

*Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10304 Montgomery Avenue, Kensington	<b>Meeting Date:</b>	9/6/2023
<b>Resource:</b>	Primary Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	8/30/2023
<b>Applicant:</b>	Jeff and Gloria Capron (Luke Olson, Architect)	<b>Public Notice:</b>	8/23/2023
<b>Review:</b>	Preliminary Consultation	<b>Tax Credit:</b>	N/A
<b>Permit Number:</b>	Pending	<b>Staff:</b>	John Liebertz

**PROPOSAL:** New addition, hardscape alterations, construction of a detached garage.

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**STAFF RECOMMENDATION**

Staff recommends that the applicant make any changes recommended by the Historic Preservation Commission (HPC) and return for a Historic Area Work Permit (HAWP).

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Primary Resource within the Kensington Historic District  
**STYLE:** Colonial Revival Four Square  
**DATE:** Ca. 1904-1911



**Figure 1:** The subject property at 10304 Montgomery Avenue (noted by the yellow star) is located mid-block on the west side of the Montgomery Avenue. The red line is the boundary of the Master Plan Historic District.

## **PROPOSAL**

The applicant proposes to the following alterations to the property: 1) construct a one-story, gable roof addition (22' x 22'6") with an open deck off the west (rear elevation) (approximately 6'3" x 22'6") and a one-story, gable roof, screened-in porch (17' x 20'); 2) construct a one-story, pyramidal roof, two-car garage (24' x 24') in the northwest corner of the property; 3) enlarge the driveway to extend to the proposed garage and increase the number of parking spaces adjacent to the house; 4) install a flagstone patio between the proposed rear addition and the existing accessory structure; and 5) add a stone garden wall to separate the enlarged driveway and flagstone patio.

## **APPLICABLE GUIDELINES**

### ***Kensington Historic District Guidelines***

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6***

The Amendment notes:

The district is architecturally significant as a collection of late 19th and early 20th Century houses exhibiting a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake and Colonial Revival. The houses share a uniformity of scale, set backs and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

### ***Vision of Kensington: A Long-Range Preservation Plan***

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

### ***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior’s Standards for Rehabilitation:***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

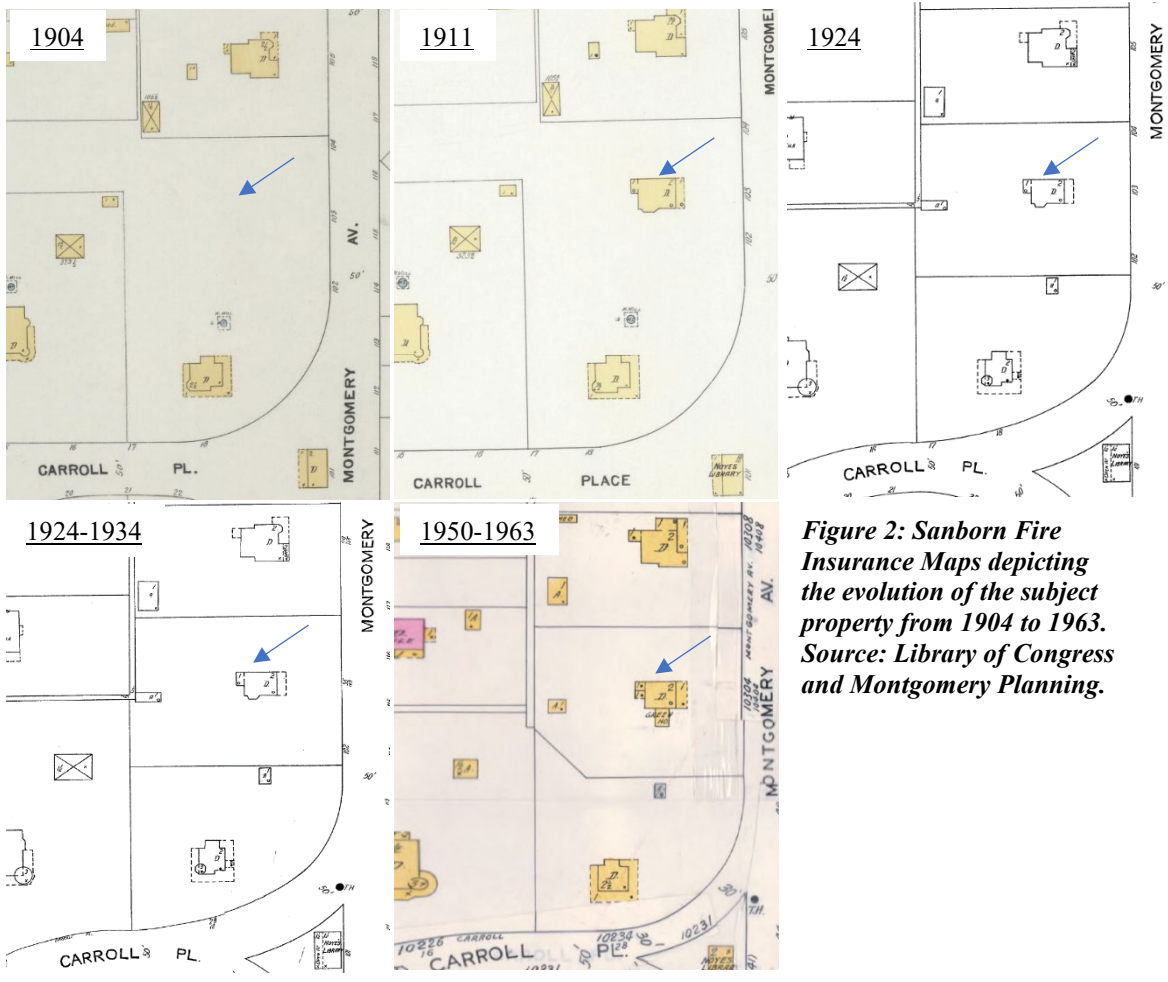
**STAFF DISCUSSION**

The subject property is a Primary Resource in the Kensington Master Plan Historic District. The property features a Colonial Revival styled Four Square dwelling constructed between 1904 and 1911. The date of construction is based on an analysis of available Sanborn Fire Insurance Maps. The house is not depicted on the 1904 Sanborn Fire Insurance Map, but is evident by 1911. The original two-and-a-half-story, two-bay, two-pile, wood-frame house was clad in wood lap siding and capped with an asphalt shingle hipped roof. The roof featured overhanging eaves and centrally located hipped dormers on its eastern (front) and western (rear) slopes. A full-width, wood-frame, hipped roof porch supported by Tuscan wood columns adorned the façade. Fenestration primarily consisted of one-over-one, double-hung, wood-sash windows and a Palladian window on the north elevation. In the late 1980s, the HPC approved a two-story rear addition and a one-story, flat roof addition to the north elevation.<sup>1</sup> In 2016, the HPC permitted the addition of the two hipped dormers on the rear addition. Two years ago, the HPC approved the construction of the extant accessory dwelling unit located directly to the rear of the historic house.<sup>2</sup>

<sup>1</sup> For more information, see

[https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/Padlock/HAR60640005/Box038/31-6\\_Kensington%20Historic%20District\\_10304%20Montgomery%20Avenue\\_03-10-1988.pdf](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640005/Box038/31-6_Kensington%20Historic%20District_10304%20Montgomery%20Avenue_03-10-1988.pdf) and [https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/Padlock/HAR60640005/Box038/31-6\\_Kensington%20Historic%20District\\_10304%20Montgomery%20Avenue\\_12-18-1987.pdf](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640005/Box038/31-6_Kensington%20Historic%20District_10304%20Montgomery%20Avenue_12-18-1987.pdf).

<sup>2</sup> For more information, see [https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/HAWP/5-26-](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/HAWP/5-26-)



**Figure 2: Sanborn Fire Insurance Maps depicting the evolution of the subject property from 1904 to 1963. Source: Library of Congress and Montgomery Planning.**



**Figure 3: Views of the façade and rear elevation of the house ca. 1988 (top row) and 2023 (bottom row). The 1988 photograph shows the house in its original form with later additions removed prior to a substantial renovation. Source: Montgomery Planning and Applicant.**

[2021/10304%20Montgomery%20Ave.,%20Kensington%20-%20Approval.pdf](https://montgomeryplanning.org/wp-content/uploads/2021/05/I.A-10304-Montgomery-Avenue-Kensington.pdf) and <https://montgomeryplanning.org/wp-content/uploads/2021/05/I.A-10304-Montgomery-Avenue-Kensington.pdf>.

*Proposed Rear Addition, Screened-In Porch, and Deck – Scale and Massing*

The architect placed a gable roof addition (22’6” x 22’) with an attached, gable roof, screened-in porch (17’ x 20’) and an open deck (approx. 6’3 x 22’) on the rear elevation of the ca. 1988 addition. The ridge of the roof is approximately 18’ above grade. The screened-in porch extends beyond the plane of the south elevation of the historic house by approximately 12’. Staff finds the overall scale, massing, and form of the proposed addition to be compatible as it remains secondary and subservient to the historic house due to its one-story scale. In addition, most of these elements would have limited to no visibility from the public rights-of-way due to their setback from the street and location behind the house.

Staff requests that the applicant include additional oblique views looking northwest to better understand the impact of the screened-in porch from Montgomery Avenue in future applications. While views from this area are partially obstructed by trees, shrubbery, and foliage, the HPC must consider the proposal absent these site elements. The transparency of a screened-in porch should limit adverse effects to the individual resource and surrounding historic district, but more information is required before staff reaches a conclusion.



**Figure 4: Floorplan (new additions are highlighted yellow), south elevation showing the evolution of the house, and oblique views of the proposal. The red arrow points to the addition, the yellow arrow to the proposed garage, and the blue arrow to the existing accessory dwelling unit.**

**Source: Applicant.**

*Proposed Rear Addition, Screened-In Porch, and Deck – Design*

While most of these proposed changes would have limited visibility from the public rights-of-way, aspects would be visible from oblique angles. The HPC should discuss the design of the proposed addition with particular focus on the brick chimney and screened-in porch. Staff recommends the removal of the brick chimney as its scale paired with the masonry calls attention to the small addition. This is amplified as there are no chimneys on the historic house. Staff suggests exploration of a simpler and lighter design solution. Similarly, staff recommends additional study for the design of the screened-in porch. The prominence of the pediment adversely affects the primacy of the historic house (*Figure 5*). The applicant should consider alternatives which remain subservient to the historic house.

In addition, future submissions should include: 1) all dimensions on the floor plans; 2) existing elevations (line drawings) with all dimensions; and 3) proposed elevations (line drawings) with all dimensions.



***Figure 5: Sketch of the proposed addition.***  
***Source: Applicant.***

*Proposed Rear Addition, Screened-In Porch, and Deck – Materials*

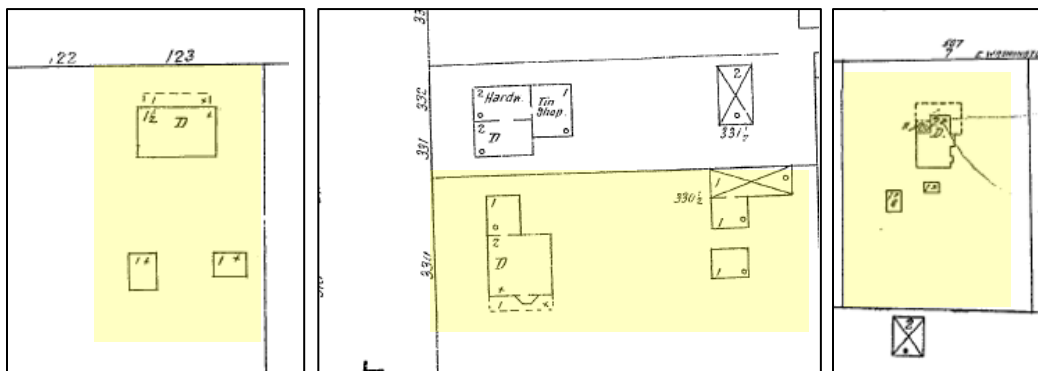
Staff finds the proposed materials (to date) to be compatible with the historic house and surrounding district. While many of the materials for the house are absent from this submission, the HPC regularly approves the use of cementitious fiberboard siding, poly-ash trim, asphalt shingle roofs, etc. Future applications should: 1) label all materials on the elevations; 2) include all specification sheets for windows, doors, siding, trim, porch posts and flooring, screening systems, lighting, etc.; and, 3) include details for all stairs, railings, porch balustrades, etc.

*Proposed Two-Car Garage*

The Amendment sets forth to protect Kensington’s character defining landscape of a Victorian-era garden suburb. The proposal would add a second detached accessory structure to the property. Staff explored examples of such configurations (single-family house with two accessory structures) utilizing our current building layer on MCAtlas and Sanborn Fire Insurance Maps from the district’s period of significance. Presently, there are few examples of this site layout, and most of them consist of one accessory structure and a small shed. The most relevant example is located at 3909 Washington Street as shown in *Figure 6*. There are two accessory buildings (approximately 20’ x 14’ and 21’ x 19’) to the rear of the historic house. There are numerous examples of this configuration in the historical record as well, but it is less clear the function of those accessory structures (*Figure 7*). Nevertheless, the historic record supports the construction of multiple accessory structures on lots. In addition, a second accessory structure would not adversely affect the individual resource or the surrounding district due to the nature of the subject property. The lot coverage calculation for the proposal (all additions and the garage) increases the coverage from 13 percent to 20 percent. The setback of the new construction paired with its compatible (small) scale retains the sense of the garden suburb.



**Figure 6: View of 3909 Washington Street showing an example of a single-family dwelling with two accessory structures (red arrows) to the rear, 2021.**  
 Source: Connect Explorer.



**Figure 7: Examples of a single-family dwelling with at least two accessory structures to the rear of the house. The examples are properties on Warner Street (left), Fawcett Street (center), and Washington Street (right),**  
 Source: Sanborn Fire Insurance Maps (1904-1924).

Staff finds that the scale and placement of the proposed two-car garage (24’ x 24’) to be compatible with the individual resource and the historic district. Garages are typically setback from the main residence and

found at the termination of the driveway. Based on the sketches, the one-story garage does not adversely affect the historic resource.

While staff finds the overall design of the garage to be compatible with the historic district, the applicant should remove the proposed cupola from the roof. The adjacent historic accessory building immediately to the north at 10308 Montgomery Avenue (dating from the turn of the twentieth century) features two cupolas. Due to the proximity of the proposed garage, the cupola should remain unique to the historic accessory structure on the adjacent property as its replication may imbue a false historical narrative for the new construction at the subject address.



*Figure 8: View of the accessory structure at 10308 Montgomery Avenue, adjacent to the subject property. The proposed garage would be constructed near the location of the temporary storage container on the left side of the photograph.*

*Source: Montgomery Planning.*

Staff finds that the materials of the garage (shown to date) to be compatible with the individual resource and the historic district. The HPC regularly approves the use of cementitious fiberboard siding, poly-ash trim, and asphalt shingles.

Staff requests that the applicant submit the following in future application: 1) proposed floor plans with all dimensions; 2) proposed elevations (line drawings) with all dimensions; 3) label all materials on elevations; and 4) include specification sheets for garage doors, doors, windows, etc.

#### *Proposed Driveway, Patio, and Stone Wall*

The Amendment sets forth to protect Kensington's character defining landscape of a Victorian-era garden suburb. Staff requires additional information in future submissions to evaluate fully the proposed site and landscape plan. Staff has concerns based on the illustrative drawing regarding the perceived expansion of the overall driveway and requests the submission of an existing and proposed site plan that illustrates the changes (*Figure 9*). This plan should include the location of any trees greater than 6" (dbh) to ensure avoidance of adverse effects or protection to any significant trees.





*Figure 9: Sketch showing the proposed hardscaping (top) and view looking from the street at the existing driveway (bottom).*

*Source: Applicant and Montgomery Planning.*

Staff finds the stone wall and the proposed patio to be compatible with the individual resource and the surrounding district. Furthermore, these elements would have no or limited visibility from the public rights-of-way. Staff, however, requires additional material specifications for each element.

### **STAFF RECOMMENDATION**

Staff recommends that the applicant make any changes suggested by the HPC and return for a HAWP.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: Jeff and Gloria Capron
Address: 10304 Montgomery Ave
Daytime Phone:
E-mail: gcidesign@gloriacapron.com, jeffcapron5504@gmail.com
City: Kensington Zip: 20895
Tax Account No.: 01018853

AGENT/CONTACT (if applicable):

Name: LUKE OLSON
Address: 7735 OLD GEORGETOWN RD STE 700
Daytime Phone: 240-333-2021
E-mail: LOLSON@GTMARCHITECTS.COM
City: BETHESDA Zip: 20814
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? X Yes/District Name Kensington
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10304 Street: Montgomery Ave
Town/City: Kensington Nearest Cross Street: Kensington Pkwy
Lot: 12 Block: 2 Subdivision: 0015 Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other: DRIVEWAY MODIFICATION

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Handwritten signature of owner or authorized agent

Handwritten date: 8/16/23

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

JEFF & GLORIA CAPRON  
10304 MONTGOMERY AVE  
KENSINGTON, MD 20895

**Owner's Agent's mailing address**

Luke Olson  
7735 Old Georgetown Rd Ste 700  
Bethesda, MD 20814

**Adjacent and confronting Property Owners mailing addresses**

JAMES & CAROL SHARP  
10226 CARROLL PL  
KENSINGTON MD 20895

MICHAEL & DEBRA MCCURRY  
10313 FAWCETT ST  
KENSINGTON MD 20895

NICHOLAS & CARRIE STORER  
10234 CARROLL PL  
KENSINGTON MD 20895

DENNIS & ANGELA KILCULLEN  
10308 MONTGOMERY AVE  
KENSINGTON MD 20895

MACKIE BARCH & JACQUELINE FORTI  
10303 MONTGOMERY AVE  
KENSINGTON MD 20895

JENNIFER BRUSH  
10312 MONTGOMERY AVE  
KENSINGTON MD 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**EXISTING 2-STORY COLONIAL REVIVAL HOUSE WITH CLAPBOARD SIDING AND ASPHALT SHINGLE ROOF CIRCA 1893 WITH 2-STORY DETACHED ACCESSORY STRUCTURE IN REAR YARD.**

Description of Work Proposed: Please give an overview of the work to be undertaken:

**BUILD NEW 1-STORY ADDITION TO REAR OF EXISTING HOUSE WITH UNCOVERED DECK ON RIGHT SIDE OF ADDITION AND 1-STORY SCREENED PORCH ON LEFT SIDE OF ADDITION. BUILD NEW DETACHED 1-STORY 2-CAR GARAGE IN REAR OF PROPERTY AND MODIFY/EXTEND EXISTING DRIVEWAY TO RUN TO NEW GARAGE AND PROVIDE ADDITIONAL PARKING SPACE IN REAR YARD. PROVIDE NEW FLAGSTONE PATIO AT GRADE BETWEEN REAR ADDITION AND EXISTING DETACHED ACCESSORY STRUCTURE AND ADD NEW STONE GARDEN WALL RUNNING FROM THE BACK RIGHT CORNER OF THE HOUSE TO THE NEW DETACHED GARAGE TO SEPARATE THE NEW PATIO SPACE FROM THE DRIVEWAY.**



SCOPE OF WORK: SINGLE STORY ADDITION TO RIGHT SIDE OF EXISTING  
2-STORY HOUSE W/ NEW 2 CAR DETACHED GARAGE



## CAPRON RESIDENCE

10304 MONTGOMERY AVENUE KENSINGTON, MD 20895

23.0138

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## CAPRON RESIDENCE

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EXISTING CONDITIONS PHOTOS - MAIN HOUSE



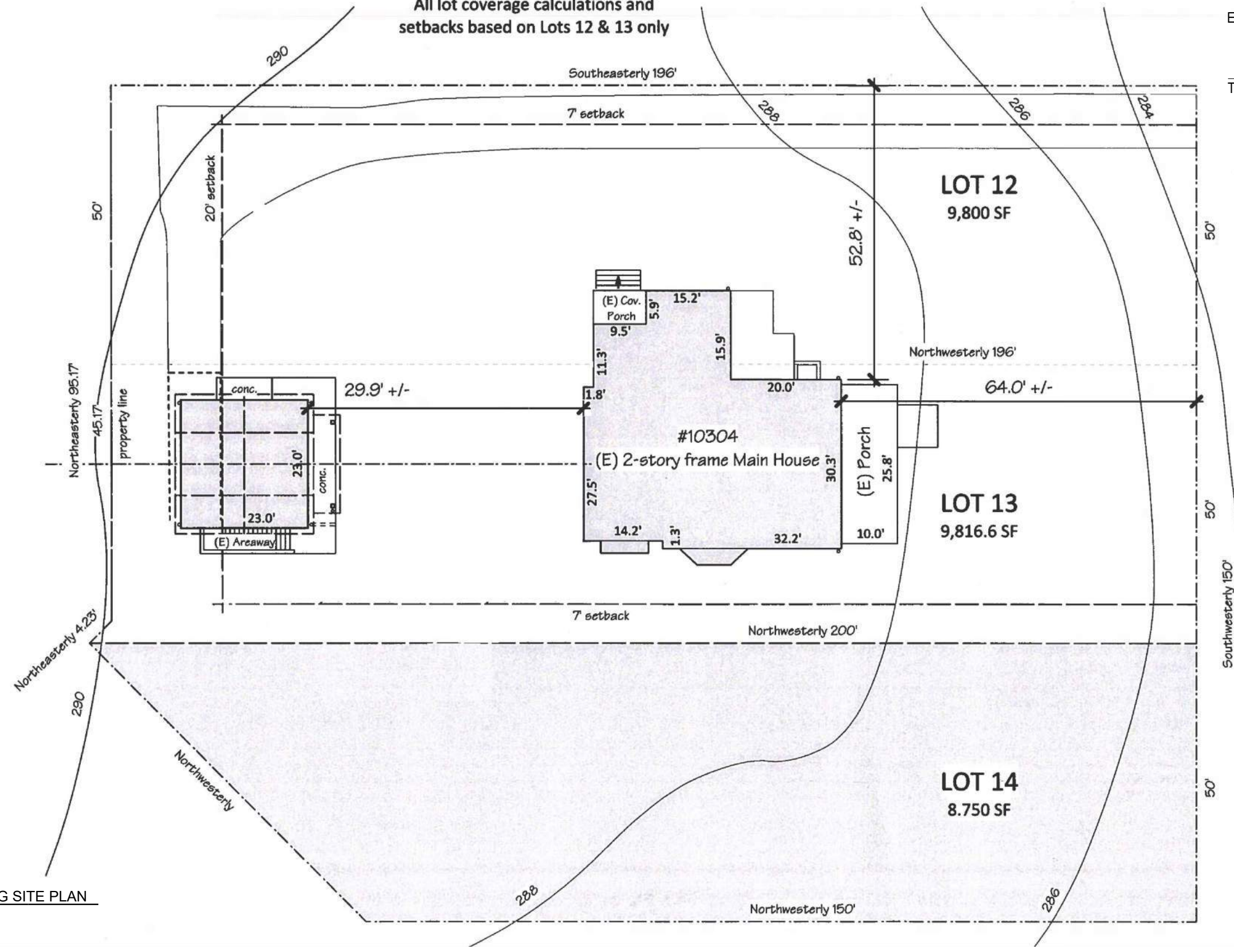


EXISTING CONDITIONS PHOTOS - CARRIAGE HOUSE

LOT SIZE (12 & 13): 19,616.6 S.F.  
 R-60  
 FRONT BRL = 25'  
 REAR BRL = 20'  
 SIDE BRL = 7'

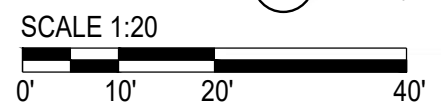
EXIST. LOT COVERAGE:	
EXIST. HOUSE:	1,754 S.F.
EXIST. FRONT PORCH:	258 S.F.
EXIST. CARRIAGE HOUSE:	529 S.F.
<b>TOTAL:</b>	<b>2541 S.F. (13%)</b>

**NOTE:**  
 Property comprises lots 12, 13 and 14.  
 All lot coverage calculations and setbacks based on Lots 12 & 13 only



**MONTGOMERY AVE**

1 EXISTING SITE PLAN  
 SCALE: 1:20



**CAPRON RESIDENCE**



**GTM ARCHITECTS**

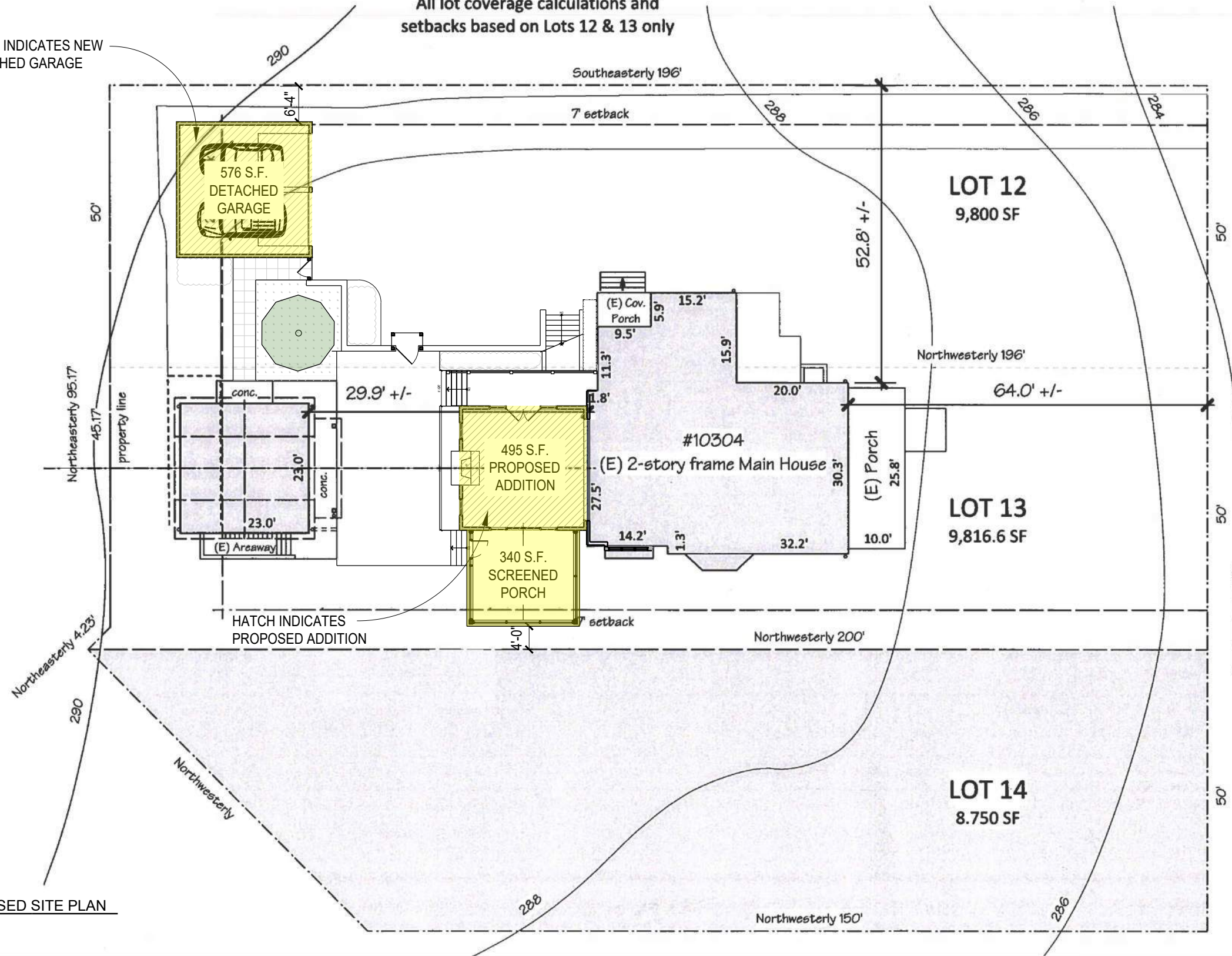
LOT SIZE (12 & 13): 19,616.6 S.F.  
 R-60  
 FRONT BRL = 25'  
 REAR BRL = 20'  
 SIDE BRL = 7'

EXIST. LOT COVERAGE:  
 EXIST. HOUSE: 1,754 S.F.  
 EXIST. FRONT PORCH: 258 S.F.  
 EXIST. CARRIAGE HOUSE: 529 S.F.  
 TOTAL: 2541 S.F. (13%)

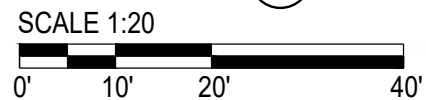
PROPOSED LOT COVERAGE:  
 EXIST HOUSE: 1,754 S.F.  
 EXIST. FRONT PORCH: 258 S.F.  
 EXIST. CARRIAGE HOUSE: 529 S.F.  
 PROPOSED ADDITION: 496 S.F.  
 SCREENED PORCH: 340 S.F.  
 GARAGE 576 S.F.  
 TOTAL: 3953 S.F. (20%) < 6,865.8 S.F. (35% MAX.)

**NOTE:**  
 Property comprises lots 12, 13 and 14.  
 All lot coverage calculations and setbacks based on Lots 12 & 13 only

HATCH INDICATES NEW DETACHED GARAGE



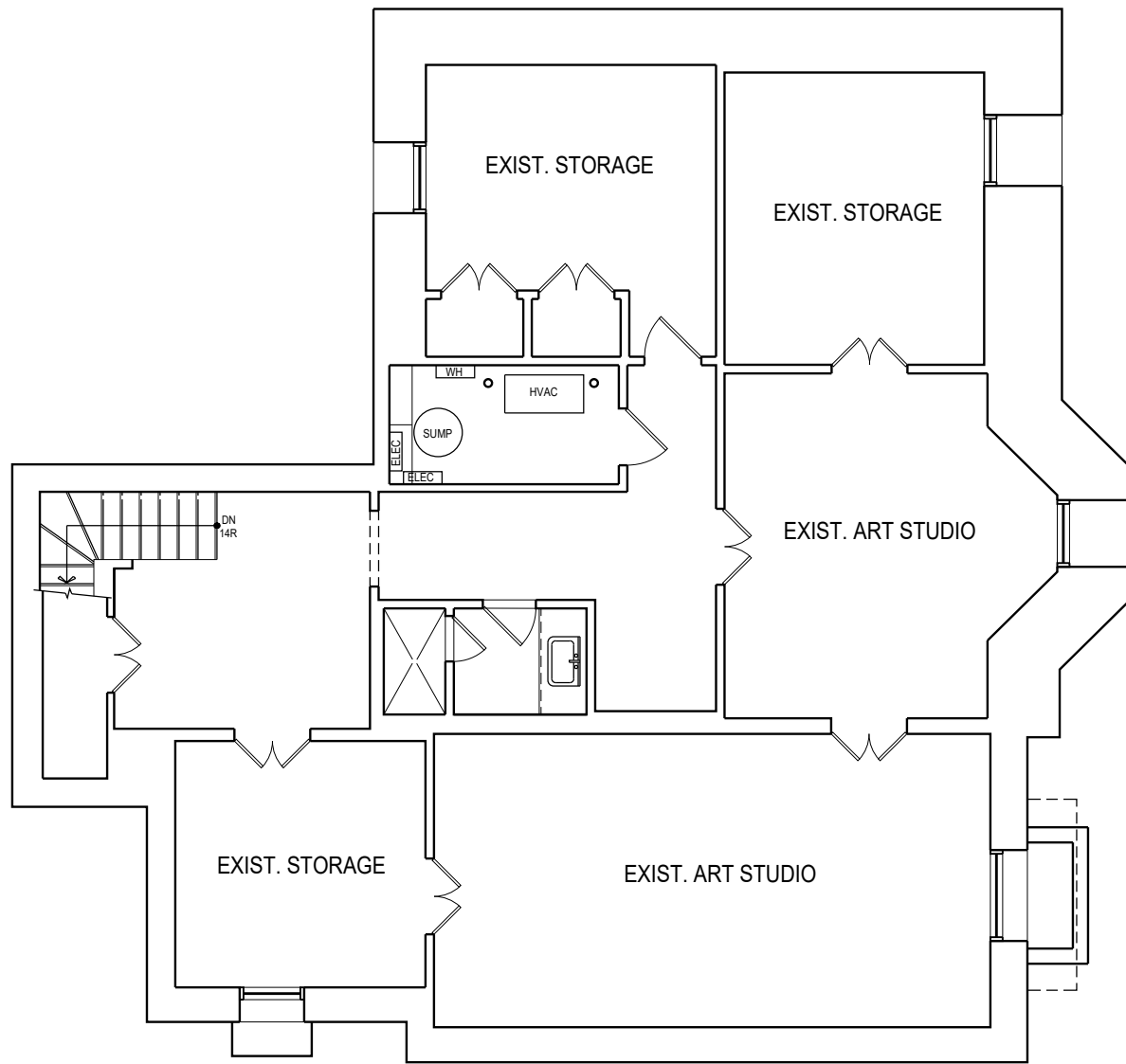
1 PROPOSED SITE PLAN  
 SCALE: 1:20



**CAPRON RESIDENCE**

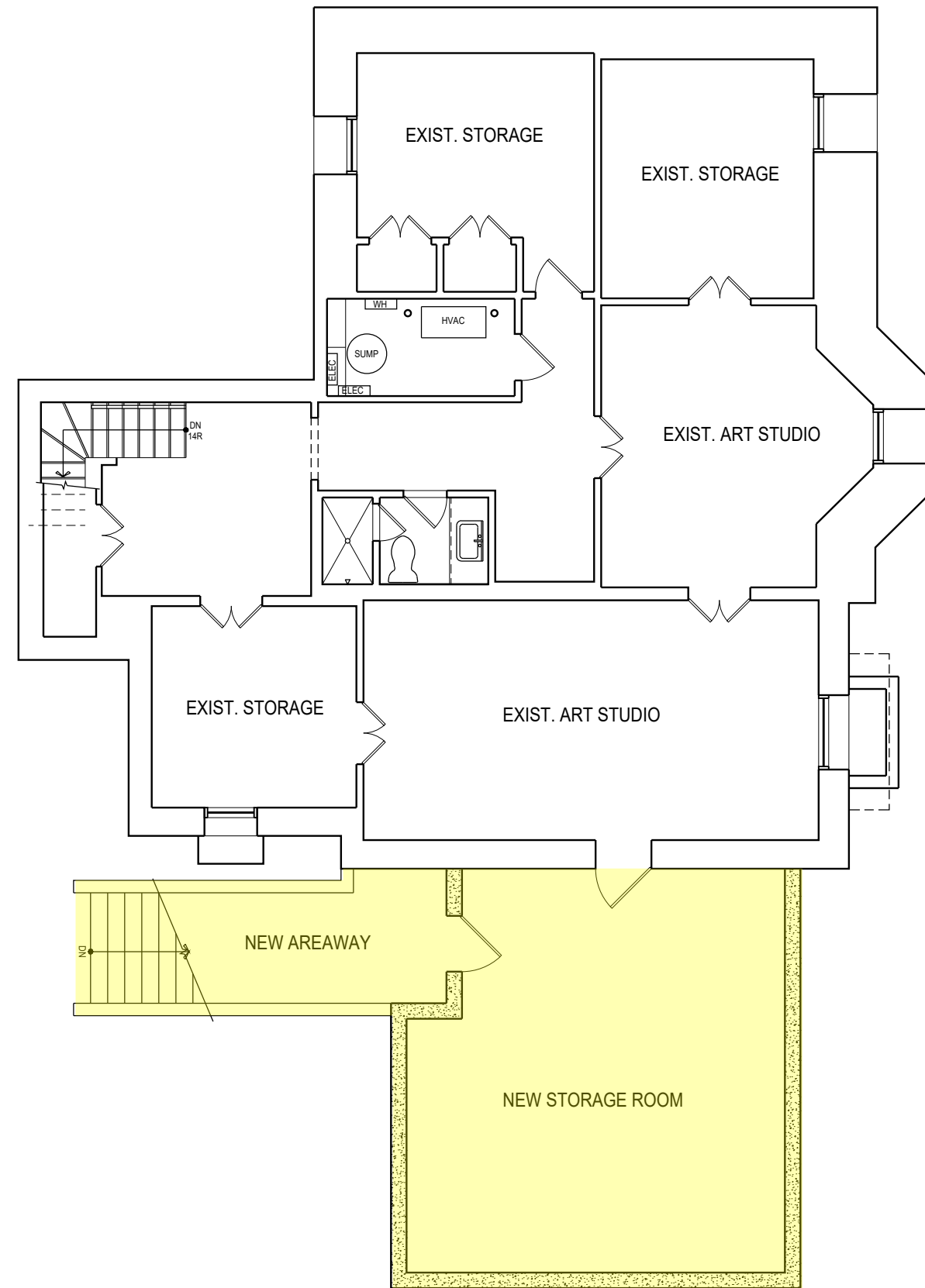
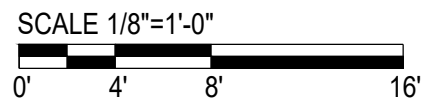
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GTM ARCHITECTS



**1** EXISTING BASEMENT PLAN  
SCALE: 1/8"=1'-0"

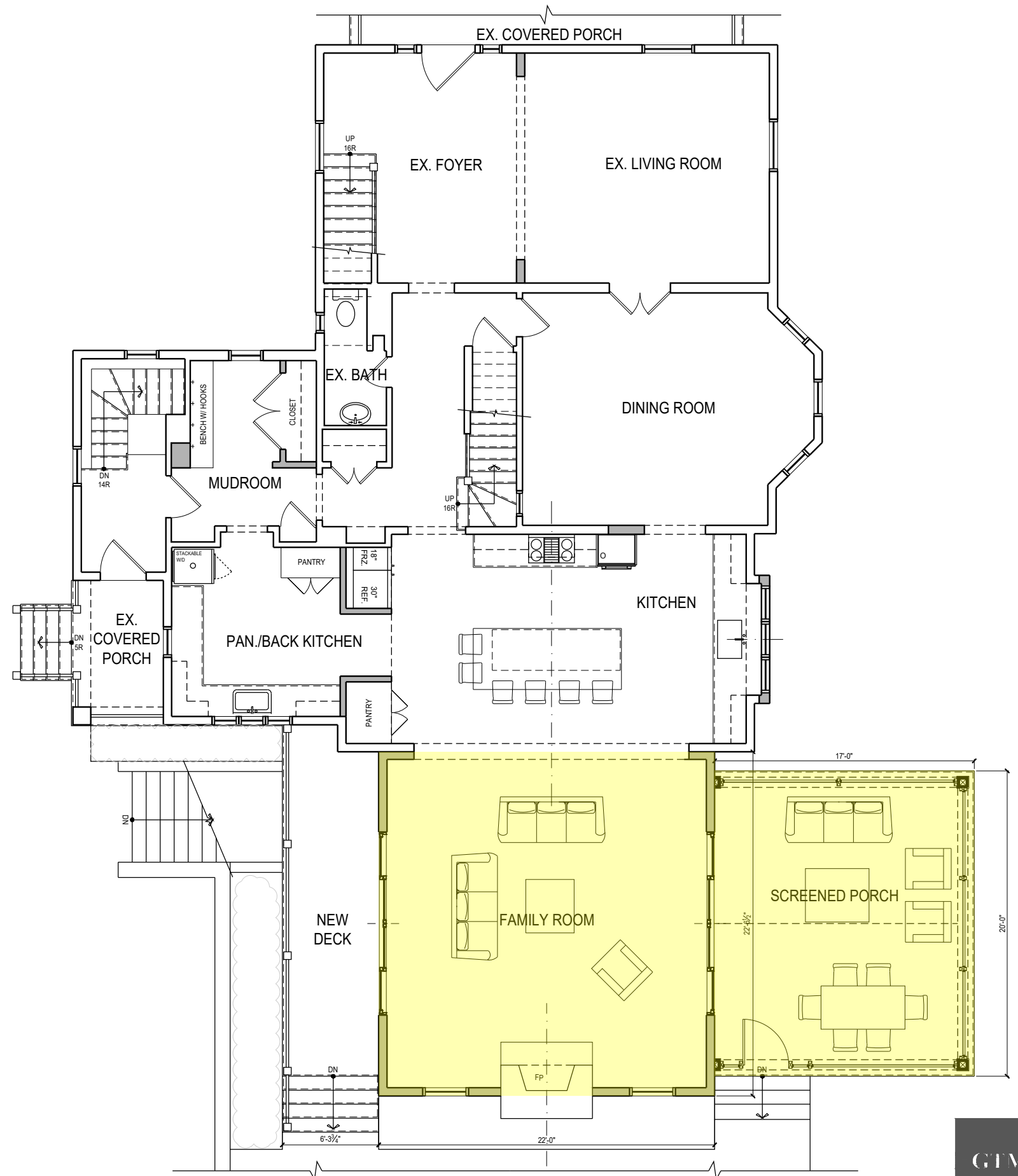
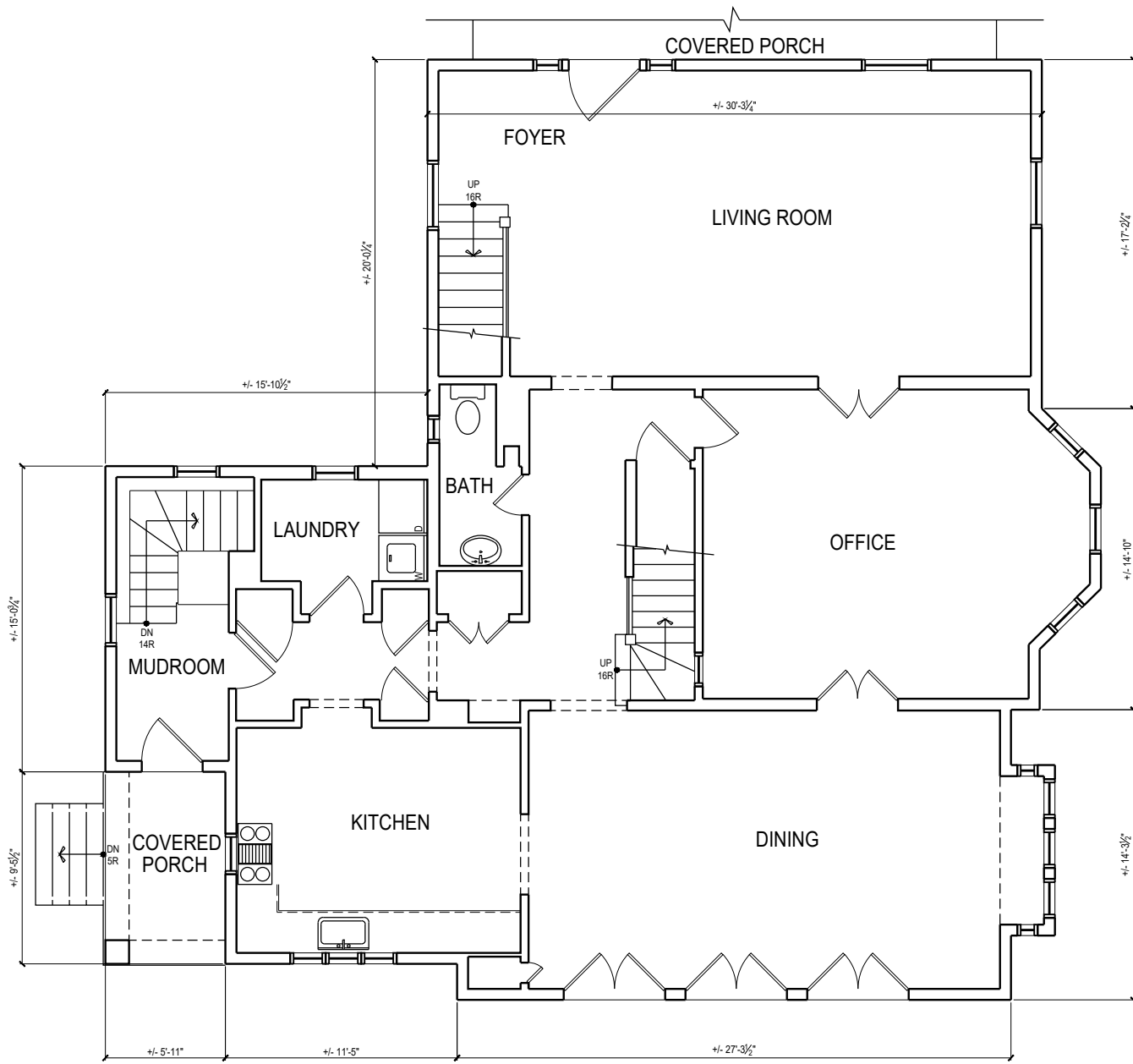
BASEMENT EXIST:	1383.5 S.F.
PROPOSED:	417.0 S.F.
TOTAL:	1800.5 S.F.



**2** PROPOSED BASEMENT PLAN  
SCALE: 1/8"=1'-0"

# CAPRON RESIDENCE

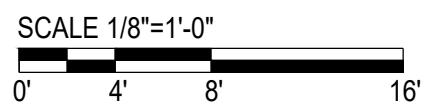




**1** EXISTING FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

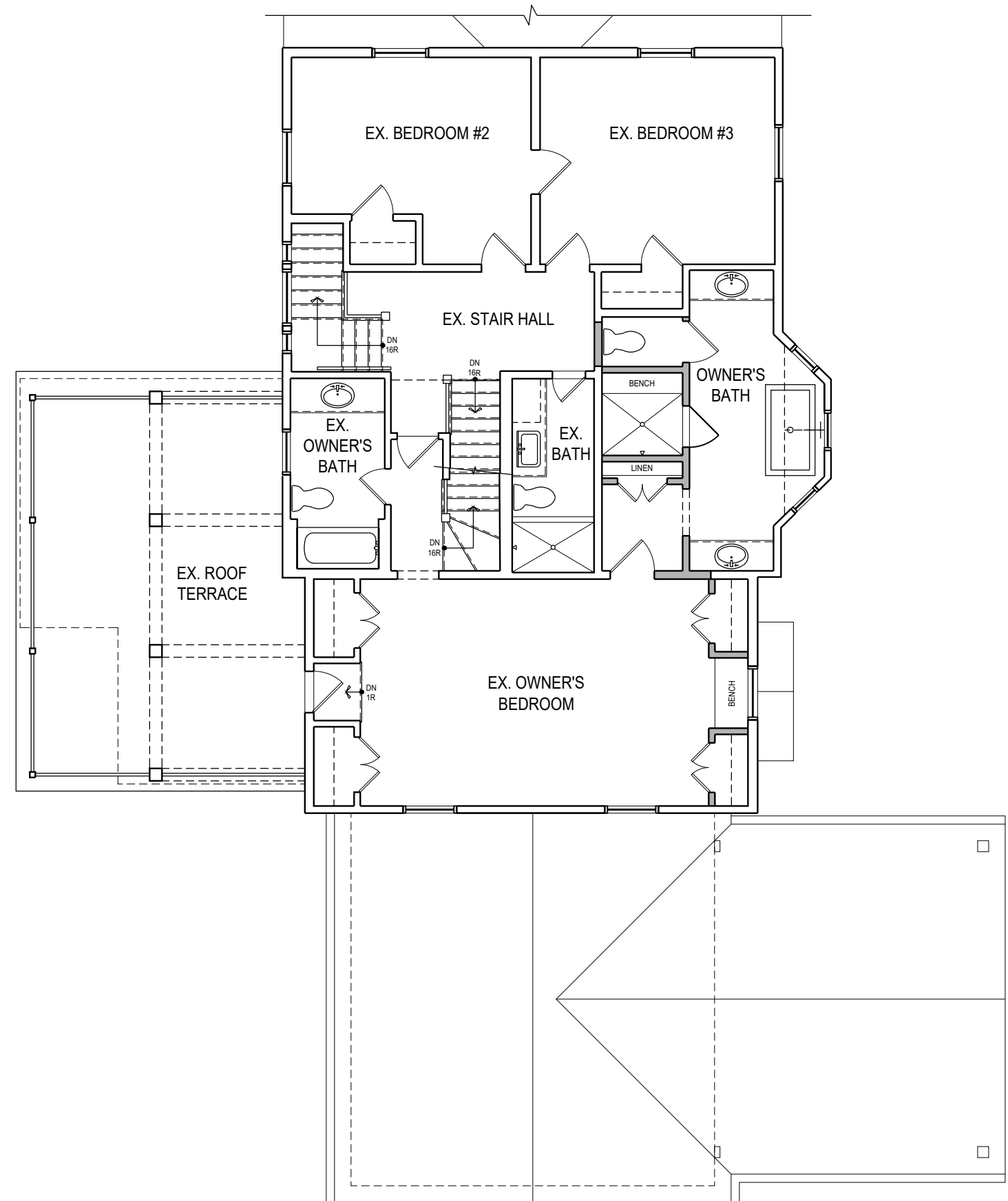
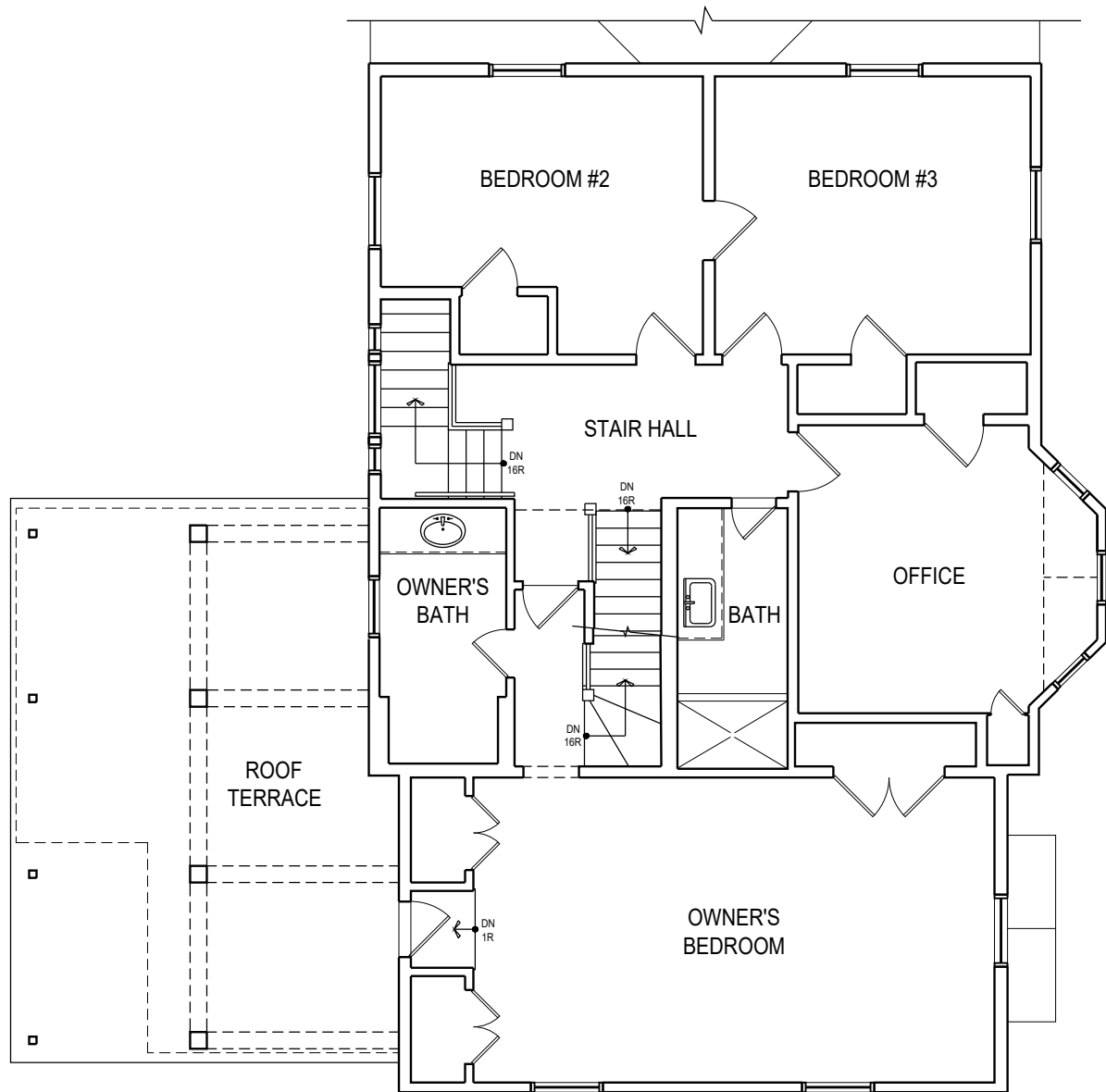
**2** PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

FIRST FLOOR EXIST:	1754 S.F.
PROPOSED FIRST FLOOR ADDITION:	496 S.F.
SCREENED PORCH:	340 S.F.
TOTAL:	2590 S.F.



# CAPRON RESIDENCE

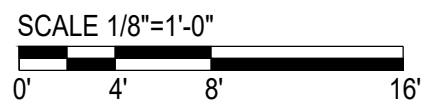




**1** EXISTING SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"

**2** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"

\*ADDITION IS SINGLE STORY, NO CHANGE TO EXISTING SECOND FLOOR SQUARE FOOTAGE



**CAPRON RESIDENCE**



**GTM ARCHITECTS**

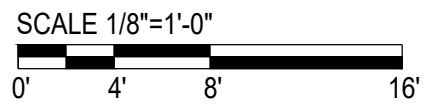


ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND

1 EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



- ASPHALT SHINGLES TO MATCH MAIN HOUSE
- NEW BRICK CHIMNEY
- EXISTING CARRIAGE HOUSE BEYOND
- NEW DETACHED 2-CAR GARAGE
- PTD. BORAL TRIM @ WINDOWS, EAVES & CORNERBOARDS
- PTD. BORAL TRIM @ WINDOWS, EAVES & CORNERBOARDS
- NEW 36" TALL STONE WALL
- PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING
- PTD. SKIRT BOARD TO MATCH EXIST. HOUSE

**CAPRON RESIDENCE**



GTM ARCHITECTS

ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND



1 EXISTING REAR ELEVATION  
SCALE: 1/8"=1'-0"



ASPHALT SHINGLES TO MATCH MAIN HOUSE

NEW DETACHED 2-CAR GARAGE

PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING

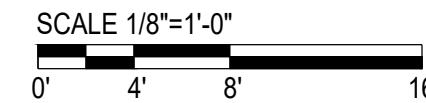
PTD. SKIRT BOARD TO MATCH EXIST. HOUSE

2 PROPOSED REAR ELEVATION  
SCALE: 1/8"=1'-0"

NEW 36" TALL STONE WALL

EXISTING CARRIAGE HOUSE

MAIN HOUSE ADDITION BEYOND; SEE NEXT SHEET

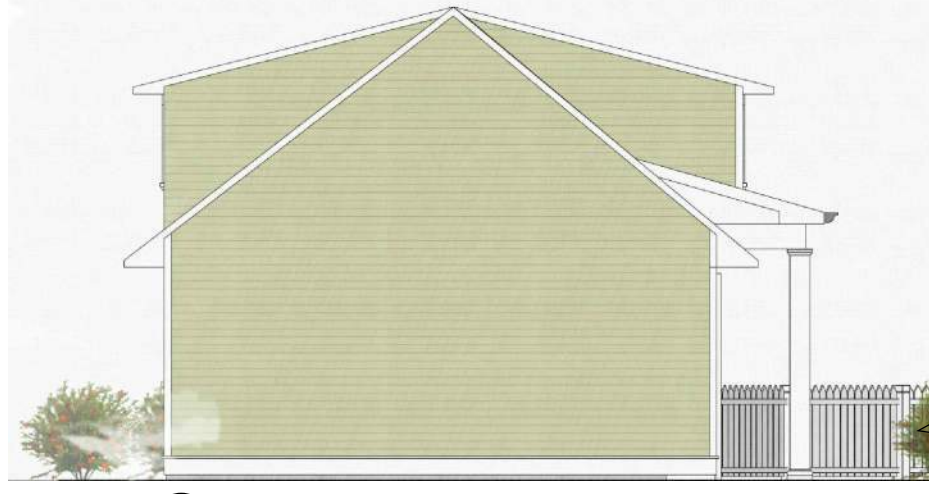


# CAPRON RESIDENCE





ANY TRIM OR SIDING THAT CANNOT BE REPAIRED IS TO BE REPLACED IN-KIND



1 EXISTING LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



2 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



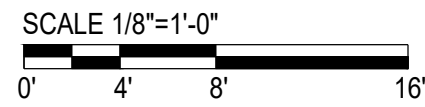
ASPHALT SHINGLES TO MATCH MAIN HOUSE

NEW BRICK CHIMNEY

PTD. BORAL TRIM @ WINDOWS, EAVES & CORNERBOARDS

PTD. FIBERCEMENT LAP SIDING TO MATCH EXISTING

EXISTING CARRIAGE HOUSE



SCALE 1/8"=1'-0"



GTM ARCHITECTS

# CAPRON RESIDENCE



3D VIEWS OF PROPOSED ADDITION