

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	15035 Hyattstown Mill Road, Hyattstown	Meeting Date:	10/25/2023
Resource:	Contemporary Resource Hyattstown Historic District	Report Date:	10/18/2023
Applicant:	Hyattstown Volunteer Fire Department (Knu Design, LLC)	Public Notice:	10/11/2023
Review:	HAWP	Tax Credit:	No
		Staff:	John Liebertz

Permit Number: 1043867

PROPOSAL: For partial demolition and new construction, and new driveway extension.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with one (1) condition** the HAWP application with final approval delegated to staff.

1. The applicant shall submit the location of the relocated emergency generator and dimensions of the associated concrete pad.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contemporary Resource within the Hyattstown Historic District

STYLE: Vernacular

DATE: 1940-1950



Figure 1: The subject property fronts on MD-355/Frederick Road. The yellow star is the subject non-historic garage and the blue arrow points to the original firehouse.

PROPOSAL

The applicant proposes to: 1) construct a new one-story prefabricated addition to the east (side) elevation of the non-historic prefabricated garage (constructed in 1996); 2) widen the existing driveway from Hyattstown Mill Road; 3) alter the walkway connecting the non-historic garage to the one-story building (firehouse offices) to the east; and 4) relocate the generator. No alterations would occur to the original firehouse located on Frederick Road.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Hyattstown Historic District. These documents include the historic preservation review guidelines in the *Vision of Hyattstown (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Vision of Hyattstown

The Hyattstown Historic District is architecturally significant as a collection of 19th century buildings exhibiting a variety of architectural styles in a town-like setting. Although the majority of buildings are vernacular in form, four Colonial Revival, four Bungalows, three Gothic Revival, three Federal and one Federal Revival style buildings complete the district. The buildings share a uniformity of scale within their building type; narrow lots and shallow setbacks; construction materials and level of architectural detail. The majority of Hyattstown's resources date from 1798 to 1925, with several dating to the first lots sold and platted in the town.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Property History

The subject property located at the intersection of Hyattstown Mill Road and Frederick Road is a Contemporary Resource to the Hyattstown Historic District. The site features a vernacular firehouse constructed between 1940 and 1950. The construction of the building occurred in phases due to a lack of building materials during World War II. The two-story masonry building with seven-course Flemish bond rests on a concrete foundation. The walls support a hanger-type roof featuring end walls with stepped parapets (*Figure 2*).



***Figure 2: View of the façade of the firehouse, undated (left) and 2023 (right).
Source: Capitol City Fire Images and Montgomery Planning.***

The Historic Preservation Commission approved various permits related to the subject prefabricated accessory building (to the east/rear of the original firehouse) accessed off Hyattstown Mill Road. In 1996, the HPC approved the construction of the subject two-bay, prefabricated, firehouse garage and concrete driveway (*Figure 3*).¹ The garage features red metal siding and a white metal roof. In 2007, the

¹ For more information, https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640007/Box049/10-59-

commission approved the construction of a gable addition on the west elevation of the subject garage, added a picnic pavilion and covered walkway connecting the historic firehouse to the garage, and expanded the width of the driveway from Hyattstown Mill Road.²



Figure 3: Aerial view of the subject property, 2006 (top) and 2023 (bottom). The 2006 aerial shows the subject garage (red arrows) prior to the west addition, covered walkway, driveway expansion, and picnic pavilion approved in 2007.

Source: Connect Explorer.

Proposal – Form and Scale of the New Addition

Staff finds the form and scale of the new addition to be consistent with the applicable guidelines and recommends approval. The proposed shed addition (15' x 45') is on the east elevation of the non-historic garage to the rear of the original firehouse (*Figure 4*). Views of the garage and the proposed addition are limited from Frederick Road. The proposal would have no adverse effect on the individual resource or the character of the surrounding historic district.

[96B_Hyattstown%20Historic%20District_25801%20Frederick%20Road_03-27-1996.pdf](#).

² The application and approval of HAWP No.10/59-07C is missing for this project. The October 24, 2007, meeting agenda and minutes provide evidence of its approval.

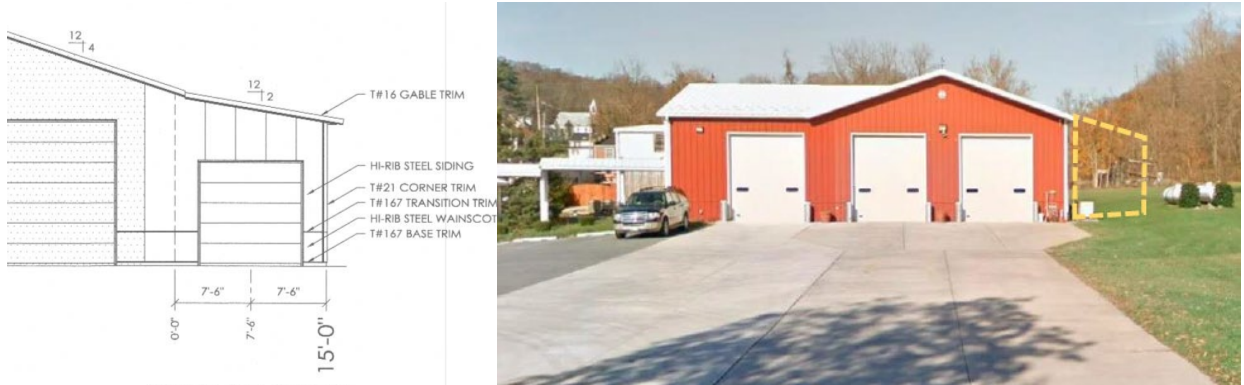


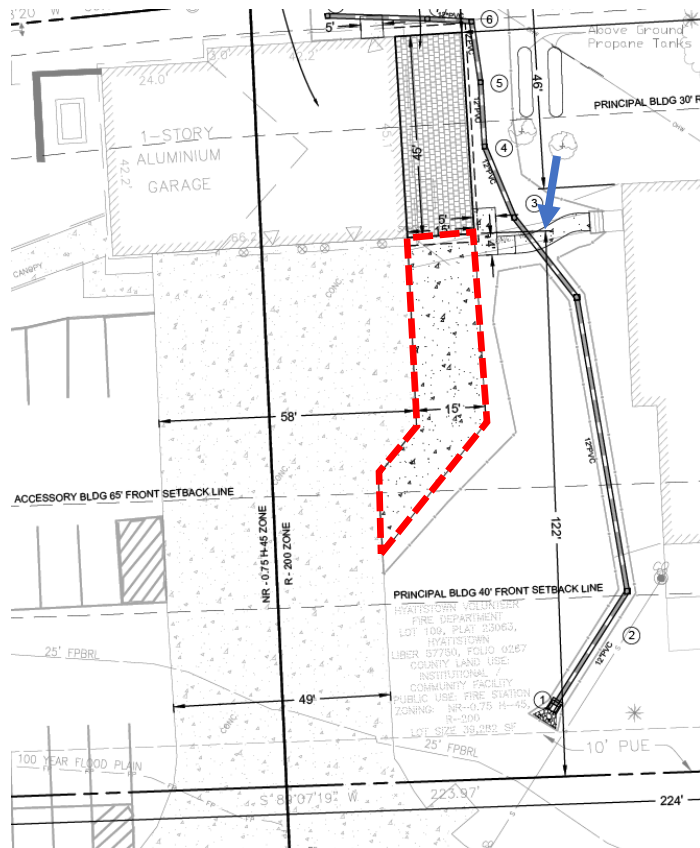
Figure 4: View of the south elevation of the proposed addition. The yellow-dashed outline illustrates the location of the proposed addition.

Source: Applicant.

Proposal – Design and Materials of the New Addition

Staff finds that the design and materials of the proposed addition is consistent with the applicable guidelines and recommends approval. The addition continues the use of materials found on the existing garage (steel siding, metal roofing, etc.). While the application does not note the material of the overhead garage door or the single-leaf door on the east (side) elevation, various materials would be considered appropriate including but not limited to fiberglass, steel, etc. Therefore, staff does not request a condition for approval. Overall, the design and materials would neither adversely affect the individual resource nor the surrounding historic district.

Proposal – Extension of the Driveway and Walkway



Staff finds that the proposed widening of the driveway is consistent with the applicable guidelines and recommends approval. The driveway would provide access to the garage bay on the new addition. The expanded driveway does not extend all the way to Hyattstown Mill Road but tapers to the width of the existing driveway. This limits the impact of the proposed hardscape to the individual resource and the surrounding historic district.

Staff finds that the proposed alterations to the walkway connecting the new addition to the firehouse offices to be consistent with the applicable guidelines and recommends approval. The amended walkway shifts the location of the existing concrete walkway to accommodate the new construction. There is no adverse effect to the individual resource or the surrounding historic district.

Figure 5: View of the site plan that shows the expanded driveway (dashed red line) and amended walkway (blue arrow).

Source: Applicant.

Proposal – Relocated Emergency Generator

Staff finds that the relocation of the emergency generator is consistent with the applicable guidelines and recommends approval with a condition. The applicant intends to move the generator from the existing east (side) elevation of the garage, the location of the proposed addition, to the east elevation of the addition. This would have no adverse effect to the individual resource or the surrounding historic district. Staff requests that the applicant clarify the location of the emergency generator and the dimensions of the concrete pad on the site plan. The generator should be located towards the rear of the building.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10, and the *Vision of Hyattstown*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one (1) condition** the HAWP application with final approval delegated to staff:

1. The applicant shall submit the location of the relocated emergency generator and dimensions of the associated concrete pad.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Vision of Hyattstown*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Hyattstown Volunteer Fire Department E-mail: jgrosshvfd@aol.com
Address: 25801 Frederick Road City: Clarksburg Zip: 20871
Daytime Phone: 301 972 3398 Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Knu Design, LLC E-mail: scott@knu.design
Address: 20505 Top Ridge Drive City: Boyd Zip: 20841
Daytime Phone: 240.372.0185 Contractor Registration No.: n/a

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 10-59

Is the Property Located within an Historic District? Yes/District Name Hyattstown Historic District
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 15035 Street: Hyattstown Mill Road
Town/City: Hyattstown Nearest Cross Street: Frederick Road
Lot: 109 Block: n/a Subdivision: 0001 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Scott K. Johnson

9.13.2023

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 25801 Frederick Road Clarksburg, MD 20871	Owner's Agent's mailing address 20505 Top Ridge Drive Boys, MD 20841
Adjacent and confronting Property Owners mailing addresses	
25811 FREDERICK ROAD LLC 25811 Frederick Road Clarksburg, MD 20871	(Confronting) Montgomery County, MD 101 Monroe St Rockville, MD 20850
25810 Frederick Road, Clarksburg MD	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The existing building to which an addition is proposed is a single-story fire station apparatus garage, built as a pre-engineered metal structure with metal siding and metal roofing. It has high-bay garage doors on the south facade facing the street.

To the west, connected via a covered walkway, is a 2-story brick building which is the firehouse.

To the south (between the building and the street) is an asphalt and concrete driveway and parking lot.

To the east is a grassy lawn and a sidewalk that connects to a former single-family house which now serves as the fire station's offices.

To the north is a narrow yard which abuts the rear service yard of the commercial neighbor.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed addition will house a fire department pickup truck and trailer. The addition will measure 15' wide x 45' deep. The exterior materials will be red metal siding and a white metal roof, matching the existing building. The roof will be a lean-to shed roof that continues the line of the existing gable roof.

The front / south facade will have an overhead garage door (white to match the existing adjacent doors).

The east facade will have a single man door and louvers for ventilation air. The existing emergency generator in the east yard will be shifted further east.

The rear north facade will be metal siding without fenestration.

The existing concrete apron on the south side of the building will be widened to connect to the new garage door so that the pickup truck can back into the garage.

Work Item 1: Construct Addition

Description of Current Condition:

Existing pre-engineered firetruck apparatus garage with red metal siding and white metal roof.

Proposed Work:

Construct a new single-story addition using a pre-engineered building structure and metal siding and roofing.

Work Item 2: Perform sitework associated with addition

Description of Current Condition:

Grassy lawn on 3 sides, with an emergency generator on the east side, a sidewalk on the south side of the addition area, and a concrete driveway just southwest of the addition.

Proposed Work:

Perform minor grading on east side due to sloping topography.
Widen the existing driveway to serve the new addition.
Reconstruct the sidewalk to the fire station offices (in a separate structure to the east), reconfiguring it slightly to accommodate the new addition and connect to an exterior door on the east side of the addition.
Relocate the generator and modify private utilities.
Modify stormwater lines; add a new pipe discharging in lawn south of addition.

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	* ✓	* ✓	* ✓	* ✓	* ✓	* ✓	* ✓
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



2



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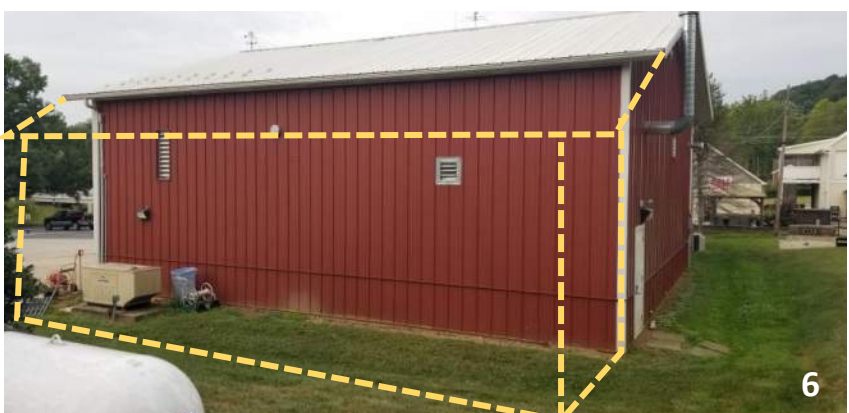
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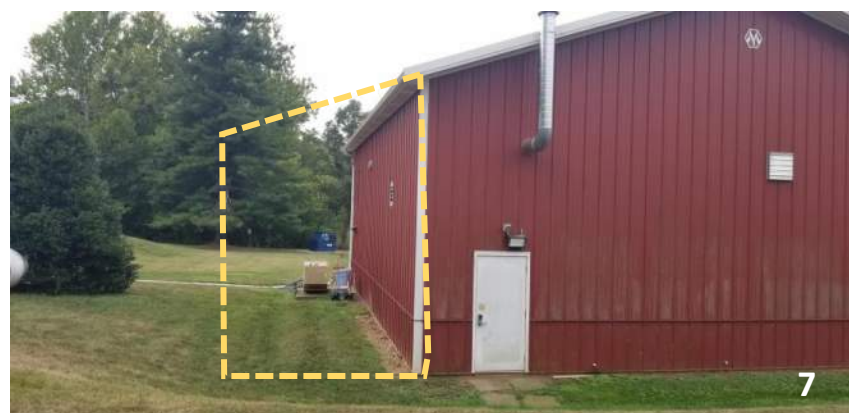
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7



8

1. Satellite Photo
2. View from corner
3. Front view from street looking north
4. Front view from yard
5. Side view, front portion
6. Side view, rear portion
7. View from rear looking south towards street
8. View from rear looking east



**Hyattstown
Volunteer Fire
Department**

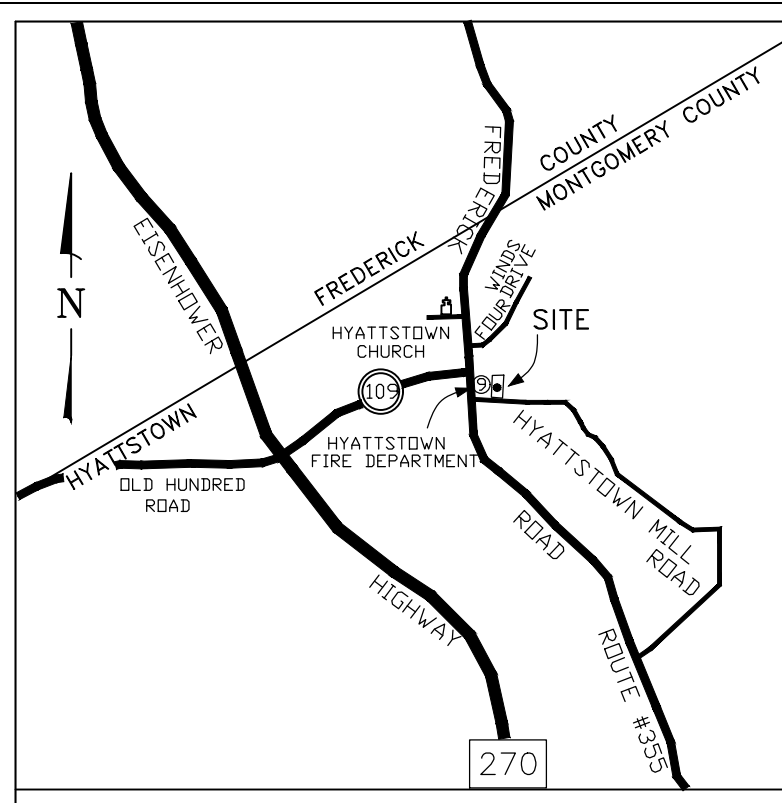
Garage Addition

15035 Hyattstown Mill
Clarksburg, MD 20871

9.13.2023
Historic Area
Work Permit
Application

**Existing
Conditions**

A1



VICINITY MAP
SCALE 1" = 2,000'
COPYRIGHT 1994 BY ADC OF ALEXANDRIA, INC.
PERMITTED USE NO. 20192133

SITE DATA

SUBJECT PROPERTY: LOT 109, PLAT 23063, HYATTSTOWN, LIBER 57750, FOLIO 0267

PROPERTY OWNER: HYATTSTOWN VOLUNTEER FIRE DEPARTMENT, 25801 FREDERICK RD, CLARKSBURG, MD 20871

EXISTING PARCEL AREA: 39,282 SF (0.9018 AC)

GROSS TRACT AREA: 44,883 SF (1.026 AC)

PRIOR DEDICATIONS: 5,401 SF, PER PLAT 23063

PROPOSED DEDICATION: NONE PROPOSED

ZONING CLASSIFICATION: NR - 0.75 H-45 (WESTERN SIDE), R-200 (EASTERN SIDE)

EXISTING USE: AMBULANCE, RESCUE SQUAD (PRIVATE)

PROPOSED USE: AMBULANCE, RESCUE SQUAD (PRIVATE)

1. PROJECT IS TAKING CREDIT FOR 5,401 SF OF PRIOR RIGHT-OF-WAY DEDICATION, PER PLAT 23063, IN CALCULATING GROSS TRACT AREA.

- SITE NOTES**
- PROPERTY TOPOGRAPHY INFORMATION PREPARED BY MHG. BOUNDARY INFORMATION FROM A 2004 RECORD PLAT PREPARED BY MHG.
 - EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES AND PAINT MARKINGS, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
 - THE PROPERTY IS WITHIN CLARKSBURG MASTER PLAN
 - THE PROPERTY IS THE HYATTSTOWN HISTORIC DISTRICT
 - THE PROPERTY IS WITHIN LITTLE BENNETT WATERSHED.
 - THE EXISTING WATER SERVICE CATEGORY IS W-6.
 - THE EXISTING SEWER SERVICE CATEGORY IS S-1.
 - ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE. SERVICING UTILITY COMPANIES INCLUDE:
WATER & SEWER: WSSC
NATURAL GAS: WASHINGTON GAS
ELECTRIC: ALLEGHENY POWER
TELECOMMUNICATIONS: VERIZON & COMCAST

DEVELOPMENT STANDARDS FOR R-200

ZONING REQUIREMENT/DESCRIPTION	PERMITTED/REQUIRED	PROVIDED PER PLAN
MIN. LOT AREA 59-4.4.7.B.1	20,000 SF	39,282 SF
MIN. LOT WIDTH AT FRONT BUILDING LINE: 59-4.4.7.B.1	100 FT	224 FT
MIN. LOT WIDTH AT FRONT LOT LINE: 59-4.4.7.B.1	25 FT	224 FT
MAX. COVERAGE: 59-4.4.7.B.1	25% (9,821 SF)	15% (5,726 SF)
PRINCIPAL BUILDING MIN. FRONT SETBACK: 59-4.4.7.B.2	40 FT	51 FT
PRINCIPAL BUILDING MIN. SIDE SETBACK: 59-4.4.7.B.2	12 FT, SUM 25	12 FT EAST SIDE 60 FT WEST SIDE
PRINCIPAL BUILDING MIN. REAR SETBACK: 59-4.4.7.B.2	30 FT	46 FT
ACCESSORY STRUCTURES MIN. FRONT SETBACK: 59-4.4.7.B.2	65 FT	121 FT
ACCESSORY STRUCTURES MIN. SIDE SETBACK: 59-4.4.7.B.2	12 FT	2 FT
ACCESSORY STRUCTURES MIN. REAR SETBACK: 59-4.4.7.B.2	7 FT	10 FT
MAX. BUILDING HEIGHT: 59-4.4.7.B.3	50 FT	24 FT
MIN. NO. OF PARKING SPACES: 59-6.2.4.B	8 ²	18 SPACES
MIN. NO. OF ACCESSIBLE PARKING SPACES: 59-6.2.3.B & COMAR 05.02.02	2 TOTAL WITH 1 BEING VAN ACCESSIBLE	2 VAN ACCESSIBLE
MIN. NO. OF BICYCLE SPACES: 59-6.2.4.C	0 REQUIRED	0

NOTES:

- PER THE MC ZONING ORDINANCE 2004 DEV. 59-G-4, THIS IS AN EXISTING NON-CONFORMING CONDITION THAT IS NOT BEING ALTERED OR RECONSTRUCTED AS PART OF THIS DEVELOPMENT.
- 4 EMPLOYEES AND 4 FIRE RESCUE VEHICLES, SO 8 TOTAL PARKING SPACES REQUIRED USING AMBULANCE, RESCUE SQUAD (PRIVATE) USE GROUP
- WITH THE ADOPTION OF THE 2014 ZONING ORDINANCE, THE PORTION OF THIS BUILDING WITHIN THE R-200 ZONED PORTION OF THE PROPERTY BECAME NON-CONFORMING. AMBULANCE, RESCUE SQUAD (PRIVATE) ARE NOT PERMITTED IN THE R-200 ZONE. UNDER THE 2004 ZONING ORDINANCE THERE WAS A DISTINCTION BETWEEN AMBULANCES OR RESCUE SQUADS, PRIVATELY SUPPORTED, NONPROFIT AND AMBULANCE OR RESCUE SQUADS, PUBLICLY SUPPORTED. SINCE MONTGOMERY COUNTY FIRE STATIONS ARE PARTIALLY STAFFED WITH CAREER FIRE FIGHTERS WHICH ARE MONTGOMERY COUNTY EMPLOYEES, THIS USE QUALIFIED UNDER THE PROVISIONS OF "PUBLICLY SUPPORTED" AND WAS A PERMITTED USE UNDER THE 2004 ZONING ORDINANCE. UNDER THE PROVISIONS OF SECTION 17.2, NONCONFORMING USE, "A LAWFUL NONCONFORMING USE OF A STRUCTURE OR LOT MUST NOT BE EXPANDED UNLESS IN THE AGRICULTURAL RESERVE ZONE, A FEDERAL OR STATE HEALTH OR SAFETY LAW, REGULATION, OR AGENCY REQUIRES OR RECOMMENDS THE EXPANSION FOR SAFETY PURPOSES. PLEASE SEE THE LETTER (THIS SHEET) FROM THE MARYLAND STATE FIRE MARSHAL (A STATE AGENCY) THAT DEMONSTRATES THAT THE PROPOSED ADDITION IS REQUIRED FOR SAFETY PURPOSES AND THEREFORE IS ALLOWABLE UNDER THE AFOREMENTIONED PROVISION.



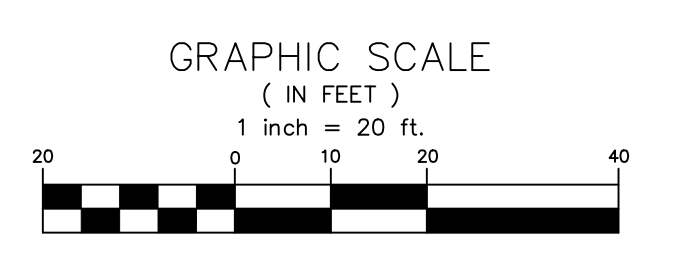
LEGEND

EXISTING CONDITIONS	NEW CONDITIONS
CONTOUR (2FT)	CONTOUR (2FT)
SPOT ELEVATION	SPOT ELEVATION
CURB & GUTTER	CURB & GUTTER
CONCRETE PAVING	CONCRETE PAVING
BUILDING	BUILDING
STORM DRAIN INLET AND MANHOLE	STORM DRAIN INLET AND MANHOLE
LIMITS OF DISTURBANCE	LIMITS OF DISTURBANCE
WATER LINE	WATER LINE
FIRE HYDRANT	FIRE HYDRANT
SEWER LINE	SEWER LINE
STORM DRAIN	STORM DRAIN
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
PROPERTY BOUNDARY	PROPERTY BOUNDARY
STORM DRAIN STRUCTURE ID	STORM DRAIN STRUCTURE ID
OVERHEAD ELECTRICAL WIRES	OVERHEAD ELECTRICAL WIRES
EXISTING FENCE	EXISTING FENCE
25' FLOOD PLAIN BUFFER	25' FLOOD PLAIN BUFFER
100' YEAR FLOOD PLAIN	100' YEAR FLOOD PLAIN

ABBREVIATIONS

FFE	FINISHED FLOOR ELEVATION
ELEV	ELEVATION
ENT	ENTRANCE
RCP	REINFORCED CONCRETE PIPE
TYP	TYPICAL
ME	MATCH EXISTING LINE AND GRADE (APPROXIMATE ELEVATION PROVIDED)
EX	EXISTING
REQ	REQUIREMENTS
NO.	NUMBER
MIN.	MINIMUM
MAX.	MAXIMUM
BLDG	BUILDING

- GENERAL CONSTRUCTION NOTES**
- CALL "MISS UTILITY" (ONE CALL) AT 811 OR 1-800-257-7777 TWO FULL BUSINESS DAYS PRIOR TO BEGINNING ANY CONSTRUCTION. HOMEOWNERS & REGISTERED EXCAVATORS MAY FILE REQUESTS ONLINE AT <http://www.missutility.net>
 - SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THIS OFFICE IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
 - ASPHALT PAVING AND CONCRETE FOR CURB, WALKS AND RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND STATE HIGHWAY ADMINISTRATION (MSHA) SPECIFICATIONS.
 - WHEN TYING INTO EXISTING PAVING, SAW CUT PAVING EDGE TO PROVIDE A CLEAN, STRAIGHT AND VERTICAL JOINT. WHEN REMOVING EXISTING CURB OR SIDEWALK, REMOVE TO THE NEAREST JOINT.
 - STORM DRAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE MONTGOMERY COUNTY ROAD CODE AND THE MARYLAND STATE HIGHWAY ADMINISTRATION (SHA) SPECIFICATIONS.
 - ALL PIPES ARE TO HAVE MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION CLASS "C" BEDDING, UNLESS OTHERWISE NOTED.
 - FINISHED GRADES REFER TO THE TOP OF SOIL, TOPSOIL, PAVEMENT OR WALKS. THE CONTRACTOR SHALL ALLOW FOR THE THICKNESS OF FINISH MATERIAL AS APPLICABLE WHEN GRADING.
 - SLOPE SMOOTHLY BETWEEN INDICATED ELEVATIONS TO PROVIDE POSITIVE DRAINAGE OF ALL AREAS GRADED OR DISTURBED BY THIS CONSTRUCTION. MAXIMUM SLOPE ON EARTH-BANKS SHALL BE NO GREATER THAN 3:1.
 - ALL ACCESSIBLE ROUTES AND ACCESSIBLE SITE ELEMENTS SHALL CONFORM TO THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MARYLAND ACCESSIBILITY CODE
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING AND DOCUMENTING ALL REQUIRED INSPECTIONS AND CONSTRUCTION APPROVALS.
 - ANY NEW ACCESSIBLE ROUTE OR SITE ELEMENT NOT CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF 2010 ADA STANDARD FOR ACCESSIBLE DESIGN AND THE MARYLAND ACCESSIBILITY CODE AS INDICATED ON THESE DRAWINGS SHALL BE REMOVED AND RECONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.



STATE AGENCY LETTER NOTING THE PROPOSED EXPANSION IS REQUIRED FOR SAFETY PURPOSES.

STATE OF MARYLAND
DEPARTMENT OF STATE POLICE
OFFICE OF THE STATE FIRE MARSHAL

1201 Reisterstown Road Building
Pikassville, MD 21208
410-632-4980
Fax 410-632-4988
Toll Free 800-525-3124

Colonel Richard L. Butler, Jr.
Acting Superintendent
Brian S. Gesele
State Fire Marshal

March 7, 2023

Jeff Gross, Fire Chief
Hyattstown Volunteer Fire Department
25801 Frederick Rd
Clarksburg, MD 20871

Dear Chief Gross:

I have reviewed the email trail regarding your expansion of bay space on the east side of your property. Being that state funds are involved to fund this project the proposed 678 GFA addition on the east side of the Hyattstown Volunteer Fire Department for fire apparatus parking would be required for safety purposes. As this addition will be used to house an additional fire apparatus which is needed for the department to keep up with the growing emergency response within the community it serves and beyond.

This letter should serve as the exception to the current zoning code that is in place preventing this addition from being built. Should you have any other questions or concerns regarding this issue please do not hesitate to contact me.

Sincerely,
Brian S. Gesele
State Fire Marshal

MHG
Civil Engineers
Land Planners
Landscape Architects
Land Surveyors

9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301.670.0840
www.mhga.com

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PROF. CERT
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the Laws of the State of Maryland. Lic. No. 16905 Exp. Date. 04.21.2024

HYATTSTOWN VOLUNTEER FIRE DEPARTMENT
ADDRESS: 25801 Frederick Rd,
Clarksburg, MD 20871
PHONE: 240-773-4709
EMAIL: jgrosshvd@aol.com

TAX MAP DX62
WSSC 2369N15

PLAT 23063
2ND ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

HYATTSTOWN VOLUNTEER FIRE DEPARTMENT

PROJ. MGR: KJH
DRAWN BY: KJH
SCALE: 1" = 20'
DATE: 10/03/2023

SITE PLAN

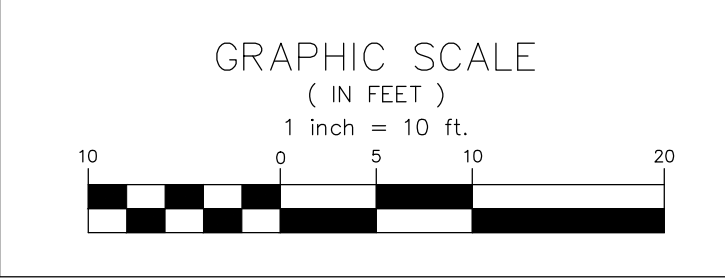
PROJECT NO. 04.178.21

C2.01

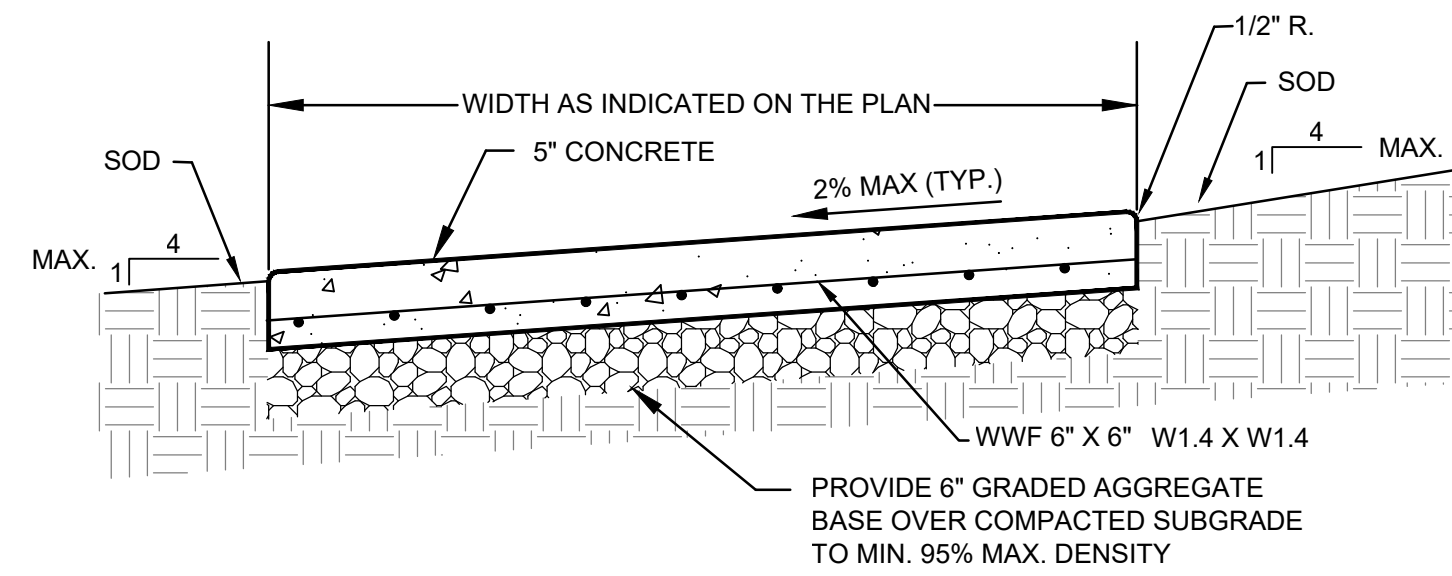


LOT 109
 39,282 sq. ft.

HYATTSTOWN VOLUNTEER
 FIRE DEPARTMENT
 EXT 109, PLAT 23063,
 HYATTSTOWN
 LIBER 0750, FOLIO 0267
 COUNTY LAND USE:
 INSTITUTIONAL /
 COMMUNITY FACILITY
 PUBLIC USE: FIRE STATION
 ZONING: NR-0.75 H-45,
 R-200
 LOT SIZE 39,282 SF



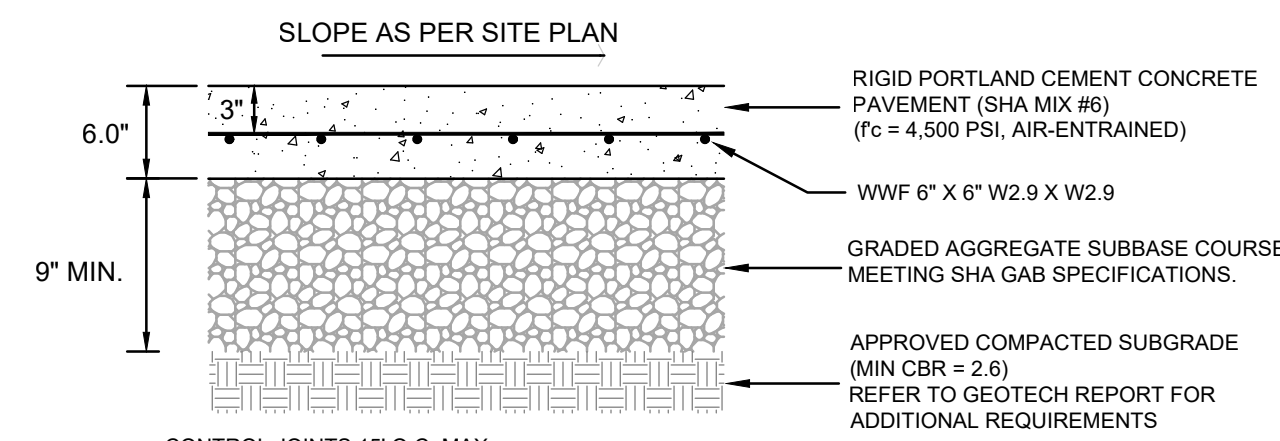
KEY NOTES	
01	SITE CONCRETE SIDEWALK (TYPICAL) - 1/C2.11
02	CONCRETE PAVEMENT SECTION - 2/C2.11, 3/C2.11, 4/C2.11
03	EXISTING ADA NO PARKING SIGN
04	LIMITS OF DISTURBANCE
05	EXISTING ROOF DRAIN TO UNDERGROUND STORM DRAIN SYSTEM - CONTRACTOR TO PROVIDE AN ALLOWANCE FOR COORDINATING ANY CONFLICTS IN THE FIELD BETWEEN NEW STORM DRAIN LINE AND EXISTING AND TO NOTIFY MHG IF A CONFLICT OCCURS.



1 SITE CONCRETE SIDEWALK

C2.11 NTS

- ALL CONCRETE SHALL BE SHA MIX #3 (3500 PSI), MINIMUM DEPTH OF 5".
- SIDEWALK WIDTH VARIES. SEE SITE PLAN FOR DIMENSIONS.
- SURFACE TO RECEIVE LIGHT BROOM FINISH.
- PROVIDE CONTROL JOINTS AT A DISTANCE EQUIVALENT TO THE WIDTH OF THE SIDEWALK, UNLESS SHOWN OTHERWISE. CONTROL JOINTS SHALL BE FORMED WITH 1" DEPTH ZIP-STRIP TOOL.
- PROVIDE 1/2" EXPANSION JOINTS EVERY 24 FEET MAX. IF SIDEWALK WIDTH IS GREATER THAN 8'-0", ADD LONGITUDINAL CONTRACTION JOINT AT CENTERLINE OF SIDEWALK. EXPANSION JOINT MATERIAL SHALL BE 1/2" PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING, TWO-COMPONENT POLYURETHANE ELASTOMETRIC TYPE SEALANT COMPLYING WITH ASTM D3920.
- PROVIDE 1/2" EXPANSION JOINT FILLER & SEALANT WHERE SIDEWALK ABUTS CURB, BUILDING OR OTHER RIGID STRUCTURE(S).
- PROVIDE NEW ROOFING PAPER BETWEEN EXISTING CURB AND GUTTER AND NEW WALK.



CONTROL JOINTS 15' O.C. MAX:
 1/2" x 1 1/2" (SAW CUT OR TOOLED) AND SEALED PER SHA 523.03

EXPANSION JOINTS WHERE SLAB ABUTS RIGID FEATURES:
 3/4" PREFORMED EXPANSION JOINT FILLER WITH 1/2" x 1" SEALANT PER SHA 523.03

CONSTRUCTION JOINTS
 #6 X 15" REBAR @ 15' O.C. AND 3/4" I.D. X 8" PLASTIC PIPE SLEEVE. FILL AND SEAL PER EXPANSION JOINT REQUIREMENTS

2 CONCRETE PAVEMENT SECTION

C2.11

PAVEMENT GENERAL NOTES:

THE CONCRETE PAVING SECTION SHOWN IS NOT BASED ON A GEOTECHNICAL REPORT. THE CONTRACTOR MUST HAVE THE SOIL TESTED AT THE TIME OF CONSTRUCTION BY A PROFESSIONAL GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER IS TO VERIFY THE ADEQUACY OF THE SECTION BASED ON THE SOIL TEST RESULTS AND THE PROPOSED USES.

MACRIS, HENDRICKS, & GLASCOCK, P.A. MAKES NO GUARANTEE OR WARRANTY EITHER ASSUMED OR IMPLIED AS TO THE SUITABILITY OF THESE PAVING SECTIONS AND ASSUMES NO LIABILITY IN PROVIDING THE PAVING SECTIONS SHOWN ABOVE ON OUR DRAWINGS. THESE/THIS PAVING SECTION/S ARE PLACED HERE SOLELY FOR THE CONVENIENCE OF THE OWNER AND THE CONTRACTOR.

THE CONTRACTOR IS CAUTIONED THAT THE PAVEMENT SECTIONS SHOWN HEREON CONSIDER POST-CONSTRUCTION TRAFFIC CONDITIONS ONLY, AND DO NOT ACCOUNT FOR CONSTRUCTION TRAFFIC LOADINGS. CONSTRUCTION TRAFFIC LOADING CONDITIONS MAY BE MORE SEVERE THAN THE POST-CONSTRUCTION CONDITIONS AND MAY RESULT IN SUBGRADE AND PAVEMENT FAILURES THE REPAIR OF WHICH WILL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR MAY CONSIDER, AT HIS EXPENSE, THE DESIGNATION OF HAUL ROUTES WHERE THE THICKNESS OF THE AGGREGATE SUBBASE OR THE ASPHALT BASE COURSE IS INCREASED TO ACCOUNT FOR CONSTRUCTION TRAFFIC LOADING CONDITIONS.

CONCRETE PAVING SPECIFICATIONS:

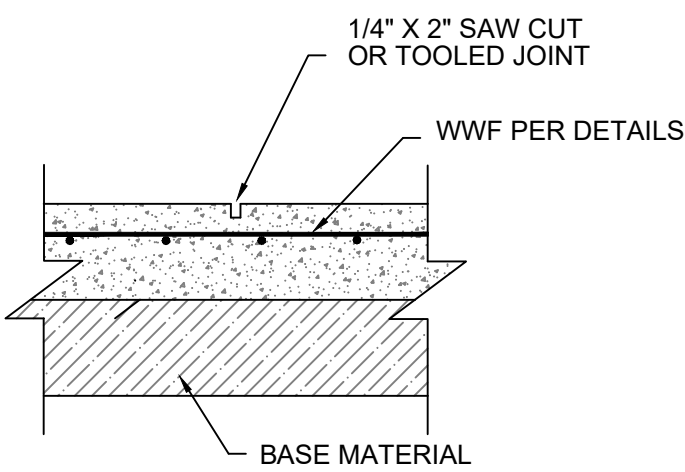
ALL CONCRETE PAVING WORK NOT SHOWN OR SPECIFIED SHALL COMPLY WITH THE LATEST EDITION OF SHA STANDARD SPECIFICATIONS, SECTION 520.

FINAL SURFACE FINISH

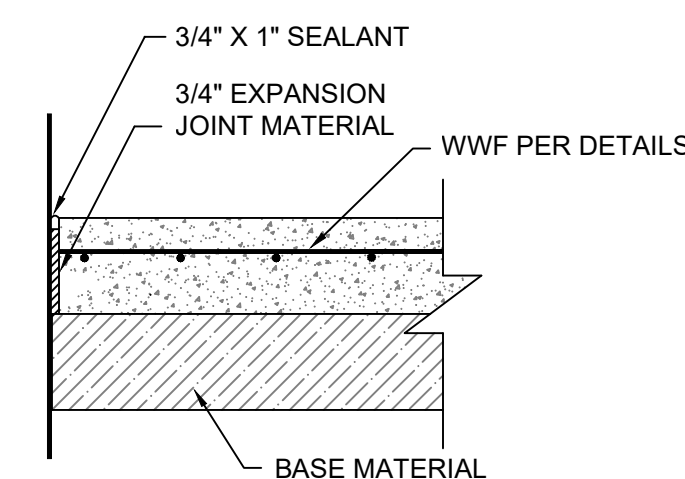
AFTER THE CONCRETE HAS BEEN FLOATED AND THE SURFACE CORRECTED, IT SHALL BE FINISHED BY DRAGGING THE SURFACE IN A LONGITUDINAL DIRECTION WITH BURLAP. THIS DRAG SHALL BE WORKED WITH A LONGITUDINAL MOTION, CARE BEING USED NOT TO PERMIT THE EDGES TO DIG INTO THE SURFACE OF THE CONCRETE OR TO WORK THE CROWN OUT OF THE PAVEMENT.

AFTER THE WATER SHEEN HAS PRACTICALLY DISAPPEARED, BUT PRIOR TO ANY INITIAL SET, THE SURFACE SHALL BE GIVEN THE FINAL FINISH BY BROOMING. THE BROOM SHALL BE MOVED FROM ONE SIDE OF THE PAVEMENT TO THE OTHER WITHOUT INTERRUPTION. THE TRAVEL OF THE BROOM SHALL OVERLAP A SMALL AMOUNT. THE BROOMING SHALL BE PERPENDICULAR TO THE CENTER LINE OF THE PAVEMENT AND SO EXECUTED THAT THE CORRUGATIONS THUS PRODUCED WILL BE OF UNIFORM CHARACTER AND WIDTH AND NOT MORE THAN 1/8 INCH IN DEPTH. WITH THE RESULTING SURFACE FREE FROM OBJECTIONABLE DEPRESSIONS OR PROJECTIONS THAT MIGHT BE FORMED BY IMPROPER HANDLING. THE BROOMING MUST BE COMPLETED BEFORE THE EDGES OF THE PAVEMENT AND JOINTS ARE ROUNDED.

THE SURFACE OF THE PAVEMENT ADJACENT TO ALL CURBS, I.E., IN THE FLOW LINE OF THE GUTTER, SHALL BE TROWELED AND FINISHED WITH HAIR BROOMS.

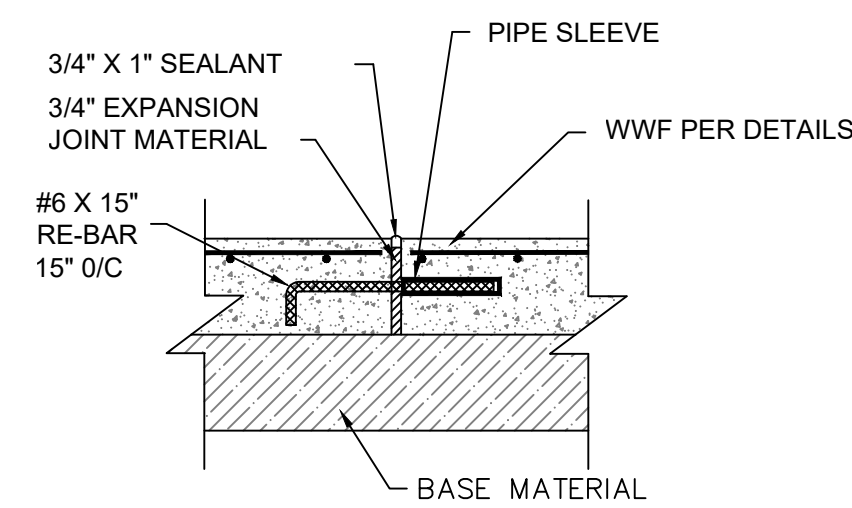


SAW CUT JOINT



EXPANSION JOINT

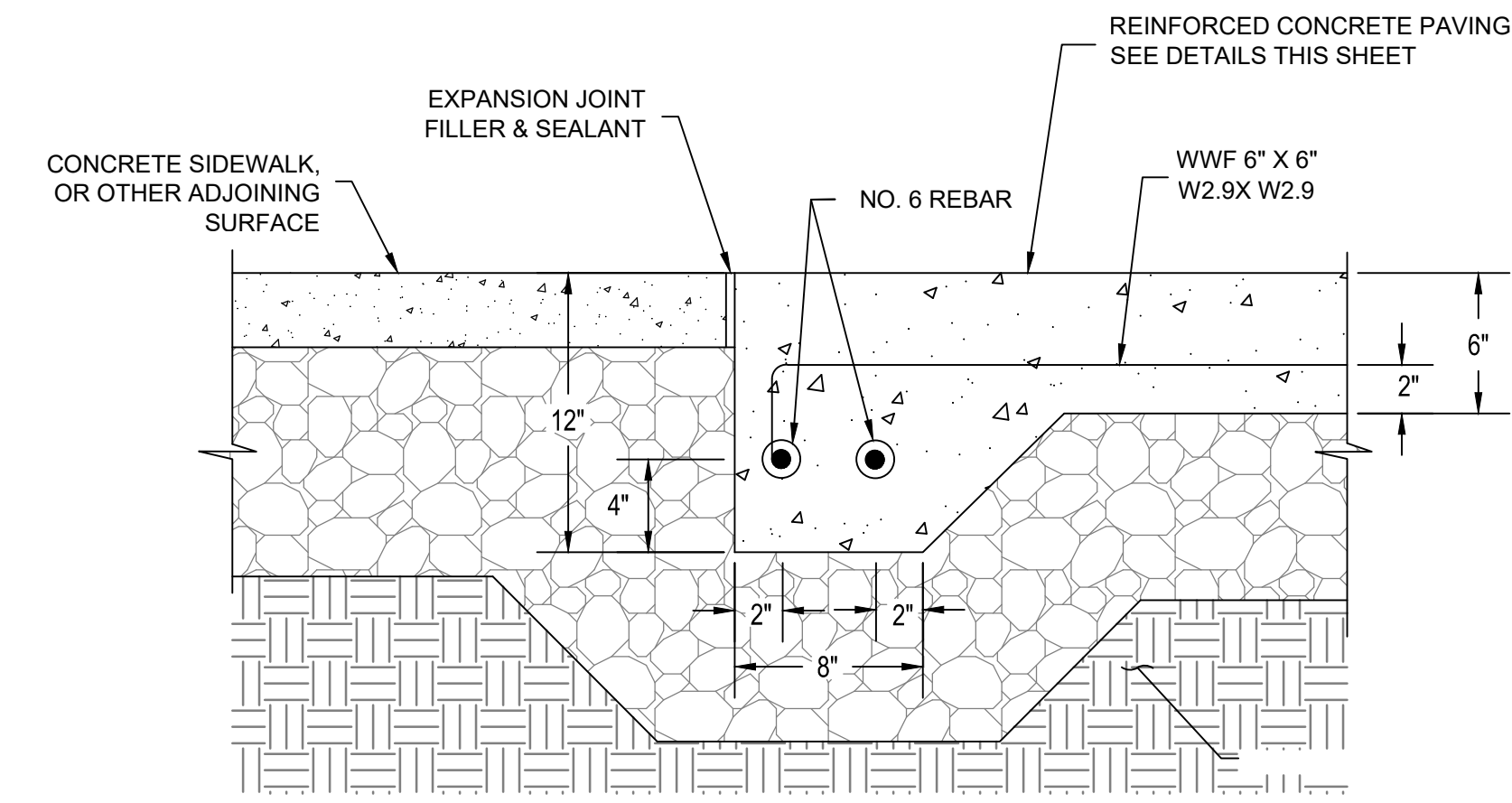
(AT INTERFACE WITH ALL RIGID SURFACES)



CONSTRUCTION JOINT

3 CONCRETE PAVING - JOINT DETAILS

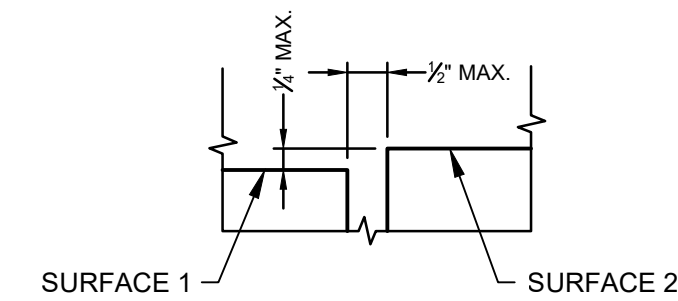
C2.11 NTS



4 CONCRETE PAVING - EDGE OF SLAB

C2.11

RIGID PORTLAND CEMENT CONCRETE, $f_c=4,500$ PSI, AIR ENTRAINED

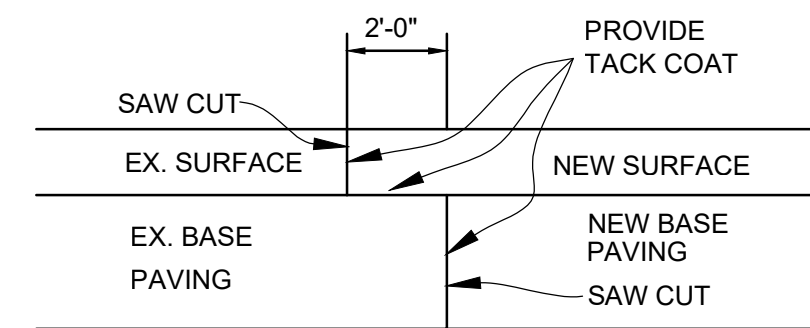


NOTES:

- ACCESSIBLE WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL HAVE A CONTINUOUS SURFACE, NOT INTERRUPTED BY ABRUPT CHANGES IN VERTICAL ELEVATION EXCEEDING 1/2".
- TRANSITION WITH THE ACCESSIBLE ROUTE FOR RAMP TO WALKS, GUTTERS, OR VEHICULAR PATHS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES IN VERTICAL ELEVATION EXCEEDING 1/2".
- THE MAXIMUM OF ANY JOINT, OPENING, OR GAP BETWEEN ANY TWO ADJACENT SURFACES ALONG AN ACCESSIBLE ROUTE SHALL BE 1/2".

5 CHANGES IN VERTICAL ELEVATION DETAIL

C2.11 NTS



IN PAVEMENT TIE-IN OR WIDENING AREAS, OVERLAP EX. BASE PAVING WITH NEW SURFACE PAVING AS SHOWN ABOVE.

6 EXISTING PAVEMENT TIE-IN DETAIL

C2.11 NTS

SEAL

PROF. CERT
Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the Laws of the State of Maryland. Lic. No. 16905 Exp. Date: 04/21/2024

HYATTSTOWN VOLUNTEER FIRE DEPARTMENT

ADDRESS: 25801 Frederick Rd,
 Clarksburg, MD 20871
 PHONE: 240-773-4709
 EMAIL: jgrosshvd@aol.com

TAX MAP DX562 WSSC 236WV15

PLAT 23063

2ND ELECTION DISTRICT
 MONTGOMERY COUNTY
 MARYLAND

HYATTSTOWN VOLUNTEER FIRE DEPARTMENT

PROJ. MGR KJH

DRAWN BY KJH

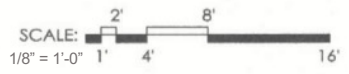
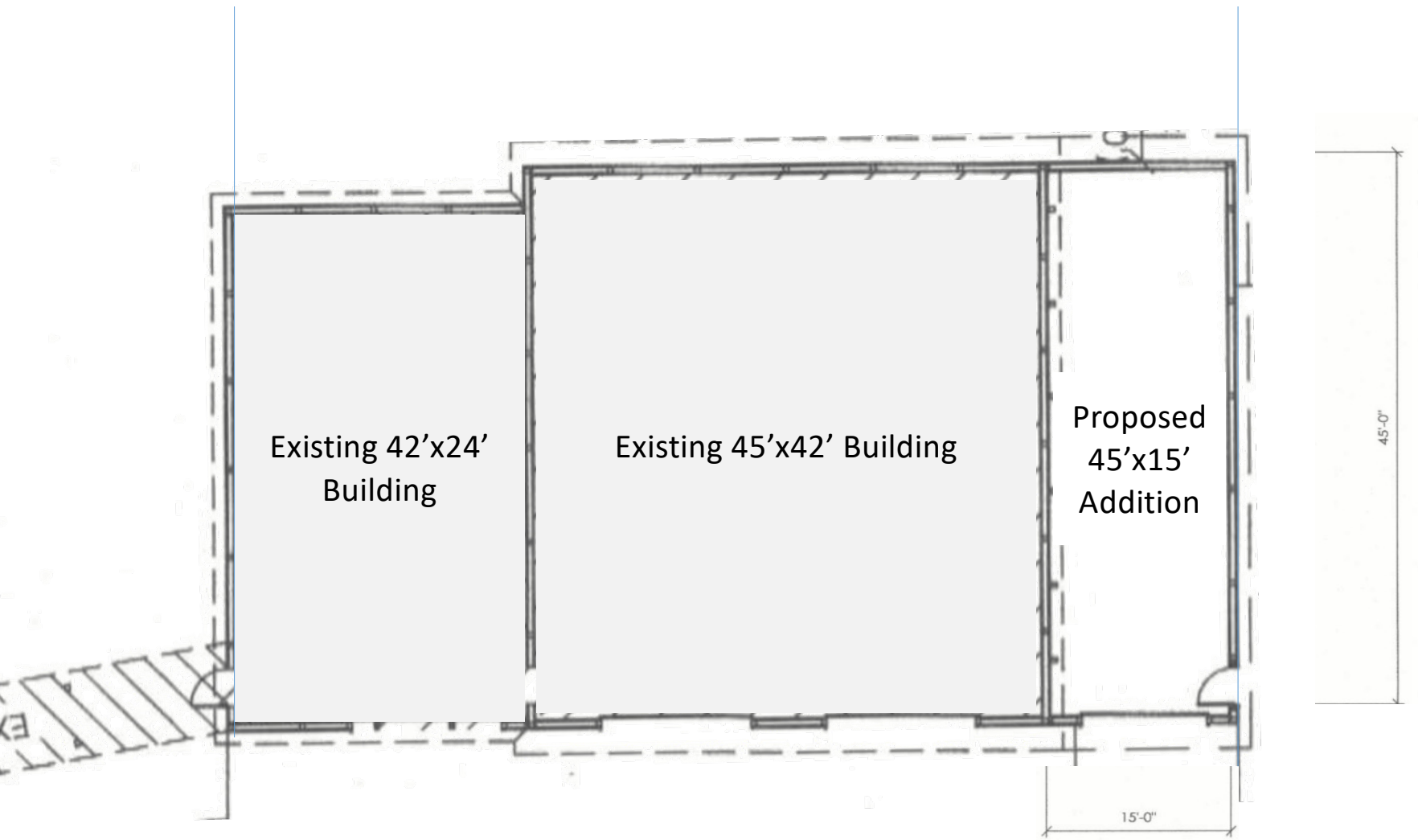
SCALE 1"= 10'

DATE 10/03/2023

DETAILS

C2.11

PROJECT NO. 04.178.21



**Hyattstown
Volunteer Fire
Department**

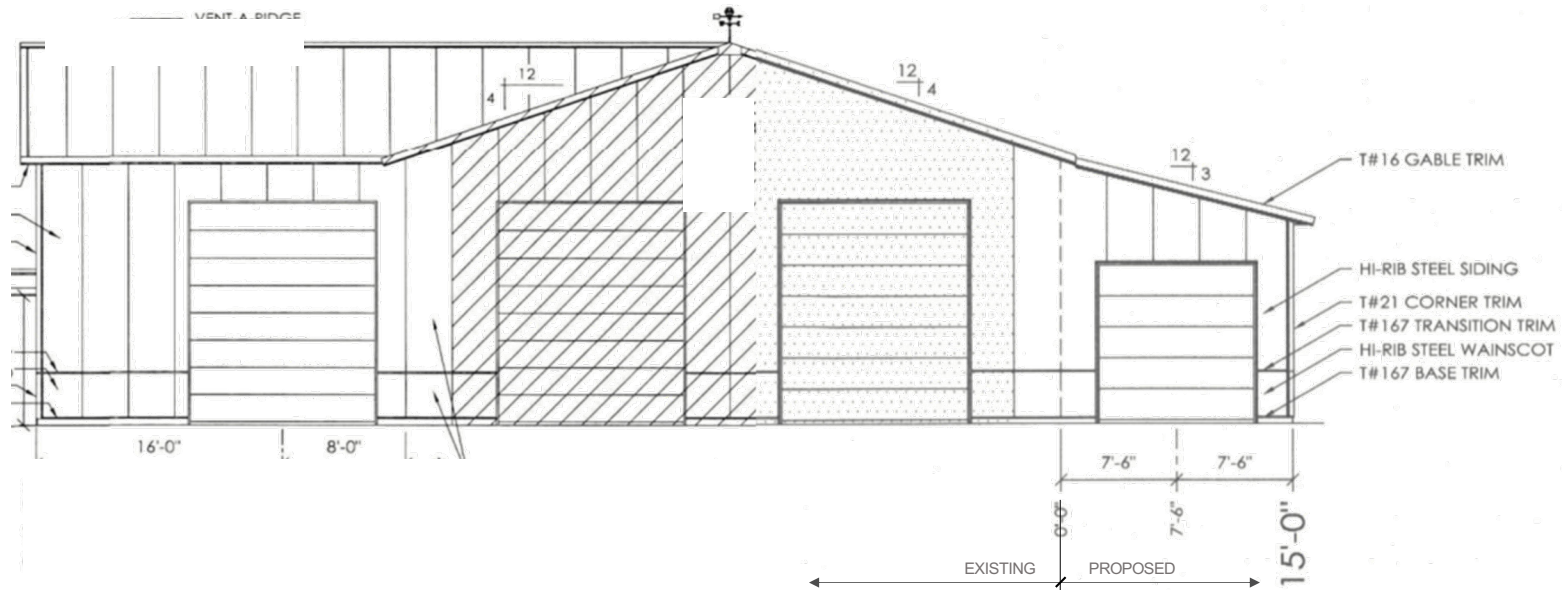
Garage Addition

15035 Hyattstown Mill
Clarksburg, MD 20871

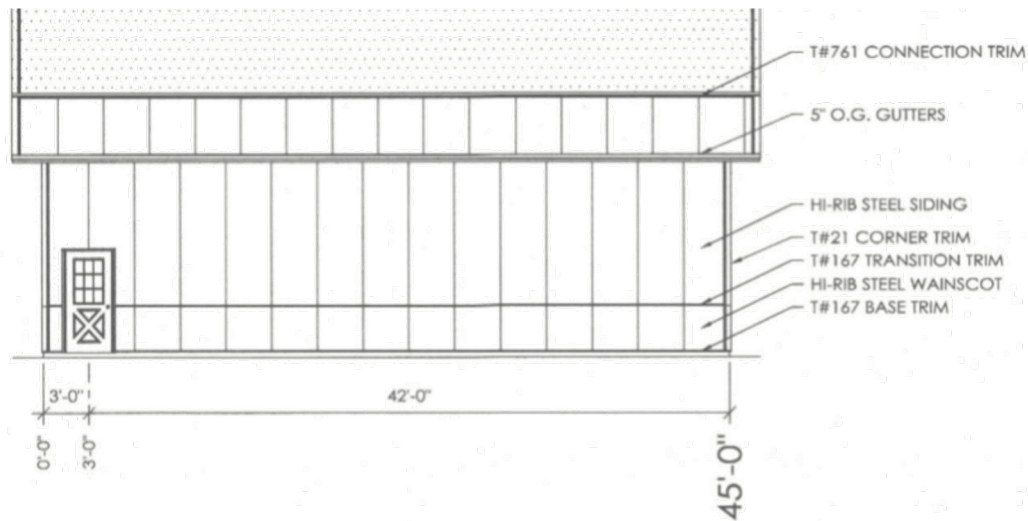
9.13.2023
Historic Area
Work Permit
Application

Floor Plan

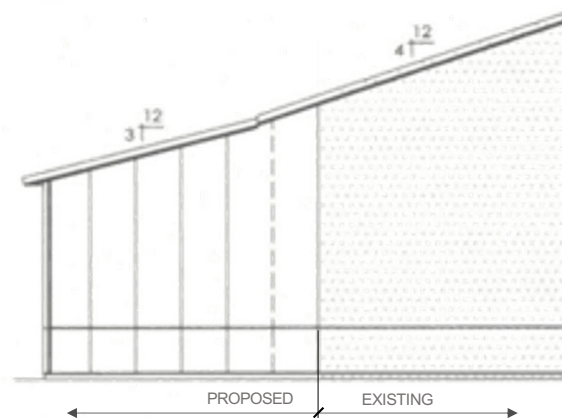
A4



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



**Hyattstown
Volunteer Fire
Department**

Garage Addition

15035 Hyattstown Mill
Clarksburg, MD 20871

9.13.2023
Historic Area
Work Permit
Application

Elevations

A5

MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS NAILED 8" O.C. STAGGERED ON EACH SIDE WITH 4" NAILS.

MFS PRE-CAST CONCRETE COLUMN - MORTON BUILDINGS FOUNDATION SYSTEM IS A PRE-ENGINEERED, 10,000 PSI, STEEL REINFORCED COLUMN FOR BELOW GROUND INSTALLATION. DESIGNED TO BE MECHANICALLY FASTENED TO ABOVE GROUND NAIL LAMINATED COLUMNS. THE SYSTEM IS DESIGNED TO RESIST BOTH AXIAL AND BENDING FORCES.

FOOTINGS AND ANCHORAGE - COLUMN HOLES ARE DUG A MINIMUM DEPTH OF 4'-0" BELOW GRADE (SEE PLANS FOR DIAMETER AND DEPTH). MFS PRE-CAST CONCRETE COLUMNS ARE PLACED IN THE HOLE. CONCRETE (MINIMUM COMPRESSIVE STRENGTH 2500 PSI) IS POURED IN PLACE TO THE SPECIFIED THICKNESS (SEE PLANS FOR REQUIRED THICKNESS ABOVE AND BELOW THE COLUMN). THE COLUMN IS THEN BACKFILLED WITH SOIL AND COMPACTED AT 8" INTERVALS OR BACKFILLED WITH CONCRETE (SEE PLANS).

TREATED LUMBER -- PRESSURE PRESERVATIVE TREATED LUMBER OTHER THAN LAMINATED COLUMNS ARE NO. 1 OR BETTER SOUTHERN YELLOW PINE AND CENTER MATCHED OR NOTCHED AND GROOVED OR S4S. PRESSURE TREATMENT TO GROUND CONTACT RETENTION WITH PRESERVATIVE TREATMENT COMPLYING WITH USE CATEGORY UC4B (AWPA OR ICC-ES) AND IN COMPLIANCE WITH USEPA GUIDELINES AND STANDARDS.

FRAMING LUMBER - SIDING NAILERS ARE 2x4 S4S OR 2x6 SPF NO. 2 OR BETTER SPACED APPROXIMATELY 36" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2x4 S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.C. ALL OTHER FRAMING LUMBER IS NO. 2 OR BETTER.

ROOF TRUSSES - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEEL TRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED, IN-PLANT QUALITY CONTROL INSPECTION IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING.

SIDING & ROOFING PANELS (FLUOROFLEX 1000™) - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL WITH AN ADDITIONAL BAKED-ON 70% PVDF FINISH WITH A NOMINAL 1 MIL. PAINT THICKNESS ON EXTERIOR.

TRIM - DIE-FORMED TRIM OF 0.017" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.

GUTTERS - 5" OR 6" K-STYLE, .030 HIGH TENSILE ALUMINUM GUTTER, 70% PVDF FINISH TO MATCH TRIM, ON BOTH SIDES OF THE BUILDING.
2x4 F1 F1 MFS 09/20

SHEET INDEX	
SHEET#	DESCRIPTION
G1 OF G2	SPECIFICATIONS & SHEET INDEX
G2 OF G2	BUILDING CODE SUMMARY
A1 OF A3	BUILDING LOCATION PLAN & SPECIFICATIONS
A2 OF A3	INTERIOR LAYOUT
A3 OF A3	ELEVATIONS
S1 OF S4	COLUMN PLAN
S2 OF S4	TRUSS/BRACING PLAN, TRUSS DRAWING, & DETAILS
S3 OF S4	SECTION & DETAILS
S4 OF S4	SECTIONS & DETAILS

CURRENT LUMBER SPECIFICATIONS (06-01-2013)		
SIZE	DESCRIPTION	BENDING VALUE Fb
2x4	NO. 2 SPF	1313 PSI
2x4	NO. 1 SYP	1500 PSI
2x4	2100f MSR SPF	2100 PSI
2x6	NO. 2 SPF	1138 PSI
2x6	NO. 1 SYP	1350 PSI
2x6	2100f MSR SPF	2100 PSI
2x6	2400 MSR SYP	2400 PSI
2x8	NO. 1 SYP	1250 PSI
2x8	2400 MSR SYP	2400 PSI
2x10	NO. 1 SYP	1050 PSI
2x10	2400 MSR SYP	2400 PSI
2x12	NO. 1 SYP	1000 PSI
2x12	2250f MSR SYP	2250 PSI
1 1/2"x16"	LAMINATED VENEER LUMBER	2800 PSI
3 1/2"x15"	GLU-LAM	1650 PSI
5 1/4"x16 1/2"	GLU-LAM	2400 PSI
5 1/4"x19 1/2"	GLU-LAM	2400 PSI

BUILDING DESIGN CRITERIA	
USE GROUP	S-1
CONSTRUCTION TYPE	VB
RISK CATEGORY	IV
PROPOSED BUILDING ADDITION AREA	675 SQ. FT.
EXISTING BUILDING AREA	2898 SQ. FT.
TOTAL BUILDING AREA	3573 SQ. FT.
MIN. LIVE ROOF LOAD DESIGN	30 PSF
ROOF SNOW LOAD *	28 PSF
GROUND SNOW LOAD	30 PSF
WIND SPEED (V _{ult})	125 MPH
WIND SPEED (V _{asd})	97 MPH

***ROOF SNOW LOAD CALCULATIONS**

$P_f = 0.7 \times C_e \times I \times P_g \times C_t$
 $C_e = \text{SNOW EXPOSURE FACTOR} = 1.0$
 $I = \text{IMPORTANCE FACTOR} = 1.2$
 $P_g = \text{GROUND SNOW LOAD} = 30 \text{ PSF}$
 $C_t = \text{THERMAL FACTOR} = 1.1$
 $P_f = 0.7 \times 1.0 \times 1.2 \times 30 \times 1.1 = 27.72 \text{ PSF}$
 $C_s = \text{ROOF SLOPE FACTOR} = 1.00$
 $P_s = P_f \times C_s = 27.72 \times 1.00 = 27.72 \text{ PSF}$

DESIGN AND EXPLANATORY NOTES

- 1.) ALL PLOT PLANS AND RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PART OF THESE DRAWINGS.
- 2.) MORTON BUILDINGS GENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- 3.) NO ONE MAY ALTER ANY ENGINEERING / ARCHITECTURAL ITEMS UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED / REGISTERED ENGINEER / ARCHITECT.
- 4.) ♦ THE PRECEDING SYMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNER'S RESPONSIBILITY.



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.


 MICHAEL L. MCCORMICK, P.E.
 mlmccormick@allicdesignaer.com
 DATE: 6/24/22
 LICENSE# 21942
 EXP. DATE: 4-14-24



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.


 DONALD N. TIPPET, ARCHITECT
 don.tippet@allicdesignaer.com
 DATE: 6/24/22
 LICENSE# 13734
 EXP. DATE: 12-31-23



OFFICE:
REPAIR CREWS
JOB NO.
720-115754

HYATTSTOWN VFD.
CLARKSBURG, MD

MD
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 AR CORP # 15160
PHONE NUMBER: 309-263-4105

DRAWN BY:	EAM
DATE:	8/20/2020
CHECKED BY:	JMM
DATE:	8/27/2020
REVISED DATE:	6/20/2022
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----



SCALE: AS NOTED
SHEET NO: G1 OF: G2

Name of Project: HYATTSTOWN VFD
 Address: 25801 FREDERICK ROAD, CLARKSBURG, MARYLAND 20871
 Proposed Use: STORAGE
 Owner or Authorized Agent: DOUG EDWARDS Phone # 240-372-6735
 Owned By: City/Country: Private State County: MONTGOMERY
 Code Enforcement Jurisdiction: City: County: MONTGOMERY

LEAD DESIGN PROFESSIONAL:

DESIGNER	FIRM	NAME	LICENSE#	TELEPHONE#
Architectural	ALLIED DESIGN	DONALD TIPPET	13734	309-263-6369
Civil				
Electrical				
Fire Alarm				
Plumbing				
Mechanical				
Sprinkler- Standpipe				
Structural	ALLIED DESIGN	MICHAEL MCCORMICK	21942	309-263-4105
Retaining Walls > 5' High				
Other				

YEAR EDITION OF THE CODE: 2018 IBC
 New Construction Renovation (existing) Uplift Alteration

BUILDING DATA:

Construction Type: I-A I-B II-A II-B III-A III-B IV VA V-B

Mixed Construction: NO YES Types: _____

Sprinklers: NO YES NFPA NFPA 13R NFPA 13D

Standpipes: NO YES Class I II III Wet Dry

Fire District: NO YES

Building Height: 21 Feet Number of Stories: 1 Unlimited per: _____

Mezzanine: NO YES

High Rise: NO YES Central Reference sheet # (if provided): _____

Gross building Area FLOOR	Existing (SQ. FT.)	New (SQ. FT.)	SUB- TOTAL
6th Floor			0
5th Floor			0
4th Floor			0
3rd Floor			0
2nd Floor			0
1st Floor	2898	675	3573
Basement			0
TOTAL	2898	675	3573

ALLOWABLE AREA

Primary Occupancy: Assembly A-1 A-2 A-3 A-4 A-5
 Business Educational Factory-Industrial H-1 H-2 H-3 H-4 H-5
 High-Hazard Institutional I-1 I-2 I-3 I-4 I-5
 Mercantile Residential R-1 R-2 R-3 R-4 R-5
 Storage S1 S2 S3 S4 S5 High Risk
 Utility and Misc. Parking Garage Open Closed Repair

Secondary Occupancy: S10.2 S10.3 S10 S10.5 S10.6 S10.7 S10.8 S10.9

Mixed Use: NO YES Separation: _____ hr. Exception: _____

Non-Separated Mixed Occupancy (Section 508.3) The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Mixed Occupancy (Section 508.4) - See below for area calculations. For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual area of Occupancy A + Actual area of Occupancy B = ≤ 1

Story No.	Description and Use	(A) Building area Per Story (Actual)	(B) Table 503 Area	(C) Area for open Space Increase	(D) Area for Sprinkler Increase	(E) Allowable area or Unlimited
		3573	9000	NR	NA	9000

1. Open space area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width:
 b. Total Building Perimeter:
 c. Ratio (F/P) = $\frac{F}{P}$
 d. W=Minimum width of public way = $100 \left(\frac{F}{P} - 0.25 \right) \times W/30 =$
 e. Percent of frontage increase = $100 \left(\frac{F}{P} - 0.25 \right) \times W/30 =$
 2. The sprinkler increase per Section 506.3 is as follows:
 a. Multi-story building l = 200 percent
 b. Single-story building l = 300 percent
 3. Unlimited area applicable under conditions of Sections Group B, F, M, S, A-3, A-4 (507.1, 507.2, 507.3, 507.4, 507.5); Group A motion picture (507.12); Malls (507.13); and H-2 aircraft paint hangars (507.10).
 4. Maximum Building Area = total number of stories in the building x allowable area but not greater than 3 x allow. area.
 5. The maximum area of parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with 412.3.1.
 * For equation purposes only - (if W < 30 then use W, if W > 30 then use 30)

BUILDING CODE SUMMARY FOR COMMERCIAL PROJECTS (2018 IBC)

ALLOWABLE HEIGHT

TYPE OF CONSTRUCTION	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REF.
BUILDING HEIGHT IN FEET	40 Feet	Type: VB	Type: VII	502.5
BUILDING HEIGHT IN STORIES	1 Stories	Stories+1	1	T504.3

FIRE PROTECTION REQUIREMENTS

Life Safety Plan Sheet #, if Provided: _____ RATING

BUILDING ELEMENT	FIRE SE-P DISTANCE (FEET)	REQ'D	PROVIDED (W, * REDUCT)	DETAIL # AND SHEET #	DESIGN FOR RATED ASSEMBLY	DESIGN # FOR RATED PENET.	DESIGN FOR RATED JOINTS
Structural frame, including columns, girders, and trusses							
Roofing Walls							
Exterior							
North	10.5'	0	0		NR	NR	NR
East	85'	0	0		NR	NR	NR
West	>30'	0	0		NR	NR	NR
South	140'	0	0		NR	NR	NR
Interior	NA						
Non-bearing walls and partitions							
Exterior							
North							
East							
West							
South							
Interior		0	0		NR	NR	NR
Floor construction, including supporting beams and joists							
Roof construction, including supporting beams and joists	NA	0	0		NR	NR	NR
Shafts-Exits							
Shafts-Other							
Corridor Separation							
Occupancy Separation							
Party/ Fire wall Separation							
Smoke Barrier Separation							
Tenant Separation							

*Indicate section number permitting reduction

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency lighting: YES NO
 Exit signs: YES NO
 Fire Alarms: YES NO
 Smoke Detection Systems: YES NO
 Panic Hardware: YES NO

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS 2.4		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS 1, 3 (SECTION 1007.1.1)	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1017.2 & 1006.2.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQ'D DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
	1	1	75'	54'	NA	NA

1) Corridor dead ends (Section 1020.4)
 2) Single exits (Table 1003.3.3(2))
 3) Common Path of Travel (Section 1006.2.1 Exceptions 1 thru 2)
 4) Coll-up door (section 1010.1.2 Exception 1)

EXIT WIDTH

USE GROUP OR SPACE DESCRIPTION	(A) AREA 1 SQ. FT.	(B) AREA 1 PER OCCUPANCY TABLE 1004.5	(C) EGRESS WIDTH PER OCCUPANT SECTION 1005.1		EXIT WIDTH (IN) 2.3.4.5		REQUIRED WIDTH (SECTION 1005.1)		ACTUAL WIDTH SHOWN ON PLANS	
			STAIRS	LEVEL	STAIRS	LEVEL	STAIRS	LEVEL		
	675	500 (2)		0.2		1				32

1) See Table 1004.5 to determine whether net or gross area is applicable. See definition "Area, Gross" and "Area, Net" (Section 1002)
 2) Minimum stairway width (Section 1011.2), min. corridor width (Section 1020.2); min. door width (Section 1010.1.1)
 3) Minimum width of exit passageway (Section 1024.2)
 4) The loss of one egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
 5) Assembly occupancies (Section 1029)

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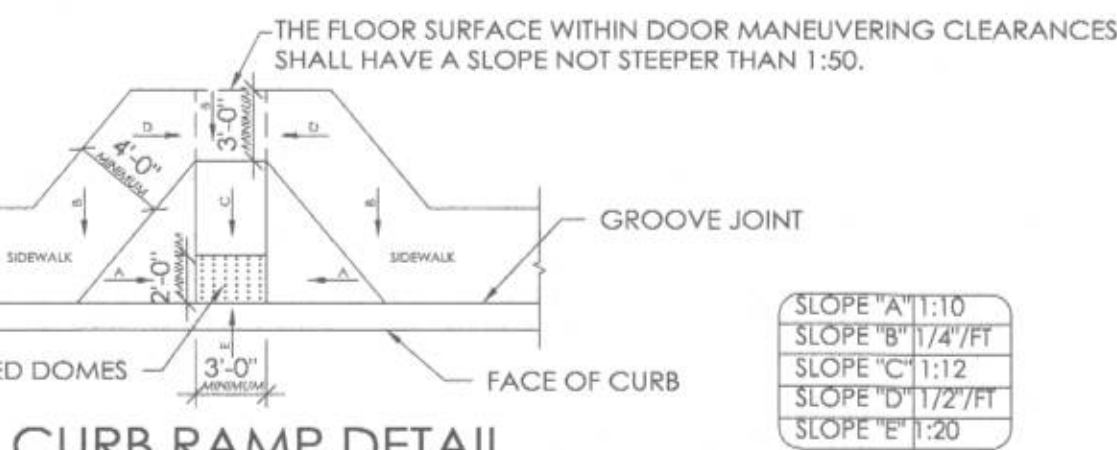


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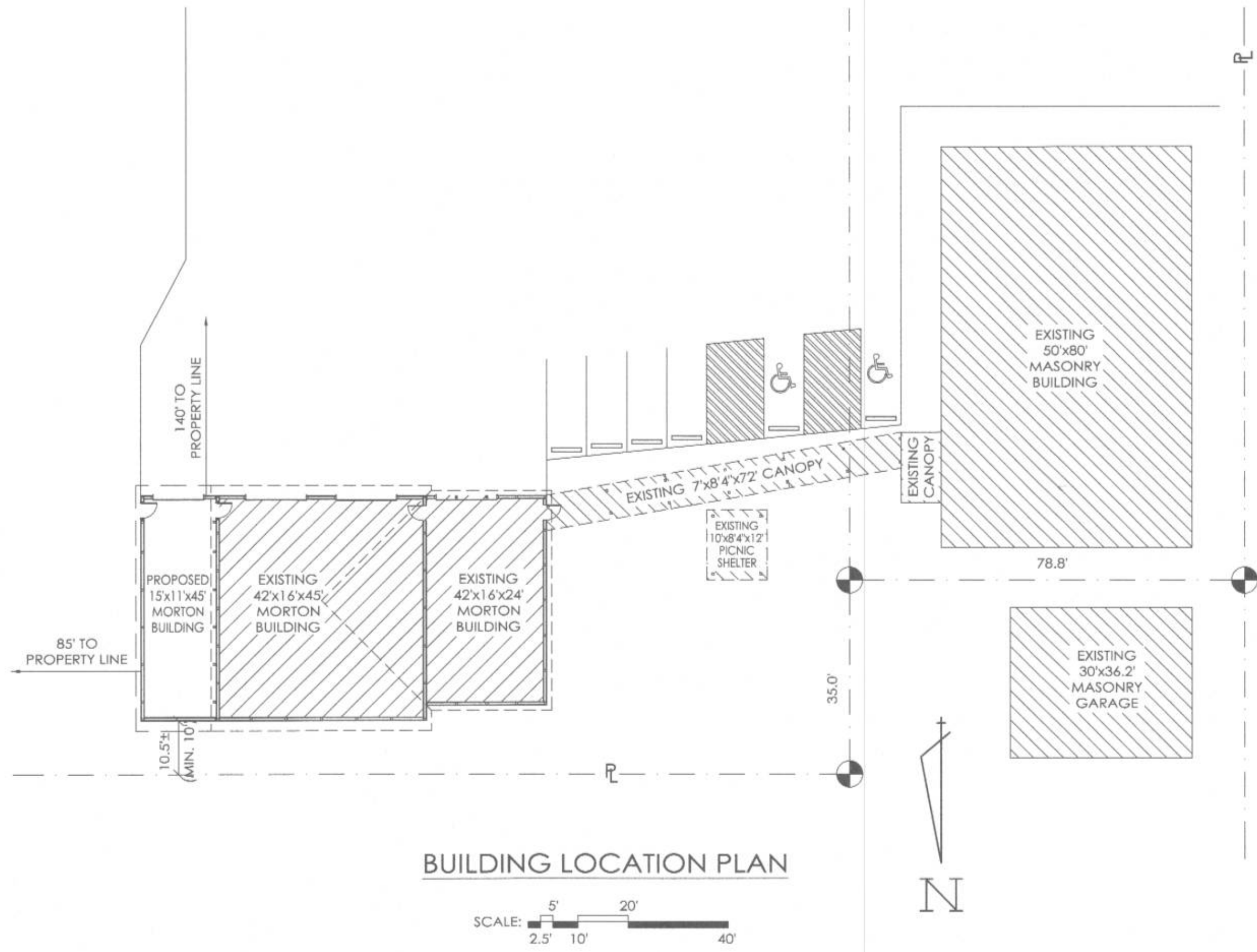
DESIGN AND EXPLANATORY NOTES

SITE PLAN ACCESSIBILITY

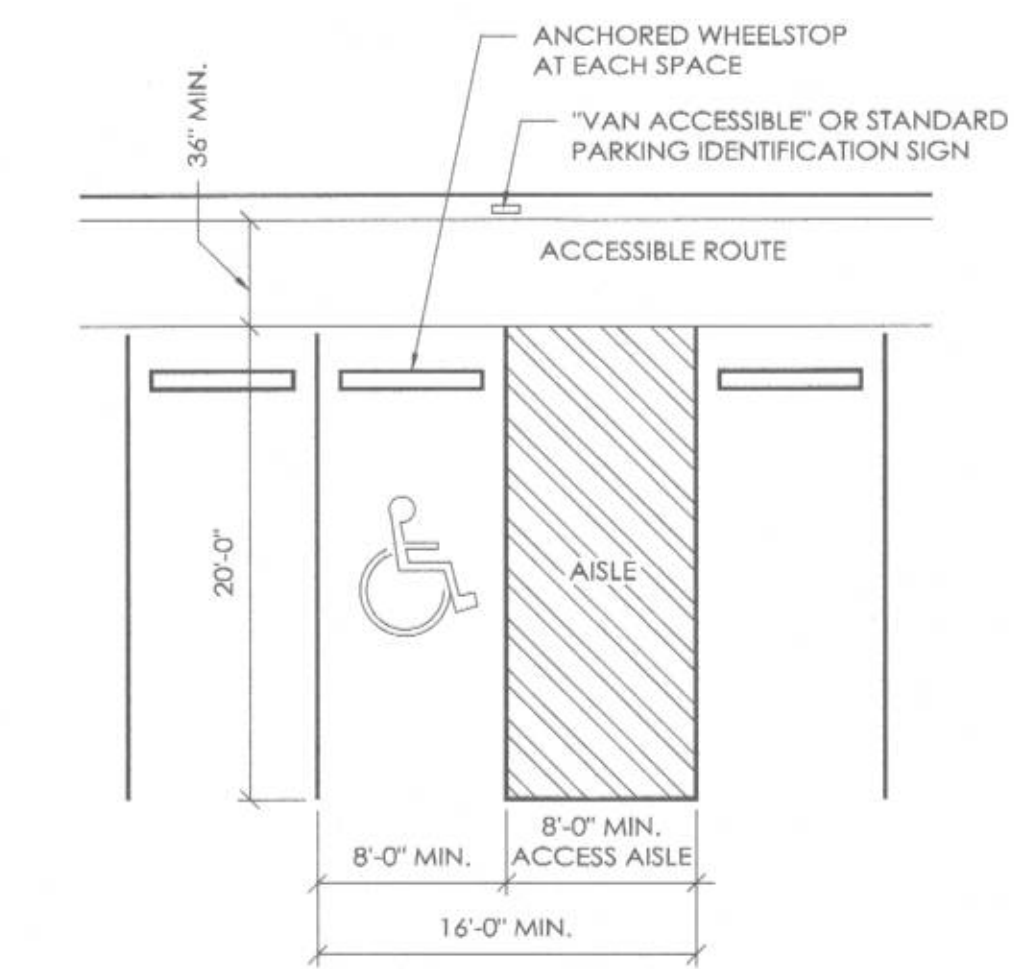
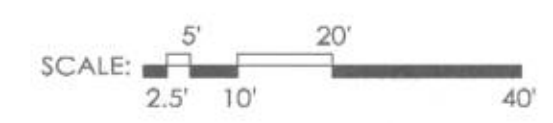
1. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36 INCHES EXCEPT AT DOORS.
2. AN ACCESSIBLE ROUTES WALKING SURFACES, OTHER THAN RAMPS AND CURB RAMPS, SHALL BE NO GREATER THAN 1:20. WALKING SURFACE CROSS SLOPES OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1:48.
3. THE MAXIMUM SLOPE OF A RAMP OR CURB RAMP SHALL BE 1:12 OR LESS. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 INCHES.
4. THE MINIMUM CLEAR WIDTH OF A RAMP 30 FEET OR LESS SHALL BE 36 INCHES. RAMPS MORE THAN 30 FEET IN LENGTH SHALL HAVE A MINIMUM CLEAR WIDTH OF 44 INCHES.
5. RAMPS SHALL HAVE LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN WITH SLOPES NOT STEEPER THAN 1:48.
6. LANDINGS SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE RAMP RUN LEADING TO IT AND SHALL BE A MINIMUM OF 60 INCHES IN LENGTH. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES x 60 INCHES. CURB RAMPS SHALL HAVE A MINIMUM OF 36 INCHES CLEAR LENGTH.
7. IF A RAMP RUN HAS A RISE GREATER THAN 6 INCHES, THEN IT SHALL HAVE HAND RAILS ON BOTH SIDES.
8. CHANGES IN LEVEL UP TO 1/4 INCH MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
9. THE MINIMUM WIDTH OF A CURB RAMP SHALL BE 36 INCHES, EXCLUSIVE OF FLARED SIDES.
10. FOR PURPOSE OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMPS SHALL HAVE TRUNCATED DOMES WHICH SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES. TRUNCATED DOMES SHALL BE LOCATED FOR A DISTANCE OF 24 INCHES IN DIRECTIONS OF TRAVEL.
11. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:10. CURB RAMPS WITH RETURNED CURBS MAY BE USED WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20.
12. BUILT-UP CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES OR INTO SPACES THAT WOULD INTERFERE WITH PERSONS ENTERING OR EXITING PARKED OR STANDING VEHICLES.
13. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
14. MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP AREA OF TRUNCATED DOMES EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.
15. ACCESSIBLE PARKING SPACE:
 - A. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:48 IN ALL DIRECTIONS.
16. THRESHOLD:
 - A. LANDINGS SHALL BE HARD, FIRM AND SLIP RESISTANT SURFACES AND SHALL HAVE SLOPES OF LESS THAN 1:48 IN ALL DIRECTIONS.
 - B. CHANGES IN LEVEL OF 1/4 INCH HEIGHT SHALL BE PERMITTED TO BE VERTICAL.
 - C. CHANGES IN LEVEL GREATER THAN 1/4 INCH HEIGHT AND NOT MORE THAN 1/2 INCH MAXIMUM HIGH SHALL BE BEVELED TO A SLOPE NO STEEPER THAN 1:2.
17. SURFACE:
 - A. ALL ACCESSIBLE ROUTES / ACCESS ELEMENTS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
 - B. ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48.
 - C. FLOOR SURFACES OF A CLEAR FLOOR SPACE SHALL HAVE A SLOPE NOT STEEPER THAN 1:48.



CURB RAMP DETAIL

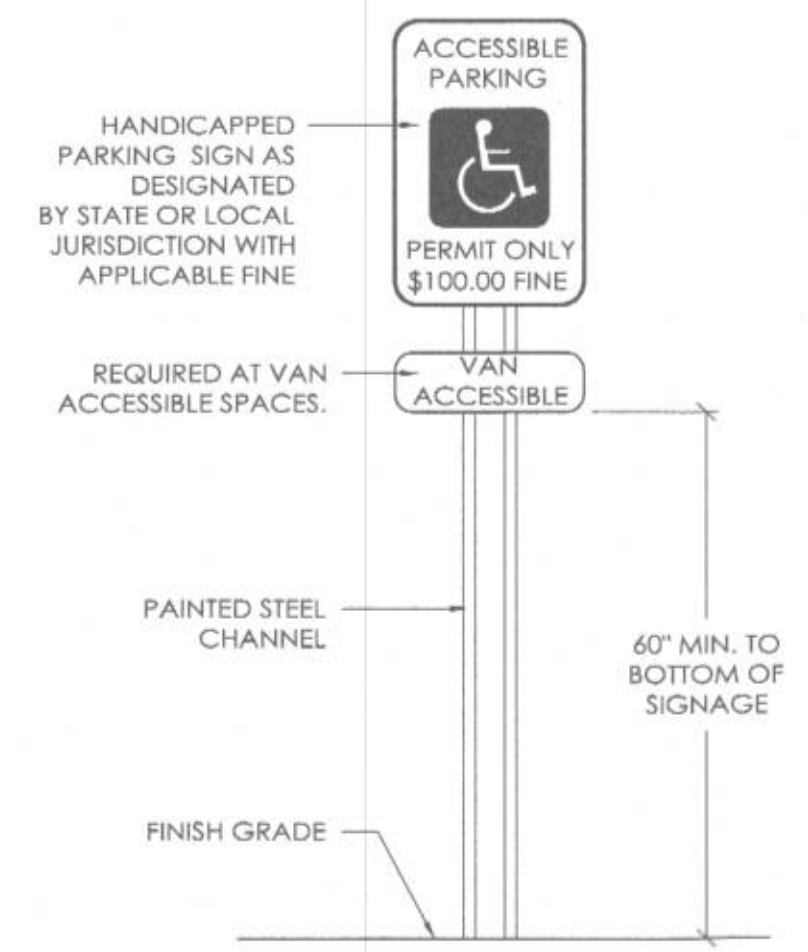


BUILDING LOCATION PLAN



NOTE:
 -ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.
 -THE SLOPE TO THE ACCESSIBLE ENTRANCE SHALL BE LESS THAN 1:20.

ACCESSIBLE PARKING SPACE DETAIL



ACCESSIBLE PARKING SIGN

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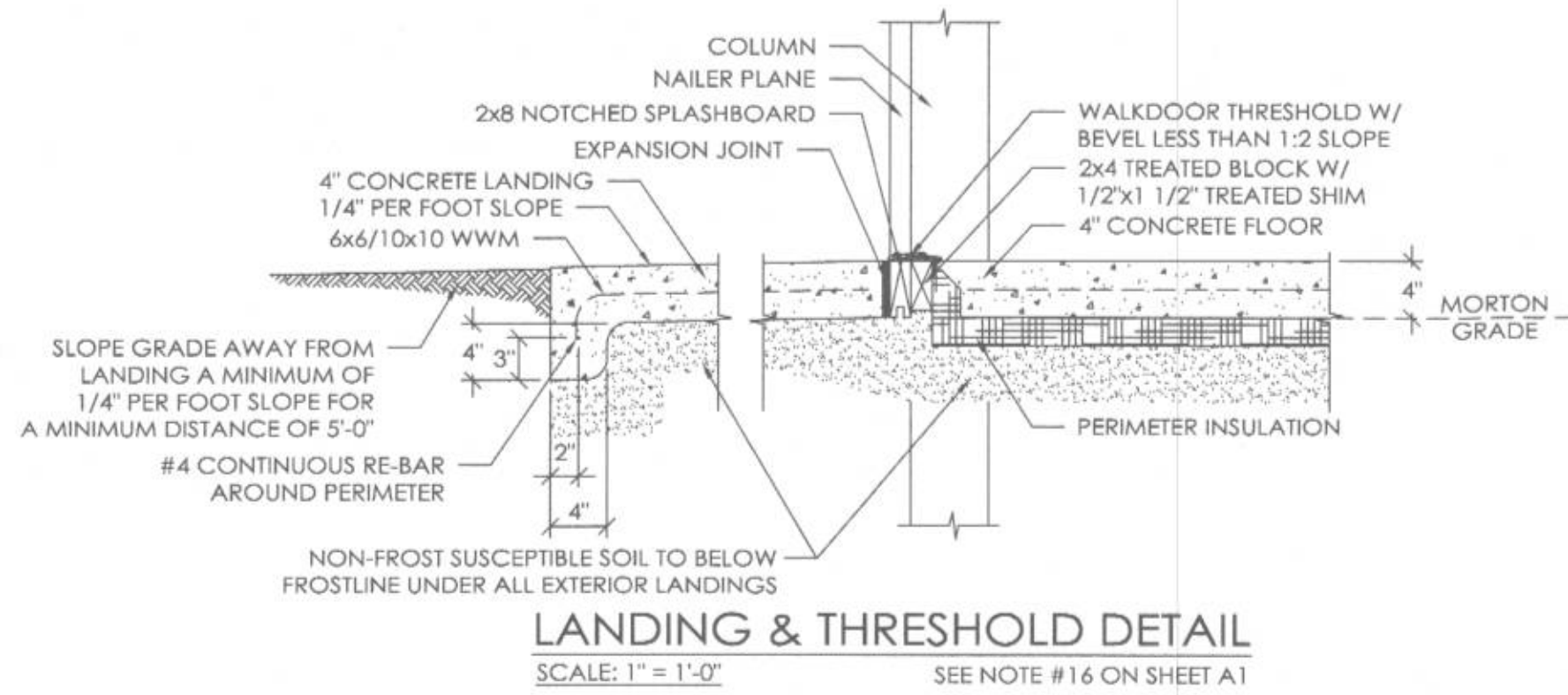
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 PHONE NUMBER: 309-263-4105
 100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 AR CORP # 15160

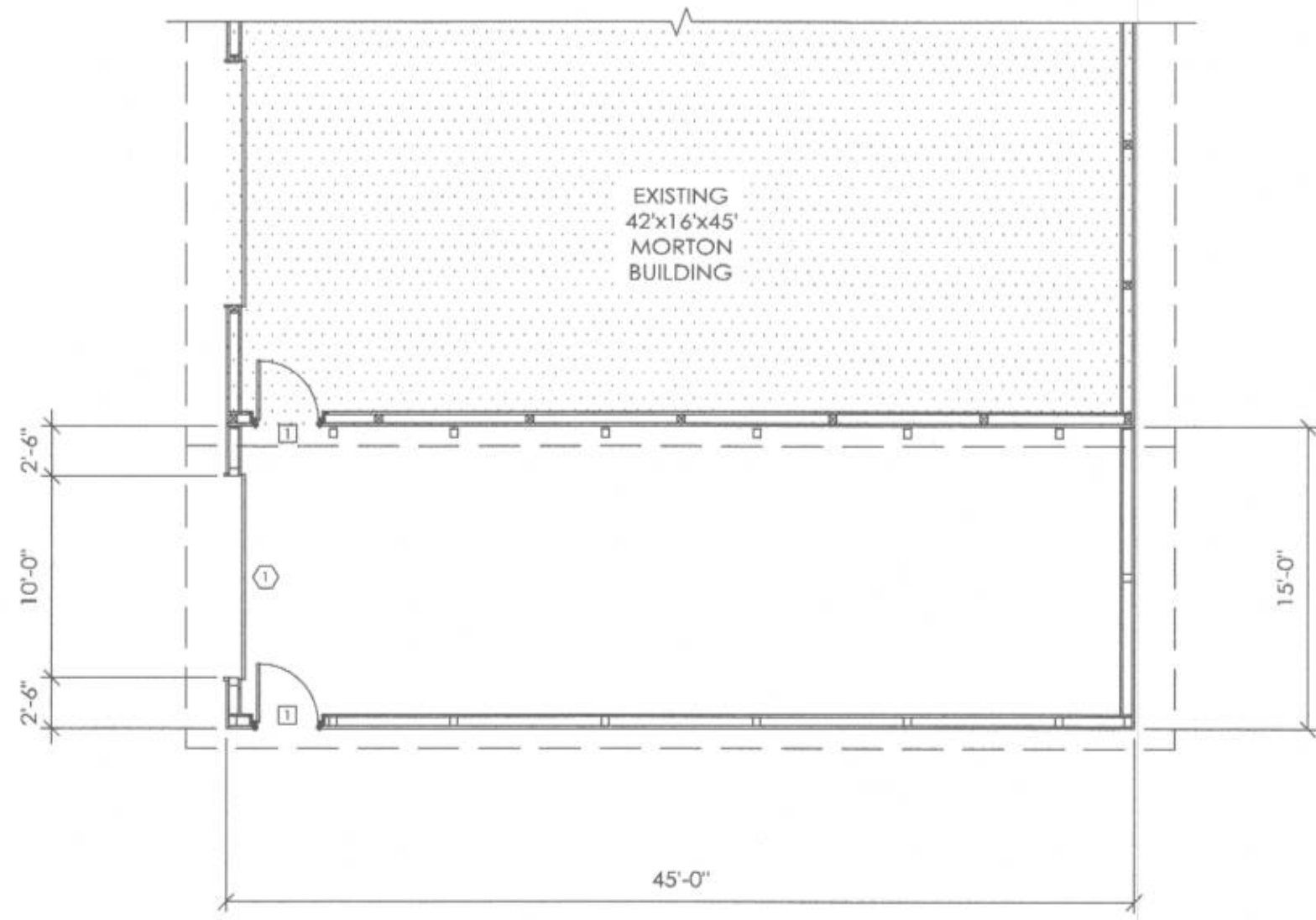
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LANDING & THRESHOLD DETAIL
SCALE: 1" = 1'-0" SEE NOTE #16 ON SHEET A1



INTERIOR LAYOUT
SCALE: 1" = 8'-0"

INTERIOR LAYOUT LEGEND

- ① - (2) 3068 9-LITE TEMPERED GLASS IN LEAF WITH EMBOSSED CROSSBUCK FIBERSTEEL WALKDOORS, IN SWING, RIGHT HINGE WITH SINGLE CYLINDER DEADBOLTS, INTERCONNECTED LEVER LOCKSETS
- ② - 10'-2"x10'-1" OVERHEAD DOOR

ROUGH OPENING SCHEDULE		
UNIT SYMBOL FROM LEGEND	WIDTH	HEIGHT
①	38 1/4"	81"

DESIGN AND EXPLANATORY NOTES

FLOOR PLAN ACCESSIBILITY

1. ACCESSIBILITY SHALL COMPLY WITH ICC/ANSI 117.1
2. SINKS:
 - A. SINKS SHALL BE MOUNTED WITH RIM NO HIGHER THAN 34 INCHES ABOVE FINISHED FLOOR.
 - B. KNEE CLEARANCE AT LEAST 27 INCHES HIGH, 30 INCHES WIDE AND 17 INCHES DEEP SHALL BE PROVIDED UNDERNEATH SINKS.
 - C. SINKS SHALL BE A MAXIMUM OF 6 1/2 INCHES DEEP.
 - D. WATER SUPPLY AND DRAINPIES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE WILL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.
 - E. FAUCETS SHALL BE LEVER OPERATED OR AUTOMATED.
 - F. A CLEAR FLOOR SPACE AT LEAST 30 INCHES WIDE BY 48 INCHES DEEP SHALL BE PROVIDED IN FRONT OF SINKS TO ALLOW FOR FORWARD APPROACH, WHEN FORWARD APPROACH IS REQUIRED. THE CLEAR FLOOR SPACE SHALL EXTEND A MAXIMUM OF 19 INCHES UNDERNEATH THE SURFACE.
3. DOORS:
 - A. DOOR HARDWARE THROUGHOUT BUILDING SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB/FT.
 - B. ALL DOORS REQUIRED TO BE ACCESSIBLE, SHALL BE PROVIDED WITH LEVER HANDLES OR PUSH/PULL HARDWARE.
 - C. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
 - D. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN ACCESSIBLE INTERIOR HINGED DOORS SHALL BE 5 LB/FT.
 - E. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED 34 INCHES MINIMUM TO 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
 - F. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
 - G. DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
 - H. GLAZING IN DOORS AND SIDELITES SHALL BE SAFETY GLAZING. WINDOW GLAZING WITHIN TWO FEET OF ANY VERTICAL EDGE OF A DOOR IN A CLOSED POSITION SHALL ALSO BE SAFETY GLAZED.
4. DINING / WORK SURFACES:
 - A. THE TOP OF THE COUNTER, TABLE, OR WORK STATION RESERVED FOR HANDICAPPED PERSONS SHALL BE 28 TO 34 INCHES ABOVE THE FINISHED FLOOR HEIGHT WITH A MINIMUM WORK SURFACE OF 36 INCHES LONG FOR SIDE APPROACH OR 30 INCHES LONG FOR FRONT APPROACH. KNEE AND TOE CLEARANCE SHALL BE PROVIDED UNDER THE WORKING SURFACES.
 - B. FLOOR SURFACES WITHIN MANEUVERING CLEARANCES SHALL HAVE A SLOPE NOT STEEPER THAN 1:48.
5. SALES AND SERVICE COUNTERS:
 - A. PARALLEL APPROACH:
 - 1) A PORTION OF THE COUNTER SURFACE 36 INCHES MINIMUM IN LENGTH AND 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR SHALL BE PROVIDED.
 - 2) WHERE THE COUNTER SURFACE IS LESS THAN 36 INCHES IN LENGTH, THE ENTIRE COUNTER SURFACE SHALL BE 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR.
 - 3) A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE ACCESSIBLE COUNTER SHALL BE PROVIDED.
 - B. FORWARD APPROACH:
 - 1) A PORTION OF THE COUNTER SURFACE 30 INCHES MINIMUM IN LENGTH AND 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR SHALL BE PROVIDED.
 - 2) A CLEAR FLOOR SPACE POSITIONED FOR A FORWARD APPROACH TO THE ACCESSIBLE COUNTER SHALL BE PROVIDED.
 - 3) KNEE AND TOE CLEARANCE SHALL BE PROVIDED UNDER THE ACCESSIBLE COUNTER.
6. SIGNAGE:
 - A. SIGNAGE IS REQUIRED AT THE FOLLOWING LOCATIONS:
 - 1) AT ALL NON-ACCESSIBLE ENTRANCES INDICATING THE LOCATION OF THE ACCESSIBLE ENTRANCES.
 - 2) SIGNS STATING "EXIT" SHALL BE PROVIDED ADJACENT TO EACH DOOR THAT LEADS TO A CORRIDOR, STAIRWELL, OR TO THE EXTERIOR OF THE BUILDING.
 - 3) SIGNAGE SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE LOCATED AT ALL RESTROOMS.
 - B. ALL SIGNS SHALL INCLUDE TACTILE SIGNAGE INCLUDING ANY OPTIONAL INTERIOR AND EXTERIOR SIGNAGE IDENTIFYING PERMANENT ROOMS AND SPACES.
 - C. TACTILE AND BRAILLE SIGNAGE SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED TO THE BASELINE OF THE LOWEST TACTILE LETTER TO 60 INCHES MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED TO THE BASE LINE OF THE HIGHEST TACTILE LETTER.
 - D. TACTILE SIGNAGE SHALL BE LOCATED AT THE LATCH SIDE OF A DOORWAY. AT DOUBLE DOORS SIGNAGE SHALL BE PROVIDED ON THE SIDE OF ANY INACTIVE LEAF. IF BOTH DOORS ARE ACTIVE THE SIGNAGE SHALL BE PLACED TO THE RIGHT SIDE OF THE DOORWAY. IF SPACE IS NOT AVAILABLE FOR SIGNAGE IN THESE LOCATIONS, SIGNAGE SHALL BE LOCATED ON THE NEAREST ADJACENT WALL TO THE AREA SPECIFIED.
 - E. A MINIMUM 18 INCHES X 18 INCHES CLEAR FLOOR AREA CENTERED ON THE TACTILE SIGNAGE SHALL BE PROVIDED BEYOND THE ARC OF THE DOORWAY. SIGNAGE SHALL BE ALLOWED ON THE PUSH SIDE OF DOORS WITH CLOSERS WITHOUT HOLD OPEN DEVICES.
 - F. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - G. STREET ADDRESS SHALL BE POSTED IN NOT LESS THAN 4 INCH HIGH LETTERS/NUMBERS (6 INCH RECOMMENDED) WITH A MINIMUM STROKE DEPTH OF 0.5 INCH ON THE BUILDING.
7. SURFACES:
 - A. FLOOR SURFACE SHALL BE STABLE, FIRM AND SLIP RESISTANT.
 - B. FLOOR SURFACES OF A CLEAR FLOOR SPACE SHALL HAVE A SLOPE NOT STEEPER THAN 1:48.
 - C. ROOMS AND ENCLOSED SPACES SHALL HAVE WALL AND CEILING FINISHES WITH A MINIMUM CLASS C RATING (FLAME SPREAD INDEX 76-200 AND SMOKE DEVELOPED INDEX 0-450). CORRIDORS AND STAIRWAYS SHALL HAVE A MINIMUM CLASS A RATING (FLAME SPREAD INDEX 0-25 AND SMOKE DEVELOPED INDEX 0-450).

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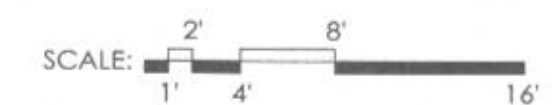
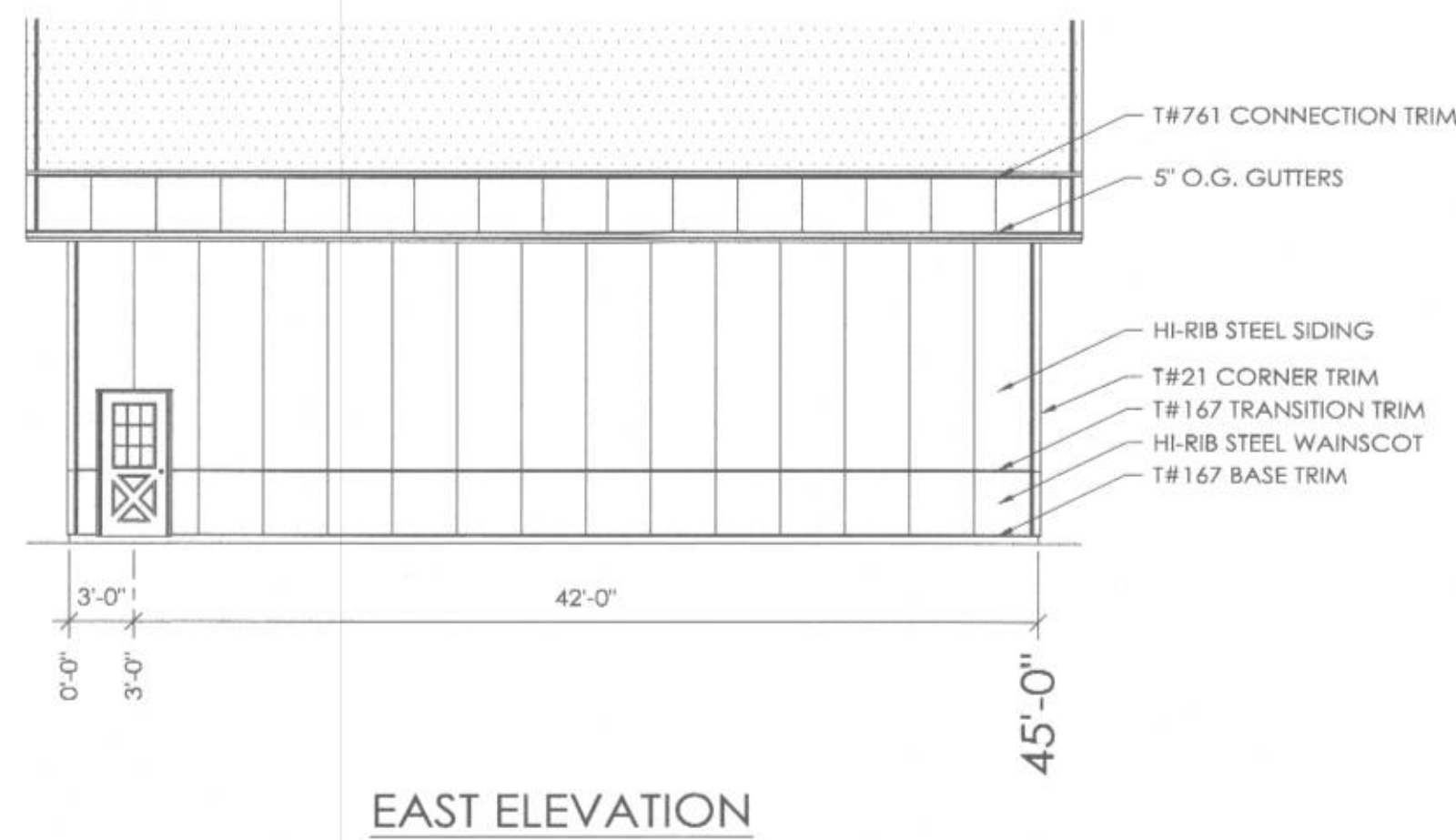
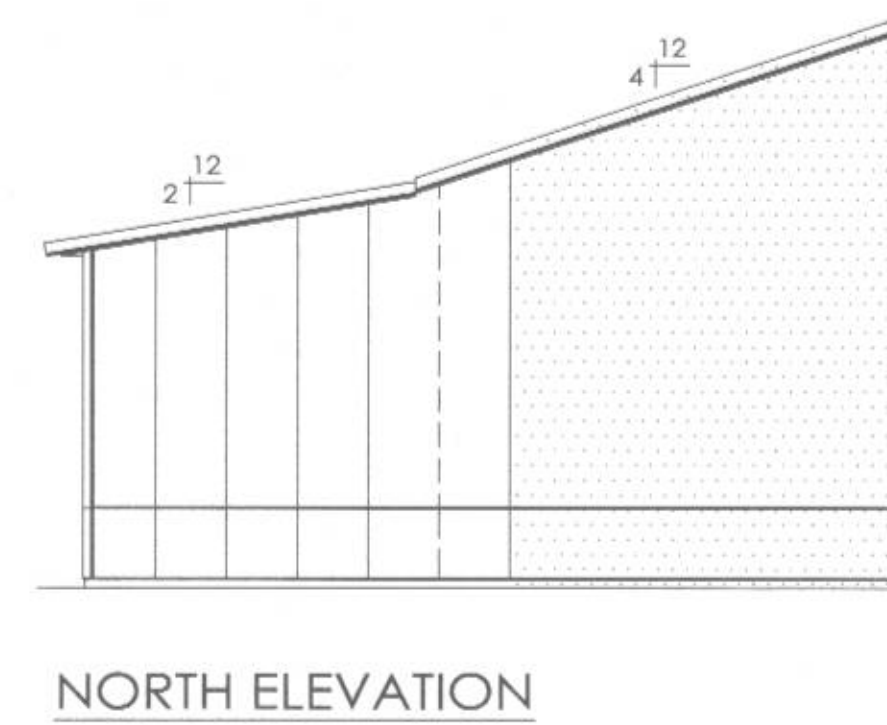
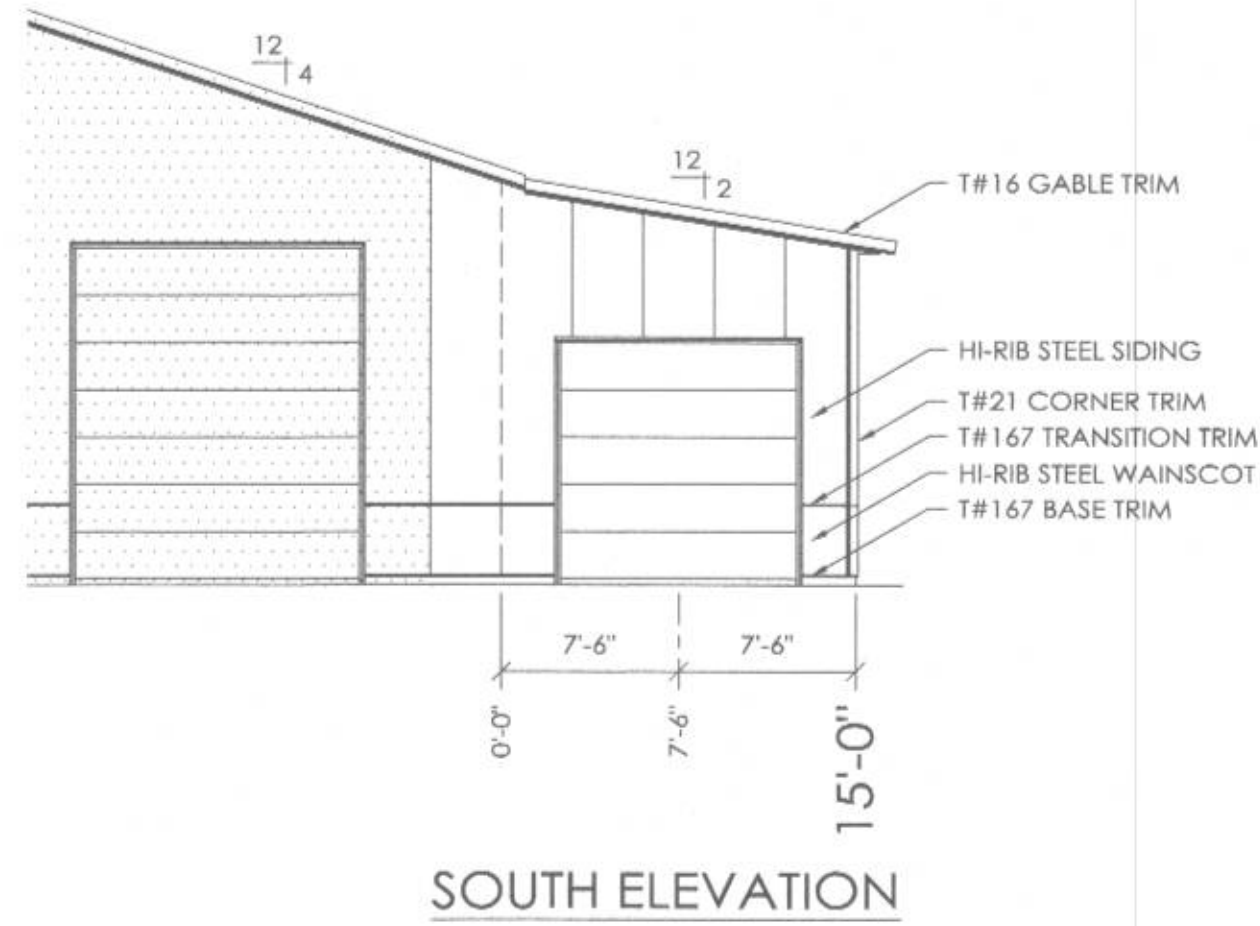


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DESIGN AND EXPLANATORY NOTES

1.) EXTERIOR DOOR AND WINDOW LOCATIONS ARE TAKEN FROM THE EXTERIOR FACE OF THE NAILERS AND ARE TO THE CENTER OF THE DOOR UNITS. VERIFY ALL DOOR LOCATIONS WITH THE OWNER.

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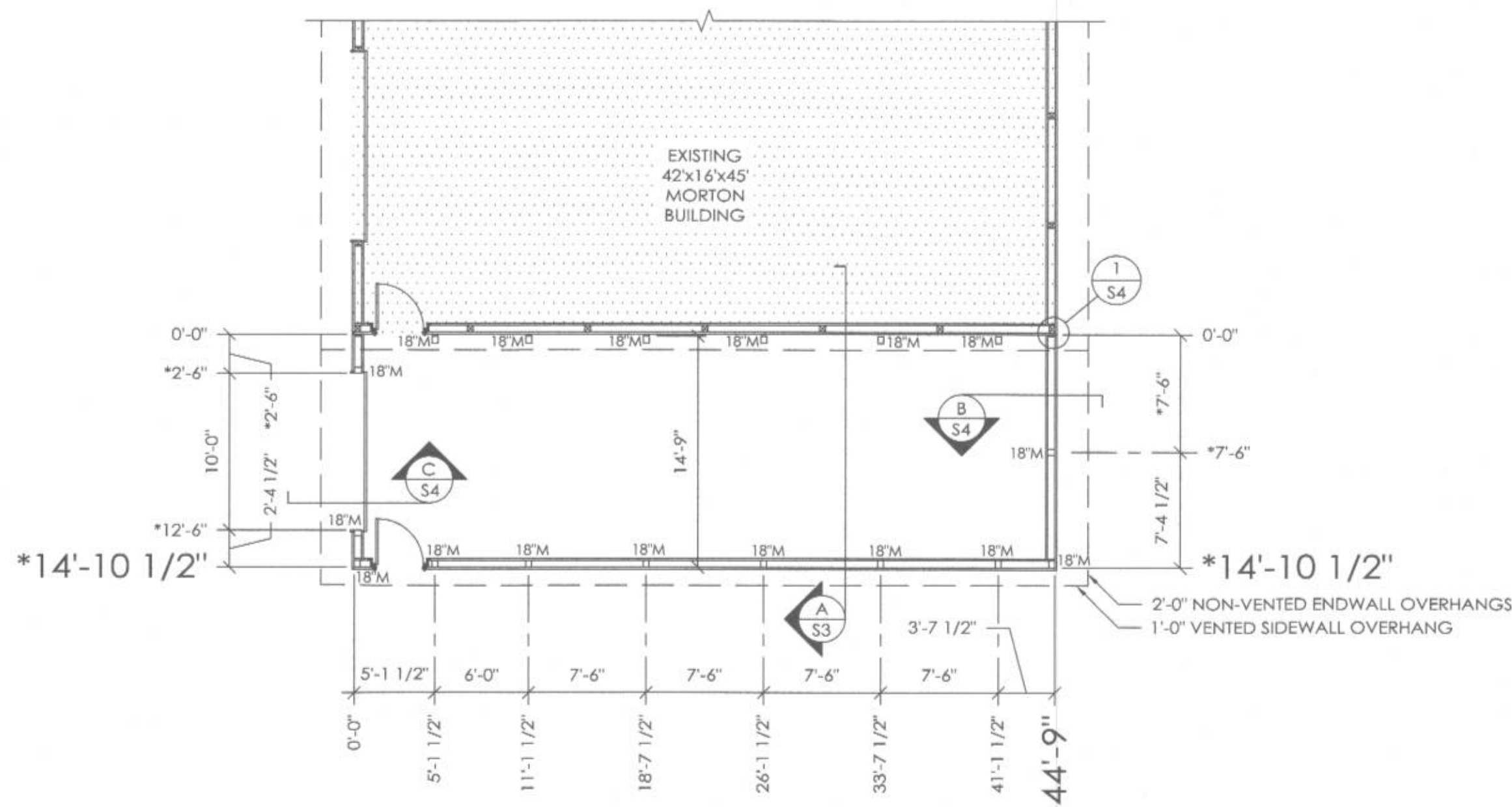


SCALE: AS NOTED
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DESIGN AND EXPLANATORY NOTES

1.) * - INDICATES DIMENSIONS ARE TAKEN FROM THE OUTSIDE FACE OF THE EXISTING BUILDING NAILERS.

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COLUMN PLAN

SCALE: 1' 4' 8' 16'



COLUMN PLAN LEGEND

- - 3-2x6 LAMINATED COLUMN LOCATION
- - EXISTING LAMINATED COLUMN LOCATION
- 30x30 ATTIC ACCESS PANEL (VERIFY LOCATION)
- ALL STEEL FASTENED WITH STAINLESS STEEL SCREWS
- 18" M - 18" DIAMETER FOOTING WITH 4' TO BOTTOM OF 21" THICK CONCRETE PAD (2500 PSI MINIMUM), 20" BELOW BOTTOM OF PRECAST CONCRETE COLUMN AROUND EXPOSED REBAR CAGE AND 3/4"x14" THREADED ROD WITH AN ADDITIONAL MINIMUM 1" ABOVE BOTTOM OF PRECAST CONCRETET COLUMN. PLACE CONCRETE BELOW AND ABOVE BOTTOM OF LOWER COLUMN IN ONE OPERATION.

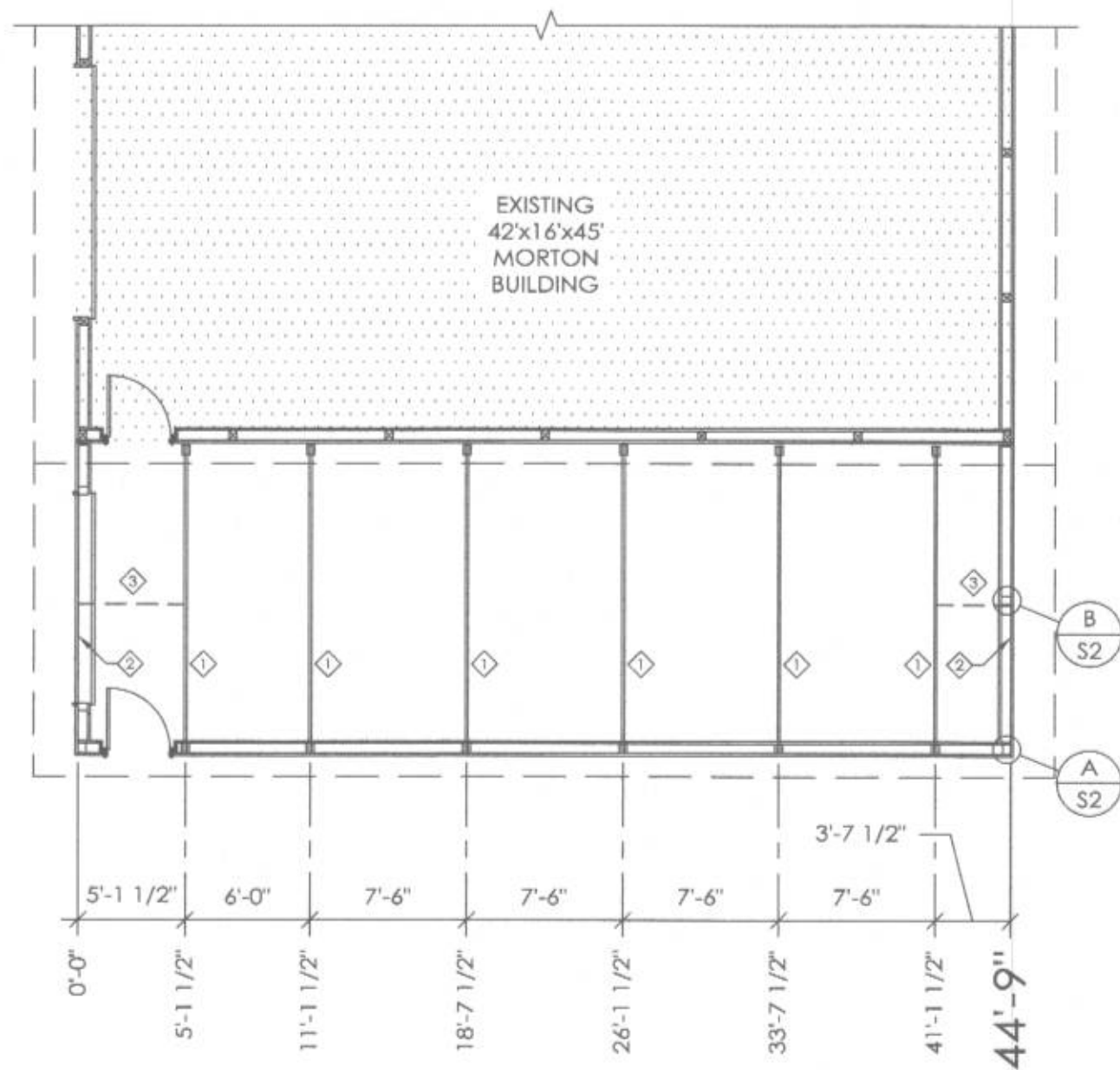
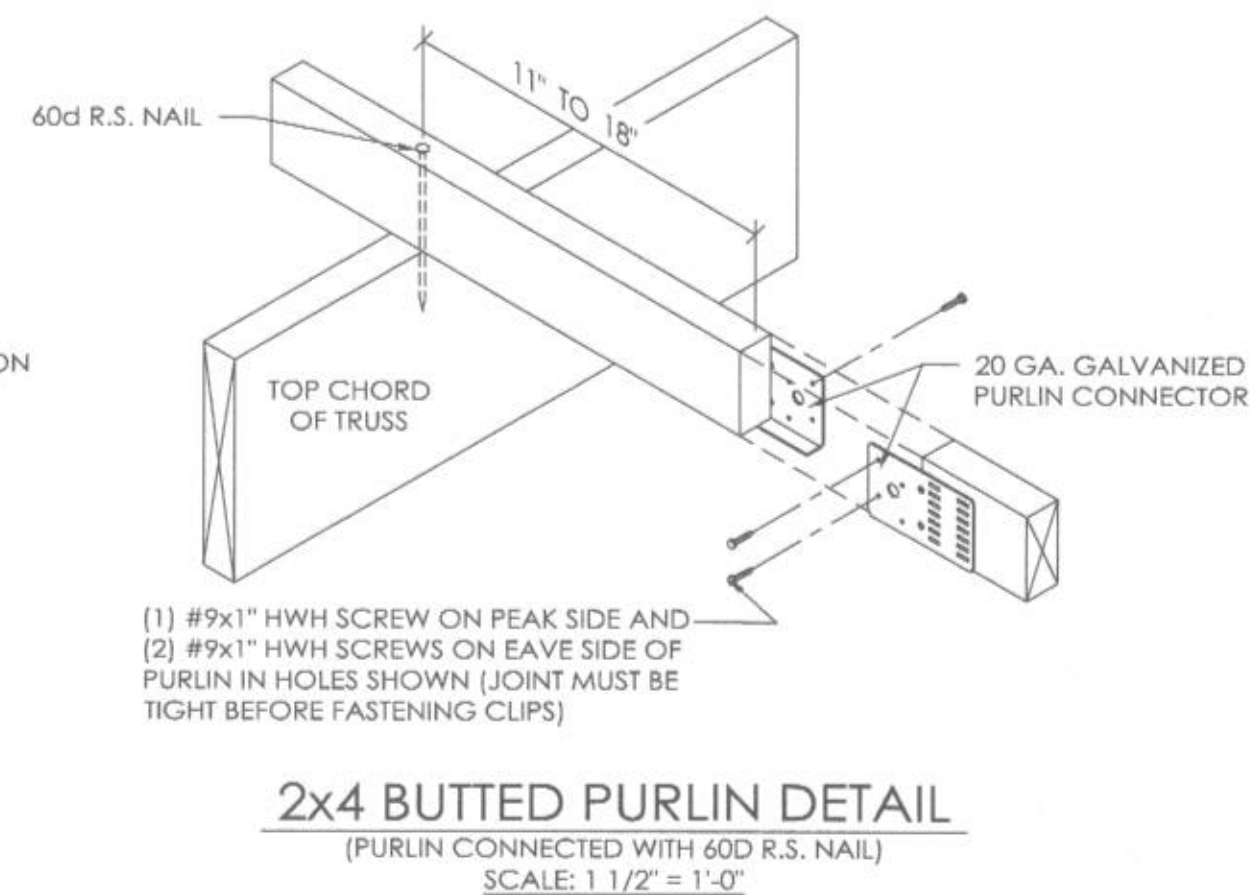
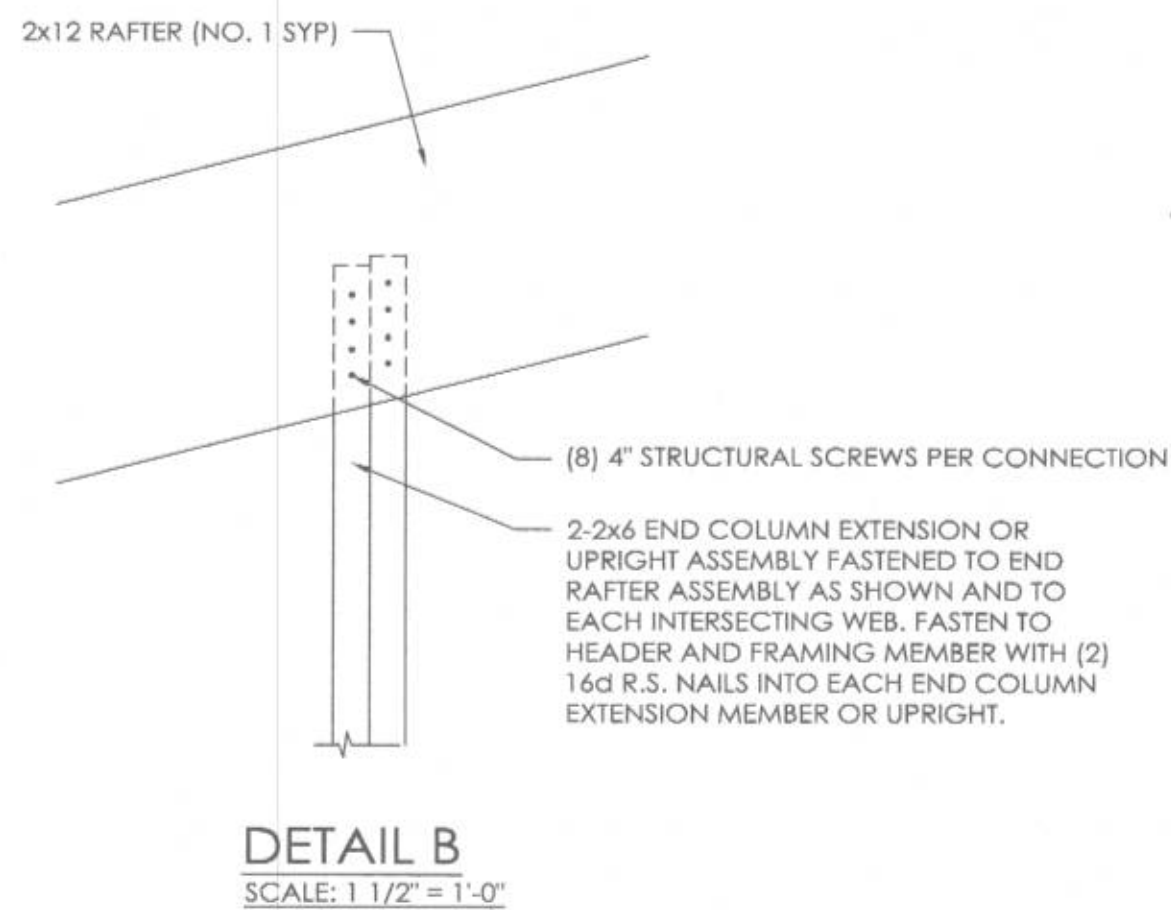
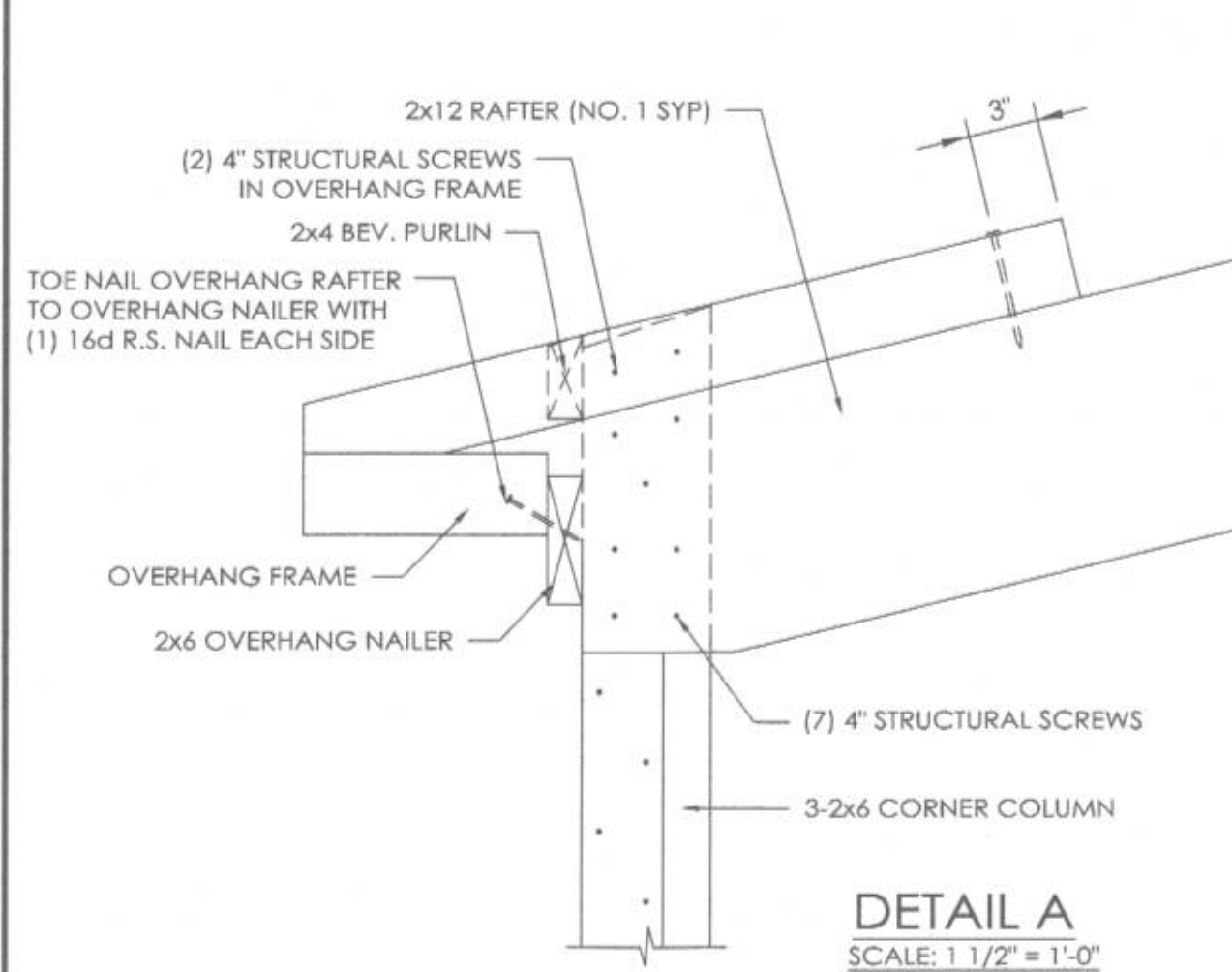
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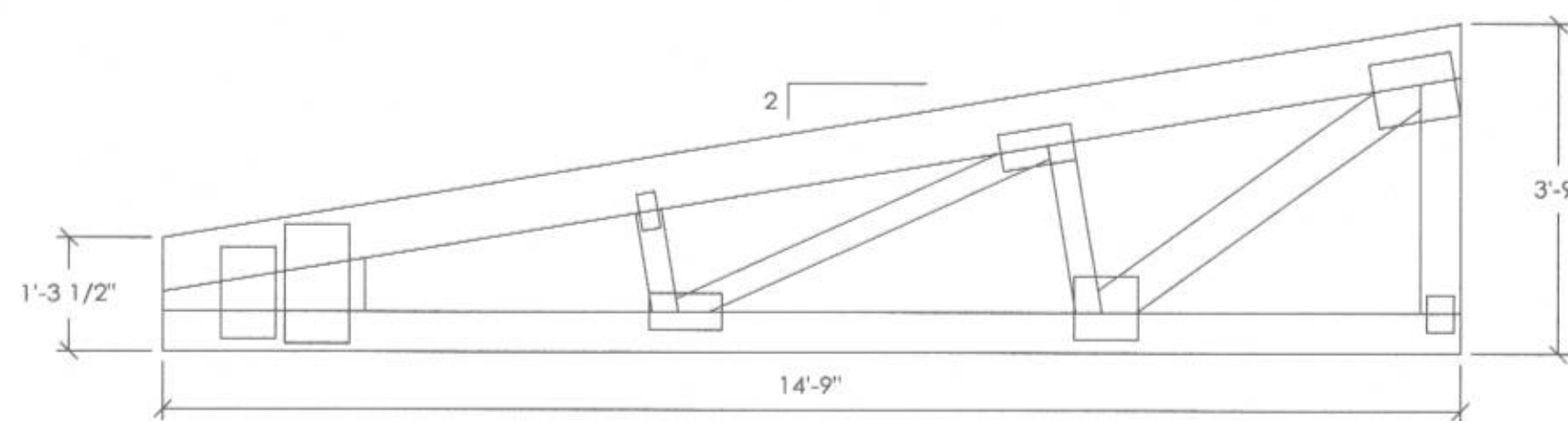
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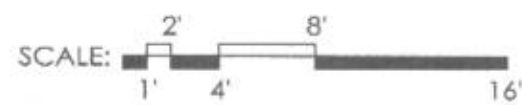
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TRUSS SPACING	7'-6" O.C.
LIVE LOAD	30 PSF
DEAD LOAD	6 PSF
CEILING LOAD	2 PSF
TOTAL LOAD	38 PSF



TRUSS/BRACING PLAN



TRUSS/BRACING PLAN LEGEND

- ◇ - CUSTOM 15' HALF TRUSS
- ◇ - 2x12 RAFTER (NO. 1 SYP)
- ◇ - 2x6 DIAGONAL END BRACES (TO EXTEND TO FIRST TRUSS IN FROM ENDWALL)



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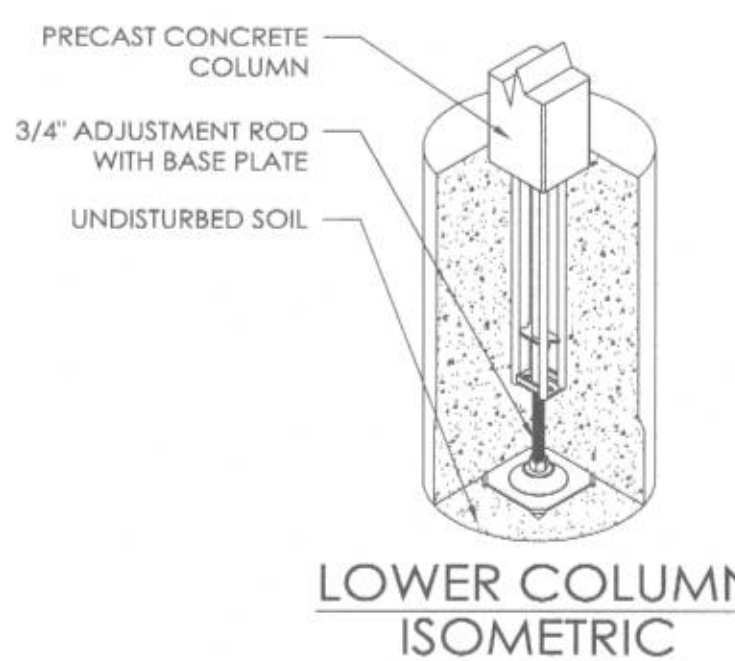
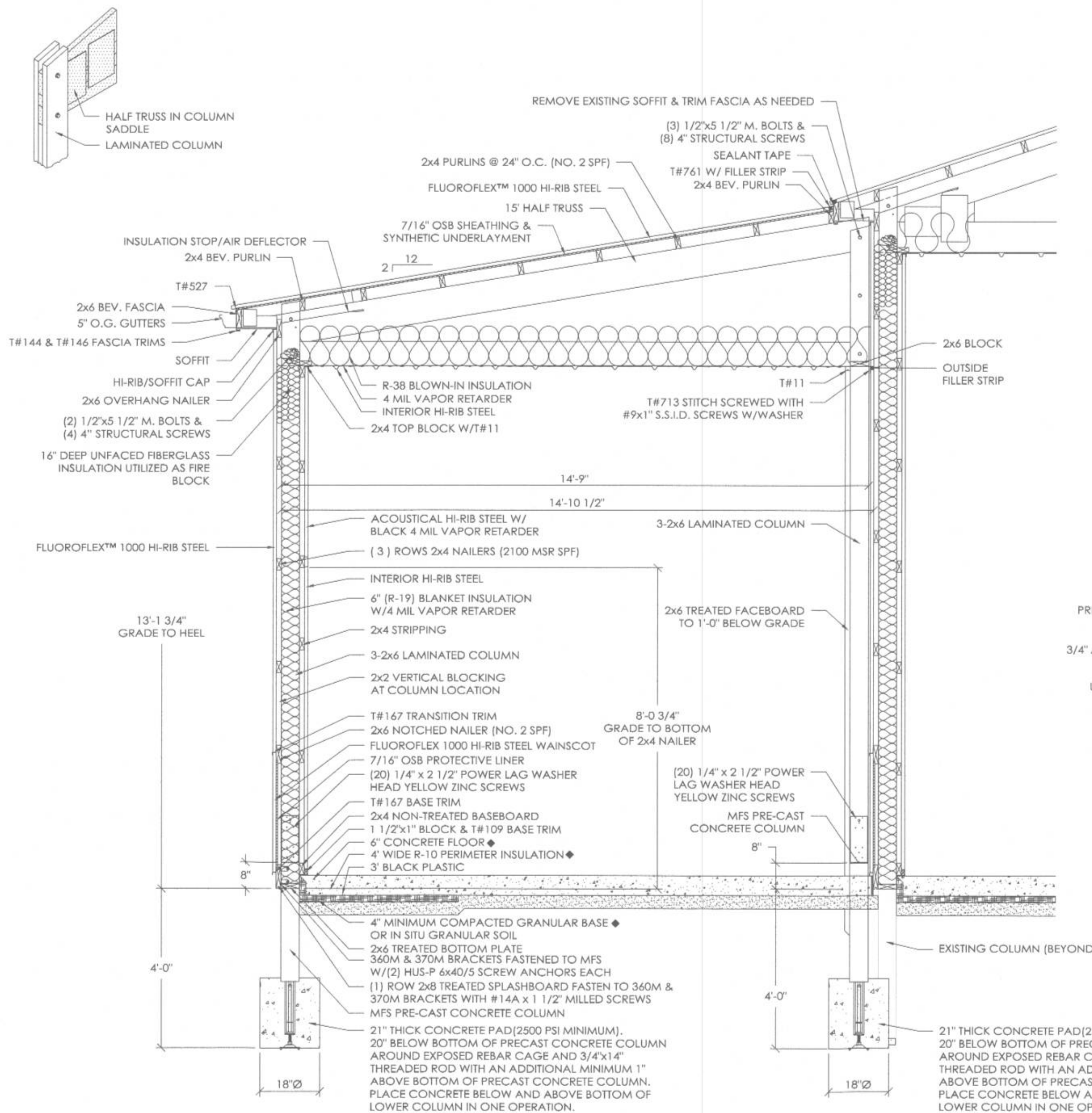
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DESIGN AND EXPLANATORY NOTES

- FOOTINGS ARE DESIGNED FOR A 2000 PSF SOIL BEARING CAPACITY. LOCAL CONDITIONS MAY REQUIRE MODIFICATIONS.
- CONCRETE FLOOR NOTES:
 - 3500 PSI, 5 1/2 BAG MIX CONCRETE.
 - SLOPE GRADE AWAY FROM BUILDING @ 1" PER FOOT FOR A MINIMUM DISTANCE OF 10' PLUS OVERHANG WIDTH.
 - A VAPOR RETARDER IS NOT MANDATED PER IBC SECTION 1907 EXCEPTION 3, UNLESS THE FLOOR WILL BE COVERED BY MOISTURE SENSITIVE FLOORING MATERIALS OR IMPERMEABLE FLOOR COATINGS OR WHERE THE FLOOR WILL BE IN CONTACT WITH ANY MOISTURE SENSITIVE EQUIPMENT OR PRODUCT.
 - CONTRACTION JOINTS UNIFORMLY SPACED 15' O.C. OR LESS.
- PRIOR TO PLACING THE CONCRETE FOOTINGS, HAND TAMP THE BOTTOM 2'-3" OF LOOSE SOIL TO CONSOLIDATE. IF THE DRILLED HOLE CONTAINS MORE THAN 3" OF LOOSE SOIL, REMOVE EXCESS SOIL TO A UNIFORM THICKNESS OF 2'-3", HAND TAMP AND PROCEED WITH CONCRETE FOOTING PLACEMENT.
- DO NOT PLACE CONCRETE FOOTING THROUGH MORE THAN 3" OF STANDING WATER. IF MORE THAN 3" OF STANDING WATER IS PRESENT IN THE FOOTING HOLE CONTACT THE STRUCTURAL ENGINEER OF RECORD FOR INSTALLATION INSTRUCTIONS.



LOWER COLUMN ISOMETRIC

LOWER COLUMN INSTALLATION

- INSTALL PRECAST CONCRETE COLUMN W/ADJUSTMENT ROD & BASE PLATE IN THE AUGERED HOLE.
- PLUMB PRECAST CONCRETE COLUMN IN BOTH DIRECTIONS
- ADJUST HEIGHT UP OR DOWN WITH ADJUSTMENT HEX ROD
- POUR READI-MIX CONCRETE INTO THE HOLE AS SPECIFIED.
- BACKFILL AND COMPACT THE ANNULAR SPACE AROUND THE COLUMN TO GRADE WITH SOIL AUGERED FROM THE SITE.

SIDEWALL SECTION A

SCALE: 1/2" = 1'-0"

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JOB NO.
720-115754

HYATTSTOWN VFD.

CLARKSBURG, MD

MD
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 AR CORP # 15160

PHONE NUMBER: 309-263-4105

DRAWN BY:	EAM
DATE:	8/20/2020
CHECKED BY:	JMM
DATE:	8/27/2020
REVISED DATE:	6/20/2022
REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---



SCALE: AS NOTED

SHEET NO: S3 OF: S4

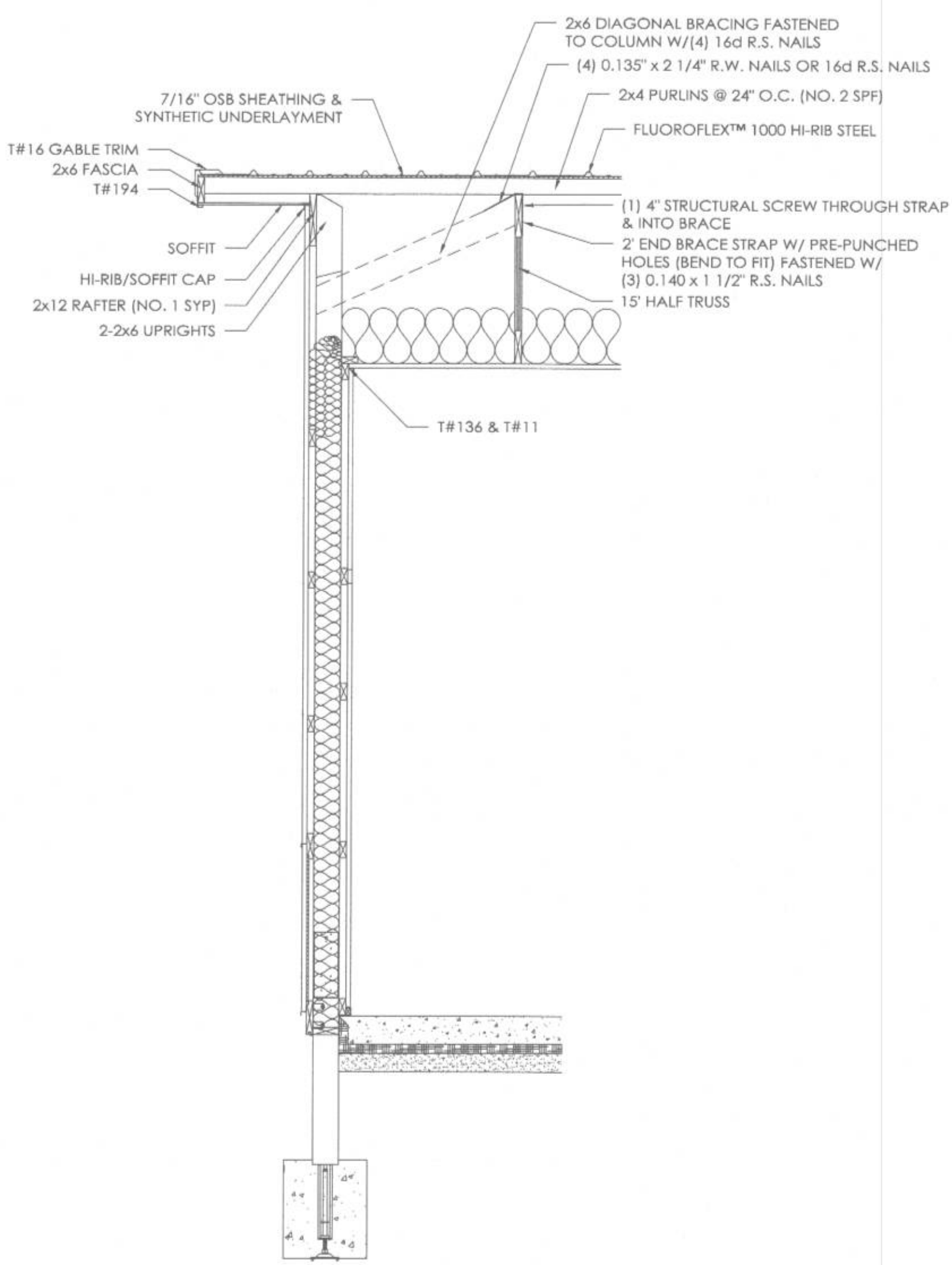
HYATTSTOWN VFD.
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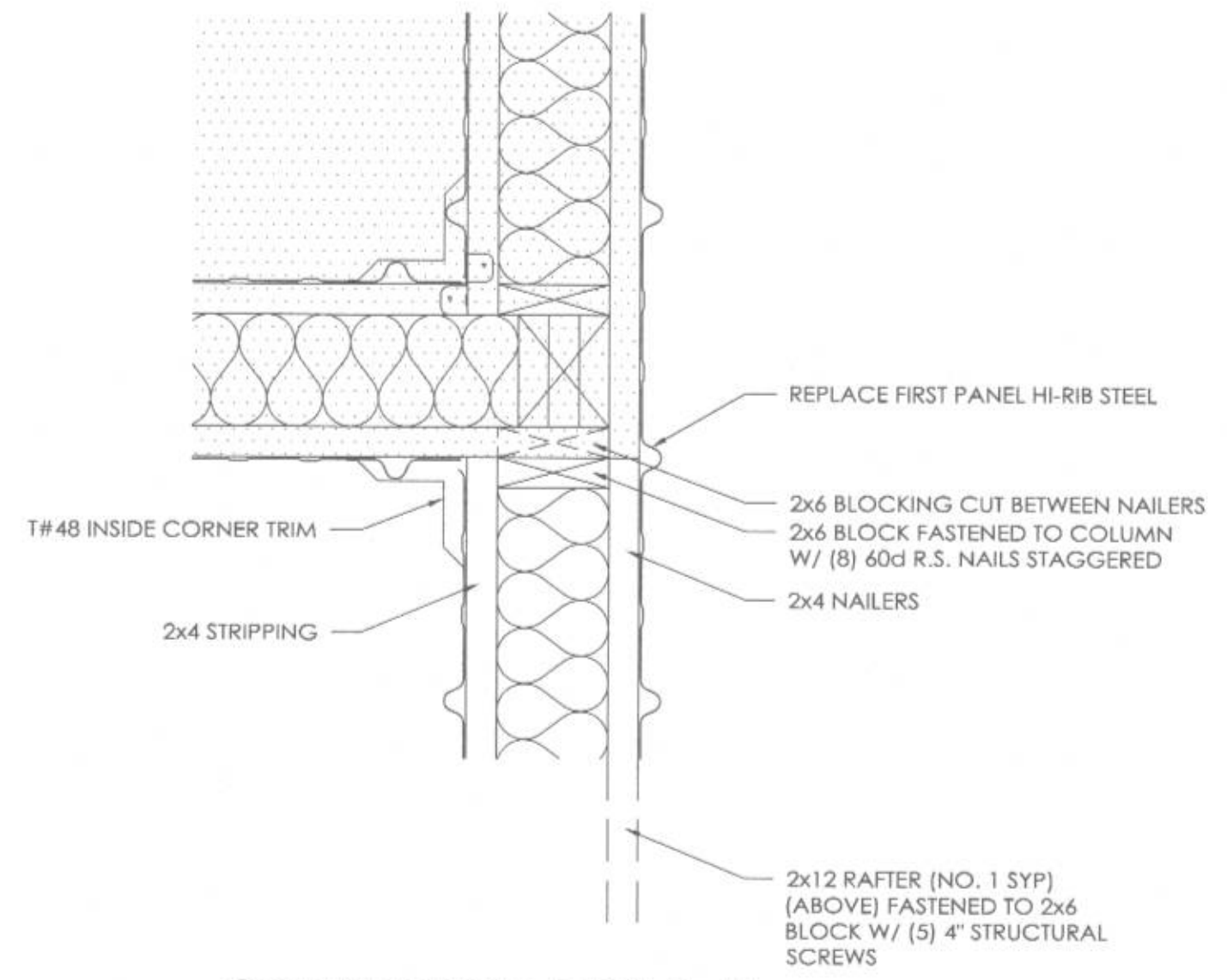
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REVISED DATE:	---



SCALE:	AS NOTED
SHEET NO.:	S4
OF:	S4



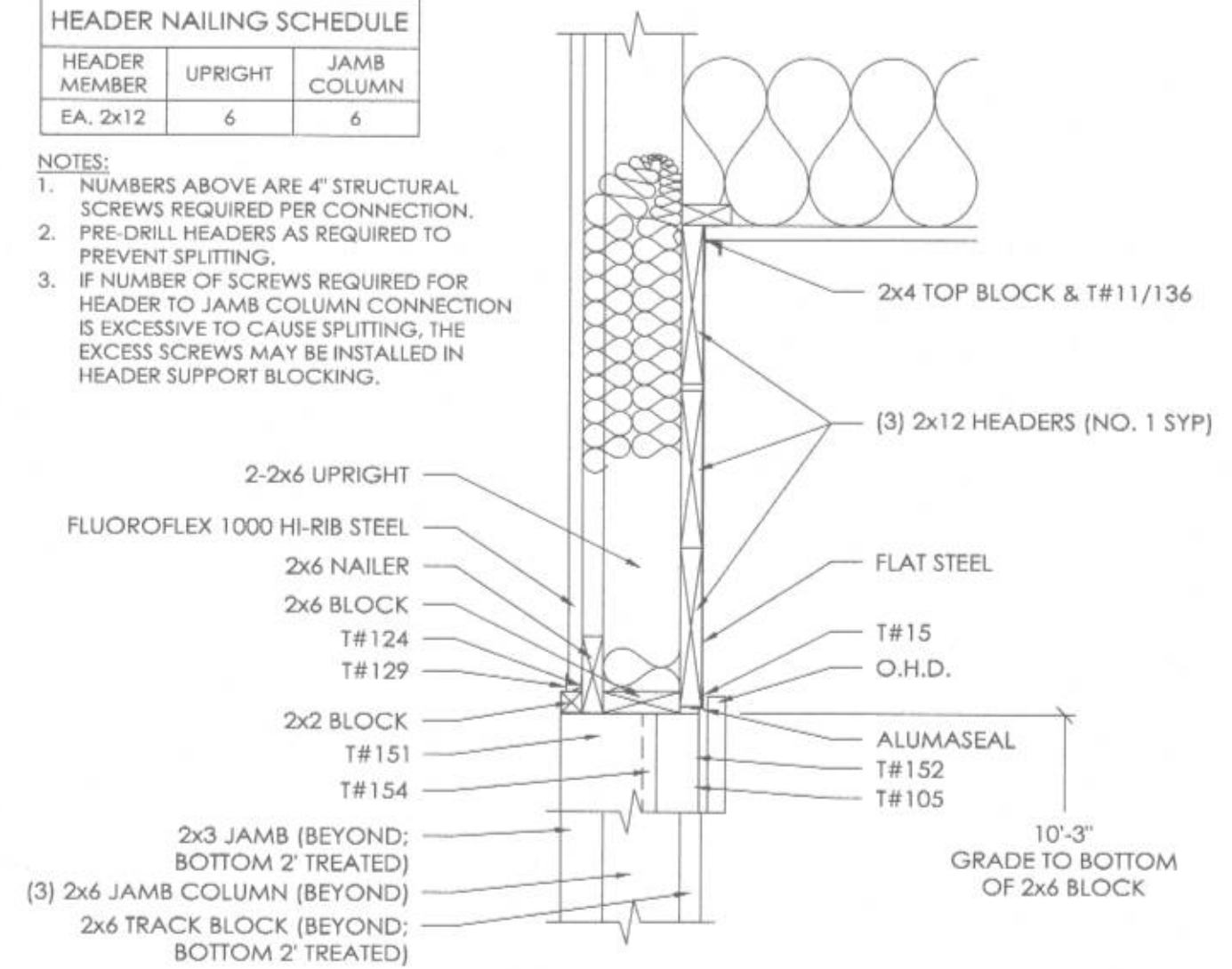
ENDWALL SECTION B
SCALE: 1/2" = 1'-0"



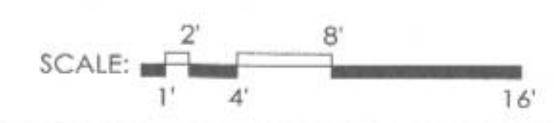
CONNECTION DETAIL #1
SCALE: 1/2" = 1'-0"

HEADER MEMBER	UPRIGHT	JAMB COLUMN
EA. 2x12	6	6

- NOTES:
- NUMBERS ABOVE ARE 4" STRUCTURAL SCREWS REQUIRED PER CONNECTION.
 - PRE-DRILL HEADERS AS REQUIRED TO PREVENT SPLITTING.
 - IF NUMBER OF SCREWS REQUIRED FOR HEADER TO JAMB COLUMN CONNECTION IS EXCESSIVE TO CAUSE SPLITTING, THE EXCESS SCREWS MAY BE INSTALLED IN HEADER SUPPORT BLOCKING.



OHD HEADER SECTION C
SCALE: 1" = 1'-0"



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Boyd's, MD 20841
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The logo for Knu Design, featuring the lowercase letters 'knu' in a bold, sans-serif font above the word 'DESIGN' in a smaller, all-caps, sans-serif font. The logo is set against a dark gray rectangular background.

MEMORANDUM

October 1, 2023

Re Hyattstown Volunteer Fire Department
Historic Area Work Permit Application # 1043867
Grading Description

Limited grading is being performed for the new addition at 15035 Hyattstown Mill Road. The extent of grading is limited to ensuring there is a positive slope away from the building to new area drains in the rear and sideyard of the addition, slightly altering the grades to accommodate a small change in the geometry of the on-site sidewalk, and slightly altering the grades at the lawn where the driveway is being widened. The anticipated vertical change in grades at these locations is less than a foot.