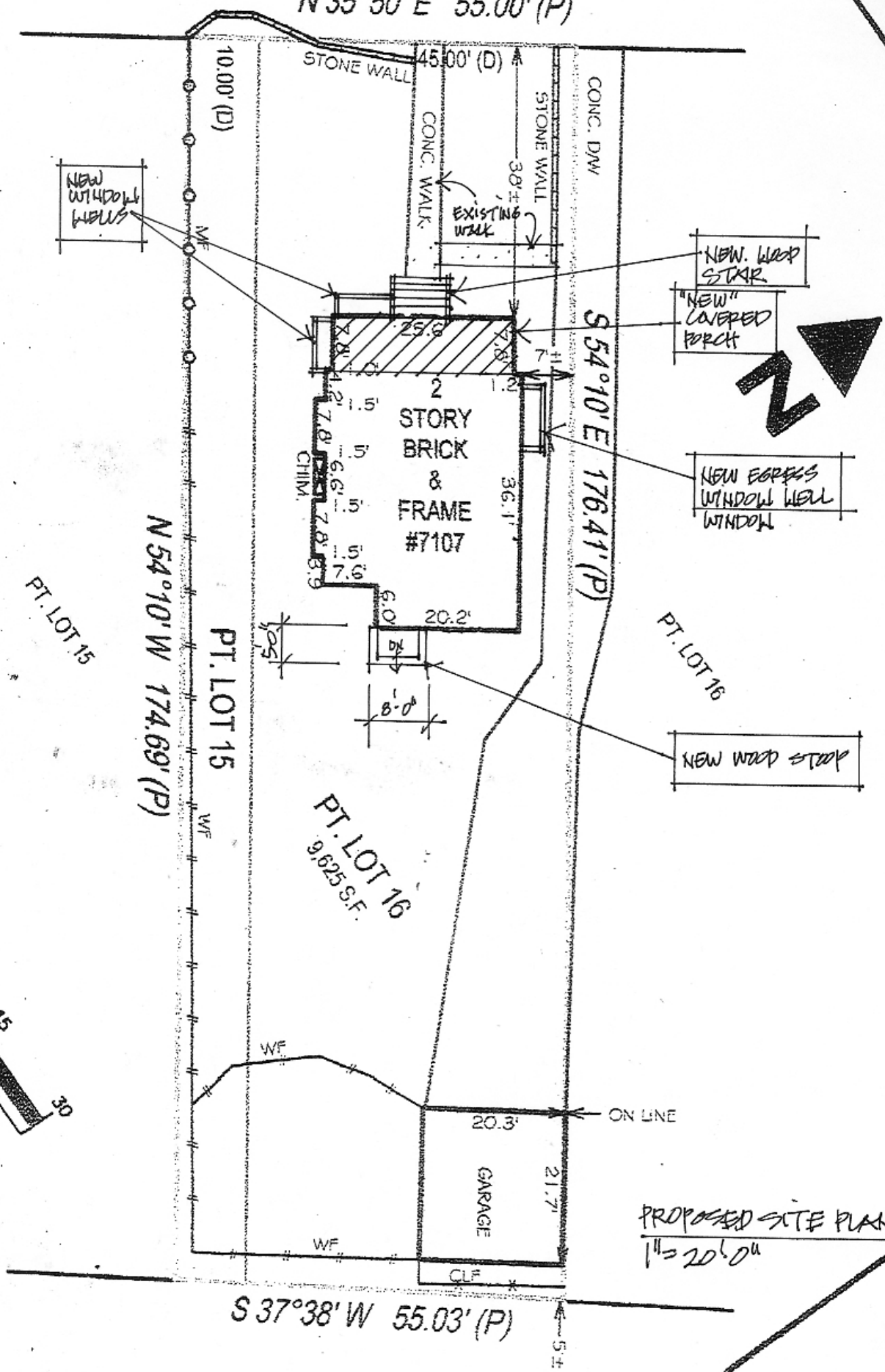
EXISTING SITE PLAN
1" = 20'-0"



CARROL AVENUE

N 35°50' E 55.00' (P)

AKOMA PARK, MARYLAND 20912
294



PT. LOT 15

N 54°10' W 174.69' (P)

PT. LOT 15

PT. LOT 16
9,625 S.F.

PT. LOT 16

NEW WOOD STAIR

NEW WOOD STAIR
NEW COVERED PORCH

NEW EXPRESS WINDOW WELL WINDOW

NEW WINDOW WELLS



PROPOSED SITE PLAN
1" = 20' 0"

S 37°38' W 55.03' (P)

GARAGE

CLF

ON LINE

10.00' (D)

45.00' (D)

S 54°10' E 176.41' (P)

5±

CHIM.

20.2'

8'-0"

5.0'

7.8'

5.5'

6.6'

7.8'

5.5'

1.2'

1.5'

4.2'

25.6'

1.2'

7.8'

7±

36.1'

30±

STONE WALL

CONC. WALK

EXISTING WALK

STONE WALL

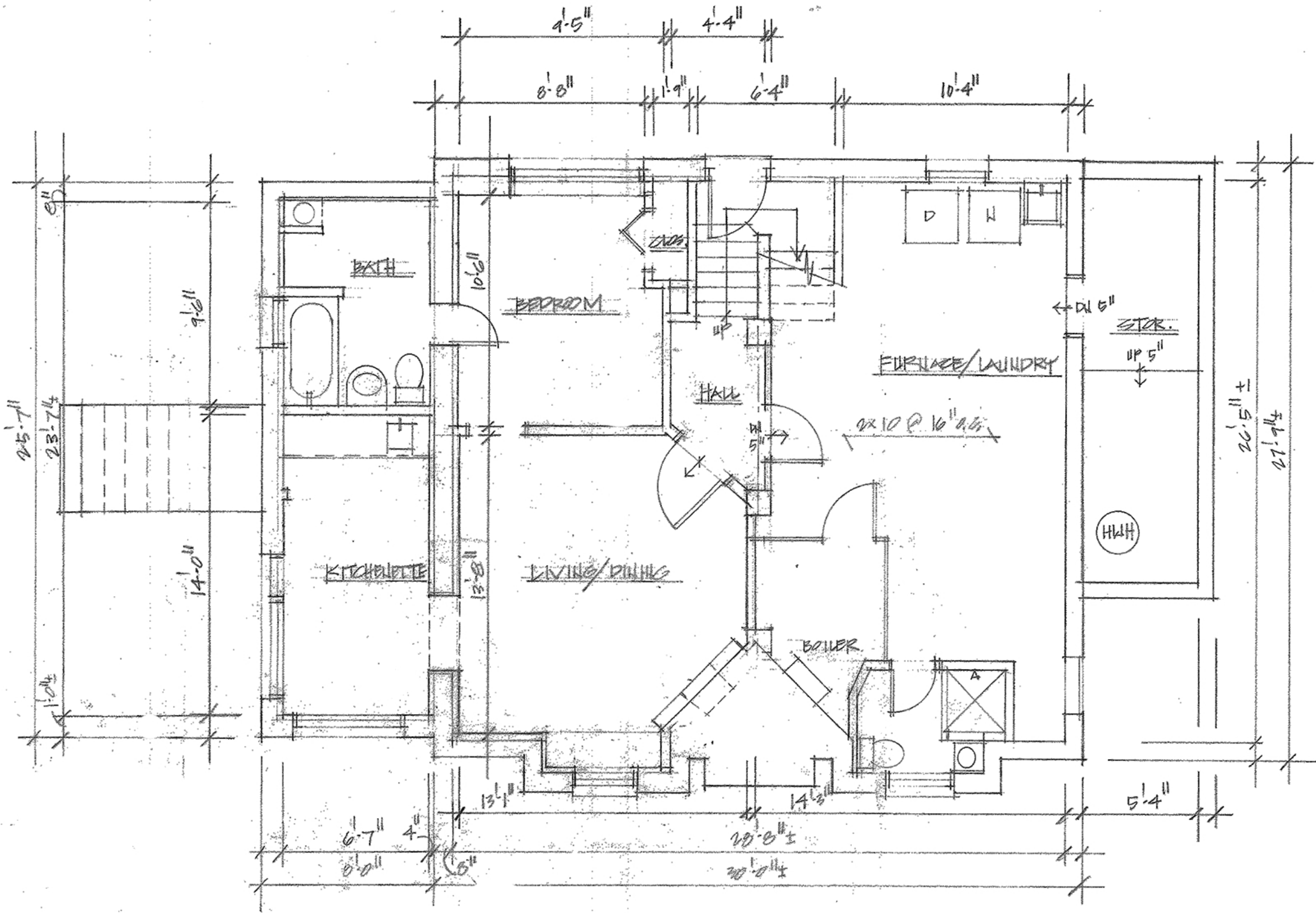
CONC. DW

WF

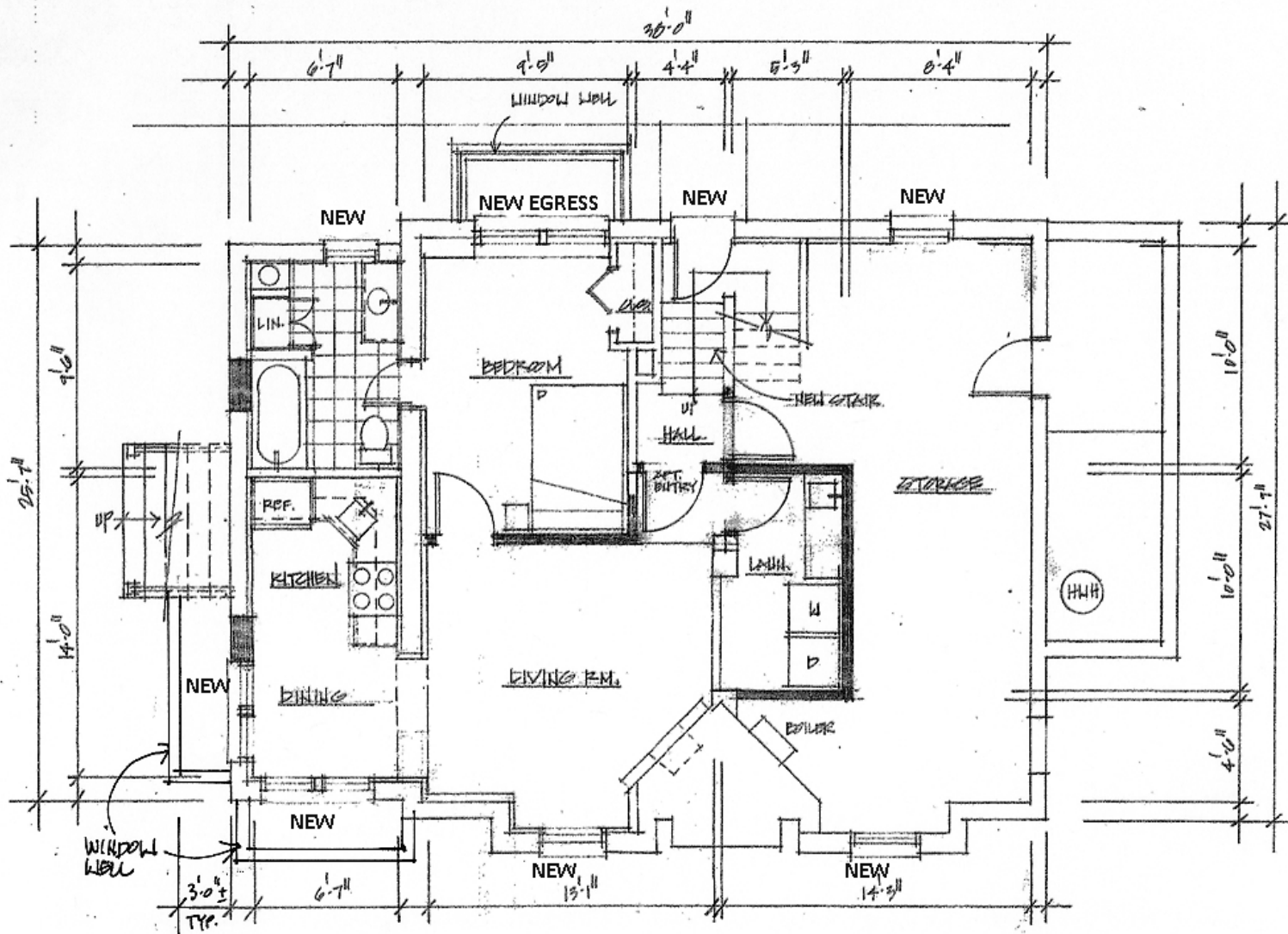
WF

WF

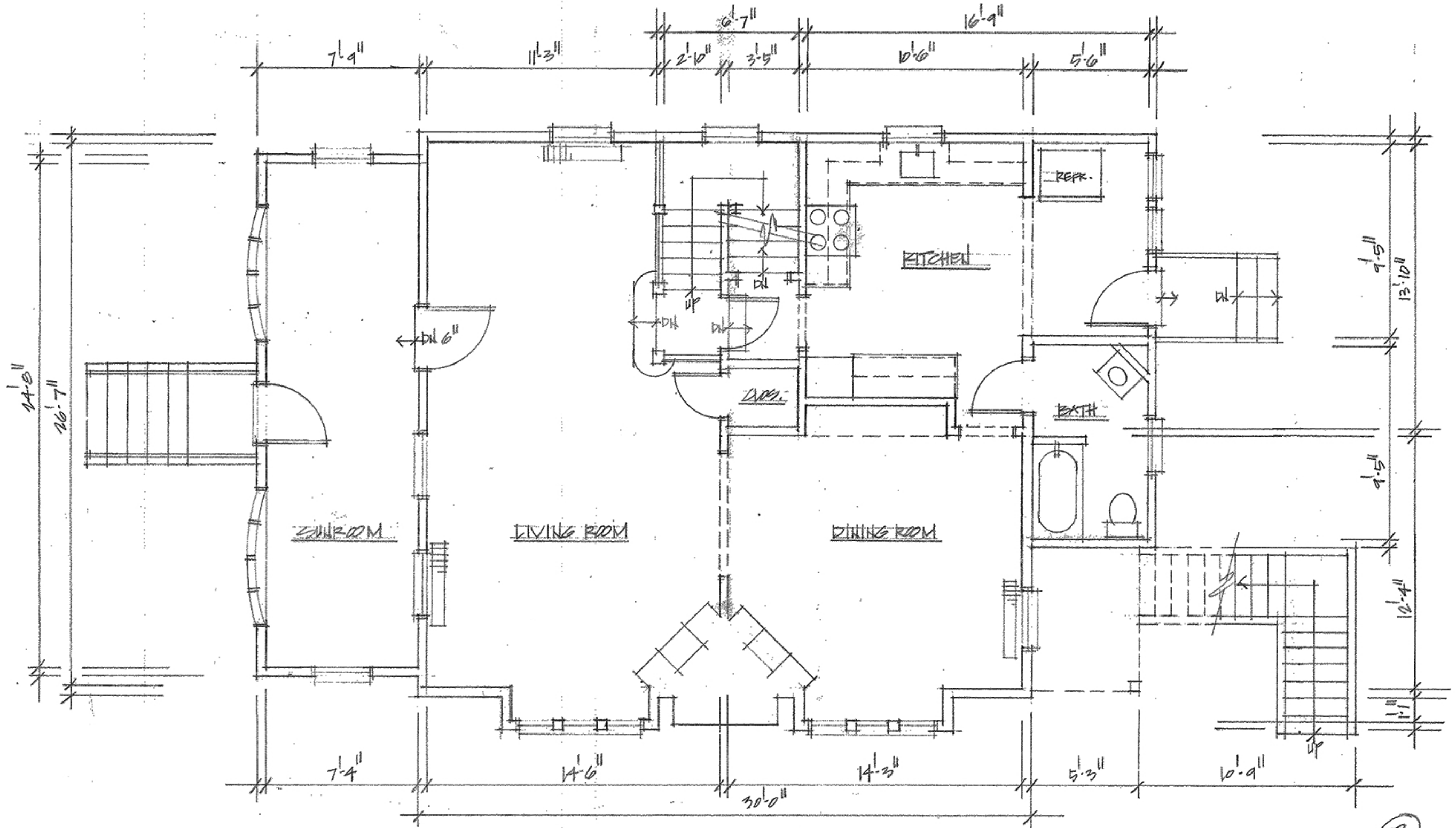
WF



EXISTING BASEMENT
 1/4" = 1'-0"



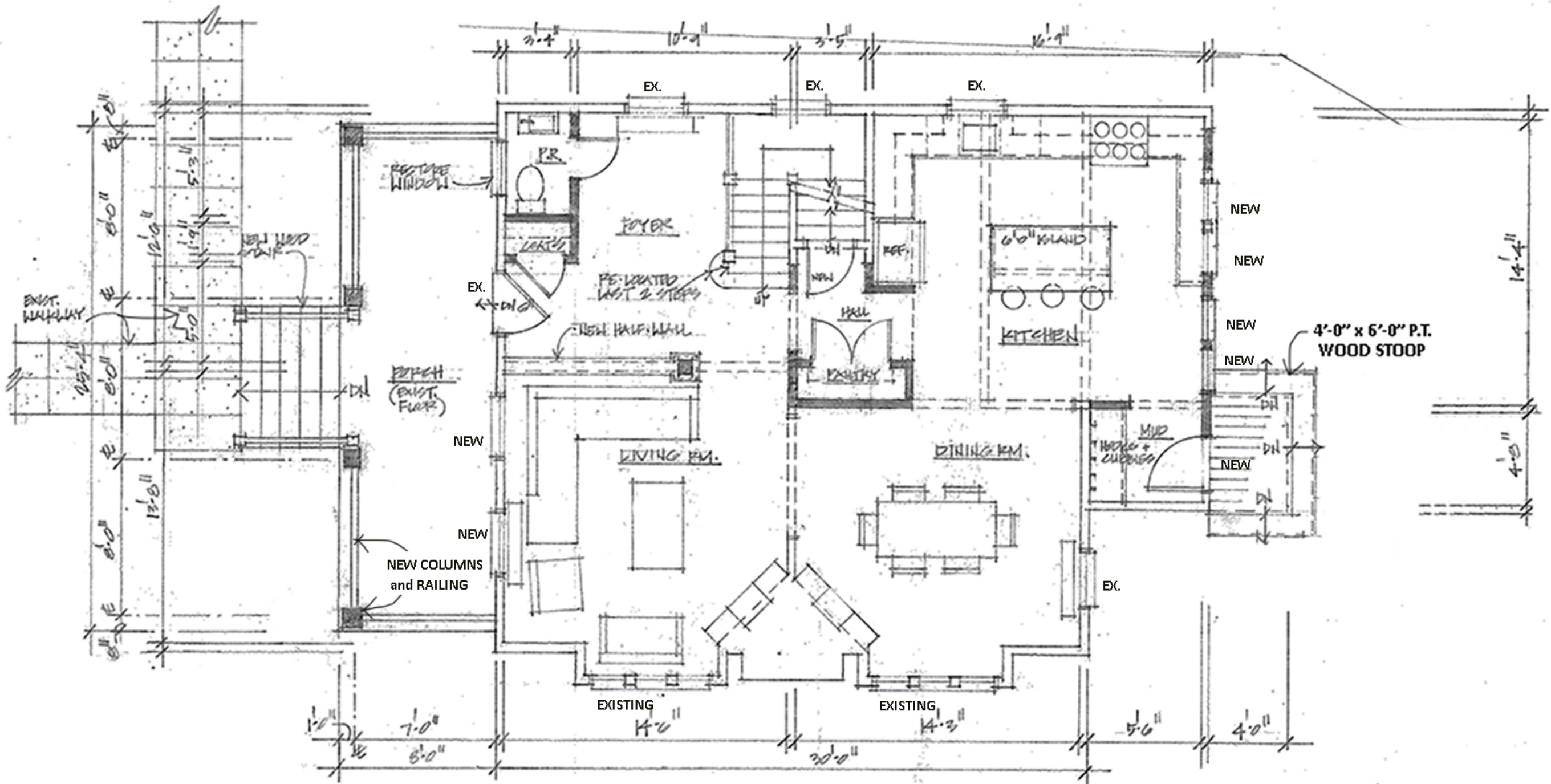
PROVIDED BASEMENT
 1/4" = 1'-0"



WITTEMAN/COLUMBO
7107 CARROLL AVE.
TAKOMA PARK, MD 20912

EXISTING FIRST FLOOR
1/4" = 1'-0"

8



Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)806-6447 cell

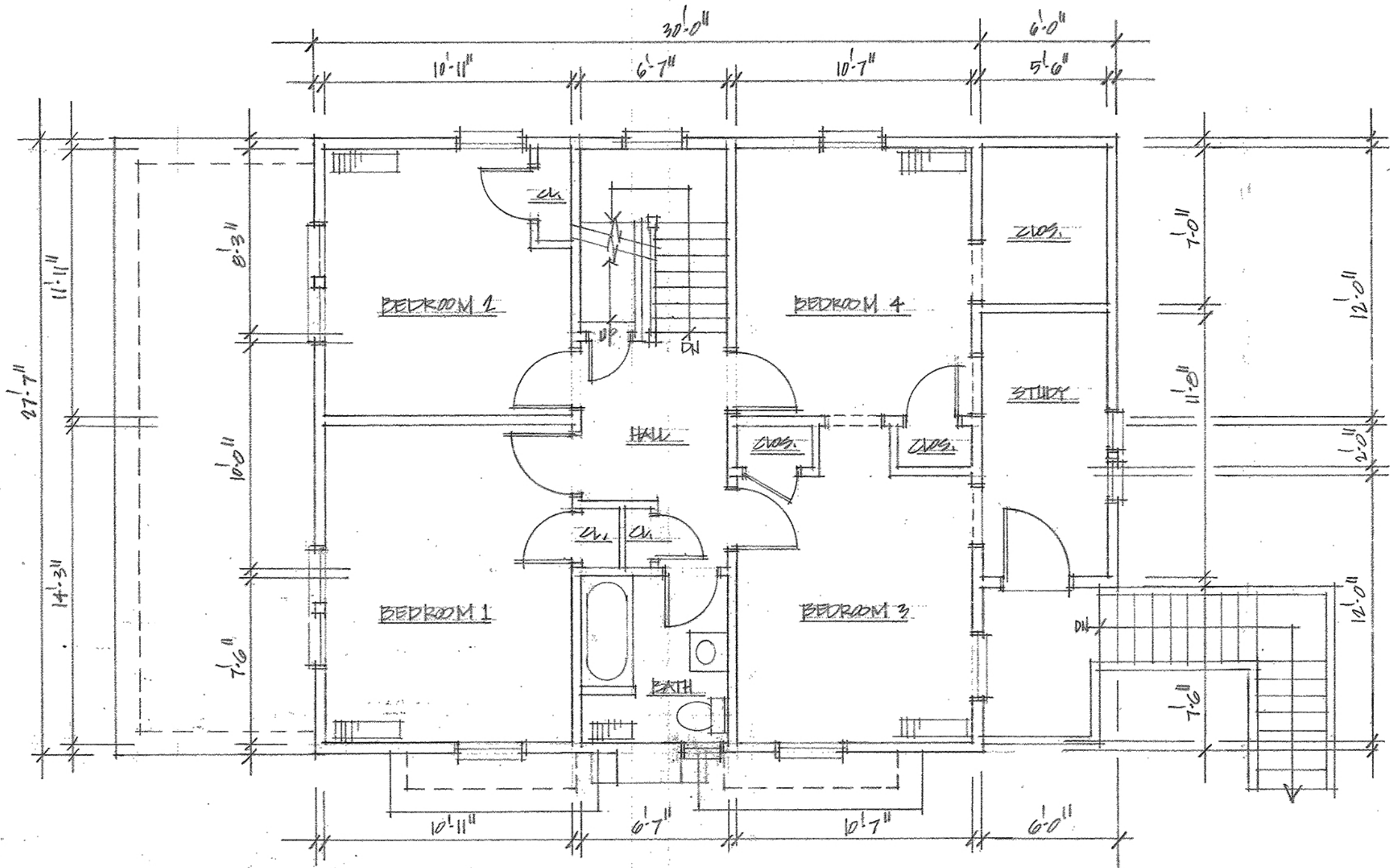
EXISTING CONSTRUCTION
 NEW CONSTR.

PROPOSED FIRST FLOOR
 1/4" = 1'-0"

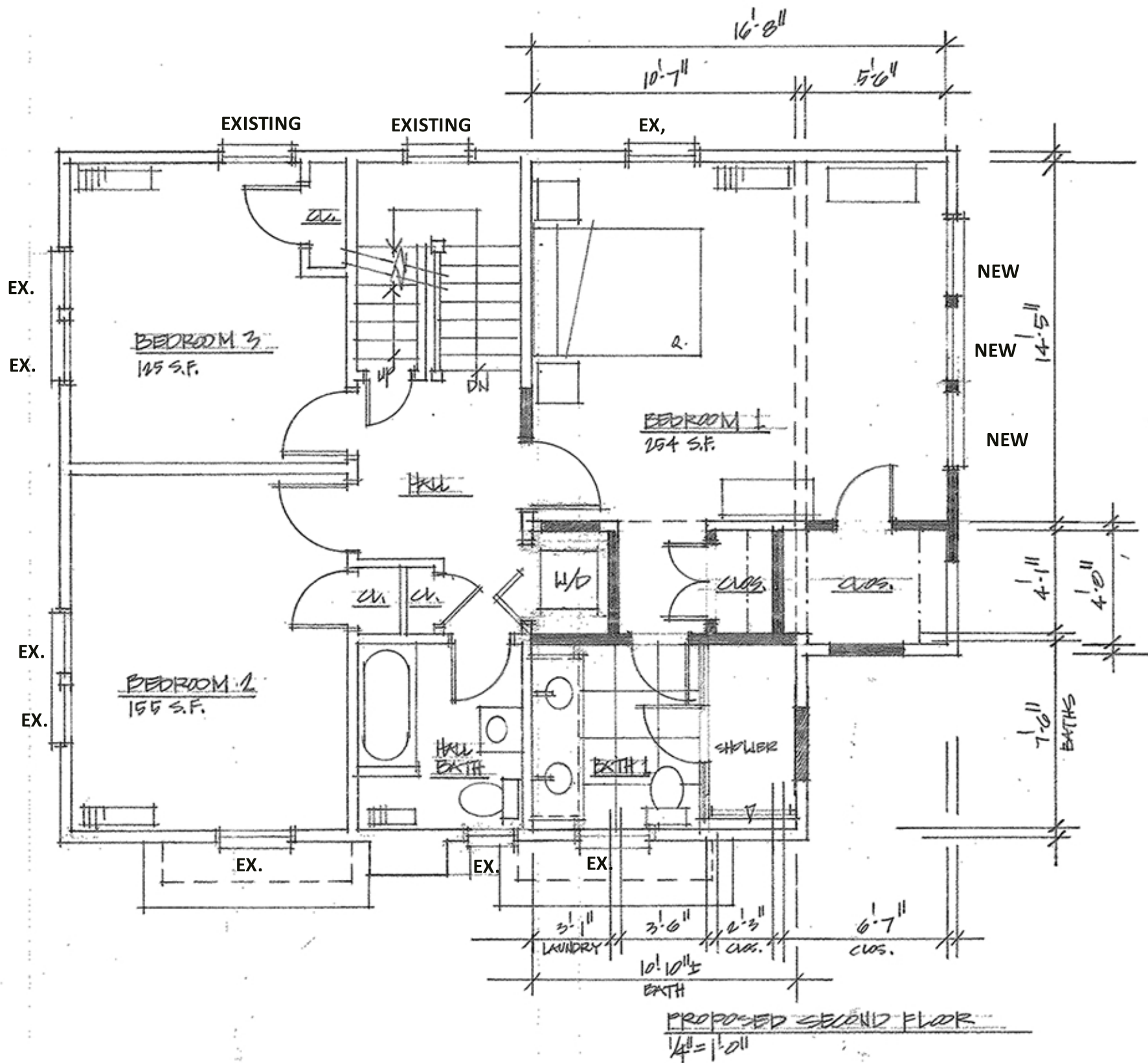
WITTEMAN/COWI/MD
 7107 CARROLL AVE.
 TAKOMA PARK, MD

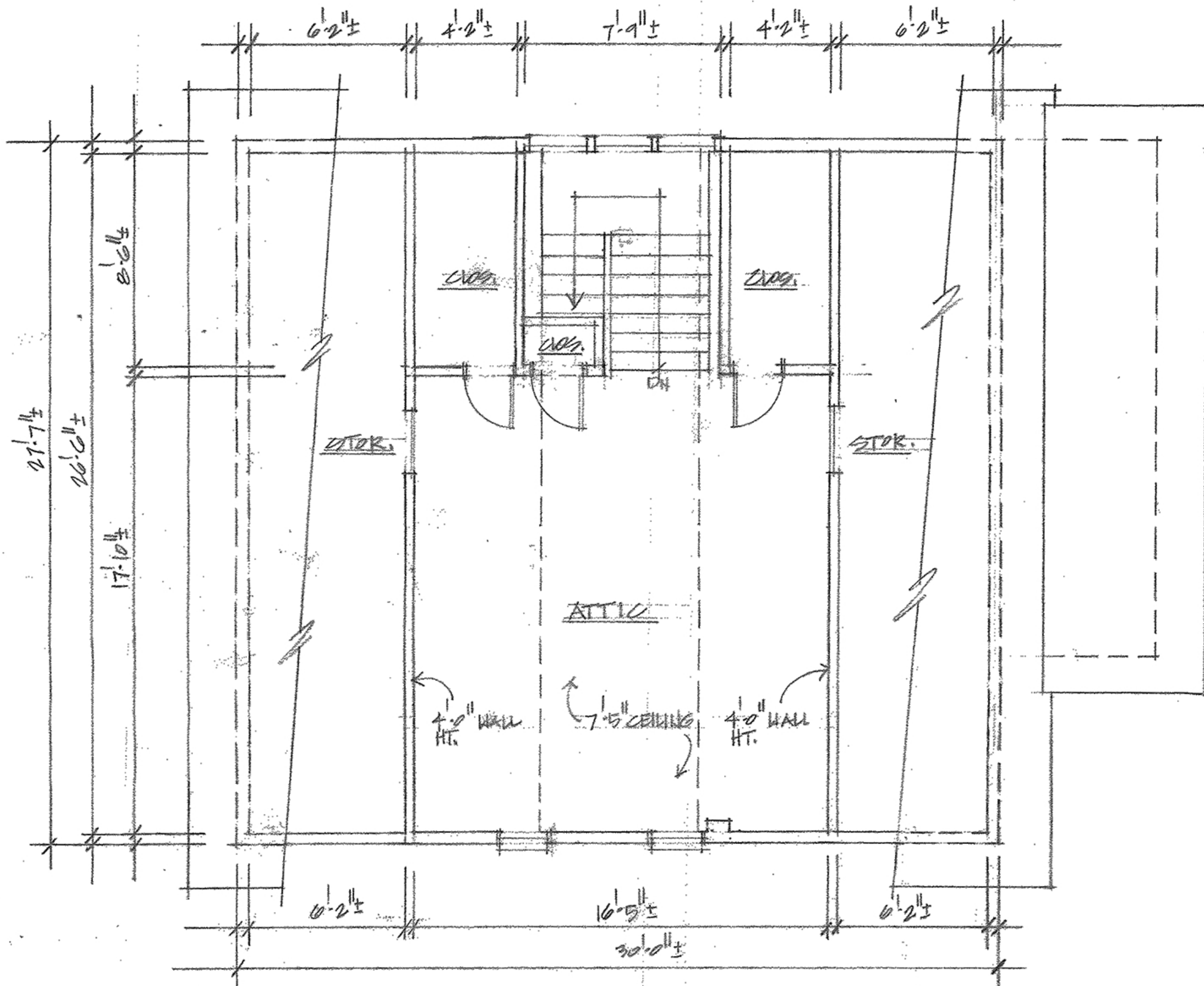
0-29-23

1



EXISTING SECOND FLOOR
 1/4" = 1'-0"

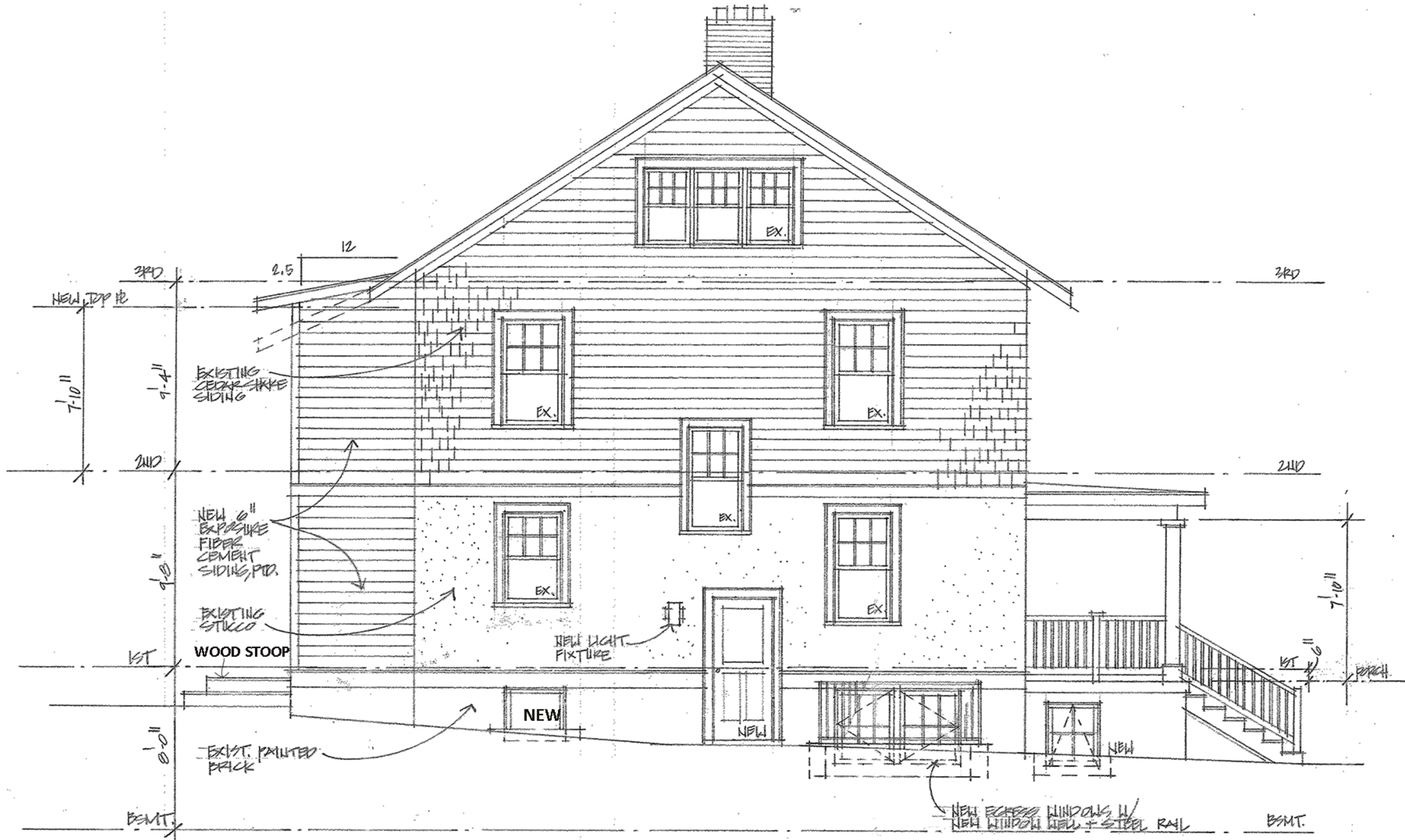




EXISTING THIRD FLOOR
1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION
 1/8" = 1'-0"

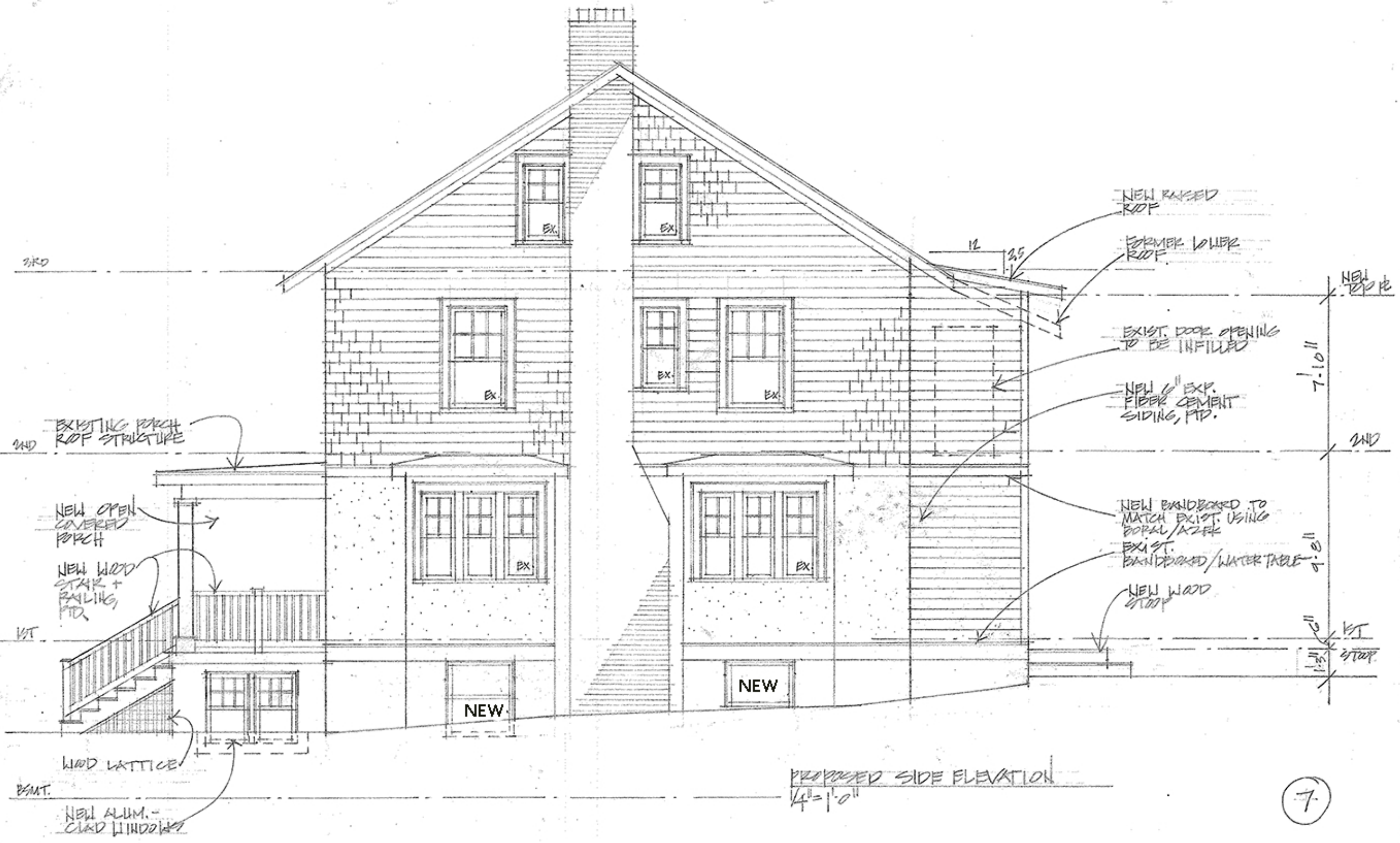


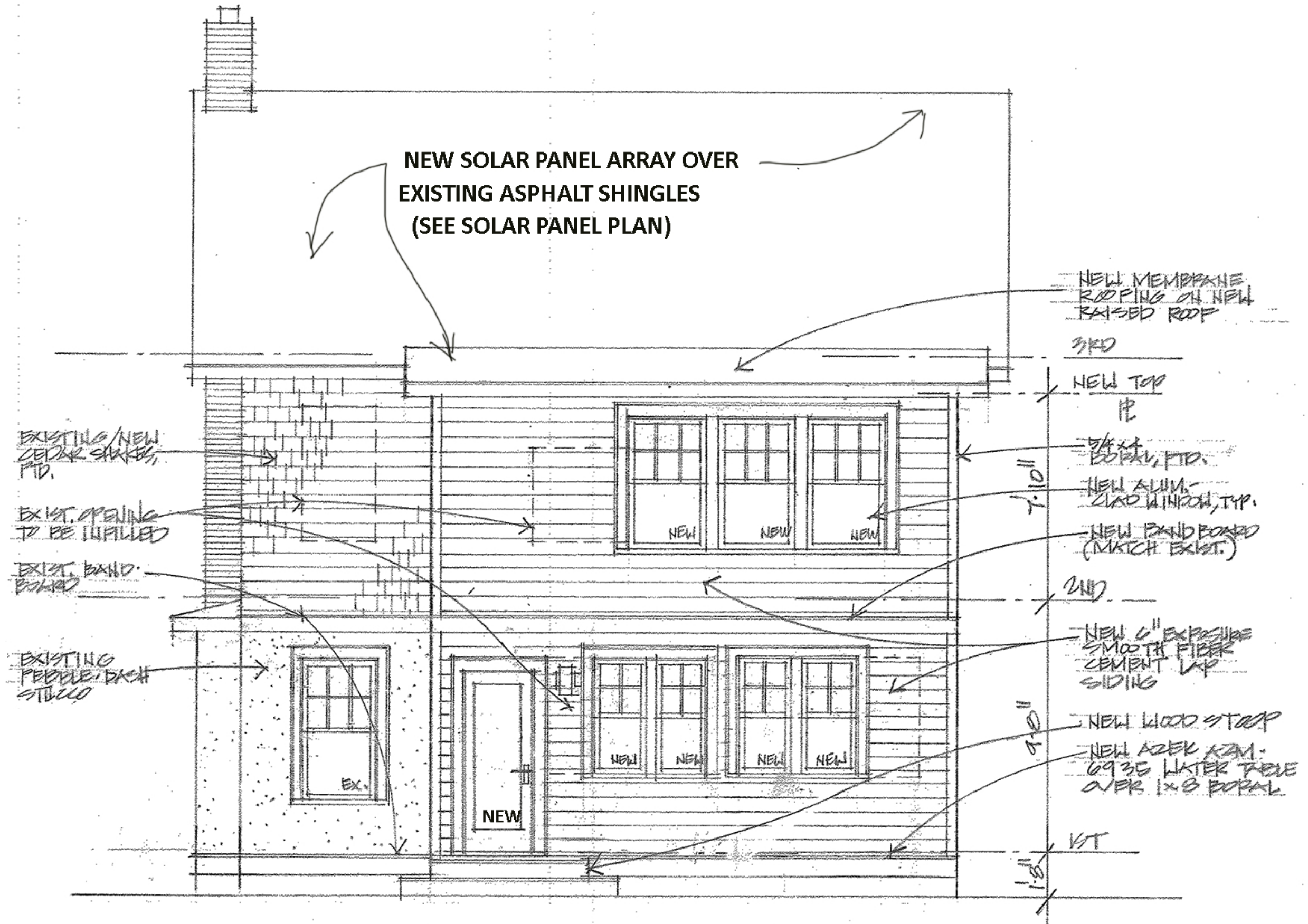
PROPOSED SIDE ELEVATION
 1/4" = 1'-0"



PRNT.

EXIST. RIGHT SIDE ELEVATION
 $\frac{1}{4}'' = 1'-0''$





NEW SOLAR PANEL ARRAY OVER
EXISTING ASPHALT SHINGLES
(SEE SOLAR PANEL PLAN)

EXISTING/NEW
CEDAR SHAKES,
PTD.

EXIST. OPENING
TO BE INFILLED

EXIST. BAND-
BOARDS

EXISTING
PEBBLE DASH
STUCCO

NEW MEMBRANE
ROOFING ON NEW
RAISED ROOF

3RD

NEW TOP
1/2"

5/8" x 4"
FLOOR, PTD.

NEW ALUM.
CLAD WINDOW, TYP.

NEW BANDBOARDS
(MATCH EXIST.)

2ND

NEW 6" EXPOSURE
SMOOTH FIBER
CEMENT LVP
SIDING

NEW WOOD STUCCO

NEW AZEK KEM-
6935 WATER TABLE
OVER 1x8 FLOOR

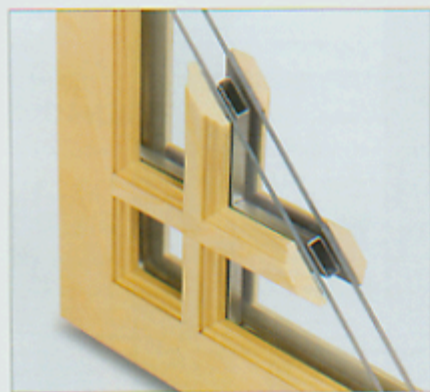
1ST

1'-8"

PROPOSED REAR ELEVATION
1/4" = 1'-0"

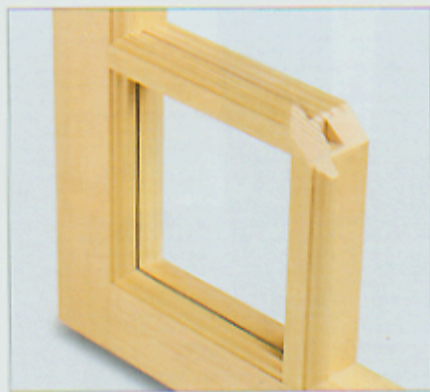
DIVIDED LITES

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles—from historic replications to modern farmhouses. For those who seek historical accuracy, authentic divided lites utilize many individual glass panes in a single window. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window sash without sacrificing the energy efficiency of a single pane of glass. Our custom capabilities allow us to create almost any divided lite pattern to match your design style.



SIMULATED DIVIDED LITE (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.



AUTHENTIC DIVIDED LITE (ADL)

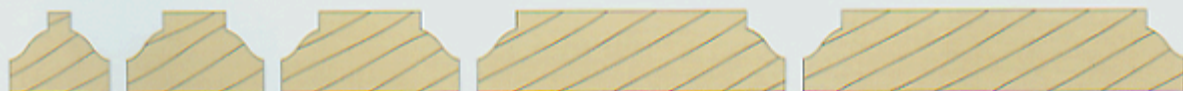
Separate panes of glass are glazed between bars—the way windows have been made since the beginning. Available exclusively with wood exterior units.



GRILLES-BETWEEN-THE-GLASS (GBG)

Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

FIVE STANDARD BAR WIDTHS



3/8" 5/8" (DEFAULT WIDTH) 1 1/8" 1 3/8" 2 1/8"

STICKING AND PROFILES

Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



OGEE



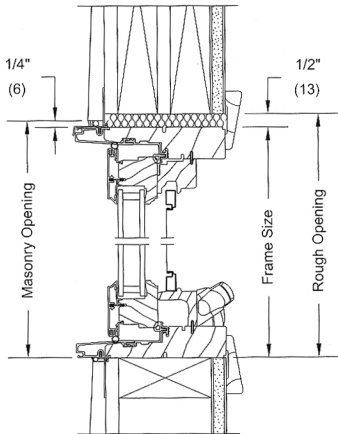
SQUARE



SQUARE STICKING

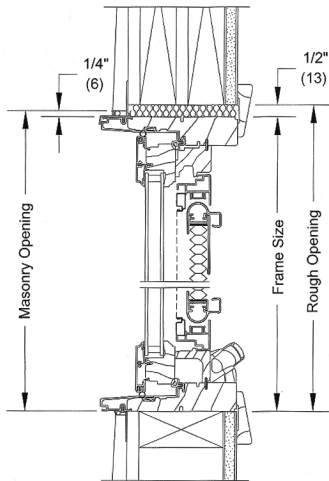
AWNING

CONSTRUCTION DETAILS



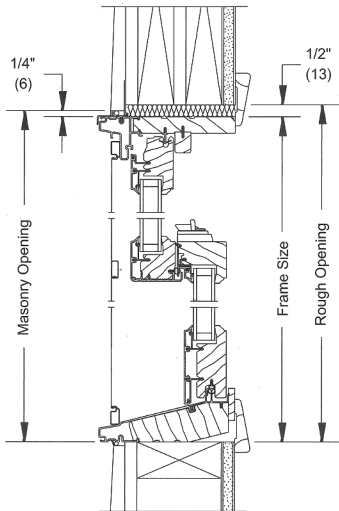
HEAD JAMB AND SILL - OPERATOR

CASEMENT / CASEMENT PUSH OUT CONSTRUCTION DETAILS



HEAD JAMB AND SILL - OPERATOR
WITH OPTIONAL INTERIOR SHADES

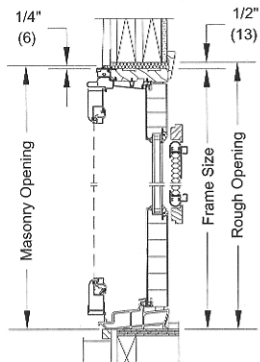
DOUBLE HUNG G2



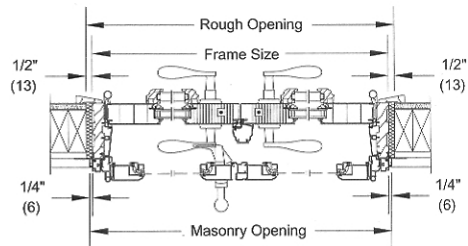
HEAD JAMB AND SILL - OPERATOR

1 3/4" INSWING FRENCH DOOR

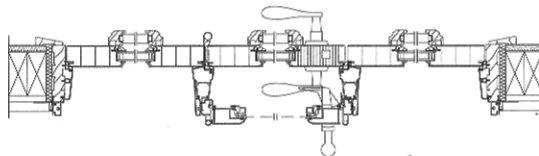
CONSTRUCTION DETAILS



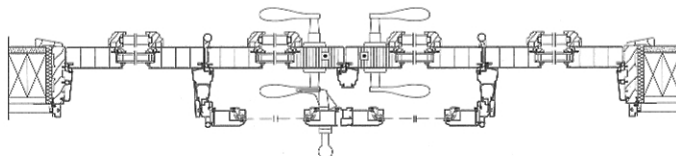
CLAD HEAD JAMB AND SILL
WITH ULTIMATE SWINGING SCREEN -
WITH OPTIONAL INTERIOR SHADES



CLAD 2 PANEL JAMB
XX LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



CLAD 3 PANEL JAMB
OXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



CLAD 4 PANEL JAMB
OXXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES

HANDRAIL

STOCK PINE



SM-8840
1-1/2 X 3-1/2
TOP PORCH RAIL



LWM-237
1-1/4 X 1-1/4
BALUSTER STOCK

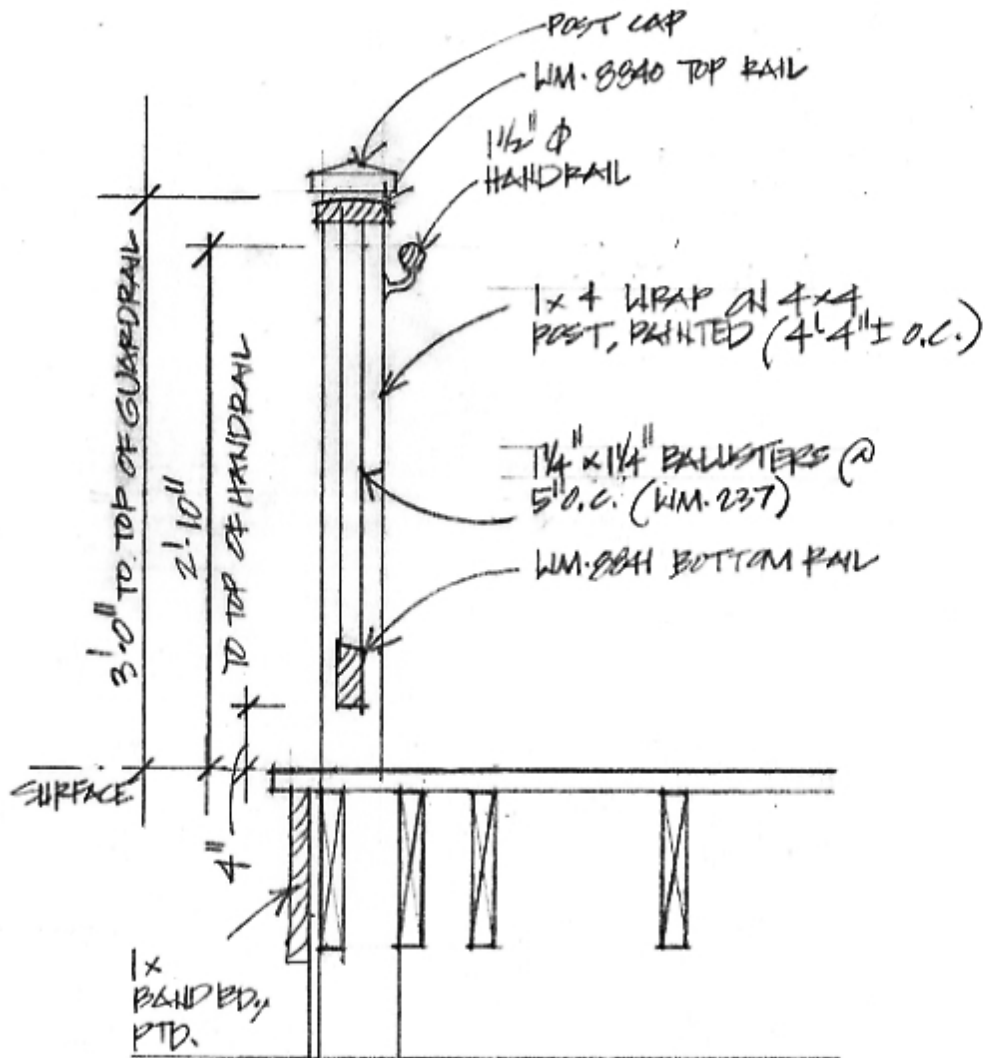


SM-8841
1-1/2 X 3-1/2
BOTTOM PORCH RAIL

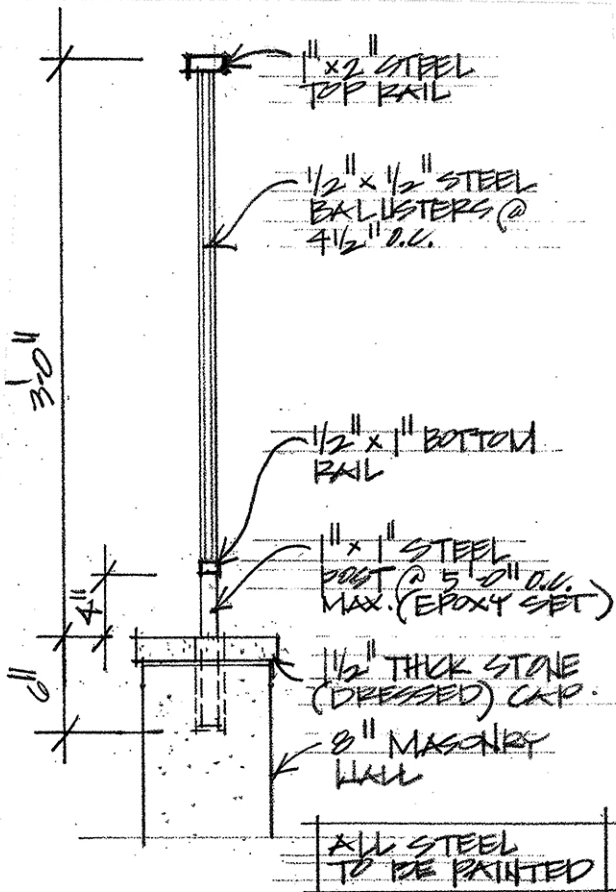
SCALE: HALF SIZE

PAGE NO. A-54

BAR RAIL



RAIL SECTION
 1" = 1'-0"



STEEL RAILING DETAIL

$1'' = 1'-0''$





7107



7107



























